

INDEX TO ADMINISTRATIVE RECORD

2720 HILLEGASS AVENUE

Use Permit #ZP2022-0095

Prepared: June 29, 2023

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# Z O N I N G A D J U S T M E N T S B O A R D S T A F F R E P O R T

FOR BOARD ACTION  
APRIL 27, 2023

## 2720 Hillegass Avenue– Willard Park

Use Permit #ZP2022-0095 to demolish the existing clubhouse and restroom, construct a 3,301 square-foot single-story (18 feet) community center with a variance for a rear setback of 16 feet where 20 feet is required, and add a new single-story restroom building (12 feet).

### I. Background

#### A. Land Use Designations:

- General Plan: OS – Open Space and Recreation
- Zoning: R-2 – Restricted Two-Family Residential District

#### B. Zoning Permits Required:

- Variance, under Berkeley Municipal Code (BMC) Section 23.406.050, from BMC Section 23.202.080(D)(1) to allow a rear setback of 16 feet for the community center where 20 feet is required.
- Use Permit, under BMC Section 23.326.070(A), to demolish a non-residential main building.
- Use Permit, under BMC Section 23.202.020(A), to construct a community center.
- Administrative Use Permit, under Section 23.304.060(C)(1) to add an accessory building (restroom).

**C. CEQA Recommendation:** It is staff's recommendation that the project is categorically exempt pursuant to Section 15303 ("New Construction"). The determination is made by the Zoning Adjustments Board.

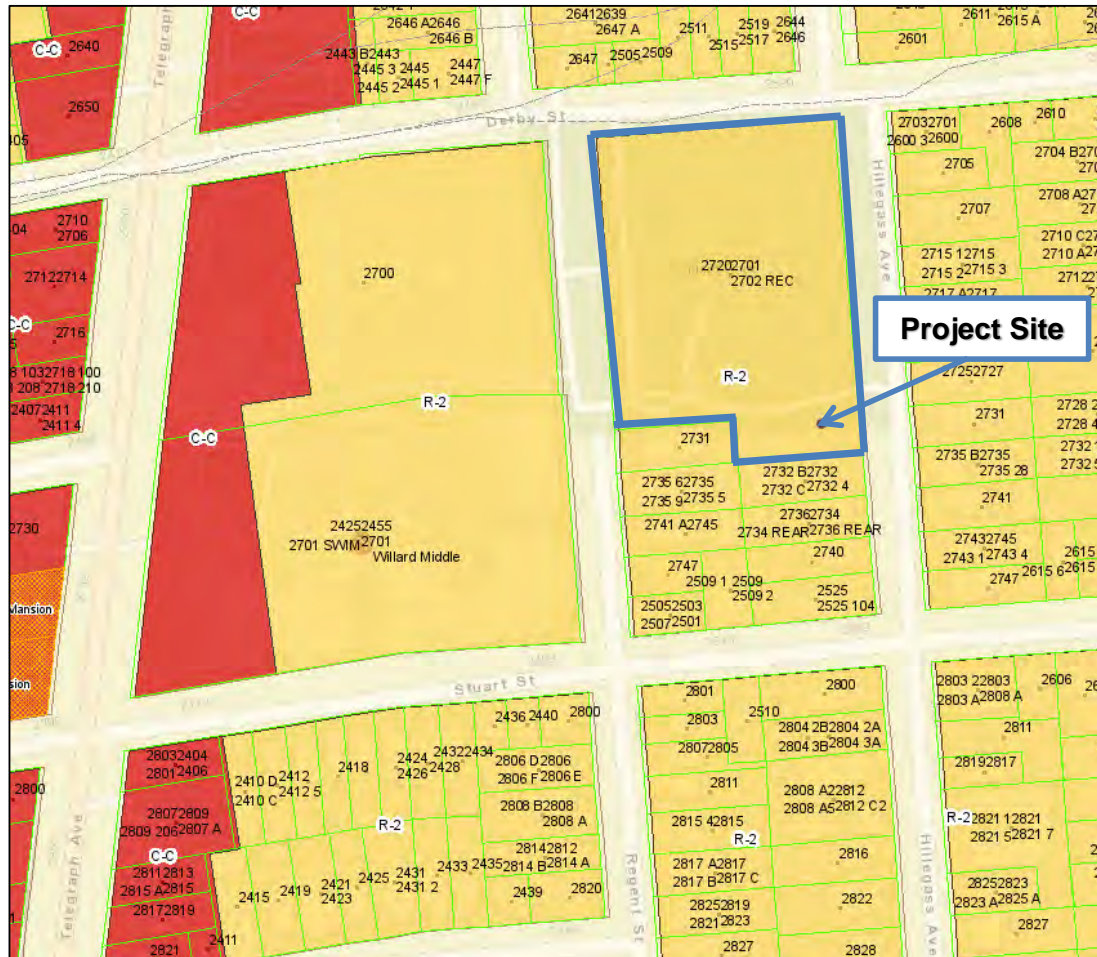
#### D. Parties Involved:

- Applicant Evelyn Chan, Supervising Civil Engineer  
City of Berkeley Parks, Recreation, and Waterfront  
Department  
1947 Center Street, 5<sup>th</sup> Floor, Berkeley
- Property Owner City of Berkeley  
2180 Milvia Street, Berkeley

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April 27, 2023

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Figure 1: Vicinity Map



**Legend**  
 R-2: Restricted Two-Family Residential District  
 C-C: Corridor Commercial District



Figure 2: Full Site Plan

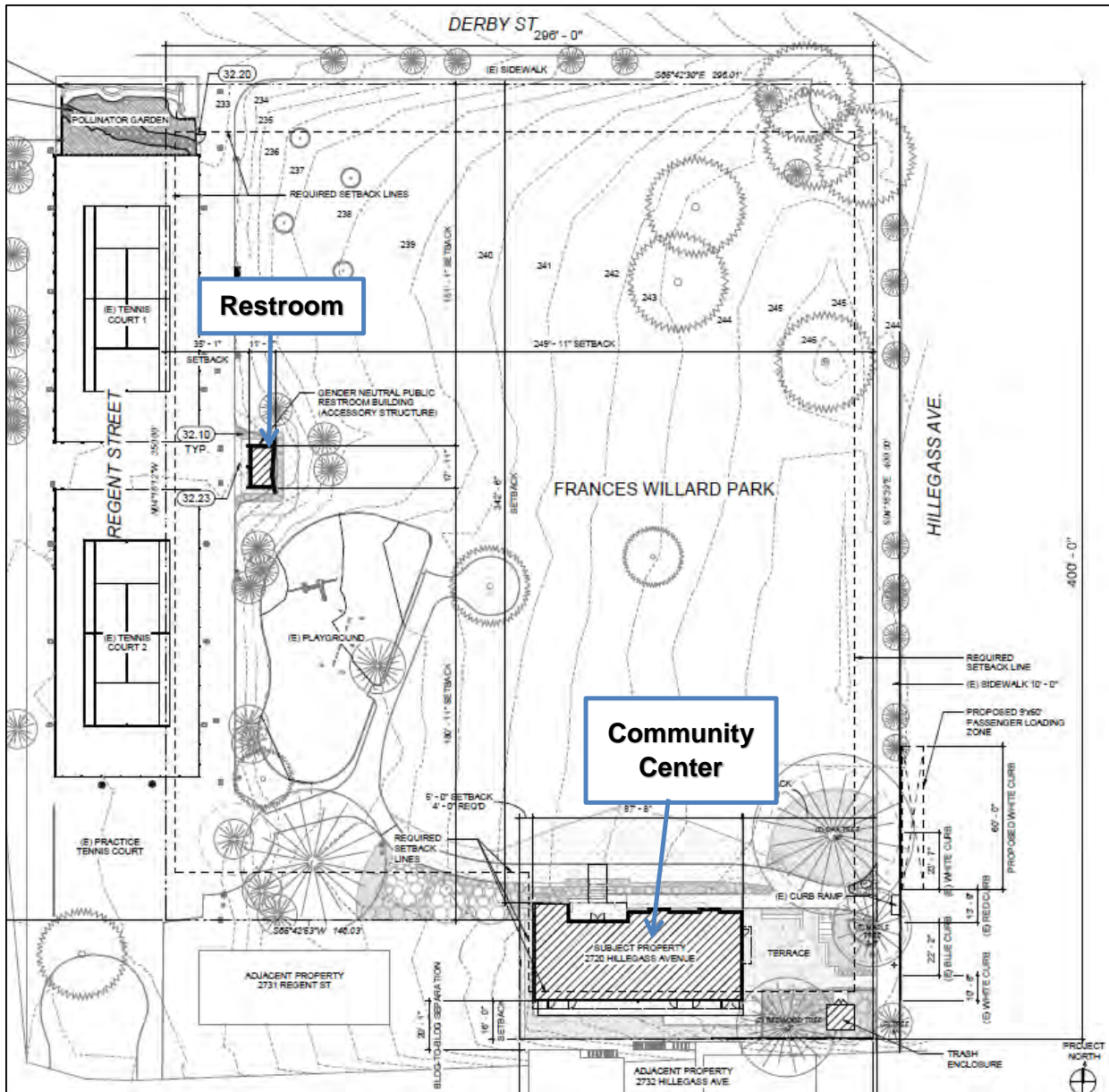


Figure 3: Enlarged Site Plan

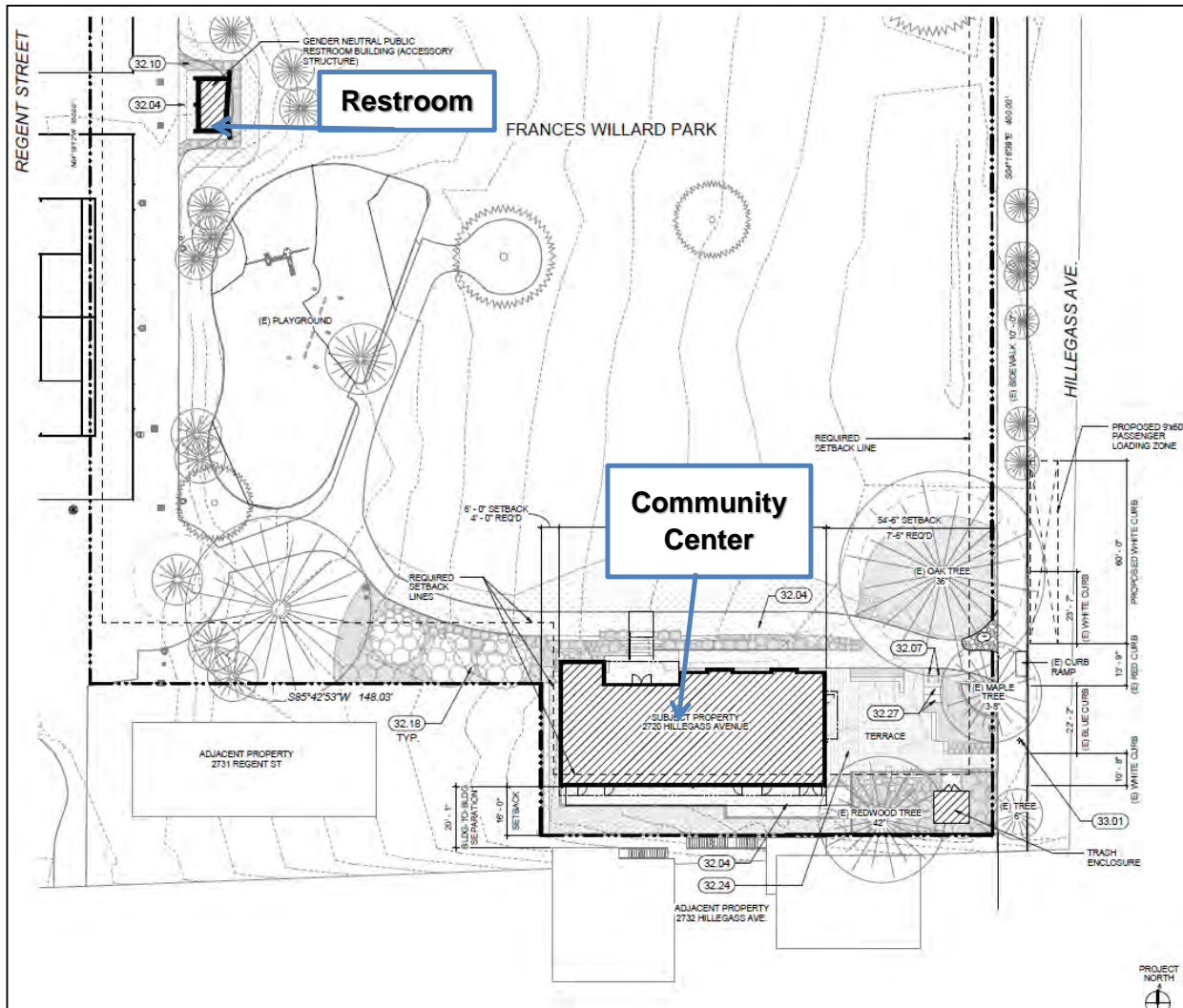


Figure 4: Community Center Floor Plan

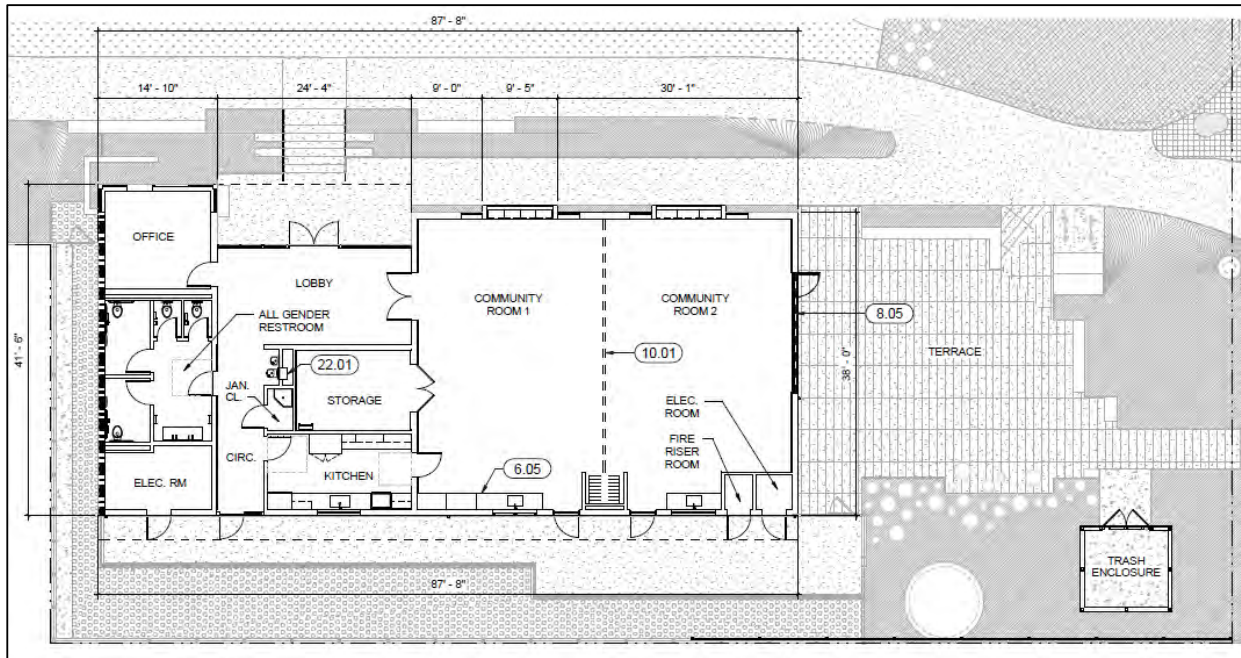
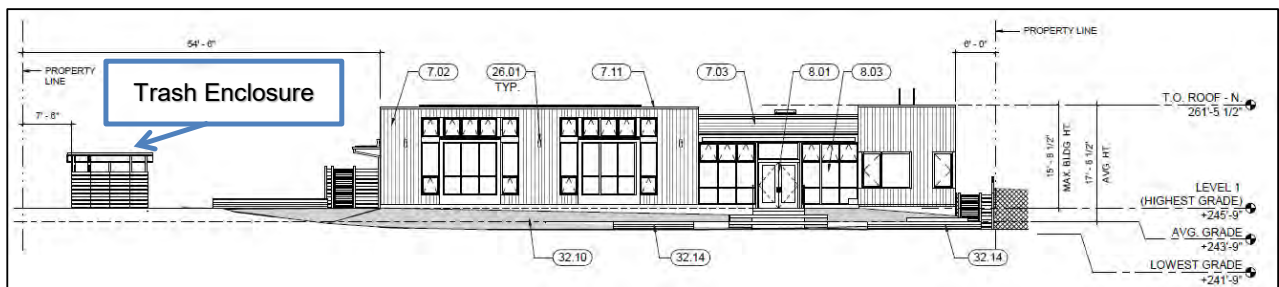
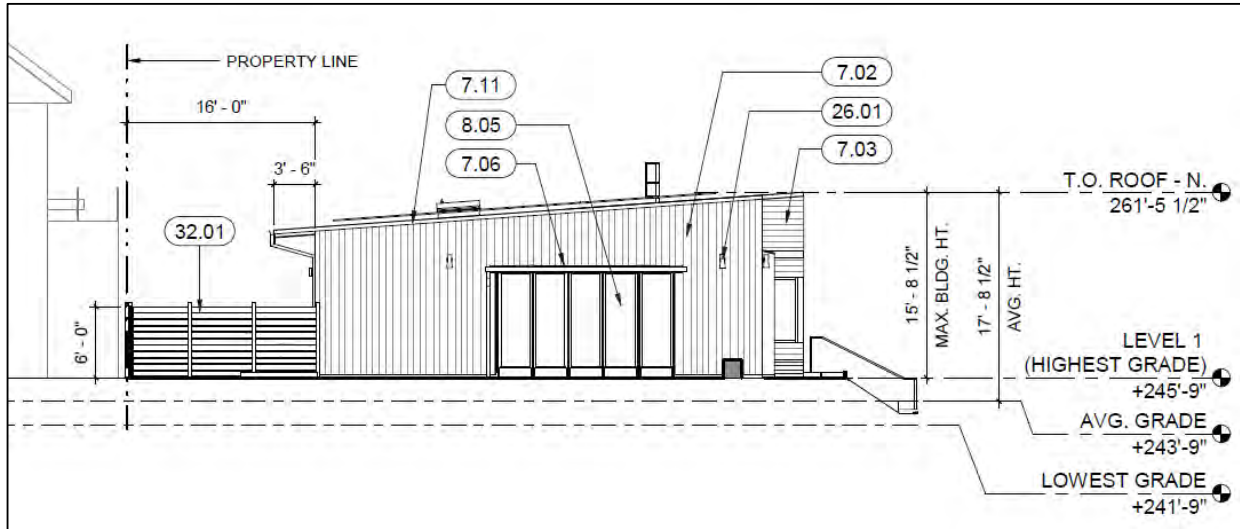


Figure 5: North Elevation



**Figure 6: East Elevation**



**Table 1: Land Use Information**

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Park	Restricted Two-Family Residential (R-2)	Open Space and Recreation
Surrounding Properties	North	Dwellings		Low Medium Density Residential
	South			Institutional
	East	Middle School		
West				



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Characteristic	Applies to Project?	Explanation
Affordable Child Care Fee for qualifying non-residential projects (Per Resolution 66,618-N.S.)	No	The proposed project includes construction of buildings with a net increase of 2,820 square feet of non-residential space, and therefore this project is not subject to these resolutions.
Affordable Housing Fee for qualifying non-residential projects (Per Resolution 66,617-N.S.)	No	
Affordable Housing Mitigations for rental housing projects (Per BMC 22.20.065)	No	Not applicable.
Creeks	No	The project site is not near a mapped creek or creek culvert.
Natural Gas Prohibition (Per BMC 12.80.020)	Yes	The project complies and is not proposing natural gas use.
Historic Resources	No	The project would involve demolition of the existing clubhouse and restroom. A historic resources evaluation (Rincon, September 2021) concluded that the existing clubhouse does not meet the criteria for the California Register or a City of Berkeley Landmark. See Section IV.C.
Residential Preferred Parking (RPP)	Yes	The project site is located within RPP zone B.
Seismic Hazards (SHMA)	No	The site is not located within an area susceptible to liquefaction, fault rupture, or landslides as shown on the State Seismic Hazard Zones map.
Soil/Groundwater Contamination	No	The project site is not located within the City's Environmental Management Area. Standard Conditions of Approval related to hazardous materials would apply.
Transit	Yes	The project site is served by multiple bus lines that operate along Telegraph Avenue and College Avenue.

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<b>Date</b>	<b>Action</b>
June 9, 2022	Application submitted
July 12, 2022	Application deemed incomplete
October 4, 2022	Resubmittal
November 3, 2022	Landmarks Preservation Commission Meeting
November 7, 2022	Application deemed incomplete
November 18, 2022	Resubmittal
December 16, 2022	Application deemed incomplete
December 23, 2022	Resubmittal
January 19, 2023	Application deemed incomplete
January 31, 2023	Resubmittal
March 6, 2023	Application deemed incomplete
March 21, 2023	Resubmittal
March 28, 2023	Application deemed complete
April 13, 2023	Public hearing notices mailed/posted
April 27, 2023	ZAB hearing

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Standard		Existing	Proposed Total	Permitted/ Required
BMC Sections 23.202.080 (R-2)				
Lot Area (sq. ft.)		118,500		5,000 min
Gross Floor Area (sq. ft.)		679	3,611 <sup>1</sup>	N/A
Floor Area Ratio		0.006	0.030	No max
Building Height	Average	11.75'	17'-8 1/2" community center 11'-11" restroom	28'
	Stories	1	1	3
Lot Line Setbacks (ft.) (community center)	Front (Derby Street)	357.17	342.5	20
	Rear	11.71	16 (Variance Requested)	20
	Left Street-Side (Hillegass Avenue)	21.05	54.5	7.5 <sup>2</sup>
	Right Side	87	6	4
Lot Coverage (%)		0.6	3	50% max
Usable Open Space (sq. ft.)		117,821	115,001	400/dwelling unit
Parking	Automobile	0	0	0 <sup>3</sup>

  = Variance to modify the standard.

## II. Project Setting

**A. Neighborhood/Area Description:** The project site is located east of Telegraph Avenue, and east of Willard Middle School. The area north, south, and east of Willard Park is residential, and consists predominantly of two- to three-story dwellings.

**B. Site Conditions:** The generally rectangular, 2.7-acre project site is a corner lot, with frontages on Derby Street and Hillegass Avenue. The Willard Park tennis courts occupy the Regent Street right-of-way, and a path west of the tennis courts connects Derby Street to the Regent Street cul-de-sac behind Willard Middle School. The site is currently developed with a clubhouse and attached restrooms at the southeast corner of the lot, and a playground east of the tennis courts and north of the clubhouse. Much of the park

<sup>1</sup> 3,301 square-foot community center, 198 square-foot restroom building, 112 square-foot covered trash enclosure.

<sup>2</sup> BMC Section 23.304.030(B)(1): For corner lots in the R-2 District with a rear lot line abutting a key lot, the minimum street side setback is half the front setback existing on the key lot.

<sup>3</sup> Parking not required per [AB-2097](#), effective January 1, 2023, which prohibits local jurisdictions from requiring minimum parking for most non-residential uses, including community centers.

is open space, with grass and mature trees. North of the clubhouse, along the Hillegass frontage, is a large oak tree. A large maple tree is east of the clubhouse and along Hillegass Avenue, and a large redwood tree is south of the clubhouse.

### III. Project Description

The proposed project would involve the demolition of the existing clubhouse and restrooms, and the construction of a new larger clubhouse in the southeast corner of the lot. The new clubhouse would include two community rooms, which could be combined into one room, a kitchen, restrooms, and an office. A covered trash enclosure would be added at the southeast corner of the lot. There would be a terrace east of the clubhouse, and new bicycle racks would be added between the terrace and the maple tree. A new restroom building would be added north of the playground and east of the tennis courts.

While the project was being reviewed in 2022, off-street parking was required, and a variance was requested to provide zero parking spaces. The applicant hired a consultant to prepare a Transportation Study to determine the number of parking spaces that should be required. The consultant recommended that a temporary on-street loading zone be added to accommodate drop-off and pick-up of children. The applicant planned to expand the existing 24-foot loading zone on Hillegass Avenue by 36 feet, to create a 60-foot on-street loading zone near the clubhouse. In 2023, AB 2097 went into effect, and off-street parking is no longer required. Since parking is no longer required, Land Use Planning will not be requiring an on-street loading zone. Parks staff may work with Public Works staff to add an on-street loading zone in the future.

### IV. Community Discussion

**A. Neighbor/Community Concerns:** Prior to submitting this application to the Land Use Planning Division, the applicant (Parks staff) invited members of the community, and owners and occupants within 1,000 feet of Willard Park, to five community meetings, held from 2019 through 2021, to receive presentations from staff and provide feedback. Meeting presentations, attendee lists, and Zoom chat logs are available on the Willard Clubhouse Project webpage (<https://berkeleyca.gov/your-government/our-work/capital-projects/willard-clubhouse-project>). The summary that outlines the pre-application contact was included with the initial submittal, and is included as Attachment 4. A pre-application poster was erected by the applicant in June 2022. While the application was being reviewed, staff received letters from the community concerned about the status of the project, noticing of the Zoning Adjustments Board (ZAB) meeting, and the demolition of the clubhouse. Land Use staff responded to questions and concerns about the Land Use process and ZAB, and Parks staff and the applicant team responded to questions and concerns in regards to the demolition of the clubhouse. Communications are included as Attachment 5. On April 13, 2023, the City mailed public hearing notices to property owners and occupants within 300 feet of the project site, and to interested neighborhood organizations, and the City posted notices within the neighborhood in three locations.

- B. Design Review Committee Review:** This project is not subject to review by the Design Review Committee because it is not located in a residential district that requires design review, or in a commercial or manufacturing district.
- C. Landmarks Preservation Commission Review:** The project involves demolition of a non-residential building over 40 years in age. Pursuant to BMC Section 23.326.070(C)(1), the proposed demolition was brought before the Landmarks Preservation Commission (LPC) for review. A historic resources evaluation of the property (Rincon Consultants, September, 2021) concluded that the existing clubhouse did not meet the criteria for the California/National Register or a City of Berkeley Landmark. At the November 3, 2022, LPC Meeting, the LPC took no action to initiate the property for local register consideration (i.e. Landmark or Structure of Merit designation), but did vote to forward to ZAB the following recommendations:
- (1) Salvage of the brass Frances Willard memorial plaque currently attached to the building and placement of it either on the new building, or elsewhere in the park;
  - (2) Photo documentation of the existing building and its context in the park, with copies of the photographs deposited in local historical / architectural repositories;
  - (3) Design the new clubhouse to serve in the same way as the existing club house as a low-key, perimeter and peripheral, built structure of the park, secondary to the open space, rather than a visually dominant building in the park (this recommendation does not presuppose or mandate any specific architectural 'style');
  - (4) Additionally, reflect the placement of the clubhouse to avoid intrusion of the new clubhouse building and its supporting spaces / structures into the large, informal, multi-purpose lawn area that is physically and conceptually "central" to the character of Willard Park;
  - (5) Design the new clubhouse to reflect the original in being a low-key "good neighbor", both in physical form and in function, to adjacent residential structures and their residents;
  - (6) Incorporate interpretive panels in park renovations to document and share Willard Park's history with the public (discussed on page 33 of the HRE). The interpretive panels should also incorporate information on more recent park design history and use beyond the 1960s/70s.

## V. Issues and Analysis

- A. Variance to Allow a Rear Setback of 16 Feet Where 20 Feet is Required:** Pursuant to BMC Section 23.202.080(D), Table 23.202-6, R-2 Setback and Building Separation Standards, the required main building rear setback is 20 feet. The proposed main building would have a setback of 16 feet. The applicant considered several design iterations and feasibility alternatives and found it necessary to request a Variance to the strict application of the 20-foot rear setback.

Pursuant to BMC Section 23.406.050(F), the Board must make all required Variance Findings to approve a Variance. The applicant submitted their reasons for the variance

request in support of the Findings. A summary of the Findings along with staff's recommended conclusions follows.

*Finding (a): "There are exceptional circumstances applying to the property which do not apply generally in the same district."*

The project site is unique in that it is the only City Park that serves Council District 7, and the clubhouse is the only community center for Council Districts 7 and 8. The park is shared with the City and Willard Junior High School through a joint agreement. The clubhouse and park is the site of a City of Berkeley after-school and summer day camp program for 45 children. The park is one of the few places in the area that provides City-owned public open space. It is 2.72 acres in size and features a clubhouse, restroom, playground, and a large lawn. There are several mature trees at the park, including a 36-inch Coast Live Oak tree. Per BMC Section 6.52.010 there is a moratorium on the removal of Coast Live Oaks. The need to preserve existing City trees, especially oak trees, and the need for public open space limits the location of the proposed community center. This Finding can be made.

*Finding (b): "The Variance is necessary to preserve a substantial property right."*

The applicant, City of Berkeley Parks, Recreation, and Waterfront Department, has proposed a clubhouse that is larger than the existing clubhouse so that more children may enroll in after-school and summer day camp programs. Currently, the adjacent concrete patio and open lawn area are used by after school and summer day camp programs, in addition to the clubhouse. The existing clubhouse has a rear setback of 11.72 feet, and the proposed clubhouse would have a rear setback of 16 feet. The new community center has been designed to provide more space for after-school and summer day camp programs, while also adhering to the other required setbacks, and preventing negative impacts to City trees. Since the land is publicly owned the goals of the project are multi-faceted. Parks are important for everyone, and after-school and summer day camp programs are important to area families. The City is rapidly densifying, and public open spaces are needed. The proposed 16-foot setback allows for a building that meets the needs of all park users, without damaging or removing large trees. This Finding can be made.

*Finding (c): "The Variance will not adversely affect the health or safety of persons residing or working near the property."*

The Variance would not adversely affect the health or safety of persons residing or working near the property since the new building would adhere to all requirements of the California Building Code, and all other applicable laws. The new clubhouse will allow after-school and summer camp programming to take place indoors, which will be beneficial in inclement weather, including when the outdoor air quality is poor due to wildfires. This Finding can be made.

*Finding (d): "The Variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements"*

The new clubhouse would be compatible in terms of building height and the quality of materials with other buildings in the immediate neighborhood and therefore would not be materially detrimental to the neighborhood in terms of views, light, or air impacts. The new clubhouse would not cast shadows onto nearby residences, and at one story would be lower in height than area residences. This Finding can be made.

*Finding (e): "The Variance will promote the municipal health, welfare, and safety and benefit the city as a whole."*

The 16-foot rear setback reduces the impact of the new building on the open lawn area. A 20-foot setback would increase the encroachment of the new clubhouse into the open lawn area. The variance for the setback allows for a one-story building that can be used for a variety of programmatic needs, including childcare, and preserves open space and large trees. This Finding can be met.

*Finding (f): "Any other Variance findings required by Zoning Ordinance can be made."*

This Finding is not applicable to the Variance request.

- B. Demolition of Existing Non-Residential Building:** The proposed project includes the demolition of the existing clubhouse and restroom on the site. Pursuant to BMC Section 23.326.070, the demolition of a non-residential building requires ZAB approval. In addition, pursuant to BMC Section 23.326.070(C), an application for a permit to demolish a non-residential building or structure which is 40 or more years old must be forwarded to the LPC for review prior to the consideration of the use permit. As noted above in Section IV.C, at a duly noticed hearing, the LPC reviewed the demolition referral and took no action to initiate a local historic designation.

Pursuant to BMC 23.326.070(D), the demolition of the non-residential building would not be materially detrimental to the commercial and public interest of any affected neighborhood in the city. The new clubhouse would replace the existing 565 square foot clubhouse with a new 3,301 square-foot building for childcare and community use, and the new restroom building would replace the existing 114 square-foot restroom with a new 198 square-foot building near the tennis courts, a location that is preferred by staff and the community (based on surveys and public meetings). Overall, demolition of the buildings would allow redevelopment of the park, while also meeting the needs of a variety of users, and preserving existing open space and trees.

Therefore, staff believes that ZAB can make the required finding that demolition would be necessary to allow construction of the proposed clubhouse, subject to the condition of approval allowing demolition of the existing buildings only after complete construction plans are submitted to the City for the replacement buildings.

- C. New Accessory Building:** The proposed project includes a request to add a new accessory building (the detached restroom). Pursuant to BMC Section 23.304.060(C)(1) an Administrative Use Permit is required to add a new accessory building. An existing bench would be removed to add the new restroom near the tennis courts, but there would be no impacts to the existing trees and lawn. The building would comply with the accessory building development standards, and would have a right-side setback of 35 feet.
- D. General Non-Detriment Finding:** Pursuant to BMC Section 23.406.040(E)(1) ZAB must find that the project, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or visiting in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City. The project is subject to the City's standard conditions of approval regarding construction noise and air quality, waste diversion, toxics, and stormwater requirements as well as any other project specific conditions. These standard conditions would ensure that the project would satisfy this finding. An analysis of sunlight/shadows, air, and views for the new building follows:

Finding 1: Sunlight/Shadow: Shadow studies submitted by the applicant document the addition's projected shadow angles and lengths at three times throughout the day during the summer and winter solstice. The studies show that the new building would not shade any nearby dwellings.

Finding 2: Air: The existing building has a rear setback of 11 feet 8 inches. The proposed building would not comply with the required 20-foot rear setback, but the proposed rear setback would be greater than the existing setback. The proposed clubhouse and restroom building would comply with all other required setbacks. Therefore, there would be minimal, if any, air impacts.

Finding 3: Views: The new building would not result in obstruction of significant views in the neighborhood as defined in BMC Section 23.502 (Glossary). This neighborhood is generally flat and developed with multi-story buildings that filter or obscure views that may be available of the Berkeley hills or the Golden Gate Bridge from off-site view angles.

- E. General Plan Consistency:** The 2002 General Plan contains several policies applicable to the project, including the following:
1. Policy LU-7–Neighborhood Quality of Life, Action A: Require that new development be consistent with zoning standards and compatible with the scale, historic character, and surrounding uses in the area.

Staff Analysis: The project would add a clubhouse that has a larger footprint than the existing clubhouse, but is still one-story and located at the far corner of the park, which will maintain the existing public open space. The project would meet



zoning standards, except at the rear setback, but would still be compatible with the scale, historic character, and surrounding uses in the area, as the large open space area will be maintained.

2. Policy LU-13– Basic Goods and Services, Action C: Encourage a range of child-care facilities, including family child-care homes, public and private childcare centers, and recreation centers.

Staff Analysis: The proposed clubhouse will be larger than the existing clubhouse and would allow the City to enroll more children in after-school and summer day camp programs.

3. Policy UD-16–Context: The design and scale of new or remodeled buildings should respect the built environment in the area, particularly where the character of the built environment is largely defined by an aggregation of historically and architecturally significant buildings.
4. Policy UD-24–Area Character: Regulate new construction and alterations to ensure that they are truly compatible with and, where feasible, reinforce the desirable design characteristics of the particular area they are in.

Staff Analysis: The design and scale of the new clubhouse would be compatible with the existing residential environment, and would not impede on existing mature trees and open space.

## VI. Recommendation

Because of the project's consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Zoning Adjustments Board:

APPROVE #ZP2022-0095 pursuant to Section 23.406.040 and subject to the attached Findings and Conditions (see Attachment 1).

### Attachments:

1. Findings and Conditions
2. Project Plans, received April 7, 2023
3. Notice of Public Hearing
4. Pre-Application Community Contact Summary
5. Correspondence Received

### Staff Planner:

Allison Riemer, [ariemer@cityofberkeley.info](mailto:ariemer@cityofberkeley.info), (510) 981-7433

# ATTACHMENT 1

## FINDINGS AND CONDITIONS

APRIL 27, 2023

### 2720 Hillegass Avenue– Willard Park

**Use Permit #ZP2022-0095 to demolish the existing clubhouse and restroom, construct a 3,301 square-foot single-story (18 feet) community center with a variance for a rear setback of 16 feet where 20 feet is required, and add a new single-story restroom building (12 feet).**

#### PERMITS REQUIRED

- Variance, under Berkeley Municipal Code (BMC) Section 23.406.050, from BMC Section 23.202.080(D)(1) to allow a rear setback of 16 feet for the community center where 20 feet is required.
- Use Permit, under BMC Section 23.326.070(A), to demolish a non-residential main building.
- Use Permit, under BMC Section 23.202.020(A), to construct a community center.
- Administrative Use Permit, under Section 23.304.060(C)(1) to add an accessory building (restroom).

#### I. CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15303 of the CEQA Guidelines (“New Construction”).
2. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.

#### II. FINDINGS FOR APPROVAL

1. As required by Section 23.406.040(E)(1) of the BMC, the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
  - A. The project is subject to the City’s standard conditions of approval regarding construction noise and air quality, waste diversion, toxics, and stormwater requirements as well as any other project specific conditions. These standard conditions will ensure the project will not be detrimental to adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City.

- B. Shadow studies submitted by the applicant document the addition's projected shadow angles and lengths at three times throughout the day during the summer and winter solstice. The studies show that the new building would not shade any nearby dwellings.
- C. The existing building has a rear setback of 11 feet 8 inches. The proposed building will not comply with the required 20-foot rear setback, but the proposed rear setback will be greater than the existing setback. The proposed clubhouse and restroom building will comply with all other required setbacks.
- D. The new clubhouse will not result in obstruction of significant views in the neighborhood as defined in BMC Section 23.502 (Glossary). This neighborhood is generally flat and developed with multi-story buildings that filter or obscure views that may be available of the Berkeley hills or the Golden Gate Bridge from off-site view angles.
- E. The existing oak, maple, redwood trees near the clubhouse will be retained.

### III. OTHER FINDINGS FOR APPROVAL

2. As required by Section 23.406.050(F) of the BMC, the, the Zoning Adjustments Board finds that the Variance from BMC Section 23.202.080(D) to allow a rear setback of 16 feet where 20 feet is required in the R-2 District is permissible because:
  - A. There are exceptional circumstances applying to the property which do not apply generally in the same district: The project site is unique in that it is the only City Park that serves Council District 7, and the clubhouse is the only community center for Council Districts 7 and 8. The park is shared with the City and Willard Junior High School through a joint agreement. The clubhouse and park is the site of a City of Berkeley after-school and summer day camp program for 45 children. The park is one of the few places in the area that provides City-owned public open space. It is 2.72 acres in size and features a clubhouse, restroom, playground, and a large lawn. There are several mature trees at the park, including a 36-inch Coast Live Oak tree. Per BMC Section 6.52.010 there is a moratorium on the removal of Coast Live Oaks. The need to preserve existing City trees, especially oak trees, and the need for public open space limits the location of the proposed community center.
  - B. The Variance is necessary to preserve a substantial property right: The applicant, City of Berkeley Parks, Recreation, and Waterfront Department, has proposed a clubhouse that is larger than the existing clubhouse so that more children may enroll in after-school and summer day camp programs. Currently, the adjacent concrete patio and open lawn area are used by after school and summer day camp programs, in addition to the clubhouse. The existing clubhouse has a rear setback of 11.72 feet, and the proposed clubhouse would have a rear setback of 16 feet. The new community center has been designed to provide more space for after-school and summer day camp programs, while also adhering to the other required setbacks, and preventing negative impacts to City trees. Since the land is publicly owned the goals of the project are multi-faceted. Parks are important for everyone, and after-school and summer day camp programs are important to area families. The City is rapidly densifying, and public open spaces are needed. The proposed 16-foot setback allows for a building that meets the needs of all park users, without damaging or removing large trees.
  - C. The Variance will not adversely affect the health or safety of persons residing or working near the property: The Variance would not adversely affect the health or safety of persons residing or working near the property since the new building would adhere to all requirements of the California Building Code, and all other applicable laws. The new clubhouse will allow after-school and summer camp programming to take place indoors,

which will be beneficial in inclement weather, including when the outdoor air quality is poor due to wildfires.

- D. The Variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements: The new clubhouse would be compatible in terms of building height and the quality of materials with other buildings in the immediate neighborhood and therefore would not be materially detrimental to the neighborhood in terms of views, light, or air impacts. The new clubhouse would not cast shadows onto nearby residences, and at one story would be lower in height than area residences.
3. As required by Section 23.326.070 of the BMC, the Zoning Adjustments Board finds that the proposed demolition of the non-residential buildings is permissible because:
- A. At a duly noticed hearing, the Landmarks Preservation Commission (LPC) reviewed a demolition referral for the existing clubhouse and took no action to initiate a local historic designation.
  - B. The demolition of the clubhouse and restroom is not materially detrimental to the commercial and public interest of any affected neighborhood in the City. The new clubhouse would replace the existing 565 square foot clubhouse with a new 3,301 square-foot building for childcare and community use, and the new restroom building would replace the existing 114 square-foot restroom with a new 198 square-foot building near the tennis courts, a location that is preferred by staff and the community (based on surveys and public meetings).
  - C. Overall, demolition of the buildings will allow redevelopment of the park, while also meeting the needs of a variety of users, and preserving existing open space and trees.
  - D. Demolition is necessary to allow construction of the proposed buildings given the inclusion of a condition of approval that allows demolition of the existing buildings only after complete construction plans are submitted to the City for the replacement buildings (COA #12).
4. As required by Section 23.304.060(C)(1) of the BMC, the Zoning Adjustments Board finds that the request to construct an accessory building is permissible because:
- A. An existing bench would be removed to add the new restroom near the tennis courts, but there would be no impacts to the existing trees and lawn.
  - B. The building would comply with the accessory building development standards, and would have a right-side setback of 35 feet.

**IV. STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS**

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

**1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions.' *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

**2. Compliance Required (BMC Section 23.102.050)**

All land uses and structures in Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations. Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.

**3. Approval Limited to Proposed Project and Replacement of Existing Uses (BMC Sections 23.404.060.B.1 and 2)**

- A. This Permit authorizes only the proposed project described in the application. In no way does an approval authorize other uses, structures or activities not included in the project description.
- B. When the City approves a new use that replaces an existing use, any prior approval of the existing use becomes null and void when permits for the new use are exercised (e.g., building permit or business license issued). To reestablish the previously existing use, an applicant must obtain all permits required by the Zoning Ordinance for the use.

**4. Conformance to Approved Plans (BMC Section 23.404.060.B.4)**

All work performed under an approved permit shall be in compliance with the approved plans and any conditions of approval.

**5. Exercise and Expiration of Permits (BMC Section 23.404.060.C)**

- A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.
- B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.
- C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the ZAB in accordance with Chapter 23.410 (Appeals and Certification).
- D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.

**6. Permit Remains Effective for Vacant Property (BMC Section 23.404.060.D)**

Once a Permit for a use is exercised and the use is established, the permit authorizing the use remains effective even if the property becomes vacant. The same use as allowed by the original permit may be re-established without obtaining a new permit, except as set forth in Standard Condition #5 above.

**7. Permit Modifications (BMC Section 23.404.070)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Board. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project.

**8. Permit Revocation (BMC Section 23.404.080)**

The City may revoke or modify a discretionary permit for completed projects due to: 1) violations of permit requirements; 2) Changes to the approved project; and/or 3) Vacancy for one year or more. However, no lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Zoning Officer, Zoning Adjustments Board (ZAB), or City Council referral.

**9. Indemnification Agreement**

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

**V. ADDITIONAL CONDITIONS IMPOSED BY THE ZONING ADJUSTMENTS BOARD**

Pursuant to BMC 23.404.050(H), the Zoning Adjustments Board attaches the following additional conditions to this Permit:



that: (1) are in the Environmental Management Area (EMA) and (2) propose any excavations deeper than 5 feet below grade. The SGMP shall be site specific and identify procedures for soil and groundwater management including identification of pollutants and disposal methods. The SGMP will identify permits required and comply with all applicable local, state and regional requirements.

- 2) The SGMP shall require notification to TMD of any hazardous materials found in soils and groundwater during development. The SGMP will provide guidance on managing odors during excavation. The SGMP will provide the name and phone number of the individual responsible for implementing the SGMP and post the name and phone number for the person responding to community questions and complaints.
  - 3) TMD may impose additional conditions as deemed necessary. All requirements of the approved SGMP shall be deemed conditions of approval of this Use Permit.
- C. Building Materials Survey:
- 1) Prior to approving any permit for partial or complete demolition and renovation activities involving the removal of 20 square or lineal feet of interior or exterior walls, a building materials survey shall be conducted by a qualified professional. The survey shall include, but not be limited to, identification of any lead-based paint, asbestos, polychlorinated biphenyl (PBC) containing equipment, hydraulic fluids in elevators or lifts, refrigeration systems, treated wood and mercury containing devices (including fluorescent light bulbs and mercury switches). The Survey shall include plans on hazardous waste or hazardous materials removal, reuse or disposal procedures to be implemented that fully comply state hazardous waste generator requirements (22 California Code of Regulations 66260 et seq). The Survey becomes a condition of any building or demolition permit for the project. Documentation evidencing disposal of hazardous waste in compliance with the survey shall be submitted to TMD within 30 days of the completion of the demolition. If asbestos is identified, Bay Area Air Quality Management District Regulation 11-2-401.3 a notification must be made and the J number must be made available to the City of Berkeley Permit Service Center.
- D. Hazardous Materials Business Plan:
- 1) A Hazardous Materials Business Plan (HMBP) in compliance with BMC Section 15.12.040 shall be submitted electronically at <http://cers.calepa.ca.gov/> within 30 days if on-site hazardous materials exceed BMC 15.20.040. HMBP requirement can be found at <http://ci.berkeley.ca.us/hmr/>

### **Prior to Issuance of Any Building (Construction) Permit**

15. **HVAC Noise Reduction.** Prior to the issuance of building permits, the project applicant shall submit plans that show the location, type, and design of proposed heating, ventilation, and cooling (HVAC) equipment. In addition, the applicant shall provide product specification sheets or a report from a qualified acoustical consultant showing that operation of the proposed HVAC equipment will meet the City's exterior noise requirements in BMC Section 13.40.050. The City's Planning and Development Department shall review the submitted plans, including the selected HVAC equipment, to verify compliance with exterior noise standards.
16. **Solar Photovoltaic (Solar PV) and Battery Energy Storage Systems (ESS).** A solar PV system shall be installed, subject to specific limited exceptions, as specified by the Berkeley Energy Code (BMC Chapter 19.36). Energy storage system (ESS) readiness (new single-family, duplex, and townhouse homes) or ESS installation (new multifamily and most nonresidential buildings)



shall be completed as specified by BMC Chapter 19.36. Location of the solar PV system and the ESS, if applicable, shall be noted on the construction plans.

17. Water Efficient Landscaping. Landscaping, totaling 500 square feet of more of new landscaping or 2,500 square feet or more of renovated irrigated area, shall comply with the State's Model Water Efficient Landscape Ordinance (MWELo). MWELo-compliant landscape documentation including a planting, grading, and irrigation plan shall be included in site plans. Water budget calculations are also required for landscapes of 2,500 square feet or more and shall be included in site plans. The reference evapotranspiration rate (ET<sub>o</sub>) for Berkeley is 41.8.
18. Prohibition of Natural Gas Infrastructure in New Buildings. The project shall comply with the City of Berkeley Prohibition of Natural Gas Infrastructure in New Buildings (BMC Chapter 12.80). The building permit plan set submission shall both include a cover sheet declaration: 'Natural Gas-Free Design as required by BMC Chapter 12.80.
19. Recycling and Organics Collection. Applicant shall provide recycling and organics collection areas for occupants, clearly marked on site plans, which comply with the Alameda County Mandatory Recycling Ordinance (ACWMA Ordinance 2012-01).
20. Public Works ADA. Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.

#### **During Construction:**

21. Construction Hours. Construction activity shall be limited to between the hours of 8:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and Noon on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.
22. Public Works - Implement BAAQMD-Recommended Measures during Construction. For all proposed projects, BAAQMD recommends implementing all the Basic Construction Mitigation Measures, listed below to meet the best management practices threshold for fugitive dust:
  - A. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
  - B. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
  - C. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
  - D. All vehicle speeds on unpaved roads shall be limited to 15 mph.
  - E. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
  - F. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
  - G. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.

- H. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
23. Construction and Demolition Diversion. Divert debris according to your plan and collect required documentation. Get construction debris receipts from sorting facilities in order to verify diversion requirements. Upload recycling and disposal receipts if using [Green Halo](#) and submit online for City review and approval prior to final inspection. Alternatively, complete the second page of the original [Construction Waste Management Plan](#) and present it, along with your construction debris receipts, to the Building Inspector by the final inspection to demonstrate diversion rate compliance. The Zoning Officer may request summary reports at more frequent intervals, as necessary to ensure compliance with this requirement.
24. Low-Carbon Concrete. The project shall maintain compliance with the Berkeley Green Code (BMC Chapter 19.37) including use of concrete mix design with a cement reduction of at least 25%. Documentation on concrete mix design shall be available at all times at the construction site for review by City Staff.
25. Transportation Construction Plan. The applicant and all persons associated with the project are hereby notified that a Transportation Construction Plan (TCP) is required for all phases of construction, particularly for the following activities:
- Alterations, closures, or blockages to sidewalks, pedestrian paths or vehicle travel lanes (including bicycle lanes);
  - Storage of building materials, dumpsters, debris anywhere in the public ROW;
  - Provision of exclusive contractor parking on-street; or
  - Significant truck activity.

The applicant shall secure the City Traffic Engineer's approval of a TCP. Please contact the Office of Transportation at 981-7010, or 1947 Center Street, and ask to speak to a traffic engineer. In addition to other requirements of the Traffic Engineer, this plan shall include the locations of material and equipment storage, trailers, worker parking, a schedule of site operations that may block traffic, and provisions for traffic control. The TCP shall be consistent with any other requirements of the construction phase.

Contact the Permit Service Center (PSC) at 1947 Center Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood. A current copy of this Plan shall be available at all times at the construction site for review by City Staff.

26. Avoid Disturbance of Nesting Birds. Initial site disturbance activities, including vegetation and concrete removal, shall be prohibited during the general avian nesting season (February 1 to August 30), if feasible. If nesting season avoidance is not feasible, the applicant shall retain a qualified biologist to conduct a preconstruction nesting bird survey to determine the presence/absence, location, and activity status of any active nests on or adjacent to the project site. The extent of the survey buffer area surrounding the site shall be established by the qualified

biologist to ensure that direct and indirect effects to nesting birds are avoided. To avoid the destruction of active nests and to protect the reproductive success of birds protected by the MBTA and CFGC, nesting bird surveys shall be performed not more than 14 days prior to scheduled vegetation and concrete removal. In the event that active nests are discovered, a suitable buffer (typically a minimum buffer of 50 feet for passerines and a minimum buffer of 250 feet for raptors) shall be established around such active nests and no construction shall be allowed inside the buffer areas until a qualified biologist has determined that the nest is no longer active (e.g., the nestlings have fledged and are no longer reliant on the nest). No ground-disturbing activities shall occur within this buffer until the qualified biologist has confirmed that breeding/nesting is completed and the young have fledged the nest. Nesting bird surveys are not required for construction activities occurring between August 31 and January 31.

27. Archaeological Resources (Ongoing throughout demolition, grading, and/or construction). Pursuant to CEQA Guidelines section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:
- A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
  - B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
  - C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
  - D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
  - E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.
28. Human Remains (Ongoing throughout demolition, grading, and/or construction). In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to Section 15064.5 (e)(1) of the CEQA Guidelines. If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of Section 7050.5 of the Health and Safety Code, and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.

- 29. Paleontological Resources (Ongoing throughout demolition, grading, and/or construction).** In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.
- 30. Halt Work/Unanticipated Discovery of Tribal Cultural Resources.** In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.
- 31. Stormwater Requirements.** The applicant shall demonstrate compliance with the requirements of the City's National Pollution Discharge Elimination System (NPDES) permit as described in BMC Section 17.20. The following conditions apply:
- A. The project plans shall identify and show site-specific Best Management Practices (BMPs) appropriate to activities conducted on-site to limit to the maximum extent practicable the discharge of pollutants to the City's storm drainage system, regardless of season or weather conditions.
  - B. Trash enclosures and/or recycling area(s) shall be covered; no other area shall drain onto this area. Drains in any wash or process area shall not discharge to the storm drain system; these drains should connect to the sanitary sewer. Applicant shall contact the City of Berkeley and EBMUD for specific connection and discharge requirements. Discharges to the sanitary sewer are subject to the review, approval and conditions of the City of Berkeley and EBMUD.
  - C. Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration and minimize the use of fertilizers and pesticides that contribute to stormwater pollution. Where feasible, landscaping should be designed and operated to treat runoff. When and where possible, xeriscape and drought tolerant plants shall be incorporated into new development plans.
  - D. Design, location and maintenance requirements and schedules for any stormwater quality treatment structural controls shall be submitted to the Department of Public Works for review with respect to reasonable adequacy of the controls. The review does not relieve the property owner of the responsibility for complying with BMC Chapter 17.20 and future revisions to the City's overall stormwater quality ordinances. This review shall be conducted prior to the issuance of a Building Permit.

- E. All paved outdoor storage areas must be designed to reduce/limit the potential for runoff to contact pollutants.
  - F. All on-site storm drain inlets/catch basins must be cleaned at least once a year immediately prior to the rainy season. The property owner shall be responsible for all costs associated with proper operation and maintenance of all storm drainage facilities (pipelines, inlets, catch basins, outlets, etc.) associated with the project, unless the City accepts such facilities by Council action. Additional cleaning may be required by City of Berkeley Public Works Engineering Dept.
  - G. All on-site storm drain inlets must be labeled "No Dumping – Drains to Bay" or equivalent using methods approved by the City.
  - H. Most washing and/or steam cleaning must be done at an appropriately equipped facility that drains to the sanitary sewer. Any outdoor washing or pressure washing must be managed in such a way that there is no discharge or soaps or other pollutants to the storm drain. Sanitary connections are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
  - I. All loading areas must be designated to minimize "run-on" or runoff from the area. Accumulated waste water that may contribute to the pollution of stormwater must be drained to the sanitary sewer or intercepted and pretreated prior to discharge to the storm drain system. The property owner shall ensure that BMPs are implemented to prevent potential stormwater pollution. These BMPs shall include, but are not limited to, a regular program of sweeping, litter control and spill cleanup.
  - J. Sidewalks and parking lots shall be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry to the storm drain system. If any cleaning agent or degreaser is used, wash water shall not discharge to the storm drains; wash waters should be collected and discharged to the sanitary sewer. Discharges to the sanitary sewer are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
  - K. The applicant is responsible for ensuring that all contractors and sub-contractors are aware of and implement all stormwater quality control measures. Failure to comply with the approved construction BMPs shall result in the issuance of correction notices, citations, or a project stop work order.
- 32. Public Works.** All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
- 33. Public Works.** The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
- 34. Public Works.** The project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season to prevent on-site soils from being washed off-site and into the storm drain system. The project sponsor shall comply with all City ordinances regarding construction and grading.
- 35. Public Works.** Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department. The applicant shall

be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

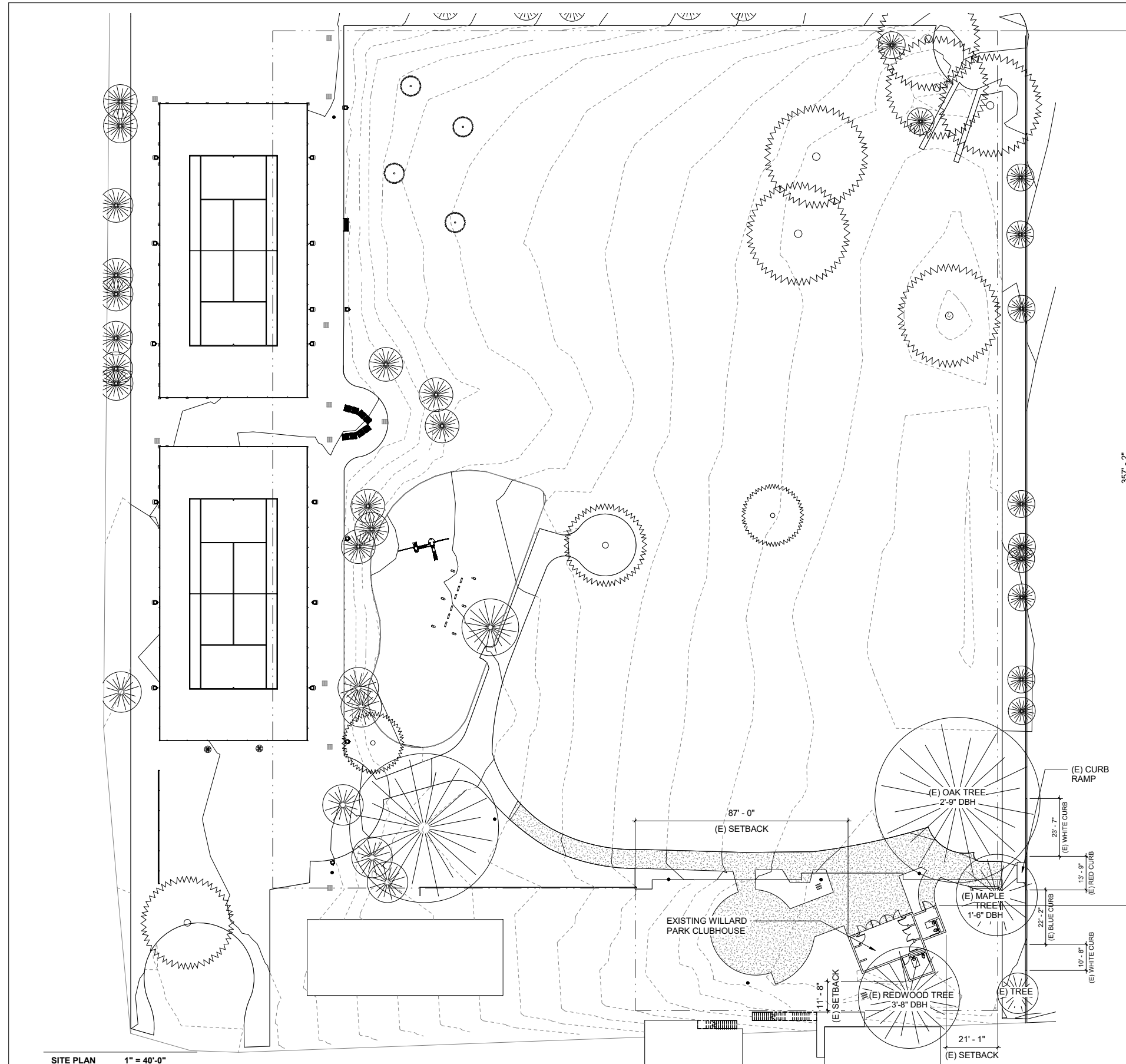
36. Public Works. The removal or obstruction of any fire hydrant shall require the submission of a plan to the City's Public Works Department for the relocation of the fire hydrant during construction.
37. Public Works. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

**Prior to Final Inspection or Issuance of Occupancy Permit:**

38. Compliance with Conditions. The project shall conform to the plans and statements in the Use Permit. The developer is responsible for providing sufficient evidence to demonstrate compliance with the requirements throughout the implementation of this Use Permit.
39. Compliance with Approved Plan. The project shall conform to the plans and statements in the Use Permit. All landscape, site and architectural improvements shall be completed per the attached approved drawings received April 7, 2023, except as modified by conditions of approval.

**At All Times:**

40. Exterior Lighting. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
41. Rooftop Projections. No additional rooftop or elevator equipment shall be added to exceed the approved maximum roof height without submission of an application for a Use Permit Modification, subject to Board review and approval.
42. Drainage Patterns. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.



SITE PLAN 1" = 40'-0"

**els** architecture+urban design

2040 Addison St, Berkeley, CA 94704  
510.549.2929 | elsarch.com

PROJECT:

**WILLARD PARK CLUBHOUSE**

2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:

ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:

201320.27

CLIENT:

CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:

ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION

NUMBER	DATE	DESCRIPTION

ISSUE:

ZONING SUBMITTAL

DATE:

03/20/2023

STAMP:

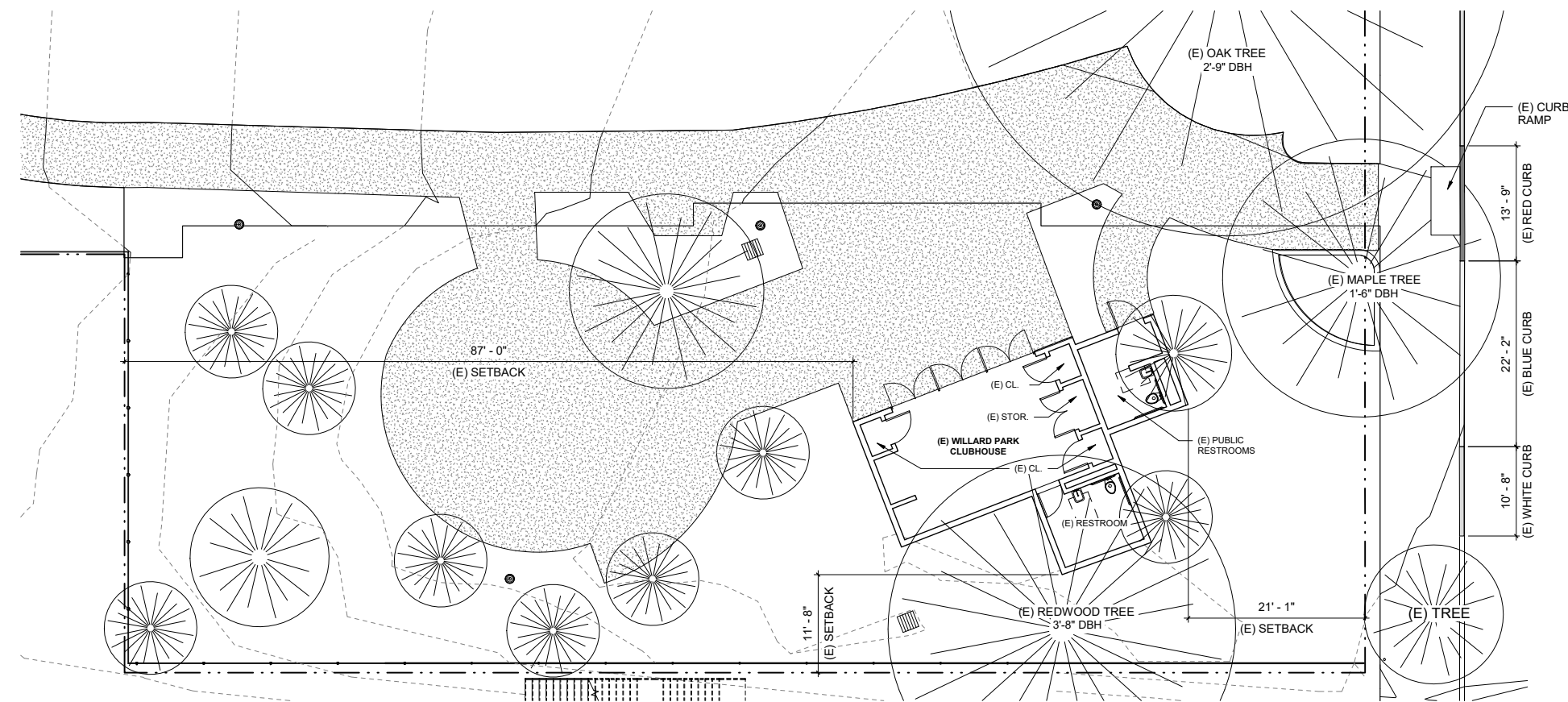


SHEET TITLE:

**EXISTING SITE PLAN**

SHEET NUMBER:

**Z2-A1**



1 EXISTING FLOOR PLAN  
1/16" = 1'-0"

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PROJECT:

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CLIENT:

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STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:

ARCHITECT:  
ELS ARCHITECTURE AND  
URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION

NUMBER	DATE	DESCRIPTION

ISSUE:

ZONING SUBMITTAL

DATE:

03/20/2023

STAMP:



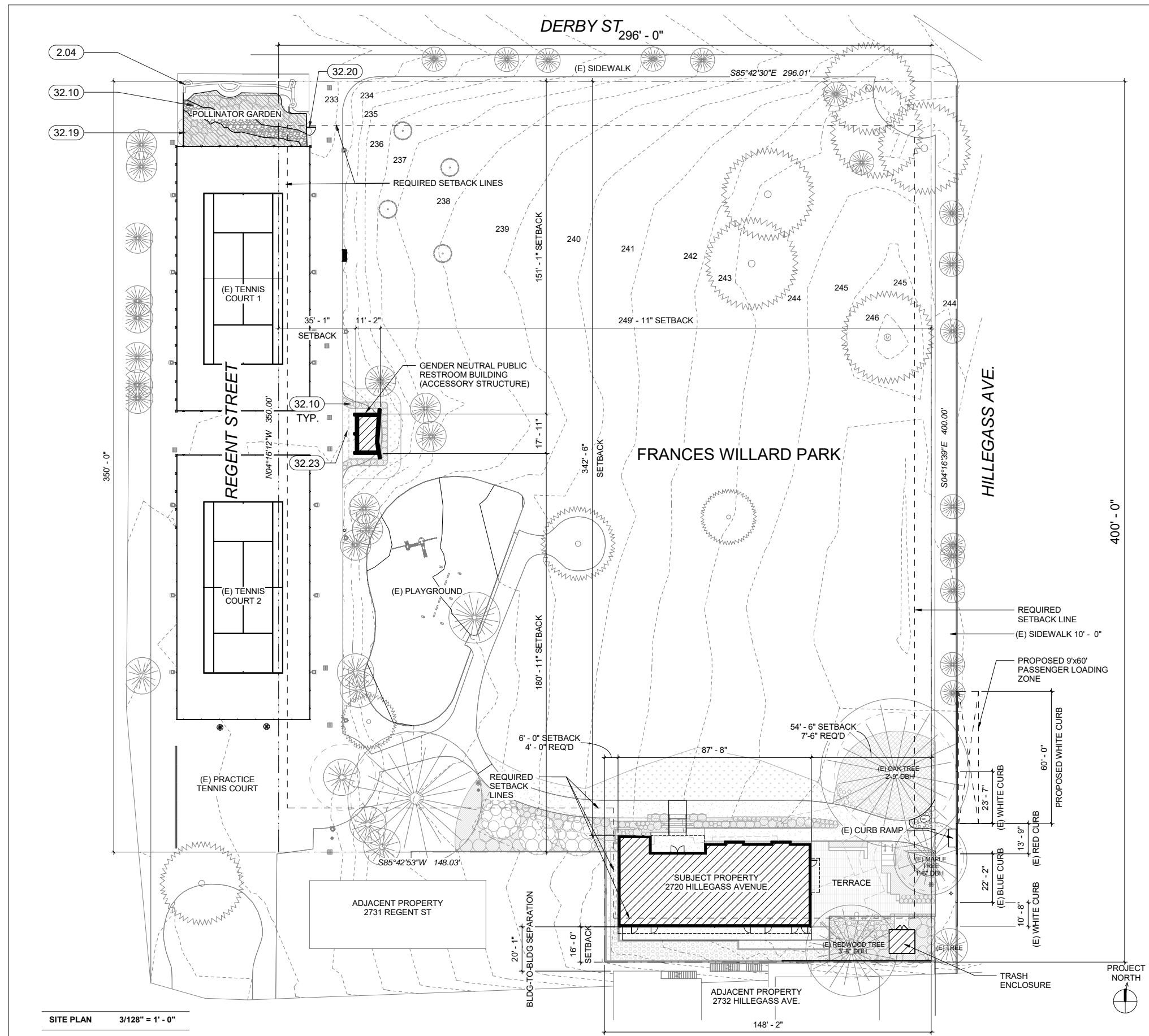
SHEET TITLE:

**EXISTING  
FLOOR PLAN**

SHEET NUMBER:

**Z2-A2**





SITE PLAN 3/128" = 1' - 0"

KEYNOTE LEGEND - ZONING

2.04	(E) DECORATIVE "POTTERS" WALL TO REMAIN
32.10	PLANTING, S.L.D.
32.19	3'-0" HIGH CHAIN LINK FENCE, S.L.D.
32.20	3'-0" HIGH CHAIN LINK GATE, S.L.D.
32.23	PROVIDE PAVING

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
 2720 HILLEGASS AVE.  
 BERKELEY, CA 94705

PROJECT INFO:  
 ZONING: R2  
 APN: 54-1711-27  
 CONSTRUCTION: V-B  
 OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
 1947 CENTER STREET, 4TH FL,  
 BERKELEY, CA 94704


PROJECT TEAM:  
 ARCHITECT:  
 ELS ARCHITECTURE AND URBAN DESIGN  
 2040 Addison Street  
 Berkeley, CA 94704  
 P: 510.549.2929

REVISION	NUMBER	DATE	DESCRIPTION

GROSS FLOOR AREA SF		
	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,301 SF	3,499 SF
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/20/2023**

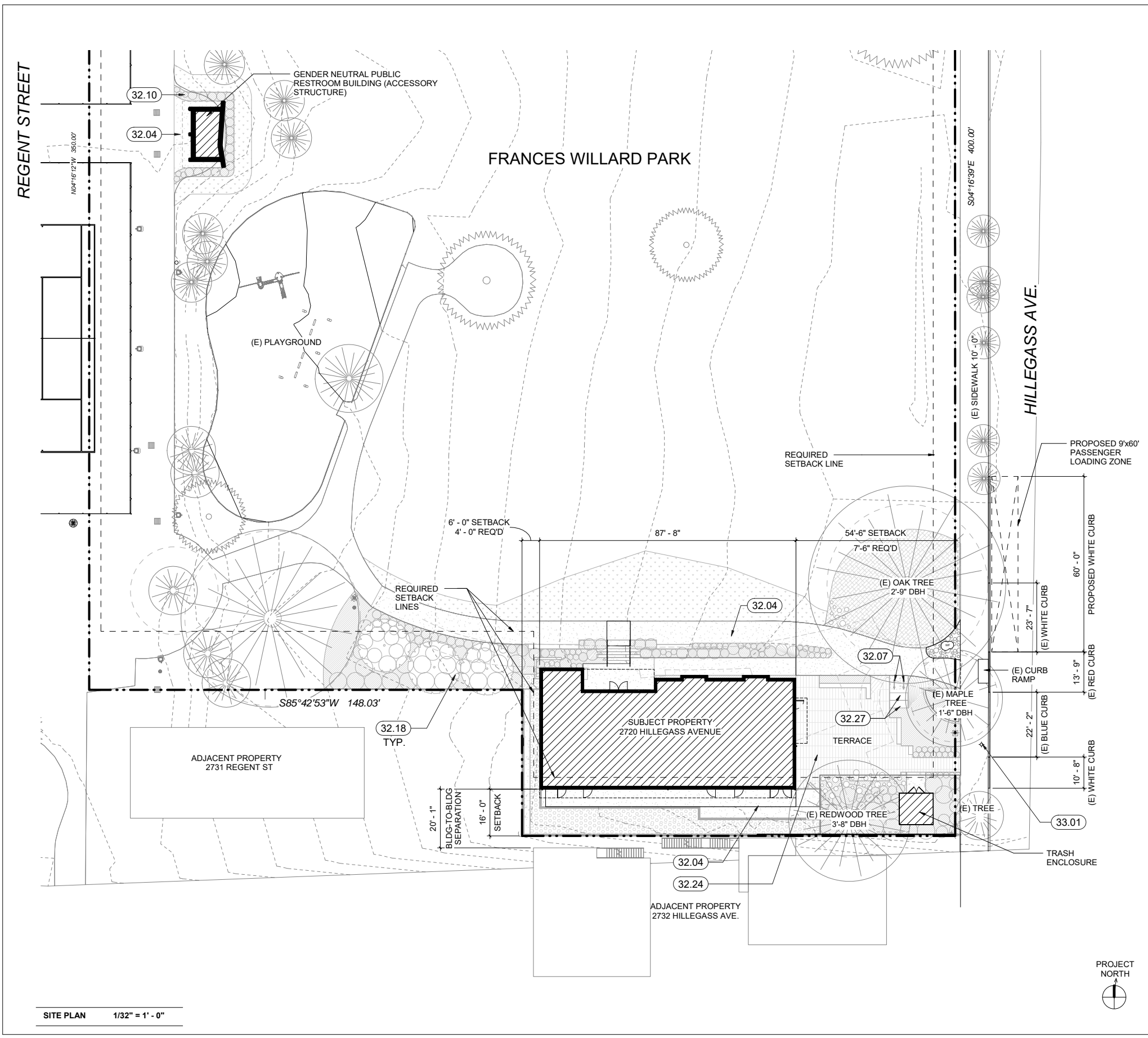
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SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**Z2-A3**

LEGEND

- PROPERTY LINE
- EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REMAIN AND BE PROTECTED
- PROPOSED ITEM
- EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE



**KEYNOTE LEGEND - ZONING**

32.04	CONCRETE PAVING, S.L.D.
32.07	BICYCLE RACKS, S.L.D.
32.10	PLANTING, S.L.D.
32.18	PROPOSED TREE, S.L.D.
32.24	PERMEABLE PAVERS, S.L.D.
32.27	LONG-TERM BIKE LOCKERS, S.L.D.
33.01	FIRE HYDRANT, S.C.D.

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PROJECT:  
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 BERKELEY, CA 94705

PROJECT INFO:  
**ZONING: R2**  
**APN: 54-1711-27**  
**CONSTRUCTION: V-B**  
**OCCUPANCY: A-3, B, S-2**

ELS PROJECT NUMBER:  
**201320.27**


CLIENT:  
**CITY OF BERKELEY**  
 1947 CENTER STREET, 4TH FL,  
 BERKELEY, CA 94704

PROJECT TEAM:  
**ARCHITECT:**  
 ELS ARCHITECTURE AND URBAN DESIGN  
 2040 Addison Street  
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REVISION	NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/20/2023**

STAMP:  


SHEET TITLE:  
**ENLARGED SITE PLAN**

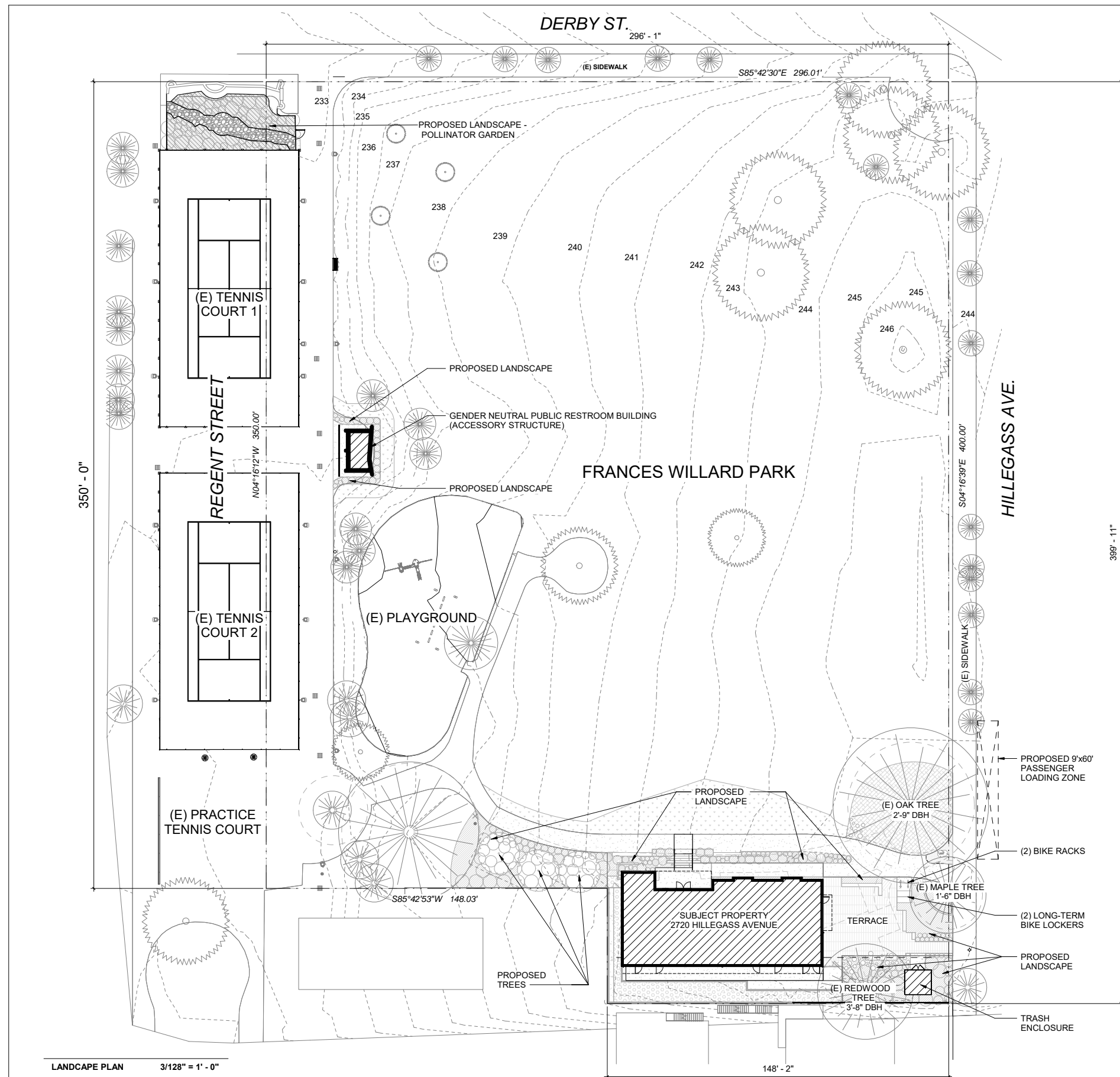
SHEET NUMBER:  
**Z2-A4**

**GROSS FLOOR AREA SF**

	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,301 SF	3,499 SF
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	

**LEGEND**

- PROPERTY LINE
- - - EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REMAIN AND BE PROTECTED
- PROPOSED ITEM
- EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE



LANDSCAPE PLAN 3/128" = 1' - 0"

**LEGEND**

- PROPERTY LINE
- - - - EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REMAIN AND BE PROTECTED
- PROPOSED ITEM
- ○ EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE
- ▨ PROPOSED LANDSCAPE

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
 2720 HILLEGASS AVE.  
 BERKELEY, CA 94705

PROJECT INFO:  
**ZONING: R2**  
**APN: 54-1711-27**  
**CONSTRUCTION: V-B**  
**OCCUPANCY: A-3, B, S-2**

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
 1947 CENTER STREET, 4TH FL.,  
 BERKELEY, CA 94704

PROJECT TEAM:  
**ARCHITECT:**  
 ELS ARCHITECTURE AND URBAN DESIGN  
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 P: 510.549.2929

REVISION	NUMBER	DATE	DESCRIPTION

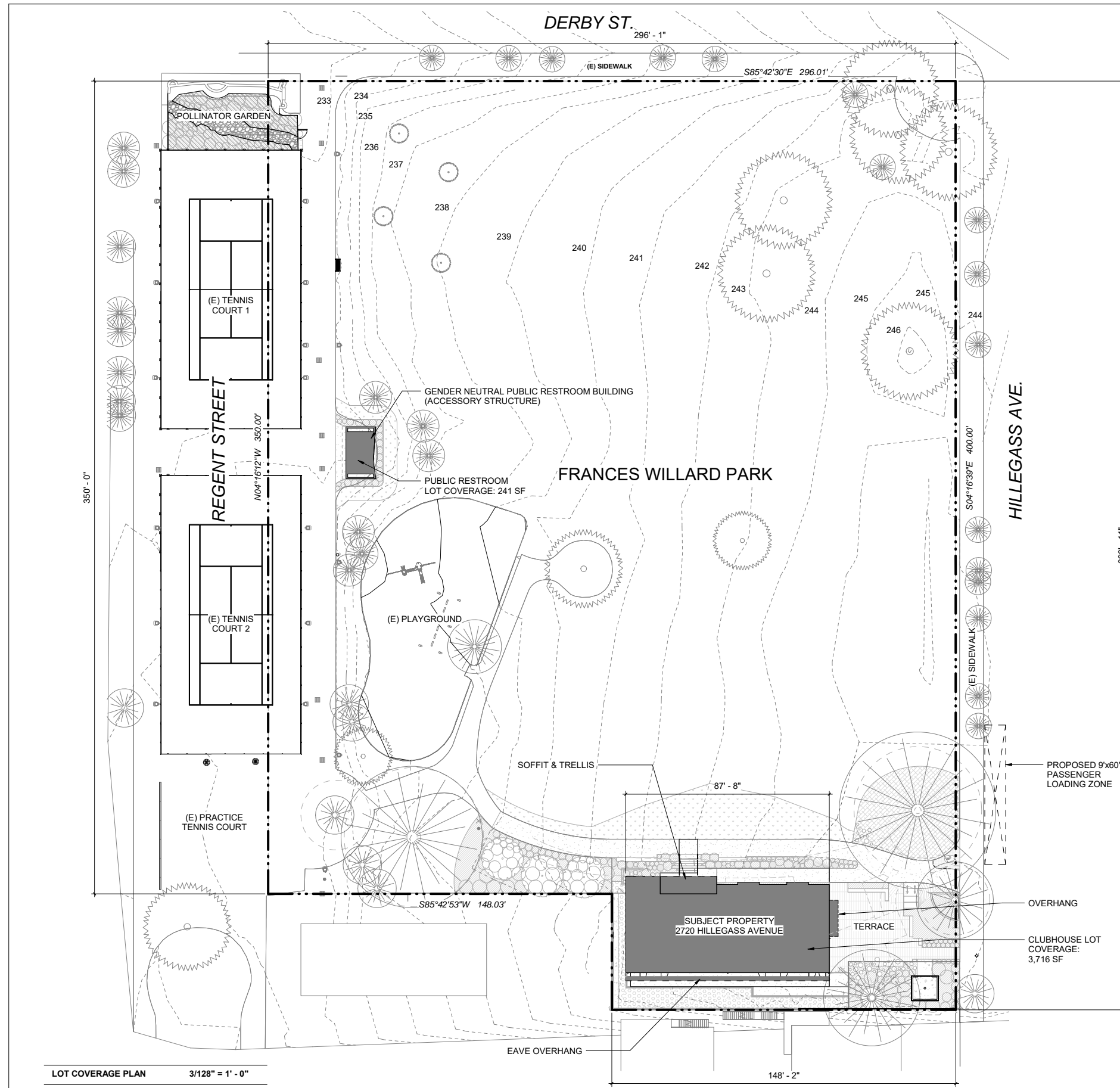
ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/20/2023**

STAMP:

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**Z2-B**



LOT COVERAGE PLAN 3/128" = 1' - 0"

**LOT COVERAGE:**

CLUBHOUSE:	3,716 SF
PUBLIC RESTROOM:	241 SF
<b>TOTAL:</b>	<b>3,957 SF</b>

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PROJECT:

**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:

ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:

**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:

**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION	NUMBER	DATE	DESCRIPTION

**LEGEND**

- — — — — PROPERTY LINE
- - - - - EXISTING TOPOGRAPHY LINE
- — — — — PROPOSED TOPOGRAPHY LINE
- — — — — EXISTING ITEM TO REMAIN AND BE PROTECTED
- — — — — PROPOSED ITEM
- ○ ○ ○ ○ EXISTING TREE TO REMAIN AND BE PROTECTED
- ○ ○ ○ ○ PROPOSED TREE
- ■ ■ ■ ■ AREA COUNTING AS LOT COVERAGE - UP TO 18" OF EAVE OVERHANG IS EXCLUDED FROM LOT COVERAGE

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/20/2023**

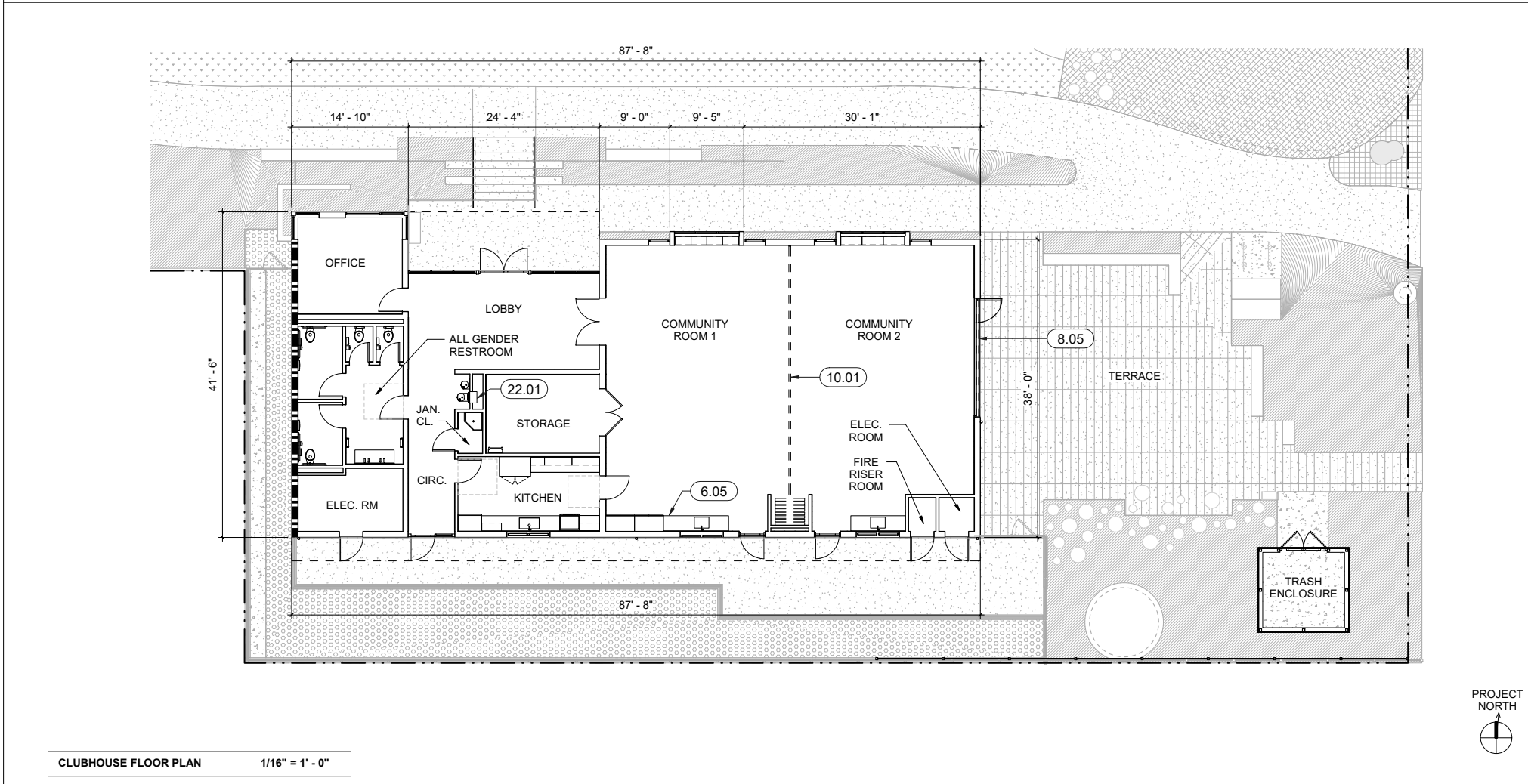
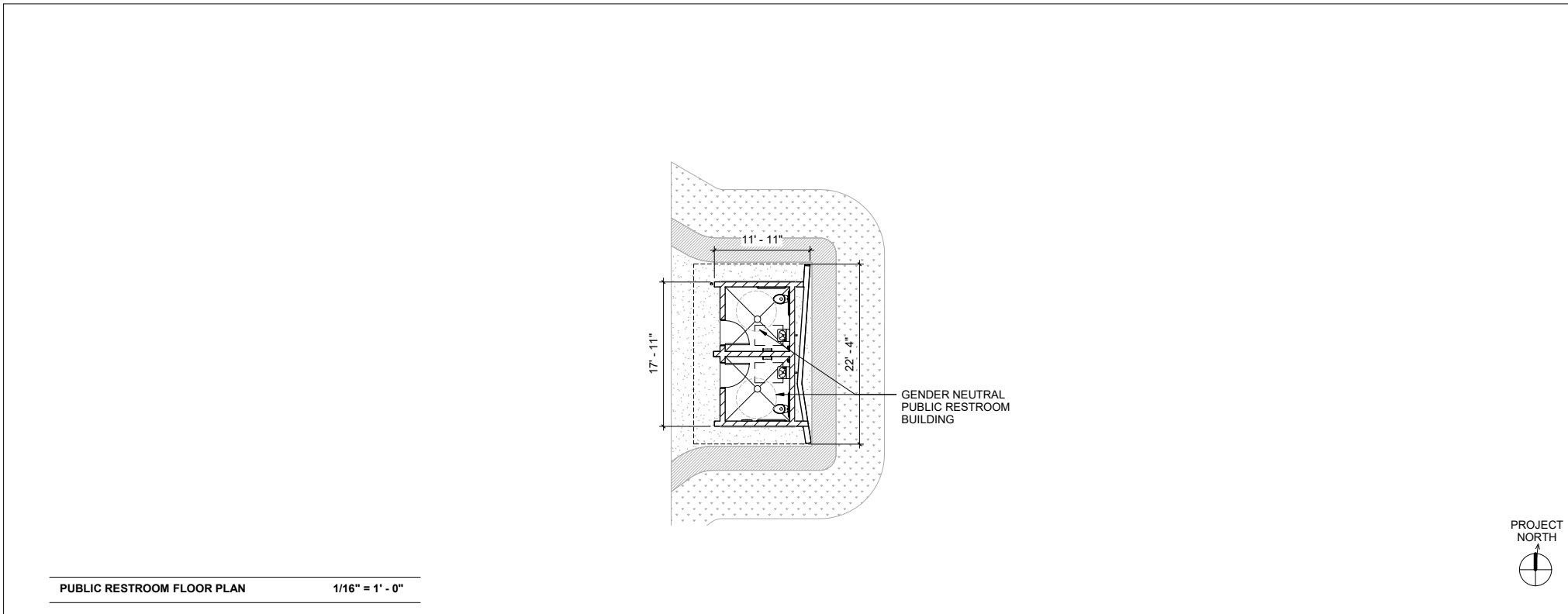
STAMP:



SHEET TITLE:  
**LOT COVERAGE**

SHEET NUMBER:  
**Z2-C**





**KEYNOTE LEGEND - ZONING**

6.05	QUARTZ COUNTERTOP WITH 4" BACKSPLASH
8.05	ALUMINUM FRAMED FOLDING GLASS STOREFRONT, REFER TO SPECS.
10.01	FOLDING PANEL PARTITION, MANUAL
22.01	DUAL HEIGHT DRINKING FOUNTAIN WITH BOTTLE FILLER, S.P.D. AND SHEET A020

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**PROJECT:**  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

**PROJECT INFO:**  
**ZONING:** R2  
**APN:** 54-1711-27  
**CONSTRUCTION:** V-B  
**OCCUPANCY:** A-3, B, S-2

**ELS PROJECT NUMBER:**  
201320.27

**CLIENT:**  
**CITY OF BERKELEY**  
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**PROJECT TEAM:**  
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REVISION NUMBER	DATE	DESCRIPTION

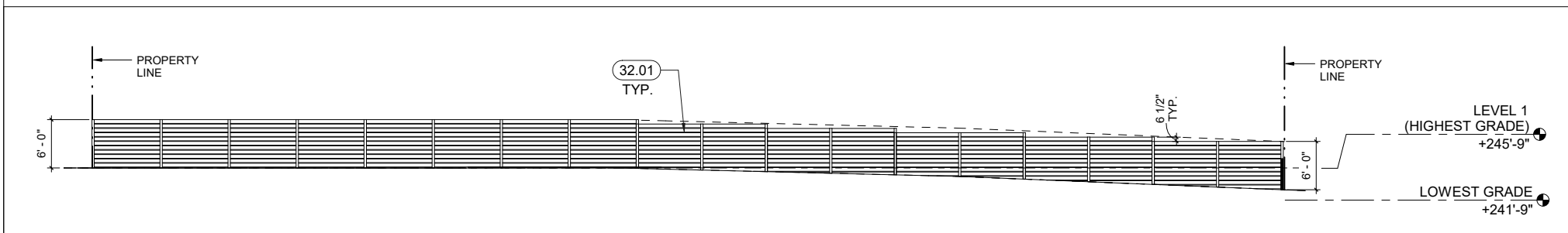
**ISSUE:**  
ZONING SUBMITTAL

**DATE:**  
03/20/2023

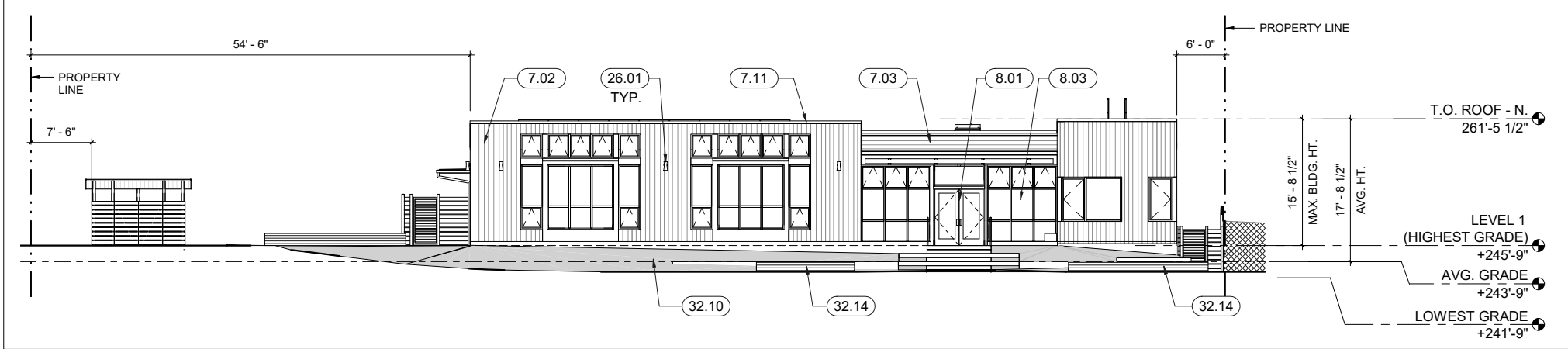
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**SHEET TITLE:**  
**FLOOR PLANS**

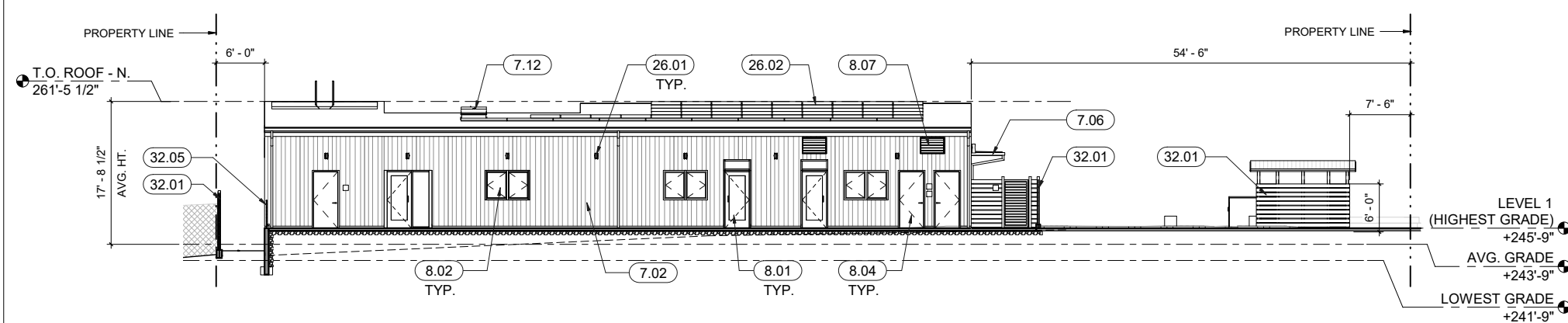
**SHEET NUMBER:**  
**Z2-D**



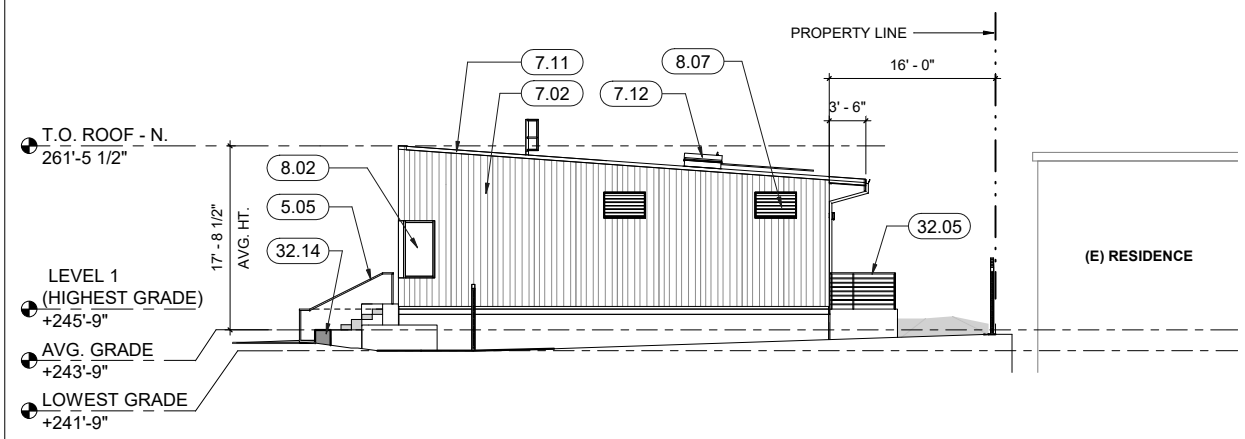
FENCE - NORTH ELEVATION 1/16" = 1' - 0"



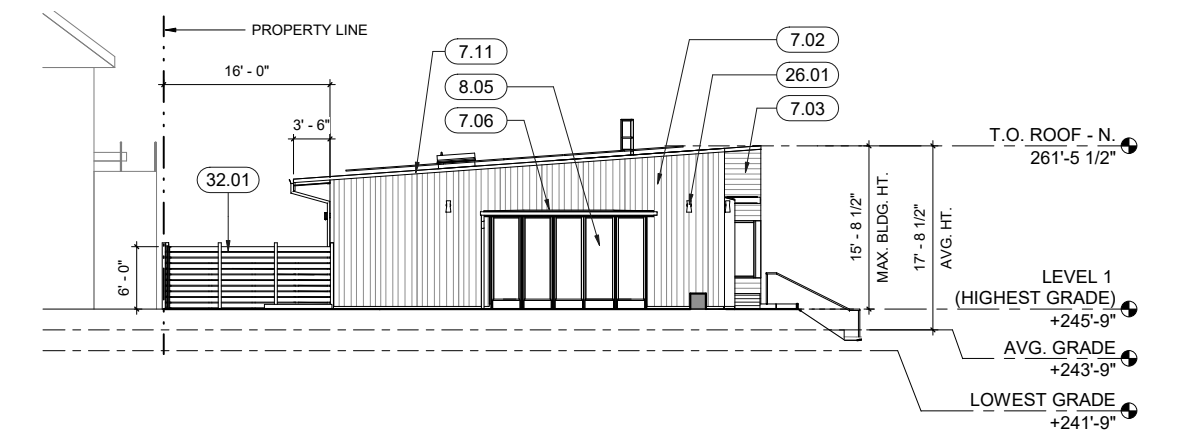
NORTH ELEVATION 1/16" = 1' - 0"



SOUTH ELEVATION 1/16" = 1' - 0"



WEST ELEVATION 1/16" = 1' - 0"



EAST ELEVATION 1/16" = 1' - 0"

**KEYNOTE LEGEND - ZONING**

5.05	1 1/2" DIAMETER STEEL PIPE HANDRAIL, PTD, S.L.D.
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
7.06	S.S. GUTTER, PTD., CONNECT TO DOWNSPOUT
7.11	GALV. METAL COPING, PAINTED
7.12	ROOF HATCH, SEE DETAIL 11/A860
8.01	EXTERIOR WOOD & GLASS DOOR
8.02	ALUMINUM FRAMED WINDOWS
8.03	ALUMINUM FRAMED STOREFRONT SYSTEM
8.04	HOLLOW METAL DOOR
8.05	ALUMINUM FRAMED FOLDING GLASS STOREFRONT, REFER TO SPECS.
8.07	ALUM. WALL LOUVER, S.M.D.
26.01	WALL MOUNTED LIGHT FIXTURE, S.E.D.
26.02	PHOTOVOLTAIC SYSTEM, S.E.D.
32.01	1X6 TIMBER BOARD WOOD FENCE, SEE SPECS
32.05	METAL GUARDRAIL, S.L.D.
32.10	PLANTING, S.L.D.
32.14	CONCRETE SEAT WALL W/ WOOD TOP, S.L.D.

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 BERKELEY, CA 94705

PROJECT INFO:  
**ZONING: R2**  
**APN: 54-1711-27**  
**CONSTRUCTION: V-B**  
**OCCUPANCY: A-3, B, S-2**

ELS PROJECT NUMBER:  
**201320.27**


CLIENT:  
**CITY OF BERKELEY**  
 1947 CENTER STREET, 4TH FL,  
 BERKELEY, CA 94704

PROJECT TEAM:  
**ARCHITECT:**  
 ELS ARCHITECTURE AND URBAN DESIGN  
 2040 Addison Street  
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REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/20/2023**

STAMP:  


SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E1**

KEYNOTE LEGEND - ZONING	
3.02	CONCRETE CURB, S.S.D.
4.01	CONCRETE MASONRY UNIT, GROUND FACE, PAINTED
5.03	BRAKE METAL FASCIA, MATCH WINDOW FINISH
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
8.02	ALUMINUM FRAMED WINDOWS
8.04	HOLLOW METAL DOOR

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**ZONING: R2**  
**APN: 54-1711-27**  
**CONSTRUCTION: V-B**  
**OCCUPANCY: A-3, B, S-2**

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
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 1947 CENTER STREET, 4TH FL,  
 BERKELEY, CA 94704

PROJECT TEAM:  
**ARCHITECT:**  
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 2040 Addison Street  
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REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/20/2023**

STAMP:



SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E2**

<p>PUBLIC RESTROOM - NORTH ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - EAST ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - WEST ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - SOUTH ELEVATION 1/16" = 1' - 0"</p>



2734 HILLEGASS AVE

2732 HILLEGASS AVE

EXISTING CLUBHOUSE

WILLARD PARK

EXISTING CONDITION: STREET STRIP ELEVATION - EAST



2734 HILLEGASS AVE

2732 HILLEGASS AVE

CLUBHOUSE

WILLARD PARK

PROPOSED DESIGN: STREET STRIP ELEVATION - EAST 1/16" = 1' - 0"

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PROJECT:  
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ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

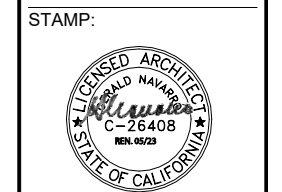
ELS PROJECT NUMBER:  
201320.27

CLIENT:  
CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

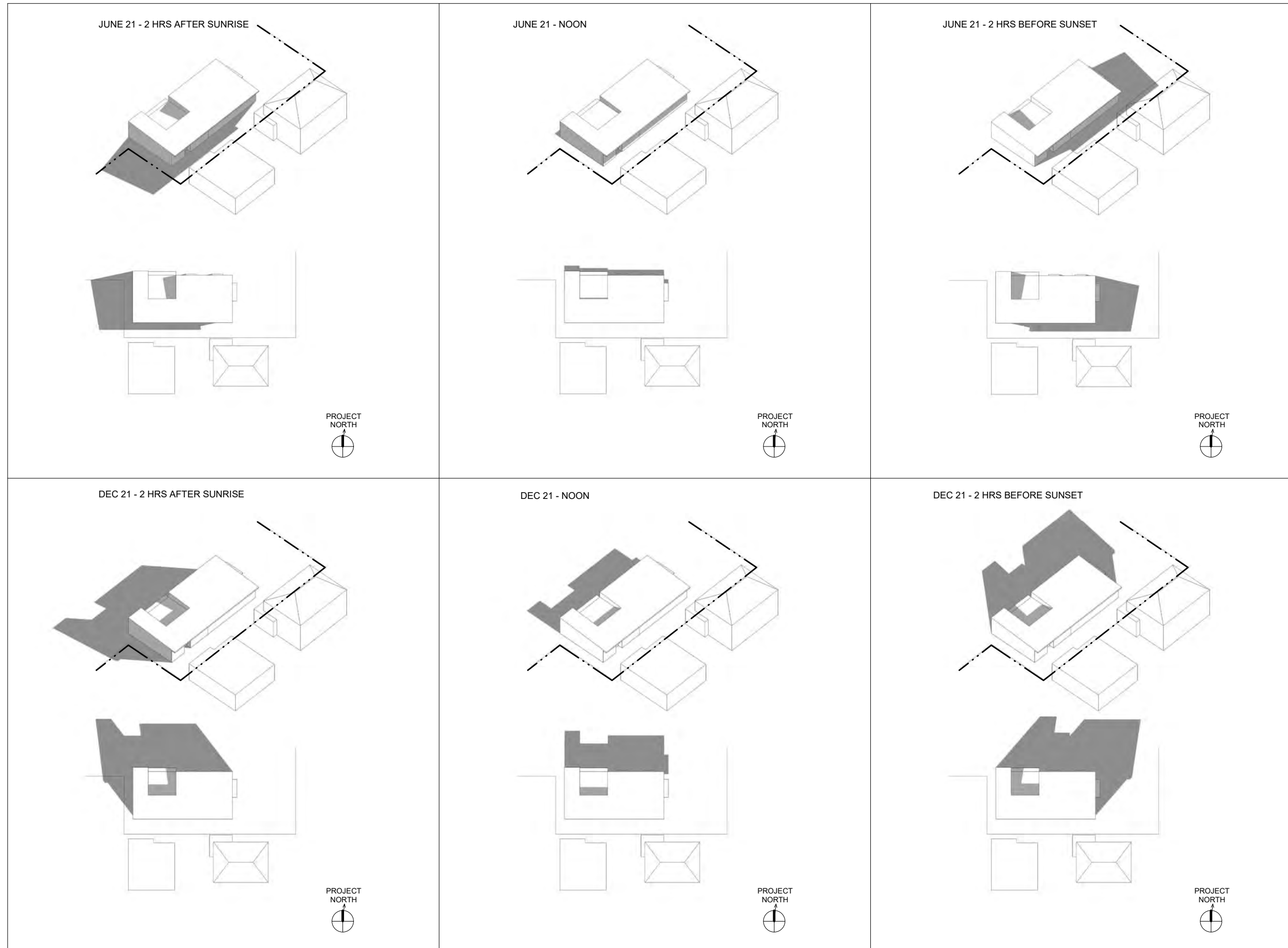
ISSUE:  
ZONING SUBMITTAL  
DATE:  
03/20/2023



SHEET TITLE:  
**STREET STRIP ELEVATION**

SHEET NUMBER:  
**Z2-F1**





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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

CLIENT:  
CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL.  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
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REVISION NUMBER	DATE	DESCRIPTION

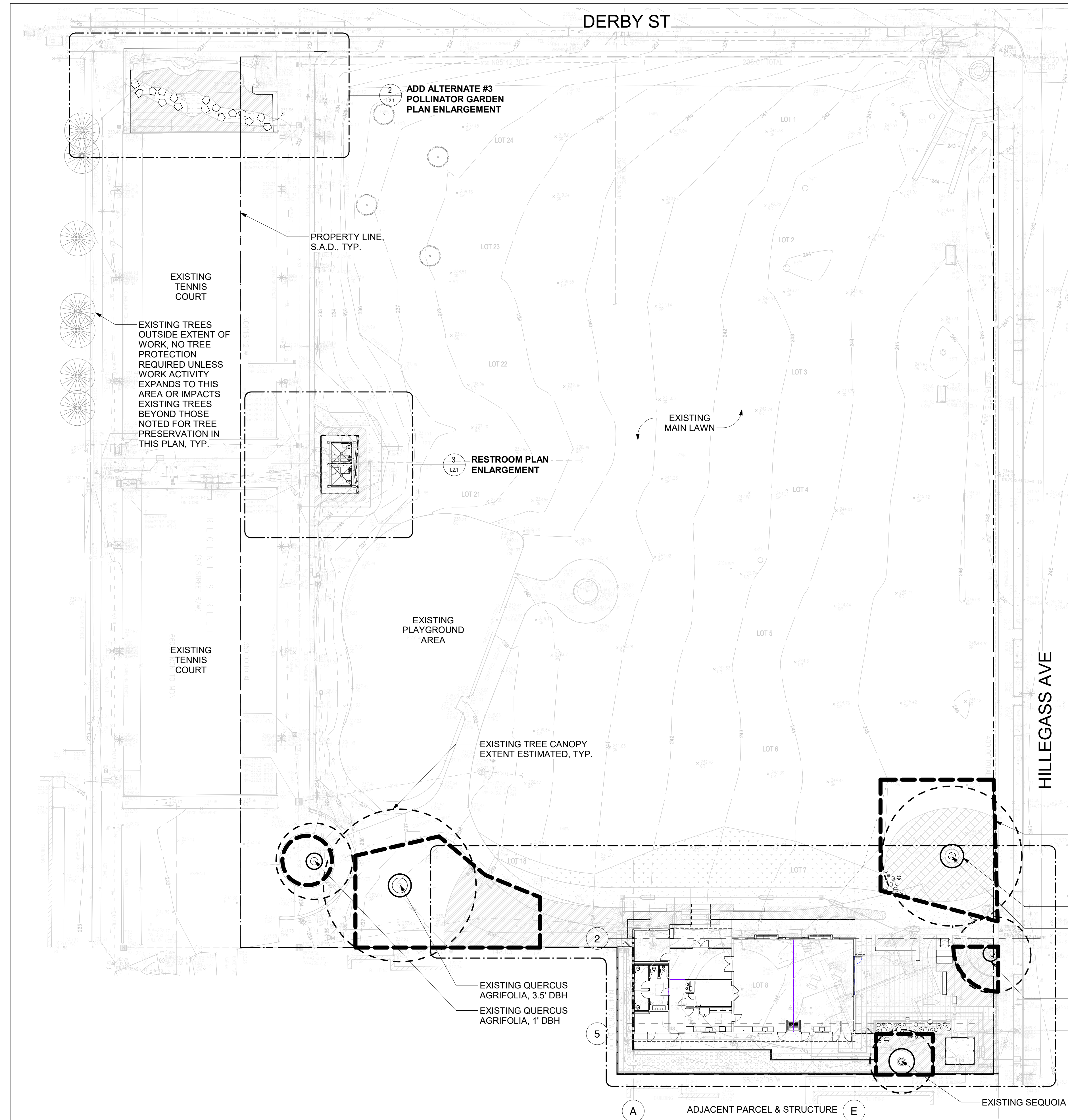
ISSUE:  
ZONING SUBMITTAL

DATE:  
11/18/2022

STAMP:

SHEET TITLE:  
**SHADOW STUDY**

SHEET NUMBER:  
**Z3-B**



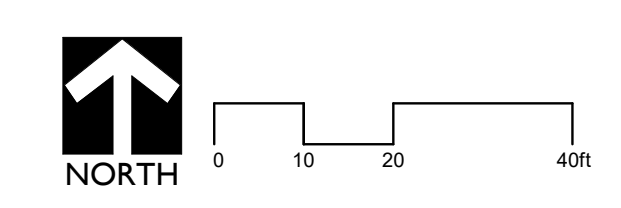
**GENERAL SYMBOLS & ABBREVIATIONS**

- — — — — PROPERTY LINE
- POINT OF BEGINNING
- — — — — CENTERLINE
- EQ. EQUAL
- O.C. ON CENTER
- N.I.C. NOT IN CONTRACT
- NO. NUMBER
- TYP. TYPICAL
- QTY. QUANTITY
- V.I.F. VERIFY IN FIELD
- S.A.D. SEE ARCHITECTURAL DRAWINGS
- S.C.D. SEE CIVIL DRAWINGS
- S.S.D. SEE STRUCTURAL DRAWINGS
- S.M.D. SEE MECHANICAL DRAWINGS
- S.E.D. SEE ELECTRICAL DRAWINGS
- ① A101 DETAIL CALLOUT
- ⬆ A101 SECTION CALLOUT

**LANDSCAPE GENERAL NOTES**

1. EXISTING SITE INFORMATION IS PROVIDED BY OTHERS. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY OR LIABILITY FOR COMPLETENESS OR ACCURACY OF PLANS PROVIDED BY OTHERS.
2. 'TYP' OR TYPICAL MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY NOTED 'TYP' ONLY WHEN THEY FIRST OCCUR.
3. NOTES AND SYMBOLS ON ONE DRAWING APPLY TO OTHER SIMILAR DETAILS AND CONDITIONS.
4. BECOME ACQUAINTED WITH SUBGRADE UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY OWNER'S REPRESENTATIVE. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN ON PLANS.
5. DIMENSIONS ARE FROM OUTSIDE FACE OF BUILDING OR WALLS, UNLESS OTHERWISE NOTED, AND ARE TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION AND MAJOR EXCAVATION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING.
6. UNLESS OTHERWISE NOTED, ANGLES TO BE RIGHT ANGLES, ARCS WHICH APPEAR TANGENT AND UNIFORM ARE TO BE TANGENT AND UNIFORM, LINES WHICH APPEAR PARALLEL ARE TO BE PARALLEL, AND ITEMS WHICH APPEAR CENTERED TO BE CENTERED, MAINTAIN LINES TRUE, LEVEL, PLUMB, AND SQUARE.
7. REFER TO GRADING PLANS FOR GRADING AND DRAINAGE STRUCTURES PRIOR TO INSTALLATION OF WALKS, WALLS, FOOTINGS, AND OTHER STRUCTURES.
8. LANDSCAPE ARCHITECT TO APPROVE LAYOUT IN THE FIELD PRIOR TO INSTALLATION OF FORMS OR GRADING FOR LANDSCAPE WORK.
9. LOCATE ELECTRICAL JUNCTION BOXES FOR LIGHTS IN PLANTING AREAS UNLESS SHOWN OTHERWISE. LAYOUT TO BE APPROVED BY THE CITY OF BERKELEY PRIOR TO TRENCHING.
10. CAREFULLY REVIEW LANDSCAPE IRRIGATION PLANS AND NOTES TO IDENTIFY LOCATIONS WHERE PIPE, SLEEVES, SANDBED OR CONDUIT MUST BE PLACED PRIOR TO PLACEMENT OF FORMWORK FOR INSTALLATION OF CONCRETE, OTHER PAVING, OR WALLS.
11. QUANTITIES PROVIDED ARE FOR INFORMATION ONLY, VERIFY QUANTITIES AND NOTIFY OWNER OF DISCREPANCIES.

- ① L1.2 TREE PROTECTION FENCING AND TREE PROTECTION ZONE (TPZ) AND ROOT ZONE BUFFER AREA, NO GRADING WITHIN THIS AREA, PROVIDE MULCH IN THIS AREA, SEE LEGEND
- ② L1.2 TREE PROTECTION WRAP, TYP.
- ① L1.1 EXISTING QUERCUS AGRIFOLIA, 2'-9" DBH
- ① L2.1 CLUBHOUSE PLAN ENLARGEMENT
- ⑤ EXISTING ACER PALMATUM, MULTISTEM, 1'-6" DBH
- ⑤ EXISTING SEQUOIA SEMPERVIRENS, 3'-8" DBH



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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
 2720 HILLEGASS AVE., BERKELEY, CA 94705

CITY SPECIFICATION NUMBER:  
**201730.27**

ELS PROJECT NUMBER:

CLIENT:  
**CITY OF BERKELEY, CA**

PROJECT TEAM:  
**ARCHITECT:**  
 ELS ARCHITECTURE AND URBAN DESIGN  
 2040 Addison Street  
 Berkeley, CA 94704  
 P: 510.549.2929

**CIVIL ENGINEER:**  
 BKF ENGINEERS  
 1648 N. California Blvd, Suite 400  
 Walnut Creek, CA 94596  
 925.940.2200

**LANDSCAPE ARCHITECT:**  
 PGAdesign LANDSCAPE ARCHITECTS  
 444 17th Street  
 Oakland, CA 94612  
 510.465.1284

**STRUCTURAL ENGINEER:**  
 IDA STRUCTURAL ENGINEERS, INC.  
 1629 Telegraph Avenue, Suite 300  
 Oakland, CA 94612  
 510.834.1629

**MECHANICAL AND PLUMBING ENGINEER:**  
 ALTER CONSULTING ENGINEERS  
 1624 Franklin St. #1300  
 Oakland, CA 94612  
 510.474.0379

**ELECTRICAL ENGINEER:**  
 RJA INC.  
 5515 Doyle Street, #7  
 Emeryville, CA 94608  
 415.730.7594

**ACOUSTICAL ENGINEER:**  
 SALTER ENGINEER  
 130 Sutter Street, Floor 5  
 San Francisco, CA 94104  
 415.397.0442

REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE: **PERMIT SET**

DATE: **04/07/2023**

STAMP:

**NOT FOR CONSTRUCTION**

SHEET TITLE:  
**LANDSCAPE OVERALL PLAN & TREE PROTECTION PLAN**

SHEET NUMBER:  
**L1.1**

**TREE PRESERVATION & REMOVAL NOTES**

- PROJECT ARBORIST TO BE PROVIDED AND IDENTIFIED BY OWNERS REPRESENTATIVE AT START OF PROJECT. PROJECT ARBORIST TO BE A CERTIFIED ARBORIST OR CERTIFIED TREE WORKER (INTERNATIONAL SOCIETY OF ARBORICULTURE). PROJECT ARBORIST TO MEET WITH THE CONTRACTOR, LANDSCAPE ARCHITECT AND CITY'S ARBORIST ON SITE TO DISCUSS TREE PRESERVATION, REVIEW THE LOCATION OF THE TREE PROTECTION FENCING, OTHER TREE PROTECTIONS AND WORK PROCEDURES AROUND TREES PRIOR TO CONSTRUCTION AND BE PRESENT ON SITE FOR ALL WORK WITHIN TREE PROTECTION ZONE OF EXISTING TREES.
- BEFORE ANY DEMOLITION OR CONSTRUCTION ACTIVITY BEGINS COMPLETELY ENCLOSE THE TREE PROTECTION ZONE (TPZ) AS SHOWN ON TREE PRESERVATION PLAN AND ARBORIST REPORT. INSTALL ALL SPECIFIED TRUNK PROTECTION AND ROOT BUFFERS, FENCING AND OTHER PROTECTIONS TO REMAIN IN PLACE UNTIL GRADING AND CONSTRUCTION IS COMPLETED.
- CONTRACTOR NOT TO ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TPZ WITHOUT THE APPROVAL OF THE PROJECT ARBORIST OF LANDSCAPE ARCHITECT INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT; STORING OR STAGING SUPPLIES OR MATERIALS. DO NOT PERMIT EMPLOYEES TO ENTER FENCED AREAS.
- DO NOT OPERATE OR PARK VEHICLES OR HEAVY EQUIPMENT WITHIN THE TPZ.
- STRICTLY MINIMIZE GRADING, CONSTRUCTION AND DEMOLITION WORK TO OCCUR WITHIN THE TPZ. ALL WORK WITHIN TPZ MUST BE MONITORED AND APPROVED BY THE PROJECT ARBORIST.
- ALL EXCAVATION AND OR TRENCHING WORK DONE WITHIN THE TPZ IS TO BE DONE BY HAND OR AIR TOOLS ONLY.
- ALL PRUNING, BRANCH TIE BACK, TREE REMOVAL, ROOT PRUNING AND STUMP REMOVAL IS TO BE DIRECTLY SUPERVISED BY AN ISA CERTIFIED ARBORIST.
- IMMEDIATELY REPORT ANY INJURY DONE TO A TREE DURING CONSTRUCTION TO THE PROJECT ARBORIST SO THAT APPROPRIATE TREATMENTS CAN BE APPLIED.
- TREE PRUNING NEEDED FOR CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A CERTIFIED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.
- ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES MUST RECEIVE THE PRIOR APPROVAL OF, AND BE SUPERVISED BY THE PROJECT ARBORIST.
- CONTRACTOR TO MINIMIZE DISTURBANCE TO EXISTING TREE ROOTS ON SITE. ANY ROOTS ENCOUNTERED LESS THAN 4" IN DIAMETER MAY BE PRUNED AS NECESSARY. ANY ROOT LARGER THAN 4" OBSTRUCTING CONSTRUCTION MAY BE PRUNED. ANY ROOTS GREATER THAN 4" ARE ENCOUNTERED STOP WORK AND CONTACT THE URBAN FORESTRY UNIT FOR REVIEW PRIOR TO PRUNING. ROOT PRUNING SHALL BE PERFORMED USING A STUMP/ROOT CUTTING MACHINE. SAW, AXE, OR ANY OTHER SHARP BLADE TOOL, RESULTING IN A FLAT SURFACE WITH THE ADJACENT BARK FIRMLY ATTACHED. NO ROOTS SHALL BE TORN OR PULLED USING ANY OTHER TOOLS OR MACHINERY UNLESS ALREADY SEVERED ON EACH END BY ONE OF THE APPROVED PRUNING TOOLS

**AIRSPADE TRENCHING NOTES:**

- ALL TRENCHING AROUND TREES IS TO BE COMPLETED WITH THE USE OF AN AIRSPADE TO A DEPTH NEEDED TO EXPOSE ROOTS FOR REVIEW.
- ALL AIRSPADE WORK IS TO BE COMPLETED BY AN EXPERIENCED TREE COMPANY UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.
- SOIL FROM AIRSPADE WORK IS TO BE COLLECTED AND STORED ON SITE TO BE RETURNED TO THE EXPOSED ROOT AREAS ONCE TRENCHING WORK IS COMPLETED.
- REQUIRED CUTTING OF ANY ROOTS ENCOUNTERED DURING THE TRENCHING PROCESS IS ONLY TO BE DONE AFTER A CERTIFIED ARBORIST HAS MADE A VISUAL ASSESSMENT AND GIVEN DIRECTION ON THE CUTTING.
- ROOTS EXPOSED DURING THE TRENCHING PROCESS MUST BE PROTECTED AS MUCH AS POSSIBLE. COVER EXPOSED ROOTS WITH BURLAP AND KEEP MOIST. ONCE THE TRENCHING WORK HAS BEEN COMPLETED, RETURN THE EXCAVATED SOIL TO THE EXPOSED ROOTS AND INSTALL MULCH AS A PROTECTIVE LAYER.

**BAY-FRIENDLY PRACTICE NOTES**

BAY-FRIENDLY BASIC PRACTICES CHECKLIST FOR PRIVATE DEVELOPMENT IS REQUIRED FOR THIS PROJECT AND WITH THE SUBMISSION OF ALL DEVELOPMENT APPLICATIONS TO THE CITY OF FREMONT, EXCLUDING SINGLE FAMILY HOME PARCELS, BUT INCLUDING SUBDIVISION COMMON AREAS.

EACH PROJECT IS REQUIRED TO MEET THE FOLLOWING NINE PRACTICES.

IN ADDITION TO THIS REQUIREMENT, EACH PROJECT IS ENCOURAGED TO MEET 60 POINTS ON THE BAY-FRIENDLY CIVIC AND COMMERCIAL LANDSCAPE SCORECARD, WHICH IS AVAILABLE AT BAYFRIENDLY.ORG OR FREMONT.GOV. THE FORM IS REQUIRED TO BE SUBMITTED WITH THE DEVELOPMENT APPLICATION.

THE NINE REQUIRED PRACTICES ARE AS FOLLOWS:

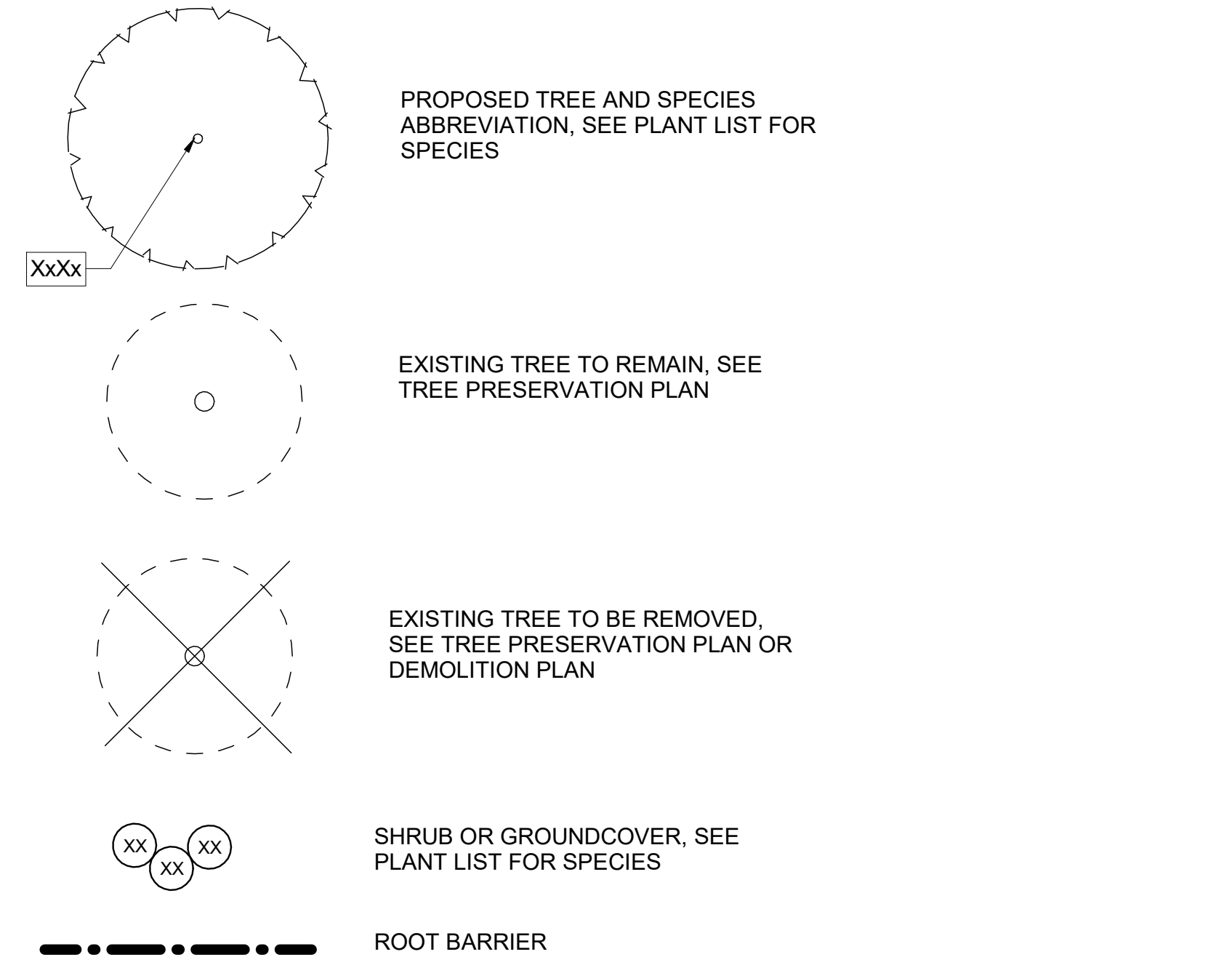
- MULCH ALL SHRUB AREAS WITH 3 INCH THICK LAYER OF MULCH. ALL SOIL ON SITE IS PROTECTED WITH A MINIMUM OF 3 INCHES OF MULCH AFTER CONSTRUCTION. ALL MULCH IS ARBOR WASTE MATERIAL.
- AMEND SOIL WITH COMPOST BEFORE PLANTING. COMPOST IS SPECIFIED AS THE SOIL AMENDMENT, AT THE RATES INDICATED BY A SOIL ANALYSIS TO BRING THE SOIL ORGANIC MATTER CONTENT TO A MINIMUM OF 3.5% BY DRY WEIGHT OR 1 INCH OF COMPOST. OPTION 1: REQUIRE IMPORT TOPSOIL TO MEET ORGANIC MATTER CONTENT OF A MINIMUM 3.5% BY DRY WEIGHT. OPTION 2: SUBMIT SOILS REPORT THAT IDENTIFIES EXISTING TOPSOIL MEETS ORGANIC MATTER CONTENT OF 3.5% BY DRY WEIGHT OR GREATER.
- REDUCE AND RECYCLE LANDSCAPE CONSTRUCTION WASTE. DIVERT 50% OF LANDSCAPE CONSTRUCTION AND DEMOLITION WASTE BY VOLUME OR WEIGHT.
- CHOOSE AND LOCATE PLANTS THAT GROW TO NATURAL SIZE AND AVOID SHEARING. NO PLANT SPECIES WILL REQUIRE SHEARING. SELECT SPECIES AND SPACING TO ALLOW PLANTS TO GROW TO NATURAL SIZE AND SHAPE WITHOUT SHEARING AT ANY POINT IN THE LIFESPAN OF THE PLANT, EXCLUDING STRUCTURAL AND REGULAR MAINTENANCE.
- DO NOT PLANT INVASIVE SPECIES. NONE OF THE PLANT SPECIES LISTED BY CAS-IPC AS INVASIVE IN THE SAN FRANCISCO, BAY AREA ARE INCLUDED IN THE PLANTING DESIGN.
- REDUCE DROUGHT TOLERANT CALIFORNIA NATIVE, MEDITERRANEAN OR CLIMATE ADAPTED PLANTS. A MINIMUM OF 75% OF THE TOTAL NUMBER OF PLANTS IN THE NON-TURF AREAS MUST BE SPECIES THAT REQUIRE NO OR LITTLE SUMMER WATERING ONCE ESTABLISHED. SPECIES SHOULD BE ADAPTED TO THE CLIMATE IN WHICH THEY WILL BE PLANTED, AS REFERENCED BY A THIRD PARTY SOURCE. PLANT SHALL BE RATED FOR MODERATE OR OCCASIONAL WATER USE FOR THIS REGION AND CLIMATE.
- MINIMIZE TURF. A MAXIMUM OF 25% OF TOTAL IRRIGATED AREA IS SPECIFIED AS TURF, WITH SPORTS OR MULTI-USE FIELDS EXEMPTED.
- SPECIFY AUTOMATIC WEATHER-BASED CONTROLLER WITH SOIL MOISTURE AND/OR RAIN SENSOR. A WEATHER-BASED IRRIGATION CONTROLLERS, SOIL MOISTURE BASED CONTROLLERS, OR OTHER SELF-ADJUSTING IRRIGATION CONTROLLERS, SHALL BE REQUIRED FOR ENTIRE IRRIGATION SYSTEM.
- SPRINKLER AND SPRAY HEADS ARE NOT SPECIFIED IN AREAS LESS THAN 8 FEET WIDE. SPRINKLER AND SPRAY HEADS ARE NOT SPECIFIED IN AREAS LESS THAN OR EQUAL TO 8 FEET WIDE TO PREVENT OVERSPRAY AND RUNOFF. ACCEPTABLE ALTERNATIVES INCLUDE BUBBLER OR DRIP WITH SUBSURFACE RIGID LATERAL PIPES. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER BUBBLER.

**PLANTING NOTES**

- VERIFY LOCATION OF SUBSURFACE UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY OWNER'S REPRESENTATIVE. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF UTILITIES NOT SHOWN ON PLANS.
- KEEP PLANTING CLEAN AND FREE FROM ALL CONCRETE, ASPHALTIC WASTE, LUMBER AND OTHER SUCH MATERIALS AND SHOULD BE REMOVED BY EXCAVATION OF THE SOIL AND REPLACED WITH CLEAN NATIVE TOP SOIL.
- CLEAR AND GRUB ALL AREAS TO RECEIVE NEW PLANTING AND PREPARE SOIL PER SPECIFICATION.
- DO NOT WORK SOIL WHEN WET TO AVOID COMPACTION.
- NO PLANT SPECIES SUBSTITUTIONS WILL BE ACCEPTED, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. SAME GENUS DIFFERENT SPECIES SUBSTITUTIONS ARE ACCEPTABLE PROVIDED THE VARIETY IS SIMILAR IN GROWTH HABIT AND SIZE TO THE SPECIFIED PLANT AND WATER USE IS THE SAME. EXAMPLE: ESCALLONIA 'TERRI' COULD SUB FOR 'RED ELF'. RHAPHIOLEPSIS CAN NOT SUBSTITUTE FOR ESCALLONIA AS THEY HAVE DIFFERENT WATER USE REQUIREMENTS. CERTIFICATES OF COMPLIANCE WILL NOT BE COMPLETED FOR PROJECTS WHICH EXCEED THE WATER USE OF SPECIFIED PLANT MATERIALS UNTIL CONFORMANCE WITH THE WATER EFFICIENT LANDSCAPE REQUIREMENTS IS ACHIEVED.
- CONTRACT GROW PLANTS AS REQUIRED. CONTRACT GROWN PLANTS MUST MEET INDUSTRY STANDARDS FOR SIZE IN ORDER TO BE ACCEPTED.
- ALL PLANTS AND LAYOUT TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION OF PLANTING HOLES.
- NOTIFY OWNER'S REPRESENTATIVE 36 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION MEETINGS.
- SPACE GROUND COVERS TRIANGULARLY IN PLANTING AREAS. GROUND COVER KEY INDICATIONS ARE SHOWN IN LEGEND. HOLD GROUND COVER BACK IN 18 IN. FROM THE EDGE OF NEW SHRUB PLANTS UNLESS OTHERWISE PLANT GROUND COVER WHERE SHRUBS ARE PLANTED 2 1/2 FT. APART OR MORE.
- PROTECT EXISTING TREES TO REMAIN PER TREE PRESERVATION AND REMOVAL PLAN.
- PLANT QUANTITIES ARE FOR INFORMATIONAL PURPOSES AND CONSTRUCTION DOCUMENT WATER USE CALCULATIONS ONLY. CONTRACTOR TO VERIFY THE QUANTITY AND USE THE GRAPHIC PLANS AS A BASIS FOR QUANTITY OF PLANTS.
- SEE DETAILS AND SPECIFICATIONS FOR PROCEDURES, MATERIALS AND INSTALLATION REQUIREMENTS.
- PROVIDE SOILS REPORTS FOR ALL IMPORTED SOILS, PER SPECIFICATIONS AND WELO CONFORMANCE. SUBMIT REPORTS TO OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- KEEP ADJACENT STREETS, SIDEWALKS AND OTHER AREAS FREE OF MUD, DIRT OR SIMILAR NUISANCES RESULTING FROM EARTHWORK OPERATIONS.
- REPLACE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE ANY DAMAGED OR DESTROYED LANDSCAPING.
- FOR BEST RESULTS, NATIVE PLANT MATERIALS SHOULD NOT HAVE THEIR ROOTS DISTURBED. FOR PLASTIC CANS, REMOVE BOTTOM OF CAN, PLACE IN PLANT PIT AND CUT SIDES TO REMOVE. CUT METAL CANS IN THREE PLACES MINIMUM AND CAREFULLY SLIDE ROOT BALL INTO PLANT PIT, FOR LARGE MATERIAL, USE BOTTOM SUPPORT AS NECESSARY.
- AREAS IDENTIFIED AS BIORETENTION PLANTING ARE FUNCTIONAL STORM WATER PLANTERS WITH AN ENGINEERED IMPORTED SOIL MIX DESIGNED FOR SPECIFIC PERFORMANCE CRITERIA. AMEND ONLY PLANTING PIT'S AND ASSOCIATED PLANTING BACKFILL PER THE PLANTING INSTRUCTIONS. SEE CIVIL DRAWINGS FOR BIOFILTRATION MIX AND DRAINAGE.

PLANT LIST					
QTY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING	WATER USE
TREE					
4	LAGERSTROEMIA INDICA	GRAPE MYRTLE	24" BOX	20'-0"	LOW
TALL SHRUB					
1	CEANOTHUS 'FROSTY BLUE'	FROSTY BLUE CEANOTHUS	5 GAL	10'-0"	LOW
1	CERCIS OCCIDENTALIS	WESTERN REDBUD	5 GAL	10'-0"	VERY LOW
SHRUB					
1	ARCTOSTAPHYLOS 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	1 GAL	5'-0"	LOW
1	CEANOTHUS 'DARK STAR'	DARK STAR CEANOTHUS	1 GAL	8'-0"	LOW
1	CEANOTHUS 'RAY HARTMMAN'	RAY HARTMAN WILD LILAC		10'-0"	LOW
1	CEANOTHUS GLORIOSUS 'ANCHOR BAY'	ANCHOR BAY CEANOTHUS	1 GAL	3'-0"	LOW
1	MAHONIA AQUIFOLIUM	OREGON GRAPE	5 GAL	3'-0"	LOW
15	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	3'-0"	MODERATE
7	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	COFFEEBERRY	1 GAL	6'-0"	LOW
1	RHAMNUS CALIFORNICUS 'SEA VIEW'	SEA VIEW COFFEEBERRY	15 GAL	4'-0"	LOW
3	RIBES SANGUINEUM 'CLAREMONT'	FLOWERING CURRANT	5 GAL	6'-0"	LOW
PERENNIAL					
19	HEUCHERA MAXIMA	ISLAND ALUM ROOT		1'-0"	MODERATE
1	ZAUSCHNERIA CALIFORNICA VAR. LATIFOLIA	EVERETT'S CALIFORNIA FUCHSIA	1 GAL	4'-0"	LOW
GROUND COVER					
1	ASCLEPIAS FASCICULARIS	NARROW LEAF MILKWEED	1 GAL	1'-6"	LOW
1	EPILOBIUM CANUM 'BOWMAN'S HYBRID'	BOWMAN'S CALIFORNIA FUCHSIA	1 GAL	1'-6"	LOW
1	LEONOTIS LEONURUS	LIONS TAIL	1 GAL	4'-0"	LOW
1	SALVIA 'ELK NOTE BLUE'	ELK NOTE BLUE SAGE	1 GAL	1'-0"	LOW
1	SALVIA CLEVELANDII 'WINNIFRED GILMAN'	CLEVELAND SAGE	1 GAL	3'-0"	LOW
14	SALVIA GREGGII 'MIRAGE SOFT PINK'	AUTUMN SAGE	1 GAL	1'-0"	LOW
1	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL	4'-0"	LOW
1	SALVIA X JAMENSIS 'NACHTVLIENDER'	COAHUILA SAGE	1 GAL	2'-0"	LOW
1	TEUCRIUM FRUTICANS 'AZUREUM'	BUSH GERMANDER	1 GAL	3'-0"	LOW
GRASS					
1	BOUTELOUA GRACILIS 'BLONDE AMBITION'	MOSQUITO GRASS	1 GAL	1'-6"	LOW
21	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH		2'-0"	LOW
1	LOMANDRA LONGIFOLIA 'NYALLA'	NYALLA MAT RUSH		3'-6"	LOW
1	MUHLENBERGIA DUBIA	PINE MUHLY	1 GAL	2'-0"	LOW
1	STIPA CERNUA	DESERT NEEDLE GRASS	1 GAL	2'-6"	LOW

**PLANT LEGEND**



**STATEMENT OF COMPLIANCE TO MWELO FOR DESIGN PLANS**

I HAVE COMPLIED WITH THE CRITERIA OF ARTICLE 19 OF THE ZONING CODE, INCLUDING ALL DESIGN STANDARDS OF SECTION 4-1908, AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

*Karen Koberke*

LANDSCAPE ARCHITECT SIGNATURE



Re: Tree and Root Protection at Willard Park

Ms. Wellbrock,

I have reviewed the plans for the new clubhouse and additional renovations at Willard Park. All of the tree and root protection measures outlined in the plans are consistent with industry standards and are acceptable as designed.

The fencing will keep all activity beyond the drip line of the coast live oak except where there is existing hardscape and will protect the critical root zone of the other trees that are being retained. Any roots four inches in diameter or less that are encountered during the excavation may be pruned as necessary. If any roots greater than four inches are encountered, contact the Urban Forestry Unit for review prior to pruning. Root pruning shall be performed using a stump/root cutting machine, saw, axe, or any other sharp blade tool; resulting in a flat surface with the adjacent bark firmly attached. No roots shall be torn or pulled using any other tools or machinery unless already severed on each end by one of the approved pruning tools.

Thank you,  
Thomas Dodge  
Urban Forestry Technician,  
City of Berkeley, PR&W



2040 Addison St. Berkeley, CA 94704  
510.549.2929 | elsarch.com

PROJECT:  
**WILLARD PARK CLUBHOUSE**

CITY SPECIFICATION NUMBER:  
**201730.27**

ELS PROJECT NUMBER:

CLIENT:  
**CITY OF BERKELEY, CA**

PROJECT TEAM:  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
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Berkeley, CA 94704  
P: 510.549.2929

**CIVIL ENGINEER:**  
BK F ENGINEERS  
1648 N. California Blvd, Suite 400  
Walnut Creek, CA 94596  
925.940.2200

**LANDSCAPE ARCHITECT:**  
FGA design LANDSCAPE ARCHITECTS  
444 17th Street  
Oakland, CA 94612  
510.465.1284

**STRUCTURAL ENGINEER:**  
IDA STRUCTURAL ENGINEERS, INC.  
1629 Telegraph Avenue, Suite 300  
Oakland, CA 94612  
510.834.1629

**MECHANICAL AND PLUMBING ENGINEER:**  
ALTER CONSULTING ENGINEERS  
1624 Franklin St. #1300  
Oakland, CA 94612  
510.474.0379

**ELECTRICAL ENGINEER:**  
RJA INC.  
5615 Doyle Street, #7  
Emeryville, CA 94608  
415.730.7694

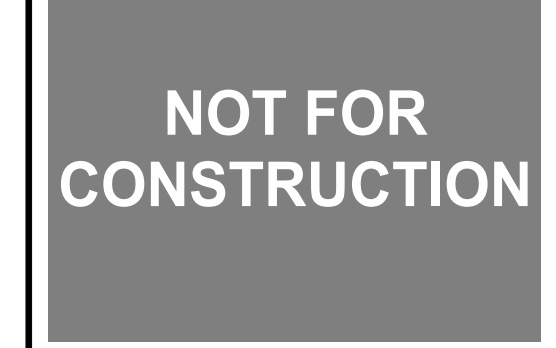
**ACOUSTICAL ENGINEER:**  
SALTER ENGINEER  
138 Sutter Street, Floor 5  
San Francisco, CA 94104  
415.397.0442

REVISION		
NUMBER	DATE	DESCRIPTION

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DATE:

STAMP:



SHEET TITLE:  
**PLANTING SCHEDULE & NOTES**

SHEET NUMBER:

**L1.5**



2040 Addison St. Berkeley, CA 94704  
 510.549.2929 | elsarch.com

PROJECT:  
**WILLARD PARK CLUBHOUSE**

2720 HILLEGASS AVE., BERKELEY, CA 94705

CITY SPECIFICATION NUMBER:  
 201730.27

ELS PROJECT NUMBER:

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**CITY OF BERKELEY, CA**

PROJECT TEAM:

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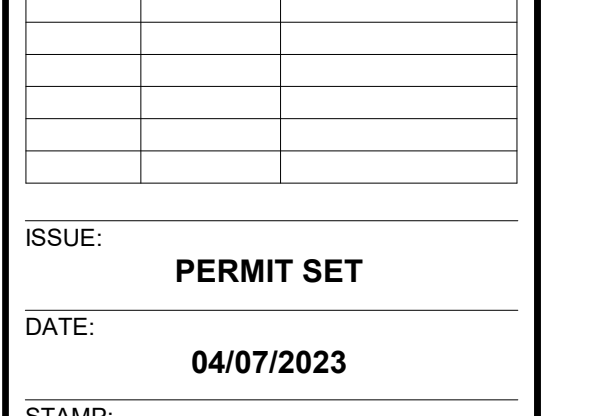
REVISION

NUMBER	DATE	DESCRIPTION

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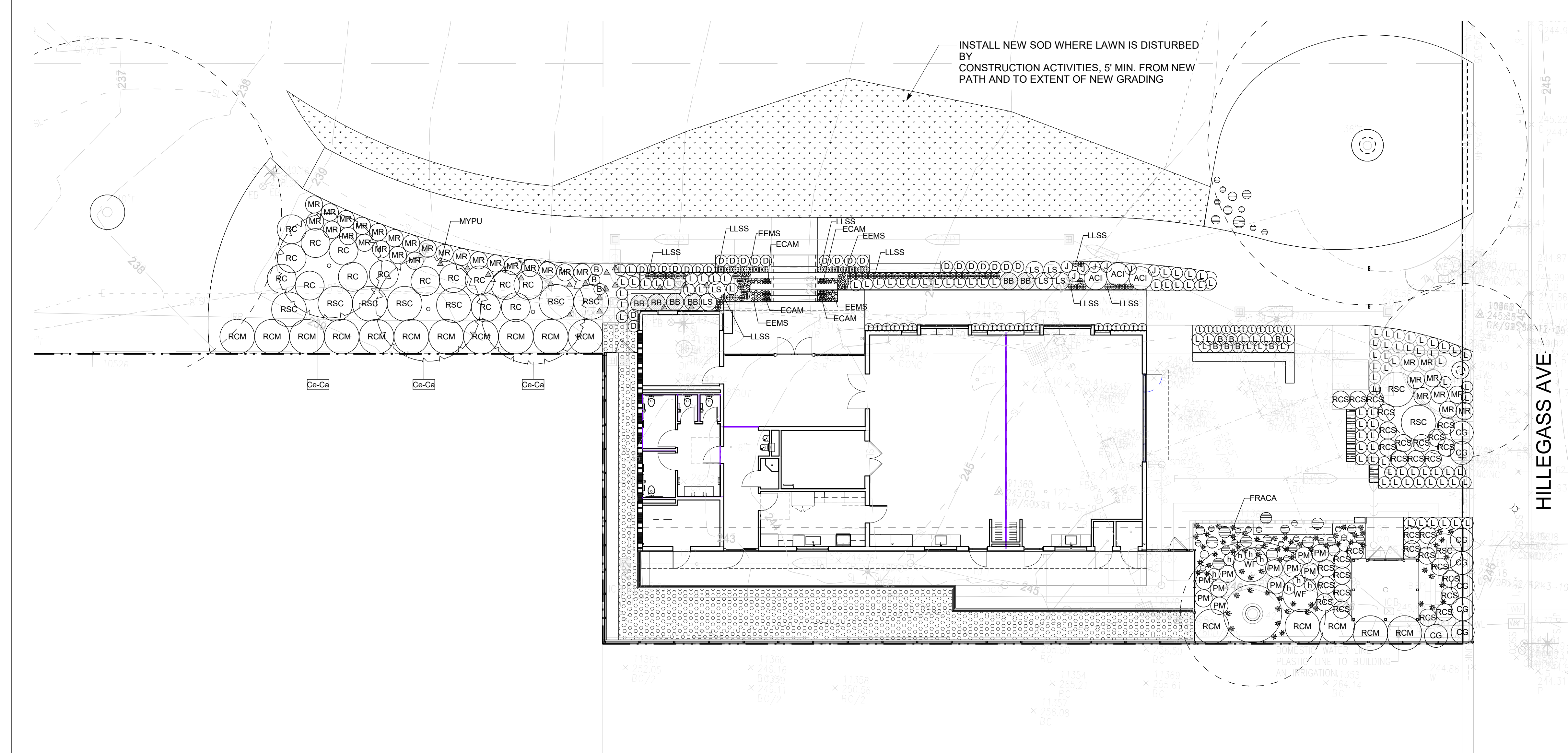
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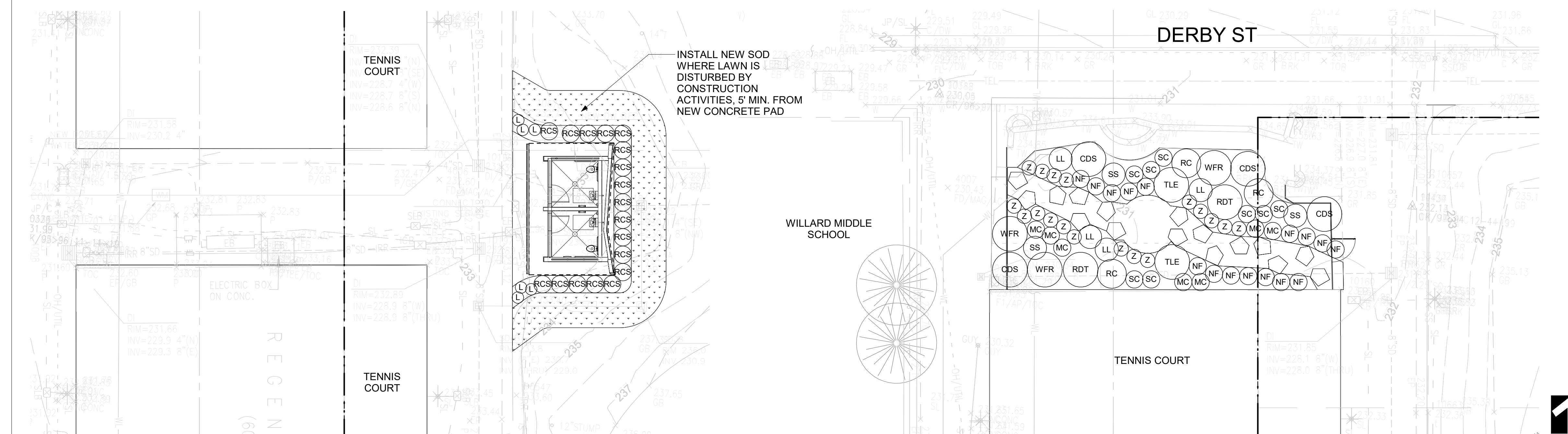


SHEET TITLE:  
**PLANTING PLAN**

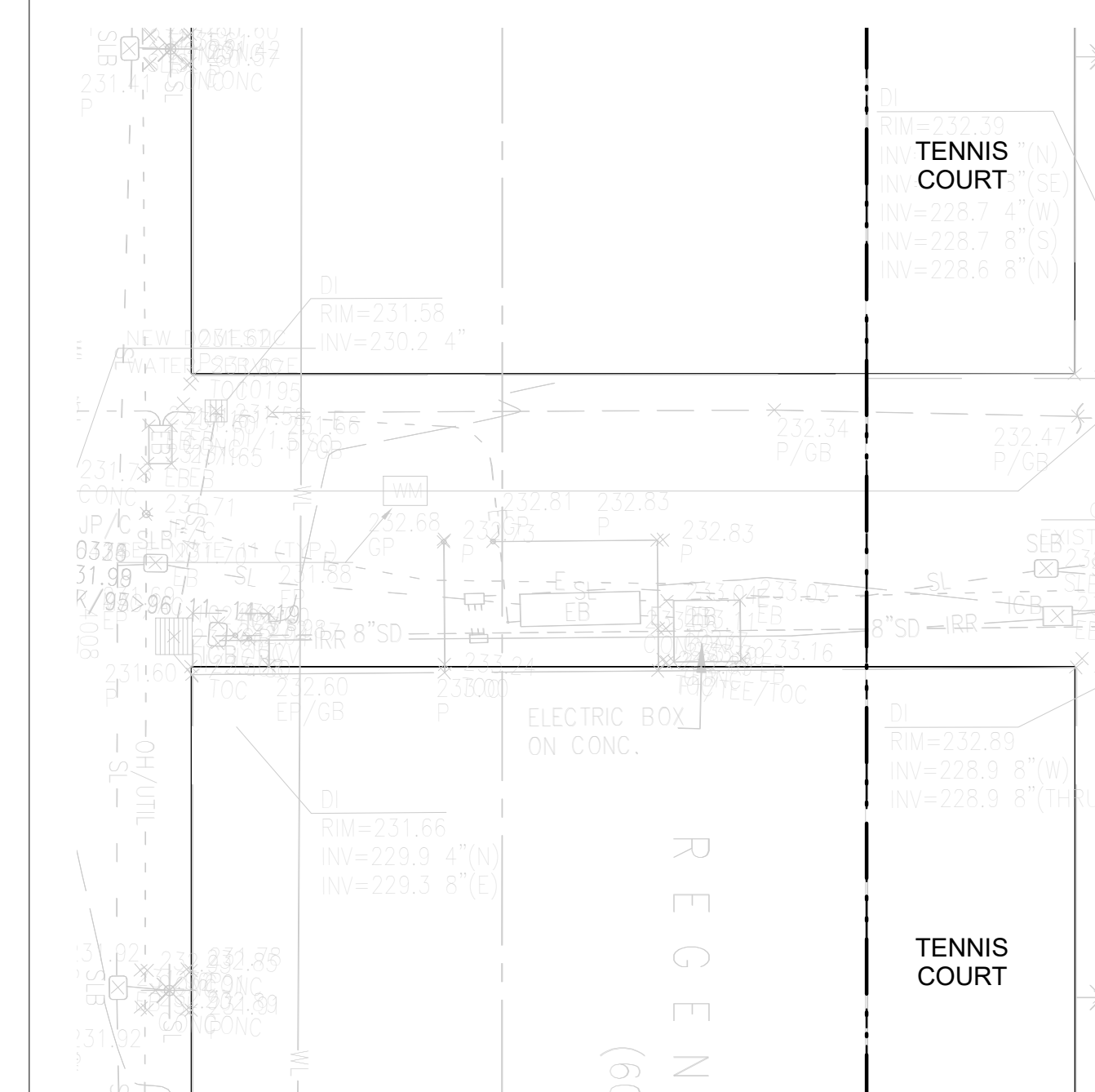
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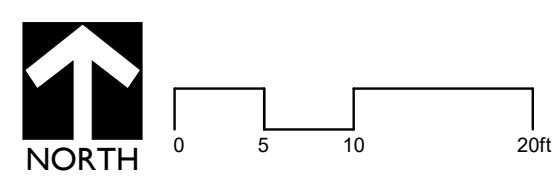
PLANTING PLAN-CLUBHOUSE  
 1" = 10'-0"

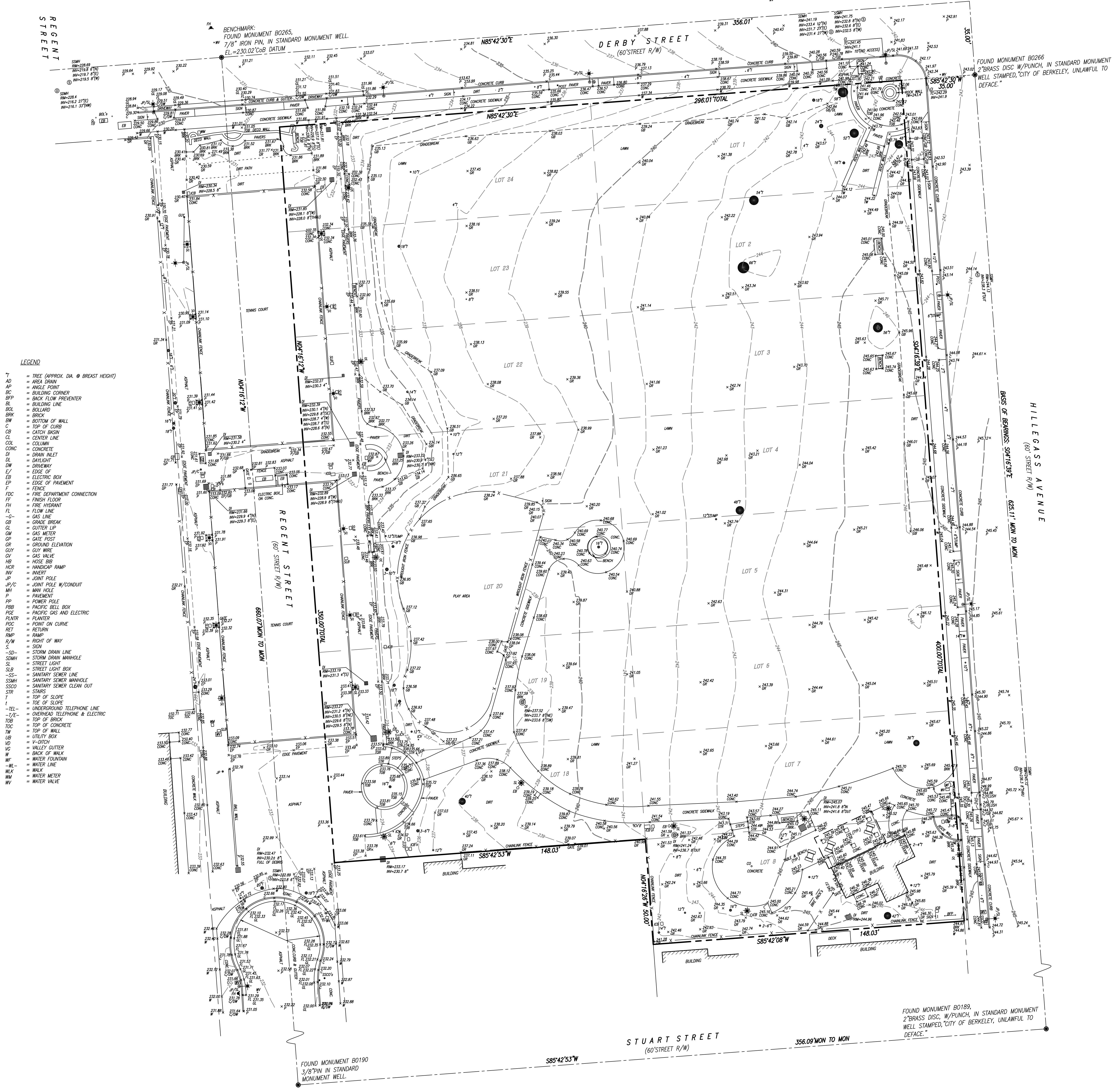
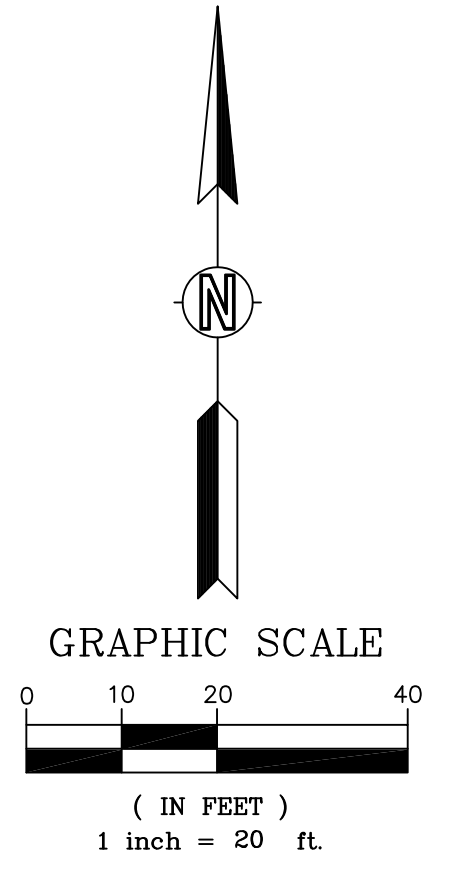


PLANTING PLAN-POLLINATOR GARDEN  
 1" = 10'-0"



PLANTING PLAN-RESTROOM  
 1" = 10'-0"





- LEGEND**
- T = TREE (APPROX. DIA. @ BREAST HEIGHT)
  - AD = AREA DRAIN
  - AP = ANGLE POINT
  - BC = BUILDING CORNER
  - BF = BACK FLOW PREVENTER
  - BL = BUILDING LINE
  - BLD = BUILDING
  - BRK = BRICK
  - BRK = BOTTOM OF WALL
  - C = TOP OF CURB
  - CB = CATCH BASIN
  - CL = COVER LINE
  - COL = COLUMN
  - CONC = CONCRETE
  - DNW = DOWN INLET
  - DL = DRAINAGE
  - DM = DRIVEWAY
  - E = EDGE OF
  - EB = EDGE OF BOX
  - EP = EDGE OF PAVEMENT
  - F = FENCE
  - FD = FIRE DEPARTMENT CONNECTION
  - FF = FINISH FLOOR
  - FIH = FIRE HYDRANT
  - FL = FLOW LINE
  - GB = GRADE BREAK
  - GL = GUTTER LIP
  - GM = GAS METER
  - GP = GATE POST
  - GR = GROUND ELEVATION
  - GUY = GUY WIRE
  - GV = GAS VALVE
  - HCR = HANDICAP RAMP
  - HW = HOLE
  - JP = JOINT POLE
  - JP/C = JOINT POLE W/CONDUIT
  - MA = MAN HOLE
  - P = PAVEMENT
  - PR = POWER POLE
  - PBB = PACIFIC BELL BOX
  - PGE = PACIFIC GAS AND ELECTRIC
  - PLNTR = PLANTED
  - POC = POINT ON CURVE
  - RET = RETURN
  - RMP = RAMP
  - R/W = RIGHT OF WAY
  - SD = STORM DRAIN LINE
  - SDM = STORM DRAIN MANHOLE
  - SL = STREET LIGHT
  - SLB = STREET LIGHT BOX
  - SSM = SANITARY SEWER MANHOLE
  - SSCO = SANITARY SEWER CLEAN OUT
  - STR = STAIRS
  - T = TOP OF SLOPE
  - TEL = TELEPHONE
  - TEL/E = UNDERGROUND TELEPHONE LINE OVERHEAD TELEPHONE & ELECTRIC
  - TOB = TOP OF BRICK
  - TOC = TOP OF CONCRETE
  - TW = TOP OF WALL
  - UB = UTILITY BOX
  - VC = VALVE
  - VC = VALVE CUTTER
  - WF = WATER FOUNTAIN
  - WL = WATER LINE
  - WLF = WALK
  - WM = WATER METER
  - WV = WATER VALVE

- GENERAL NOTES**
1. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND MARKINGS PROVIDED. GEOTECH UTILITY LOCATORS, LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
  2. CONTRACTORS AND OTHERS PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES.
  3. CONTOUR INTERVAL = 1'
  4. BASIS OF BEARINGS: THE ASSUMED BEARING S04°16'39"E BETWEEN TWO FOUND CITY OF BERKELEY MONUMENTS ON HILLEGASS AVENUE.
  5. BENCHMARK: MONUMENT B0265, FOUND 7/8" IRON PIN IN MONUMENT WELL. ELEVATION = 230.02' COB DATUM.



*Patrick M. Rei*  
 PATRICK M. REI  
 LS # 8178  
 DATE: 12/9/19

<p>REFERENCES</p> <p>FIELD BOOK No.                  FILE MAP                  TITLE CO.                  POLICY No.                  DATUM: C.G.D.                  MISC. REF.:</p>	<p><b>KISTER, SAVIO &amp; REI, INC.</b>                  LAND SURVEYORS - CIVIL ENGINEERS</p> <p>825 SAN PABLO AVE                  PINOLE, CALIFORNIA 94564                  PHONE: (510) 222-4020 FAX: (510) 222-3718                  E-MAIL: info@ksrinc.net</p>
<p>REVISIONS</p> <p>09/30/2022                  REMOVED 367 TREE PER EMAIL FROM CITY OF BERKELEY, SEPTEMBER 28, 2022.</p>	<p>DESCRIPTION</p> <p><b>TOPOGRAPHIC SURVEY</b></p> <p>WILLARD PARK</p>
<p>BERKELEY, CALIFORNIA</p> <p>FOR: CITY OF BERKELEY</p> <p>SCALE: 1" = 20'</p> <p>DATE: 12/09/19</p>	<p>JOB No. 19653-19-07</p> <p>DWG No. 0-1431 TOPO</p>



# Z O N I N G A D J U S T M E N T S B O A R D

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## NOTICE OF PUBLIC HEARING

### 2720 Hillegass Avenue– Willard Park

**Use Permit #ZP2022-0095 to demolish the existing clubhouse and restroom, construct a 3,301 square-foot single-story (18 feet) community center with a variance for a rear setback of 16 feet where 20 feet is required, and add a new single-story restroom building (12 feet).**

The Zoning Adjustments Board of the City of Berkeley will hold a public hearing on the above matter, pursuant to Zoning Ordinance Section 23.404.

**When:** Thursday, April 27, 7:00 pm

**Where:** Berkeley Unified School District meeting room, 1231 Addison Street, (wheelchair accessible) with remote/hybrid option (via Zoom).

**Please see the Agenda for details:**

[https://berkeleyca.gov/sites/default/files/documents/2023-04-27\\_ZAB%20Agenda.pdf](https://berkeleyca.gov/sites/default/files/documents/2023-04-27_ZAB%20Agenda.pdf)

***PUBLIC ADVISORY: THIS MEETING WILL BE CONDUCTED IN A HYBRID MODEL WITH BOTH IN-PERSON ATTENDANCE AND VIRTUAL PARTICIPATION AVAILABLE FOR MEMBERS OF THE PUBLIC.***

*For in-person attendees, face coverings or masks that cover both the nose and mouth are encouraged. If you're feeling sick, please do not attend the meeting in-person as a public health precaution.*

*Currently, there are no physical distancing requirements in place by the State of California or the Local Health Officer for an indoor event similar to a Commission meeting. However, all attendees are requested to be respectful of the personal space of other attendees. An area of the public seating area will be designated as "distanced seating" to accommodate persons that need to distance for personal health reasons.*

#### **A. Land Use Designations:**

- General Plan: OS – Open Space and Recreation
- Zoning: R-2 – Restricted Two-Family Residential District

2720 HILLEGASS AVENUE- WILLARD PARK  
Page 2 of 3

NOTICE OF PUBLIC HEARING  
Posted APRIL 13, 2023

**B. Zoning Permits Required:**

- Variance, under Berkeley Municipal Code (BMC) Section 23.406.050, from BMC Section 23.202.080(D)(1) to allow a rear setback of 16 feet for the community center where 20 feet is required.
- Use Permit, under BMC Section 23.326.070(A), to demolish a non-residential main building.
- Use Permit, under BMC Section 23.202.020(A), to construct a community center.
- Administrative Use Permit, under Section 23.304.060(C)(1) to add an accessory building (restroom).

**C. CEQA Recommendation:** Categorically exempt pursuant to Section 15303 of the CEQA Guidelines (“New Construction”).

**D. Parties Involved:**

- Applicant Evelyn Chan, City of Berkeley, Parks, Recreation, and Waterfront Department
- Property Owner City of Berkeley

**Further Information:**

All application materials are available online at:

<https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx>.

The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>.

Questions about the project should be directed to the project planner, Allison Riemer, at (510) 981-7433 or [ariemer@cityofberkeley.info](mailto:ariemer@cityofberkeley.info).

Written comments or a request for a Notice of Decision should be directed to the Zoning Adjustments Board Secretary at [zab@cityofberkeley.info](mailto:zab@cityofberkeley.info).

**Communication Disclaimer:**

Communications to Berkeley boards, commissions or committees are public record and will become part of the City’s electronic records, which are accessible through the City’s website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

**Written Comments, Communications, and Reports:**

Written comments must be directed to the ZAB Secretary at the Land Use Planning Division (Attn: ZAB Secretary), or via e-mail to: [zab@cityofberkeley.info](mailto:zab@cityofberkeley.info). All materials will be made available via the Zoning Adjustments Board Agenda page online at this address: <https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board>

All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

2720 HILLEGASS AVENUE- WILLARD PARK  
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NOTICE OF PUBLIC HEARING  
Posted APRIL 13, 2023

**Correspondence received by 5:00 PM, eight days before this public hearing, will be provided with the agenda materials provided to the Board.** Note that if you submit a hard copy document of more than 10 pages, or in color, or with photos, you must provide 15 copies. Correspondence received after this deadline will be conveyed to the Board in the following manner:

- **Correspondence received by 5:00 PM two days before** this public hearing, will be conveyed to the Board in a Supplemental Communications and Reports, which is released around noon one day before the public hearing; or
- **Correspondence received after 5:00 PM two days before** this public hearing will be saved in the project administrative record.



**Accessibility Information / ADA Disclaimer:**

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6342 (V) or 981-6345 (TDD) at least three business days before the meeting date.

**SB 343 Disclaimer:**

Any writings or documents provided to a majority of the Commission regarding any item on this agenda will be made available to the public. Please contact the Land Use Planning Division (zab@cityofberkeley.info) to request hard-copies or electronic copies.

**Notice Concerning Your Legal Rights:**

If you object to a decision by the Zoning Adjustments Board regarding a land use permit project, the following requirements and restrictions apply:

1. If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice.
2. You must appeal to the City Council within fourteen (14) days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, the following requirements apply:
  - A. That this belief is a basis of your appeal.
  - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
  - C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above. If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.



Internal

## Section 1:

### G. Pre-Application Contact for any Project of Community or Neighborhood Interest

Five community meetings were held for this project.

On October 2, 2019, staff and the design team hosted the first community design workshop at the Willard Clubhouse to gather comments and public input. The workshop was split into two sessions – the first session focused on the afterschool care program, and the second session was an open community meeting. Both sessions were open to the public. The workshop format allowed anyone who attended to have an opportunity to participate, engage and voice their opinions.

Following the first community workshop, the plan was to hold the second community workshop on March 21, 2020 and present three emerging conceptual design options. The plan also included conducting an online survey following the community workshop to generate additional feedback and allow those not able to attend the in-person meeting an opportunity to provide input. Due to the COVID-19 (Coronavirus) global pandemic, all public in-person meetings were cancelled and residents were directed to shelter-in-place by order of the City of Berkeley Public Health Officer.

The project team quickly switched to remote engagement and utilized digital, phone-in, or mail-in input. The consultant team developed a digital presentation including: images of the site, explanation of current uses, proposed new and additional uses, discussion about the public process to date, questions to determine how respondents currently use the park and/or clubhouse and how they might use it with a new clubhouse. The presentation included three conceptual design options with questions to gather input on each one, and finally images of possible landscape features along with questions for feedback. An online survey was conducted from May 28, 2020 through June 22, 2020 and a total of 59 responses were received.

On July 1, 2021, a virtual community workshop was held to present the results of the survey and feedback received thus far on the conceptual design options.

On August 14, 2021, staff and the design team hosted the third community meeting at Willard Park to present modified conceptual design options for the new Clubhouse and public restrooms based on feedback received. A draft tree plan for the entire Willard Park, prepared by the City of Berkeley Urban Forestry staff, was also presented.

On August 19, 2021, a virtual community meeting was held in order to accommodate individuals not comfortable with an in-person meeting. The same material from the August 14<sup>th</sup> meeting was presented.

On October 28, 2021, the fifth and last community meeting was held to present the final conceptual design for the new Clubhouse and public restrooms.

For each of these meetings, an announcement flyer was mailed to residences within 1000 feet of Willard Park at least 3 weeks in advance of the meeting, as well as being posted in several locations at Willard Park. The mailing list is attached. The flyers and presentations for all of the community meetings can be provided upon request. The meeting announcement was also posted online on the City's events

Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

calendar and Measure T1 updates webpage, on the Berkeleyside calendar, and also emailed to residents who requested to be added to the project interest list.

The mailing list is attached. Flyers, presentations and meeting notes for all of the community meetings are available upon request.

<u>WILLARD CLUBHOUSE AND RESTROOM REPLACEMENT PROJECT MAILING LIST</u>							
Addresssee	FullAddress	City	ZipCode				
OWNER/OCCUPANT	2442 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	343 SANSOME ST 1500	SAN FRANCISCO CA	94104
OWNER/OCCUPANT	2900 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	2806 CHERRY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2906 HILLEGASS AVE A	BERKELEY CA	94705	OWNER/OCCUPANT	2809A COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2906 HILLEGASS AVE B	BERKELEY CA	94705	OWNER/OCCUPANT	2821 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2908 HILLEGASS AVE C	BERKELEY CA	94705	OWNER/OCCUPANT	427 WESTERN DR	POINT RICHMOND CA	94801
OWNER/OCCUPANT	2510 RUSSELL ST 1	BERKELEY CA	94705	OWNER/OCCUPANT	2737 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2510 RUSSELL ST 2	BERKELEY CA	94705	OWNER/OCCUPANT	2810 CHERRY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2901 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	2804 CHERRY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2902 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	601 CALIFORNIA ST 1500	SAN FRANCISCO CA	94108
OWNER/OCCUPANT	2520 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2811 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2905 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	1901 HARRISON ST 1100	OAKLAND CA	94612
OWNER/OCCUPANT	2906 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2706 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2510 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2802 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2512 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2638 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	1826 KIRKHAM ST	SAN FRANCISCO CA	94122	OWNER/OCCUPANT	2640 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	5561 HARBORD DR	OAKLAND CA	94618	OWNER/OCCUPANT	2816 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2901 HILLEGASS AVE 3	BERKELEY CA	94705	OWNER/OCCUPANT	2818 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2901 HILLEGASS AVE 4	BERKELEY CA	94705	OWNER/OCCUPANT	2804 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2904 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2801 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2945 ASHBY AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2636 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	PO BOX 3508	OAKLAND CA	94609	OWNER/OCCUPANT	2829 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2612 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	123 CRESCENT AVE	SAUSALITO CA	94965
OWNER/OCCUPANT	2610 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2824 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2907 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2835 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2616 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2819 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2902 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2550 DANA ST 8D	BERKELEY CA	94704
OWNER/OCCUPANT	2210 JACKSON ST 801	SAN FRANCISCO CA	94115	OWNER/OCCUPANT	2240 BLAKE ST 99	BERKELEY CA	94704
OWNER/OCCUPANT	2638 RUSSELL ST 2	BERKELEY CA	94705	OWNER/OCCUPANT	2815 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	1271 SPRUCE ST	BERKELEY CA	94709	OWNER/OCCUPANT	2810 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2638 RUSSELL ST 4	BERKELEY CA	94705	OWNER/OCCUPANT	3019 PINE ST	SN FRANCISCO CA	94115
OWNER/OCCUPANT	2901 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2805 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2707 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2831 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2711 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2635 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	1749 M L KING JR WAY	BERKELEY CA	94709	OWNER/OCCUPANT	2639 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	5215 MASONIC AVE	OAKLAND CA	94618	OWNER/OCCUPANT	2929 AVALON AVE	BERKELEY CA	94705
OWNER/OCCUPANT	423 7TH ST 420	OAKLAND CA	94607	OWNER/OCCUPANT	2833 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2710 GARBER ST	BERKELEY CA	94705	OWNER/OCCUPANT	2649 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2712 GARBER ST	BERKELEY CA	94705	OWNER/OCCUPANT	2823 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	P O BOX 5141	BERKELEY CA	94705	OWNER/OCCUPANT	2811 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2751 COLLEGE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2648 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2718 GARBER ST	BERKELEY CA	94705	OWNER/OCCUPANT	6401 BENVENUE AVE	OAKLAND CA	94618
OWNER/OCCUPANT	2715 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	252 MANZANITA DR	ORINDA CA	94563
OWNER/OCCUPANT	2719 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	30 HALKIN LN	BERKELEY CA	94708
OWNER/OCCUPANT	244 ALVARADO RD	BERKELEY CA	94705	OWNER/OCCUPANT	2829 HILLEGASS AVE	BERKELEY CA	94705
				OWNER/OCCUPANT	2828 BENVENUE AVE	BERKELEY CA	94705
				OWNER/OCCUPANT	2803 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2824 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2828 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2838 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2505 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2615 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2800 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2835 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	73 MAPLE LEAF WAY	ATHERTON CA	94027
OWNER/OCCUPANT	2804 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2830 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2601 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2807 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2830 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2845 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2811 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2841 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2115 SHATTUCK AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2834 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2606 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2833 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2614 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2421 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	2832 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2418 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	5434 RIVER RD N 106	KEIZER OR	97303	OWNER/OCCUPANT	2422 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	P.O. BOX 5832	BERKELEY CA	94705	OWNER/OCCUPANT	2436 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2825 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2406 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2833 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2342 SHATTUCK AVE 800	BERKELEY CA	94705
OWNER/OCCUPANT	2827 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	19 DUNFIRTH DR	HAYWARD CA	94542
OWNER/OCCUPANT	3305 GRAY MARE WAY	ANTELOPE CA	95843	OWNER/OCCUPANT	2342 SHATTUCK AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2804 HILLEGASS AVE 1	BERKELEY CA	94705	OWNER/OCCUPANT	5580 FERNHOFF RD	OAKLAND CA	94619
OWNER/OCCUPANT	2357 GLENDON AVE	LOS ANGELES CA	90064	OWNER/OCCUPANT	2813 TELEGRAPH AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2804 HILLEGASS AVE 3	BERKELEY CA	94705	OWNER/OCCUPANT	2428 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2815 REGENT ST 1	BERKELEY CA	94705	OWNER/OCCUPANT	2434 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2815 REGENT ST 2	BERKELEY CA	94705	OWNER/OCCUPANT	2419 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	7 MAPLE AVE	ATHERTON CA	94027	OWNER/OCCUPANT	2812 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	972 EUCLID AVE	BERKELEY CA	94708	OWNER/OCCUPANT	2433 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	2822 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2435 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	PO BOX 5489	BERKELEY CA	94705	OWNER/OCCUPANT	6640 THORNHILL DR	OAKLAND CA	94611
OWNER/OCCUPANT	2808 HILLEGASS AVE A2	BERKELEY CA	94705	OWNER/OCCUPANT	215 PACIFIC AVE	PIEDMONT CA	94611
OWNER/OCCUPANT	2808 HILLEGASS AVE A4	BERKELEY CA	94705	OWNER/OCCUPANT	2808 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2808 HILLEGASS AVE 5	BERKELEY CA	94705	OWNER/OCCUPANT	1196 MONTICELLO RD	LAFAYETTE CA	94549
OWNER/OCCUPANT	2812 HILLEGASS AVE B1	BERKELEY CA	94705	OWNER/OCCUPANT	1085 SPRUCE ST	BERKELEY CA	94707
OWNER/OCCUPANT	12829 ROSE AVE	LOS ANGELES CA	90066	OWNER/OCCUPANT	2440 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2814 HILLEGASS AVE C1	BERKELEY CA	94705	OWNER/OCCUPANT	2800 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2814 HILLEGASS AVE C2	BERKELEY CA	94705	OWNER/OCCUPANT	2416 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2814 HILLEGASS AVE C3	BERKELEY CA	94705	OWNER/OCCUPANT	2221 WOOLSEY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2804 HILLEGASS AVE B	BERKELEY CA	94705	OWNER/OCCUPANT	2439 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	2829 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	2820 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2811 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	2425 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	2510 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	5247 ADRIAN ORCHARD DR	INDIANAPOLIS IN	46217
OWNER/OCCUPANT	2803 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	1008 ORDWAY ST	ALBANY CA	94706
OWNER/OCCUPANT	2821 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	2415 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2816 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2417 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2837 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	2419 RUSSELL ST 5	BERKELEY CA	94705
OWNER/OCCUPANT	2515 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2425 RUSSELL ST 6	BERKELEY CA	94705
OWNER/OCCUPANT	2842 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2427 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2817 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	3280 SAWTELLE BLVD 207	LOS ANGELES CA	90066
OWNER/OCCUPANT	2827 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	14949 SOBEY RD	SARATOGA CA	95070

OWNER/OCCUPANT	910 DIAS DR	CHICO CA	95926	OWNER/OCCUPANT	2344 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2421 RUSSELL ST 10	BERKELEY CA	94705	OWNER/OCCUPANT	2715 DANA ST	BERKELEY CA	94705
OWNER/OCCUPANT	2447 RUSSELL ST A	BERKELEY CA	94705	OWNER/OCCUPANT	6224 AUBURN AVE	OAKLAND CA	94618
OWNER/OCCUPANT	2432 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2711 DANA ST	BERKELEY CA	94705
OWNER/OCCUPANT	2828 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	P O BOX 191232	SAN FRANCISCO CA	94119
OWNER/OCCUPANT	2424 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2707 DANA ST	BERKELEY CA	94705
OWNER/OCCUPANT	2422 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2706 TELEGRAPH AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2436 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2718 TELEGRAPH AVE 208	BERKELEY CA	94705
OWNER/OCCUPANT	2440 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2709 DANA ST	BERKELEY CA	94705
OWNER/OCCUPANT	2840 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	2404 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2836 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	5663 FLORENCE TER	OAKLAND CA	94611
OWNER/OCCUPANT	2435 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2134 M L KING JR WAY	BERKELEY CA	94704
OWNER/OCCUPANT	2439 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	22 PURCELL DR	ALAMEDA CA	94502
OWNER/OCCUPANT	2441 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	PO BOX 5832	BERKELEY CA	94705
OWNER/OCCUPANT	2445 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2180 MILVIA ST	BERKELEY CA	94704
OWNER/OCCUPANT	1400 SHATTUCK AVE 8	BERKELEY CA	94709	OWNER/OCCUPANT	108 ARLENE DR	WALNUT CREEK CA	94595
OWNER/OCCUPANT	2428 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2731 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	131 RAMONA AVE	PIEDMONT CA	94611	OWNER/OCCUPANT	1441 CAMINO ROBLES WAY	SAN JOSE CA	95120
OWNER/OCCUPANT	2830 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	11 SWIFT CT	ALAMEDA CA	94502
OWNER/OCCUPANT	2449 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2740 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	1304 SOUTH POINT DR 250	PETALUMA CA	94954	OWNER/OCCUPANT	300 CHARLES ST	LOS GATOS CA	95032
OWNER/OCCUPANT	PO BOX 19306	ENCINO CA	91416	OWNER/OCCUPANT	2747 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2334 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2509 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2800 TELEGRAPH AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2701 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2828 TELEGRAPH AVE	BERKELEY CA	94705	OWNER/OCCUPANT	1544 OLYMPIUS AVE	BERKELEY CA	94708
OWNER/OCCUPANT	1600 SHATTUCK AVE 106	BERKELEY CA	94709	OWNER/OCCUPANT	2060 UNION ST 7	SAN FRANCISCO CA	94123
OWNER/OCCUPANT	28655 VIA CASILINA PKWY	ESCALON CA	95320	OWNER/OCCUPANT	2712 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2801 SHATTUCK AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2714 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	330 RIVERA ST	SAN FRANCISCO CA	94116	OWNER/OCCUPANT	2716 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2347 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2721 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	1555 MARIN AVE	ALBANY CA	94706	OWNER/OCCUPANT	1325 ARCH ST	BERKELEY CA	94708
OWNER/OCCUPANT	2345 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2708 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2341 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2731 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	PO BOX 5657	BERKELEY CA	94705	OWNER/OCCUPANT	2615 STUART ST 6	BERKELEY CA	94705
OWNER/OCCUPANT	11339 EASTBROOK AVE	LOS ALTOS CA	94024	OWNER/OCCUPANT	2747 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2339 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2734 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2343 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2738 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2331 WARD ST	BERKELEY CA	94705	OWNER/OCCUPANT	251 EMBARCADERO RD	PALO ALTO CA	94301
OWNER/OCCUPANT	2703 S HOOVER ST	LOS ANGELES CA	90007	OWNER/OCCUPANT	2717 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2340 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	2707 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2702 DANA ST	BERKELEY CA	94705	OWNER/OCCUPANT	241 ARROWHEAD WAY	HAYWARD CA	94544
OWNER/OCCUPANT	2337 WARD ST	BERKELEY CA	94705	OWNER/OCCUPANT	2715 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2333 WARD ST	BERKELEY CA	94705	OWNER/OCCUPANT	2610 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	5464 COLLEGE AVE A	OAKLAND CA	94618	OWNER/OCCUPANT	2742 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	243 COLUSA AVE	KENSINGTON CA	94707	OWNER/OCCUPANT	2735 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2714 DANA ST	BERKELEY CA	94705	OWNER/OCCUPANT	2725 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2712 DANA ST	BERKELEY CA	94705	OWNER/OCCUPANT	2710 BENVENUE AVE A	BERKELEY CA	94705
OWNER/OCCUPANT	2705 HILLEGASS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2629 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2704 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	3282 GREENHILLS DR	LAFAYETTE CA	94549
OWNER/OCCUPANT	2700 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 306	BERKELEY CA	94704
OWNER/OCCUPANT	2608 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	213 W NORTHVIEW RD	ITHACA NY	14850
OWNER/OCCUPANT	PO BOX 1475	MILLBRAE CA	94030	OWNER/OCCUPANT	2601 COLLEGE AVE 308	BERKELEY CA	94704
OWNER/OCCUPANT	2914 PIEDMONT AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 309	BERKELEY CA	94704
OWNER/OCCUPANT	2732 COLLEGE AVE 2	BERKELEY CA	94705	OWNER/OCCUPANT	121 BISCAY BAY	ALAMEDA CA	94502
OWNER/OCCUPANT	9717 BRIARCLIFFE LN	ELLICOTT CITY MD	21042	OWNER/OCCUPANT	1943 ROSECREST DR	OAKLAND CA	94602
OWNER/OCCUPANT	480 3RD ST	OAKLAND CA	94607	OWNER/OCCUPANT	259 EATON RD	SAN MATEO CA	94402
OWNER/OCCUPANT	2647 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 301	BERKELEY CA	94704
OWNER/OCCUPANT	2746 COLLEGE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	60 FERNWOOD DR	SAN FRANCISCO CA	94127
OWNER/OCCUPANT	2641 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	16024 TEMECULA ST	PACIFIC PALISADES CA	90272
OWNER/OCCUPANT	1683 SHATTUCK AVE A	BERKELEY CA	94709	OWNER/OCCUPANT	4692 SANTORINI DR	CYPRESS CA	90630
OWNER/OCCUPANT	2723 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2316 TIPPERARY AVE	SOUTH SAN FRANCISCO CA	94080
OWNER/OCCUPANT	5217 BRISTOL PL	NEWARK CA	94560	OWNER/OCCUPANT	32 OAK TREE LN	FAIRFAX CA	94930
OWNER/OCCUPANT	1880 MISSION ST E	SAN FRANCISCO CA	94103	OWNER/OCCUPANT	2030 33RD AVE	SAN FRANCISCO CA	94116
OWNER/OCCUPANT	106 JANIE CT	EL CERRITO CA	94530	OWNER/OCCUPANT	995 CAMERON CIR	MILPITAS CA	95035
OWNER/OCCUPANT	4110 EL NIDO RANCH RD	LAFAYETTE CA	94549	OWNER/OCCUPANT	2246 MAGNOLIA BRIDGE DR	SAN RAMON CA	94582
OWNER/OCCUPANT	2278 SHATTUCK AVE	BERKELEY CA	94704	OWNER/OCCUPANT	15752 KAVIN LN	LOS GATOS CA	95030
OWNER/OCCUPANT	13009 NEPTUNE DR	SAN LEANDRO CA	94577	OWNER/OCCUPANT	2601 COLLEGE AVE 211	BERKELEY CA	94704
OWNER/OCCUPANT	2717 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 112	BERKELEY CA	94704
OWNER/OCCUPANT	2733 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	24743 OLIVE TREE LN	LOS ALTOS HILLS CA	94024
OWNER/OCCUPANT	252 GRAVATT DR	BERKELEY CA	94705	OWNER/OCCUPANT	910 BEACON ST 3	BOSTON MA	2215
OWNER/OCCUPANT	2107 DWIGHT WAY 102	BERKELEY CA	94704	OWNER/OCCUPANT	2601 COLLEGE AVE 203	BERKELEY CA	94704
OWNER/OCCUPANT	2709 BENVENUE AVE A	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 204	BERKELEY CA	94704
OWNER/OCCUPANT	2705 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2940 CHURCHILL DR	HILLSBOROUGH CA	94010
OWNER/OCCUPANT	2731 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	950 KENSINGTON DR	FREMONT CA	94539
OWNER/OCCUPANT	2727 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 107	BERKELEY CA	94704
OWNER/OCCUPANT	2700 COLLEGE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	6831 STEAMBOAT WAY	SACRAMENTO CA	95831
OWNER/OCCUPANT	P O BOX 5945	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 109	BERKELEY CA	94704
OWNER/OCCUPANT	2626 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	1411 BIRCHWOOD LN	SACRAMENTO CA	95822
OWNER/OCCUPANT	2640 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	10028 LUBAO AVE	CHATSWORTH CA	91311
OWNER/OCCUPANT	PO BOX 551	LAFAYETTE CA	94549	OWNER/OCCUPANT	2601 COLLEGE AVE 101	BERKELEY CA	94704
OWNER/OCCUPANT	2701 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	760 PICO AVE	SAN MATEO CA	94403
OWNER/OCCUPANT	966 SAN PABLO AVE	ALBANY CA	94706	OWNER/OCCUPANT	10580 GUIBAL AVE	GILROY CA	95020
OWNER/OCCUPANT	3132 COLLEGE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	477 41ST AVE	SAN FRANCISCO CA	94121
OWNER/OCCUPANT	718 MORNINGHOME RD	DANVILLE CA	94526	OWNER/OCCUPANT	1128 BERNAL AVE	BURLINGAME CA	94010
OWNER/OCCUPANT	PO BOX 4260	BERKELEY CA	94704	OWNER/OCCUPANT	1618 ASHBY AVE	BERKELEY CA	94703
OWNER/OCCUPANT	1071 BEL MARIN KEYS BLVD	NOVATO CA	94949	OWNER/OCCUPANT	PO BOX 11238	OAKLAND CA	94611
OWNER/OCCUPANT	2720 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	12405 VENICE BLVD 270	LOS ANGELES CA	90066
OWNER/OCCUPANT	1874 HANNIBAL DR	LAFAYETTE CA	94549	OWNER/OCCUPANT	2713 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	220 ROCKRIDGE RD	HILLSBOROUGH CA	94010	OWNER/OCCUPANT	1020 MERCED ST	BERKELEY CA	94707
OWNER/OCCUPANT	1100 SAN PABLO AVE 404	ALBANY CA	94706	OWNER/OCCUPANT	PO BOX 12301	BERKELEY CA	94712
OWNER/OCCUPANT	2717 FOREST AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2641A COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	3 STEVENS PL	SAN RAFAEL CA	94901	OWNER/OCCUPANT	2907 GLEN CRAIG CT	SAN JOSE CA	95148
OWNER/OCCUPANT	2727 COLLEGE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2625 ALCATRAZ AVE 285	BERKELEY CA	94705
OWNER/OCCUPANT	2627 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	13044 BROADWAY TER	OAKLAND CA	94611

OWNER/OCCUPANT	8 CORLISS DR	MORAGA CA	94556	OWNER/OCCUPANT	833 CAMINO RICARDO	MORAGA CA	94556
OWNER/OCCUPANT	2719 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	1909 MISSION ST 103	SAN FRANCISCO CA	94103
OWNER/OCCUPANT	2137 OAK CREST DR	RIVERSIDE CA	92506	OWNER/OCCUPANT	2607 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	PO BOX 60176	PALO ALTO CA	94306	OWNER/OCCUPANT	2649 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	PO BOX 37000	SAN FRANCISCO CA	94137	OWNER/OCCUPANT	497 PACIFIC ST 1B	BROOKLYN NY	11217
OWNER/OCCUPANT	2638 ETNA ST	BERKELEY CA	94704	OWNER/OCCUPANT	1715 SOLANO AVE A	BERKELEY CA	94707
OWNER/OCCUPANT	2619 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2616 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2406 GRANT ST	BERKELEY CA	94703	OWNER/OCCUPANT	700 N VALLEY ST STE B #22	ANAHEIM CA	92801
OWNER/OCCUPANT	3739 BALBOA ST 116	SAN FRANCISCO CA	94121	OWNER/OCCUPANT	2640 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	PO BOX 13059	OAKLAND CA	94661	OWNER/OCCUPANT	2638 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2647 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	2640 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2667 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	2644 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2645 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	334 KAI MALU PL	WAILEA HI	96753
OWNER/OCCUPANT	2598 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	385 BELLEVUE AVE	OAKLAND CA	94610
OWNER/OCCUPANT	2140 SHATTUCK AVE 1105	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2628 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	15365 VILLA CABALLERO 1	LOS GATOS CA	95030
OWNER/OCCUPANT	4110 COCHRAN CHAPEL RD	DALLAS TX	75209	OWNER/OCCUPANT	2650 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2626 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2630 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	654 HIGHLAND AVE	SANTA CRUZ CA	95060	OWNER/OCCUPANT	2603 HILLEGASS AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2347 MAGNOLIA BRIDGE DR	SAN RAMON CA	94582	OWNER/OCCUPANT	2612 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2617 E WESTCHESTER DR	CHANDLER AZ	85249	OWNER/OCCUPANT	2614 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2680 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	2626 BENVENUE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	151 EL CAMINO REAL 216	MILLBRAE CA	94030	OWNER/OCCUPANT	2626 BENVENUE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2611 BENVENUE 2	BERKELEY CA	94704	OWNER/OCCUPANT	28351 RANCHO DE LINDA	LAGUNA NIGUEL CA	92677
OWNER/OCCUPANT	PO BOX 12381	ASPEN CO	81612	OWNER/OCCUPANT	995 COBBLE SHORES DR	SACRAMENTO CA	95831
OWNER/OCCUPANT	2611 BENVENUE AVE 4	BERKELEY CA	94704	OWNER/OCCUPANT	70 YERBA BUENA AVE	SAN FRANCISCO CA	94127
OWNER/OCCUPANT	2623 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	PO BOX 5793	BERKELEY CA	94705
OWNER/OCCUPANT	2623 BENVENUE AVE B	BERKELEY CA	94704	OWNER/OCCUPANT	2626 B BENVENUE	BERKELEY CA	94704
OWNER/OCCUPANT	11 MURASAKI ST	IRVINE CA	92617	OWNER/OCCUPANT	2640 BENVENUE AVE 0	BERKELEY CA	94704
OWNER/OCCUPANT	2621 BENVENUE AVE B	BERKELEY CA	94704	OWNER/OCCUPANT	2638 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2615 BENVENUE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2628 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2615 BENVENUE AVE 2	BERKELEY CA	94704	OWNER/OCCUPANT	2628a BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2170 JACKSON ST	SAN FRANCISCO CA	94115	OWNER/OCCUPANT	2628 BENVENUE AVE B	BERKELEY CA	94704
OWNER/OCCUPANT	2603 BENVENUE AVE 1	BERKELEY CA	94704	OWNER/OCCUPANT	15 HILLCREST CT	BERKELEY CA	94705
OWNER/OCCUPANT	13389 HAMMONS AVE	SARATOGA CA	95070	OWNER/OCCUPANT	2601 HILLEGASS AVE	BERKELEY CA	94704
OWNER/OCCUPANT	18 DOVE MANOR CT	SPRING TX	77379	OWNER/OCCUPANT	47723 PARKMEADOW DR	FREMONT CA	94539
OWNER/OCCUPANT	1564 KENNEWICK DR	SUNNYVALE CA	94087	OWNER/OCCUPANT	480 SECOND ST 203	SAN FRANCISCO CA	94107
OWNER/OCCUPANT	2632 1/2 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	945 GROSVENOR PL	OAKLAND CA	94610
OWNER/OCCUPANT	2750 BUENA VISTA WAY	BERKELEY CA	94708	OWNER/OCCUPANT	2644 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	PO BOX 5507	EUGENE OR	97405	OWNER/OCCUPANT	PO BOX 5453	BERKELEY CA	94705
OWNER/OCCUPANT	2619 BENVENUE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2000 ENGLISH OAK CT	DANVILLE CA	94506
OWNER/OCCUPANT	2635 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2619 HILLEGASS AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2643 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2626 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	P.O. BOX 4623	BERKELEY CA	94704	OWNER/OCCUPANT	2601 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2670 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	2643 HILLEGASS AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2611 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	4553 N LITTLE ROCK DR	TUCSON AZ	85750
OWNER/OCCUPANT	2211 CHANNING WAY 6	BERKELEY CA	94704	OWNER/OCCUPANT	2611 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	4248A GILBERT ST	OAKLAND CA	94611	OWNER/OCCUPANT	2609 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2625 ALCATRAZ AVE 322	BERKELEY CA	94705	OWNER/OCCUPANT	6522 TELEGRAPH AVE	OAKLAND CA	94609
OWNER/OCCUPANT	2617 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	15560 LOMA VISTA AVE	LOS GATOS CA	95032
OWNER/OCCUPANT	2642 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	13 MADRONE AVE	SAN FRANCISCO CA	94127
OWNER/OCCUPANT	2615 DERBY ST A	BERKELEY CA	94705	OWNER/OCCUPANT	5662 W HOME AVE	FRESNO CA	93722
OWNER/OCCUPANT	2624 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	10706 BOTHWELL RD	CHATSWORTH CA	91311
OWNER/OCCUPANT	2622 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	1240 HILLVIEW DR	MENLO PARK CA	94025
OWNER/OCCUPANT	PO BOX 67815	LOS ANGELES CA	90067	OWNER/OCCUPANT	2623 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2312 TICE VALLEY BLVD	WALNUT CREEK CA	94595	OWNER/OCCUPANT	2631 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2613 HILLEGASS AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2511 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	PO BOX 3513	SAN RAMON CA	94583	OWNER/OCCUPANT	2515 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2528 BENVENUE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2519 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	7835 FLAGLER RD	NORDLAND WA	98358	OWNER/OCCUPANT	2607 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2424 RIDGE RD	BERKELEY CA	94709	OWNER/OCCUPANT	2509 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2606 DWIGHT WAY	BERKELEY CA	94704	OWNER/OCCUPANT	2647 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	7903 26TH AVE NW	GIG HARBOR WA	98332	OWNER/OCCUPANT	PO BOX 591302	SAN FRANCISCO CA	94159
OWNER/OCCUPANT	2619 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	1805 N CARSON ST 428	CARSON CITY NV	89701
OWNER/OCCUPANT	2611 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	5929 MARGARIDO DR	OAKLAND CA	94618
OWNER/OCCUPANT	P.O. BOX 5131	BERKELEY CA	94705	OWNER/OCCUPANT	2625 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2546 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	32 VALENCIA RD	ORINDA CA	94563
OWNER/OCCUPANT	PO BOX 4623	BERKELEY CA	94704	OWNER/OCCUPANT	2601 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	5606 LA SALLE AVE	OAKLAND CA	94611	OWNER/OCCUPANT	2508 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2617 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	4100 FULTON ST 5	SAN FRANCISCO CA	94121
OWNER/OCCUPANT	2535 HILLEGASS AVE	BERKELEY CA	94704	OWNER/OCCUPANT	581 GORDON HIGHLANDS RD	GLENDDORA CA	91741
OWNER/OCCUPANT	820 ARLINGTON AVE	BERKELEY CA	94707	OWNER/OCCUPANT	47664 AVALON HEIGHTS TER	FREMONT CA	94539
OWNER/OCCUPANT	2528 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	8969 LAKE CT	GRANITE BAY CA	95746
OWNER/OCCUPANT	7107 NORFOLK RD	BERKELEY CA	94705	OWNER/OCCUPANT	2615 TELEGRAPH AVE 204	BERKELEY CA	94704
OWNER/OCCUPANT	4844 TELEGRAPH AVE	OAKLAND CA	94609	OWNER/OCCUPANT	2530 36TH AVE	SAN FRANCISCO CA	94116
OWNER/OCCUPANT	PO BOX 675514	RANCHO SANTA FE CA	92067	OWNER/OCCUPANT	PO BOX 1593	PALO ALTO CA	94302
OWNER/OCCUPANT	2630 CEDAR ST	BERKELEY CA	94708	OWNER/OCCUPANT	1100 OAK HILL RD	LAFAYETTE CA	94549
OWNER/OCCUPANT	PO BOX 1029	GUALALALA CA	95445	OWNER/OCCUPANT	7005 CORTE DEL MAR	PLEASANTON CA	94566
OWNER/OCCUPANT	1751 PETERS RANCH RD	DANVILLE CA	94526	OWNER/OCCUPANT	550 OAK PARK DR	SAN FRANCISCO CA	94131
OWNER/OCCUPANT	1751 MUSCAT PL	HANFORD CA	93230	OWNER/OCCUPANT	2615 TELEGRAPH AVE 402	BERKELEY CA	94704
OWNER/OCCUPANT	1047 MONTEREY AVE	BERKELEY CA	94707	OWNER/OCCUPANT	2616 ETNA ST	BERKELEY CA	94704
OWNER/OCCUPANT	1741 SPRINGBROOK RD	LAFAYETTE CA	94549	OWNER/OCCUPANT	1857 BARBARA WAY	EL CENTRO CA	92243
OWNER/OCCUPANT	2626 HILLEGASS AVE	BERKELEY CA	94704	OWNER/OCCUPANT	5475 BRAGG ST	SAN DIEGO CA	92122
OWNER/OCCUPANT	2632 1/4 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	5655 MILES AVE	OAKLAND CA	94618
OWNER/OCCUPANT	2626 HILLEGASS AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	4905 TELEGRAPH RD	LOS ANGELES CA	90022
OWNER/OCCUPANT	2626 HILLEGASS AVE B	BERKELEY CA	94704	OWNER/OCCUPANT	6721 RAINBOW DR	SAN JOSE CA	95129
OWNER/OCCUPANT	1 SHERIDAN RD	OAKLAND CA	94618	OWNER/OCCUPANT	2615 TELEGRAPH AVE 304	BERKELEY CA	94704
OWNER/OCCUPANT	2626 HILLEGASS AVE D	BERKELEY CA	94704	OWNER/OCCUPANT	361 S SWALL DR	BEVERLY HILLS CA	90211
OWNER/OCCUPANT	2632 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	15 PORTSMOUTH RD	OAKLAND CA	94610
OWNER/OCCUPANT	572 FALLEN LEAF CIR	SAN RAMON CA	94583	OWNER/OCCUPANT	1105 YORK ST 7	DENVER CO	80206
OWNER/OCCUPANT	2632 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	1425 BROADWAY 401	SEATTLE WA	98122
OWNER/OCCUPANT	2636 HILLEGASS AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2636 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2876 SANDERLING DR	FREMONT CA	94555	OWNER/OCCUPANT	4131 OPAL ST	OAKLAND CA	94609
OWNER/OCCUPANT	2624 HILLEGASS AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2638 REGENT ST 4	BERKELEY CA	94704

OWNER/OCCUPANT	2447 CARLETON ST	BERKELEY CA	94704	OWNER/OCCUPANT	484 VASSAR AVE	BERKELEY CA	94708
OWNER/OCCUPANT	270 GLORIETTA BLVD	ORINDA CA	94563	OWNER/OCCUPANT	1579 SCENIC AVE	BERKELEY CA	94708
OWNER/OCCUPANT	3171 BOURGOING CT	SAN JOSE CA	95135	OWNER/OCCUPANT	2417 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	2800 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	2611 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2441 CARLETON ST	BERKELEY CA	94704	OWNER/OCCUPANT	21-C ORINDA WAY 203	ORINDA CA	94563
OWNER/OCCUPANT	PO BOX 711	DALLAS TX	75221	OWNER/OCCUPANT	2411 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	1891 SOLANO AVE	BERKELEY CA	94707	OWNER/OCCUPANT	2401 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	2445 CARLETON ST	BERKELEY CA	94704	OWNER/OCCUPANT	1085 GLEN RD	LAFAYETTE CA	94549
OWNER/OCCUPANT	P O BOX 7443	BERKELEY CA	94707	OWNER/OCCUPANT	1128 SPRUCE ST	BERKELEY CA	94707
OWNER/OCCUPANT	2646 REGENT ST A	BERKELEY CA	94704	OWNER/OCCUPANT	2655 BUSH ST 410	SAN FRANCISCO CA	94115
OWNER/OCCUPANT	6821 BALSAM WAY	OAKLAND CA	94611	OWNER/OCCUPANT	151 FLYING MIST ISLE	FOSTER CITY CA	94404
OWNER/OCCUPANT	6114 LASALLE AVE 197	OAKLAND CA	94611	OWNER/OCCUPANT	2628 TELEGRAPH AVE 201	BERKELEY CA	94704
OWNER/OCCUPANT	45 LA CAMPANA RD	ORINDA CA	94563	OWNER/OCCUPANT	2628 TELEGRAPH AVE 202	BERKELEY CA	94704
OWNER/OCCUPANT	2640 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 203	BERKELEY CA	94704
OWNER/OCCUPANT	2624 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 301	BERKELEY CA	94704
OWNER/OCCUPANT	1877 CHARNELTON ST	EUGENE OR	97401	OWNER/OCCUPANT	75 RIDGE RD	GREEN BROOK NJ	8812
OWNER/OCCUPANT	202 KITTEERY PL	SAN RAMON CA	94583	OWNER/OCCUPANT	3615 BALFOUR AVE	OAKLAND CA	94610
OWNER/OCCUPANT	5327 JACUZZI ST 0.03	RICHMOND CA	94804	OWNER/OCCUPANT	4420 ALBANY DR 76	SAN JOSE CA	95129
OWNER/OCCUPANT	1321 MISSION ST 101	SAN FRANCISCO CA	94103	OWNER/OCCUPANT	336 HIGHLAND ST WEST	WESTON MA	2493
OWNER/OCCUPANT	2528 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 502	BERKELEY CA	94704
OWNER/OCCUPANT	2532 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 303	BERKELEY CA	94704
OWNER/OCCUPANT	2534 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 304	BERKELEY CA	94704
OWNER/OCCUPANT	926 ESCONDIDO CT	ALAMO CA	94507	OWNER/OCCUPANT	40748 AMBAR PL	FREMONT CA	94539
OWNER/OCCUPANT	2236 CHANNING WAY 401	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 401	BERKELEY CA	94704
OWNER/OCCUPANT	2537 CHILTON WAY	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 402	BERKELEY CA	94704
OWNER/OCCUPANT	2411 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	6501 HARWOOD AVE	OAKLAND CA	94618
OWNER/OCCUPANT	2545 DANA ST	BERKELEY CA	94704	OWNER/OCCUPANT	1025 CHESTNUT ST	OAKLAND CA	94607
OWNER/OCCUPANT	2531 CHILTON WAY	BERKELEY CA	94704	OWNER/OCCUPANT	2405 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	1302 OAK AVE	DAVIS CA	95616	OWNER/OCCUPANT	2631 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2756 SUMMIT DR	HILLSBOROUGH CA	94010	OWNER/OCCUPANT	1875 MISSION ST	SAN FRANCISCO CA	94103
OWNER/OCCUPANT	2535 CHILTON WAY	BERKELEY CA	94704	OWNER/OCCUPANT	2649 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2419 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	264 AMHERST AVE	KENSINGTON CA	94708
OWNER/OCCUPANT	426 CASTRO ST	SAN FRANCISCO CA	94114	OWNER/OCCUPANT	2410 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	1150 E 65TH ST	INGLEWOOD CA	90302	OWNER/OCCUPANT	2643 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	409 SEAVIEW DR	EL CERRITO CA	94530	OWNER/OCCUPANT	2414 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	2543 CHILTON WAY	BERKELEY CA	94704	OWNER/OCCUPANT	1516 S BUNDRY DR 300	LOS ANGELES CA	90025
OWNER/OCCUPANT	2804 GATEWAY OAKS DR 200	SACRAMENTO CA	95833	OWNER/OCCUPANT	1515 BRANDYWINE RD	SAN MATEO CA	94402
OWNER/OCCUPANT	2721 WEBSTER ST	BERKELEY CA	94705	OWNER/OCCUPANT	2637 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	34400A MISSION BLVD VILL	UNION CITY CA	94587	OWNER/OCCUPANT	6122 OCEAN VIEW DR	OAKLAND CA	94618
OWNER/OCCUPANT	5934 AYALA AVE	OAKLAND CA	94609	OWNER/OCCUPANT	2633 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2417 CARLETON ST 5	BERKELEY CA	94704	OWNER/OCCUPANT	2338 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	2601 DANA ST A	BERKELEY CA	94704	OWNER/OCCUPANT	2337 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2601 DANA ST B	BERKELEY CA	94704	OWNER/OCCUPANT	2335 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2601 DANA ST C	BERKELEY CA	94704	OWNER/OCCUPANT	2646 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2601 DANA ST D	BERKELEY CA	94704	OWNER/OCCUPANT	2341 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2408 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	364 WILDWOOD AVE	PIEDMONT CA	94611
OWNER/OCCUPANT	3301 SWEET DR	LAFAYETTE CA	94549	OWNER/OCCUPANT	1442A WALNUT ST 306	BERKELEY CA	94709
OWNER/OCCUPANT	PO BOX 9482	BERKELEY CA	94709	OWNER/OCCUPANT	2610 COLLEGE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	2630 DANA ST	BERKELEY CA	94704	OWNER/OCCUPANT	2610 COLLEGE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2336 CARLETON ST	BERKELEY CA	94704	OWNER/OCCUPANT	2610 COLLEGE AVE 3	BERKELEY CA	94704
OWNER/OCCUPANT	2622 DANA ST	BERKELEY CA	94704	OWNER/OCCUPANT	2610 COLLEGE AVE 4	BERKELEY CA	94704
OWNER/OCCUPANT	2040 BANCROFT WAY 301	BERKELEY CA	94704	OWNER/OCCUPANT	2610 COLLEGE AVE 5	BERKELEY CA	94704
OWNER/OCCUPANT	2208 BLAKE ST	BERKELEY CA	94704	OWNER/OCCUPANT	2610 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2515 TELEGRAPH AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 6	BERKELEY CA	94704
OWNER/OCCUPANT	2341 CARLETON ST	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 408	BERKELEY CA	94704
OWNER/OCCUPANT	1 18TH AVE	SAN FRANCISCO CA	94121	OWNER/OCCUPANT	2540 COLLEGE AVE 409	BERKELEY CA	94704
OWNER/OCCUPANT	2836 REGENT ST B	BERKELEY CA	94705	OWNER/OCCUPANT	2540 COLLEGE AVE 410	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 201	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 501	BERKELEY CA	94704
OWNER/OCCUPANT	2603 BENVENUE AVE 3	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 502	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 202	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 402	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 203	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 403	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 101	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 404	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 102	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 405	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 104	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 406	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 105	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 112	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 107	BERKELEY CA	94704	OWNER/OCCUPANT	2645 1/2 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 307	BERKELEY CA	94704	OWNER/OCCUPANT	2598 COLLEGE AVE A	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 111	BERKELEY CA	94704	OWNER/OCCUPANT	2541 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 211	BERKELEY CA	94704	OWNER/OCCUPANT	2539 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 212	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 311	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 3	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 312	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 4	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 401	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 5	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 106	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 309	BERKELEY CA	94704	OWNER/OCCUPANT	2601 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 210	BERKELEY CA	94704	OWNER/OCCUPANT	2622 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 301	BERKELEY CA	94704	OWNER/OCCUPANT	2620 COLLEGE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 108	BERKELEY CA	94704	OWNER/OCCUPANT	2620 COLLEGE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 310	BERKELEY CA	94704	OWNER/OCCUPANT	2620 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 103	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 7	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 3	BERKELEY CA	94704
OWNER/OCCUPANT	2625 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	2627 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 4	BERKELEY CA	94704
OWNER/OCCUPANT	2627 BENVENUE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 6	BERKELEY CA	94704
OWNER/OCCUPANT	2625 BENVENUE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2629 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 5	BERKELEY CA	94704
OWNER/OCCUPANT	2624 COLLEGE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2612 BENVENUE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	2624 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2612 BENVENUE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2639 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2626 BENVENUE AVE 5	BERKELEY CA	94704
OWNER/OCCUPANT	2642 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2626 BENVENUE AVE A	BERKELEY CA	94704
OWNER/OCCUPANT	2610 COLLEGE AVE 6	BERKELEY CA	94704	OWNER/OCCUPANT	2626 BENVENUE AVE B	BERKELEY CA	94704
OWNER/OCCUPANT	2610 COLLEGE AVE 7	BERKELEY CA	94704	OWNER/OCCUPANT	2628 BENVENUE AVE A	BERKELEY CA	94704
OWNER/OCCUPANT	2610 COLLEGE AVE 8	BERKELEY CA	94704	OWNER/OCCUPANT	2631 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2610 COLLEGE AVE 9	BERKELEY CA	94704	OWNER/OCCUPANT	2716 STUART ST	BERKELEY CA	94705

























ATTACHMENT 4

ZAB 04-27-2023

Page 17 of 17

OWNER/OCCUPANT	2556 TELEGRAPH AVE 20	BERKELEY CA	94704	OWNER/OCCUPANT	2625 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 9	BERKELEY CA	94704	OWNER/OCCUPANT	2400 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 10	BERKELEY CA	94704	OWNER/OCCUPANT	2650 TELEGRAPH AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 11	BERKELEY CA	94704	OWNER/OCCUPANT	2620 DANA ST 1	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 12	BERKELEY CA	94704	OWNER/OCCUPANT	2620 DANA ST 2	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 13	BERKELEY CA	94704	OWNER/OCCUPANT	2620 DANA ST 4	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 14	BERKELEY CA	94704	OWNER/OCCUPANT	2620 DANA ST 3	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 3	BERKELEY CA	94704	OWNER/OCCUPANT	2620 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 4	BERKELEY CA	94704	WENDY WELLBROCK	1947 CENTER STREET, 5TH FL	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 5	BERKELEY CA	94704				
OWNER/OCCUPANT	2556 TELEGRAPH AVE 6	BERKELEY CA	94704				
OWNER/OCCUPANT	2556 TELEGRAPH AVE 7	BERKELEY CA	94704				
OWNER/OCCUPANT	2556 TELEGRAPH AVE 8	BERKELEY CA	94704				
OWNER/OCCUPANT	2556 TELEGRAPH AVE	BERKELEY CA	94704				
OWNER/OCCUPANT	2556 TELEGRAPH AVE 1	BERKELEY CA	94704				
OWNER/OCCUPANT	2556 TELEGRAPH AVE 2	BERKELEY CA	94704				
OWNER/OCCUPANT	2417 CARLETON ST 3	BERKELEY CA	94704				
OWNER/OCCUPANT	2417 CARLETON ST 4	BERKELEY CA	94704				
OWNER/OCCUPANT	2601 DANA ST E	BERKELEY CA	94704				
OWNER/OCCUPANT	2609 DANA ST A	BERKELEY CA	94704				
OWNER/OCCUPANT	2609 DANA ST	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 15	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 4	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 10	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 9	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 8	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 16	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 2	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 3	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 5	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 6	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 7	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 1	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 11	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 12	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 13	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 14	BERKELEY CA	94704				
OWNER/OCCUPANT	2413 CARLETON ST	BERKELEY CA	94704				
OWNER/OCCUPANT	2415 CARLETON ST	BERKELEY CA	94704				
OWNER/OCCUPANT	2420 PARKER ST	BERKELEY CA	94704				
OWNER/OCCUPANT	2628 TELEGRAPH AVE 302	BERKELEY CA	94704				
OWNER/OCCUPANT	2628 TELEGRAPH AVE 405	BERKELEY CA	94704				
OWNER/OCCUPANT	2628 TELEGRAPH AVE 403	BERKELEY CA	94704				
OWNER/OCCUPANT	2636 TELEGRAPH AVE A	BERKELEY CA	94704				
OWNER/OCCUPANT	2636 TELEGRAPH AVE B	BERKELEY CA	94704				
OWNER/OCCUPANT	2636 TELEGRAPH AVE	BERKELEY CA	94704				

**From:** [Planning Dept. Mailbox](#)  
**To:** [Mark Lowe](#)  
**Cc:** [Harrison, Kate](#); [Droste, Lori](#); [Berkeley Mayor's Office](#); [Klein, Jordan](#)  
**Subject:** RE: 2720 Hillegass Avenue  
**Date:** Tuesday, June 28, 2022 1:08:00 PM

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Dear Mark Lowe,

I am guessing that you're following up on information you read on the "yellow sign" through which applicants for Zoning projects in Berkeley provide preliminary notice to neighbors of their intent to apply. These signs usually go up before a project application is actually submitted, and in this case, the Planning Department has not yet received a complete Zoning Project Application for the Willard Clubhouse project. So as yet there is no schedule for the public meetings and public input process which will be required.

Once an application is deemed complete, an assigned staff planner will commence the review and public input process, and meeting dates will be set. There will be public notice and the opportunity to comment and review application materials.

You can keep track of this or any project in Berkeley using our online Accela Citizen's Access tool at <https://aca.cityofberkeley.info/Community/Default.aspx>. Choose the "Zoning" tab, enter the property address, set the date range to include whatever scope you wish, and results will come up. For any specific project that comes up, go to the drop-down menu under "Record Info" and choose "Processing Status" to see what stage the project is in, or choose "attachments" to view publicly available documents pertaining to the project.

The City's Department of Parks, Recreation, and Waterfront will be the project applicant. They have set up a webpage for the project at <https://berkeleyca.gov/your-government/our-work/capital-projects/willard-clubhouse-project>, which includes the names and contact information for the City staff leading this project.

Sincerely,

Jim Bondi, Associate Management Analyst  
City of Berkeley, Department of Planning & Development  
1947 Center St., 5th Floor, Berkeley, CA 94704  
<https://berkeleyca.gov/>

-----Original Message-----

From: Mark Lowe <[m Lowe51@yahoo.com](mailto:m Lowe51@yahoo.com)>  
Sent: Tuesday, June 28, 2022 10:41 AM  
To: Planning Dept. Mailbox <[planning@cityofberkeley.info](mailto:planning@cityofberkeley.info)>  
Cc: Harrison, Kate <[KHarrison@cityofberkeley.info](mailto:KHarrison@cityofberkeley.info)>; Droste, Lori <[ldroste@cityofberkeley.info](mailto:ldroste@cityofberkeley.info)>; Berkeley Mayor's Office <[mayor@cityofberkeley.info](mailto:mayor@cityofberkeley.info)>  
Subject: 2720 Hillegass Avenue

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

My name is Mark Lowe, 2643 Hillegass Ave.

I am trying to get information on the STATUS of the Clubhouse Project at Willard Park.

Your phone number as posted on the Project Sign is of NO HELP.

So I am submitting this request for Dates and Times of the required Planning Department decision meetings or hearings or whatever type of process gatherings you people do for this project to proceed.

As a concerned citizen and resident of the neighborhood and TAXPAYER, I am entitled to be informed of this process and I would hope to have some input into your, the planning Dept., decision making.

This project met with considerable neighborhood concern as to the size of this expansion.

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ZAB 04-27-2023  
Page 2 of 40

Yet the Public Record reflects NONE OF THE NEIGHBORHOOD CONCERN.

I would expect that the Planning Department would be interested in considering that neighborhood concern as it influences your decision making.

Please provide me with the schedule of processing for this project.

Time and Dates Please.

Respectfully submitted at 10:40am on Tuesday, June 28, 2022

**Riemer, Allison**

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**From:** Riemer, Allison  
**Sent:** Friday, July 1, 2022 10:44 AM  
**To:** Riemer, Allison  
**Subject:** FW: 2720 Hillegass Avenue

Internal

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**From:** Planning Dept. Mailbox  
**Sent:** Tuesday, June 28, 2022 4:47 PM  
**To:** mark L <[mloewe51@yahoo.com](mailto:mloewe51@yahoo.com)>; Panzer, Eric <[erpanzer@cityofberkeley.info](mailto:erpanzer@cityofberkeley.info)>  
**Cc:** Wellbrock, Wendy <[WWellbrock@cityofberkeley.info](mailto:WWellbrock@cityofberkeley.info)>; Chan, Evelyn <[EChan@cityofberkeley.info](mailto:EChan@cityofberkeley.info)>; Planning Dept. Mailbox <[planning@cityofberkeley.info](mailto:planning@cityofberkeley.info)>; Karimzadegan, Niloufar <[NKarimzadegan@cityofberkeley.info](mailto:NKarimzadegan@cityofberkeley.info)>  
**Subject:** RE: 2720 Hillegass Avenue

Dear Mark,

I emailed you earlier today with answers about when the public notice and comment process work begin. Perhaps it went to your spam folder? I've re-attached it here for your convenience. The short version is that Planning does not have a complete application submitted yet. Once we do, that would start a process which would later include public comment opportunities, which would be noticed in advance. Please read the full attached text for other information on how you can track this project.

Best,

**Jim Bondi**, Associate Management Analyst  
City of Berkeley, Department of Planning & Development  
1947 Center St., 5<sup>th</sup> Floor, Berkeley, CA 94704  
<https://berkeleyca.gov/>

---

**From:** mark L <[mloewe51@yahoo.com](mailto:mloewe51@yahoo.com)>  
**Sent:** Tuesday, June 28, 2022 4:11 PM  
**To:** Panzer, Eric <[erpanzer@cityofberkeley.info](mailto:erpanzer@cityofberkeley.info)>  
**Cc:** Wellbrock, Wendy <[WWellbrock@cityofberkeley.info](mailto:WWellbrock@cityofberkeley.info)>; Chan, Evelyn <[EChan@cityofberkeley.info](mailto:EChan@cityofberkeley.info)>; Planning Dept. Mailbox <[planning@cityofberkeley.info](mailto:planning@cityofberkeley.info)>; Karimzadegan, Niloufar <[NKarimzadegan@cityofberkeley.info](mailto:NKarimzadegan@cityofberkeley.info)>  
**Subject:** Re: 2720 Hillegass Avenue

Hello Eric, I appreciate your timely response.

I am trying to stay abreast with the approval process for the Clubhouse Expansion Project.

That has proven to be a daunting task as the Public Process has been carried out in a somewhat stealthy manner.

Nowhere in the referenced website is mention of the overwhelming concern, by local neighbors and park users, about the huge size of this proposed expansion.

For the record, every one of the ZOOM presentations by the City was attended by vocal concern about the size and the negative impact this huge expansion will have on the Park, yet there is NO MENTION in the Record.

Currently there is POSTED at the Clubhouse Entrance a Public Notice Sign (Photo Attached) The Notice references the Planning Department as a Contact for Information on this Project. I called the phone numbers but the Voice Msg just referred me to go downtown for info. Today I did in fact go down to the Planning Department and made inquiry about the Status of this Project. Staff attempted to help me but LO and BEHOLD, staff could find NO REFERENCE to this Project.

The Notice states that there is an application for a Variance, but NO RECORD downtown? And NO MENTION in the City website. I would assume that The City would keep the website UPDATED, as this Project is currently under process.

Again, a bit Stealthy.

I trust that the Planning Process requires a Public Hearing for Variances. That is the information that I am trying to secure. I would like to have access to such a Hearing.

All I am requesting is a Date and Time for the Variance discussion.

Not a Huge Ask. Just a concerned TAXPAYER seeking information on a questionable project with a Considerable Price Tag.

Any Help will be most appreciated.

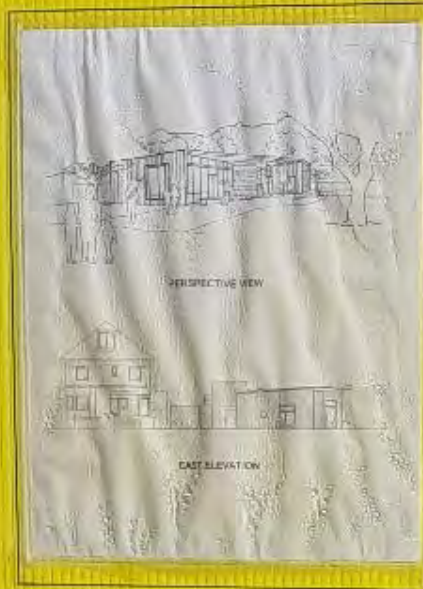
Thank you.

Mark Lowe

2643 Hillegass Ave

510-292-5072

# PROPOSED PROJECT



## PROJECT INFORMATION

2720 Hillegass Avenue:

Proposed replacement of existing recreation building with a new 4,195 square foot multi-purpose community recreation building, new retaining wall and fence on southern property line, variance request to reduce rear setback to 16', and a new 200 square foot stand-alone public restroom.

## APPLICANT INFORMATION

City of Berkeley  
Parks, Recreation & Waterfront Department  
2180 Milvia Street, Berkeley, CA 94702  
(510) 981-6700

For more information check the  
Planning Department Web Page:  
[www.cityofberkeley.info/planning](http://www.cityofberkeley.info/planning)  
or call 510-981-7410

### Public Notices:

Two large, empty rectangular boxes with dashed outlines, intended for public notices or comments.

On Tuesday, June 28, 2022 at 02:39:39 PM PDT, Panzer, Eric <[erpanzer@cityofberkeley.info](mailto:erpanzer@cityofberkeley.info)> wrote:

Hello Mark,

Thank you for writing in and taking such an active interest in the Willard Park clubhouse project. I know that some of the project documents/announcements have moved since the new City website came online, so I can understand your frustration on trying to find more information.

The new City webpage for the project is here: <https://berkeleyca.gov/your-government/our-work/capital-projects/willard-clubhouse-project>

On this page you can find information about the previous community meetings that took place, including some of the cat logs from the virtual meetings. There is also an FAQ available that discusses some of the questions/concerns neighbors have had.

To my knowledge there is not video of verbal comments or a complete transcript, as this is not standard practice for all City workshops/commission meetings. However, please let me know if there is anything specific you are looking for and I can see what else might be archived.

Additionally, if you would like to receive future updates, please send an email with your contact information to [T1@cityofberkeley.info](mailto:T1@cityofberkeley.info) with the subject heading "Add to Willard Park email list" to opt-in to our email list for direct notifications regarding the Willard Park Clubhouse project.

Please let me know if there is anything else I can assist with.

Best,  
Eric

**Eric Panzer**

Legislative Assistant to Councilmember Lori Droste

*Pronouns: He/Him*

Office: 510.981.7180 Cell: 510.508.7033

*(To avoid SPAM screening, please text/email to ID yourself before calling my cell for the 1<sup>st</sup> time)*

[erpanzer@cityofberkeley.info](mailto:erpanzer@cityofberkeley.info)

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**From:** Mark Lowe <[mlope51@yahoo.com](mailto:mlope51@yahoo.com)>  
**Sent:** Tuesday, June 28, 2022 10:40:43 AM  
**To:** Planning Dept. Mailbox <[planning@cityofberkeley.info](mailto:planning@cityofberkeley.info)>  
**Cc:** Harrison, Kate <[KHarrison@cityofberkeley.info](mailto:KHarrison@cityofberkeley.info)>; Droste, Lori <[ldroste@cityofberkeley.info](mailto:ldroste@cityofberkeley.info)>; Berkeley Mayor's Office <[mayor@cityofberkeley.info](mailto:mayor@cityofberkeley.info)>  
**Subject:** 2720 Hillegass Avenue

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

My name is Mark Lowe, 2643 Hillegass Ave.

I am trying to get information on the STATUS of the Clubhouse Project at Willard Park.

Your phone number as posted on the Project Sign is of NO HELP.

So I am submitting this request for Dates and Times of the required Planning Department decision meetings or hearings or whatever type of process gatherings you people do for this project to proceed.

As a concerned citizen and resident of the neighborhood and TAXPAYER, I am entitled to be informed of this process and I would hope to have some input into your, the planning Dept., decision making.

This project met with considerable neighborhood concern as to the size of this expansion.

Yet the Public Record reflects NONE OF THE NEIGHBORHOOD CONCERN.

I would expect that the Planning Department would be interested in considering that neighborhood concern as it influences your decision making.

Please provide me with the schedule of processing for this project.

Time and Dates Please.

Respectfully submitted at 10:40am on Tuesday, June 28, 2022



**Riemer, Allison**

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**From:** Riemer, Allison  
**Sent:** Monday, August 1, 2022 5:35 PM  
**To:** Mark Lowe  
**Subject:** RE: 2720 Hillegass Willard Park Community Center

Hi Mark,

The application is currently incomplete. Once it is complete it will be scheduled for a [Zoning Adjustments Board](#) meeting (maybe 12/8?). Notices will be sent out two weeks before the meeting: postcards will be sent to the owners and occupants within 300 feet of the parcel, and yellow public hearing notices will be posted nearby.

You or anyone else can email (or mail) me a letter outlining your concerns between now and the ZAB meeting, and you can also speak at the ZAB meeting (which will likely still be over Zoom).

An overview of the Use Permit process is [here](#). A variance, two Use Permits, and two Administrative Use Permits apply to the project. The process for a variance is the same as the process for a Use Permit, except specific [variance findings](#) must be met.

Please let me know if you have any questions about the process or the project.

Best,  
Allison

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**From:** Mark Lowe <mlowe51@yahoo.com>  
**Sent:** Monday, July 25, 2022 2:49 PM  
**To:** Riemer, Allison <ARiemer@cityofberkeley.info>  
**Subject:** Re: 2720 Hillegass Willard Park Community Center

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Good afternoon Ms. Riemer.

I am seeking information about the Planning process for Variance Applications.

In particular I am interested in the Willard Park Community Center project.

I have checked the link that you provided me and have attached a pic, below, of the current status of that Zoning Permit. It claims to be incomplete.

Once that Permit is completed will there be a Public Notice?

Does the Public have an opportunity to voice concerns about a Variance Application?

Is the decision process open to the Public?

Would you be able to provide me with any information regarding my interests?

If so i will be very grateful.

Thank you much.  
Mark Lowe  
2643 Hillegass Ave 94704

**From:** [Vincent Casalaina](#)  
**To:** [Crane, Fatema](#)  
**Subject:** RE demolition of the current Willard Park Clubhouse  
**Date:** Saturday, October 22, 2022 3:44:15 PM

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**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

#### Landmarks Commission:

I am writing in opposition to the request to demolish the iconic Willard Park Clubhouse. This structure was designed by noted architect Zach Stewart. Mr. Stewart was the landscape architect for both Willard Park and Shorebird Park.

With his architectural partner Dan Osborne, Mr. Stewart designed projects that were uniquely tailored to blend into the settings where they were built. Here's how Mr. Stewart's work was described for the school designed for the San Juan Ridge Unified School District:

Osborne and Stewart were sympathetic to the community's desire to build a school uniquely suited to the site and a custom curriculum. Instead of designing a monolithic, industrial "pod" school typical of the time, the architects conceived of a school design inspired by the New England continuous architecture documented in Eric Sloane's book, *An Age of Barns* .... Children would rotate between classrooms and outdoor spaces for different activities instead of being in a single classroom.

I find this description of his work to be emblematic of the Clubhouse he designed for Willard Park. That building is nestled amongst the trees on the southern boundary of the park and provides both an indoor space for the children in the after school and summer programs housed there as well as encouraging outdoor play on the park's southern grassy field.

I would like to point out that in August 1970, the Willard Park Citizen's Committee approved the final drawing for the park development (as stated in the CoB's description of Willard Park). This park has a long history of community input and even the approval of changes to the park. The Willard community was the prime mover in the construction of the first tot lot in the park. That policy of community involvement has drastically changed in the formulation of the current project.

I am a member of the Willard Neighborhood Association Steering Committee. We have been virtually unable to work with the Parks, Recreation and Waterfront Dept. in crafting the plans for the construction of the Community Center that is planned to replace the Club House. None of our members were invited to participate in the initial design exercises on which the current plans are based.

I ask that you vote against the demolition of the current Club House.

Vincent Casalaina  
Resident of the Willard Neighborhood since 1974  
Treasurer, Willard Neighborhood Assoc.

ATTACHMENT 5  
ZAB 04-27-2023  
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Former Chair, Housing Advisory Commission

October 25, 2022

To: Berkeley Landmarks Preservation Commission (LPC)  
From: Steven Finacom, Commission Member

**Regarding: Consideration of Historic Significance of the Willard Park Clubhouse**

A few days ago I was made aware, through a community inquiry, that the LPC will be asked to consider the potential historic significance of the circa 1971 clubhouse in Willard Park at its November 3, 2022 meeting.

After learning of that likely agenda item, I asked the Commission Secretary if there was historic documentation related to Willard Park. She provided me on Monday with .pdfs of a **Historic Resource Evaluation** (HRE) dated September 2020) as well as a **California Department of Parks and Recreation Primary Record Form** (DPR) dated September, 2021.

The Commission should receive these documents in the November 3 agenda packet.

I looked through the two forms—HRE and DPR—and did some additional research.

It's my opinion that the forms don't provide sufficient documentation / information on which the LPC can reliably base an informed conclusion about potential historic significance of the Willard clubhouse.

In response, I've prepared this analysis as further background for the LPC in considering Willard Park history, context, significance, and related issues.

I've also, at the end of this analysis (page 11), included some suggestions of mitigation ideas we might wish to consider recommending if the City proceeds with its current plans to demolish the existing clubhouse and build a new club house structure.

Importantly, my analysis doesn't reach a definitive conclusion of potential historic significance for the Willard Park clubhouse. In other words, I'm not writing this to tell the Commission that the clubhouse definitively is, or isn't, historically significant. Instead, I'm endeavoring to identify missing types of information and ask the questions that should be answered—ideally through further research—before making a determination.

Here are the key questions the background materials and research and documentation given to the LPC should have helped to answer:

(1) Were the designers of Willard Park and the clubhouse significant in a local, regional, and / or national context?

(2) How do the park and the clubhouse fit into their body of work?

(3) Is Willard Park itself a historically significant feature in Berkeley? In the region?

Let's take these one at a time:

**Were the designers of the park and the clubhouse important in architectural history, including in the Bay Area and the Berkeley context?**

Well, we haven't been given any detailed information in the DPR form or the HRE that gives us a solid basis for analysis. Instead, we are given one brief paragraph of information about the architects.

*"According to the original drawings, the clubhouse was designed by the San Francisco-based firm of Daniel R. Osborne and Zach R. Stewart (available drawings do not specify a landscape architect). Both architects attended the architecture program at Stanford University, and after working on for (sic) separate firms in the 1950s and early 1960s, the two started their firm in the mid-1960s (Online Archive of California). The firm was extremely well-known in the Berkely (sic) architecture scene as well as the cultural and social developments of 1960s San Francisco. The firm designed the staging for the Trips Festival at Longshoreman's Hall in 1966, the America Needs Indians and Sensorium series, and the 4,000 Years concerts at Grace Cathedral (Online Archive of California and SFGate). Their works include elementary schools in Nevada County, the Ahwahnee pool and the dining hall at Sunrise High Sierra Camp at Yosemite National Park, the Plumas County Museum, and poet Gary Snyder's private residence on San Juan Ridge in the foothills of the Sierra Nevada"*

This limited summary raises more questions than it answers. For example, where are more complete biographies of the architects? Where is a summary of their body of work?

Where is an analysis of how the design of a public park in Berkeley fits into their body of work and compares to their other work? Were they known for park design, or was this project an outlier in their practice? What works were they primarily known for?

The DPR and the HRE tell us virtually nothing in this regard. This is unfortunate because without this information the LPC is not yet in a position to answer the key question of possible architectural significance of the Willard clubhouse building.

The drafters of the DPR and the HRE may answer that they didn't have sufficient funding to research the architects and their work and its potential significance in further detail. That would be an honest answer, and it would be typical of many HRE's and DPR's done in relation to Berkeley buildings and sites, where well intentioned historical researchers are not given the time, money, or tools to thoroughly research and document their subjects. We've encountered this same situation many times, to our cost and frustration.

But it would also be equally honest to say that the very limited information they did research does not provide sufficient information to draw broad based and broad brush conclusions about the significance of the Willard Park architects and their work.

Curious about the sources of the limited material in the DPR form, I did some online searching and quickly found some of the the same resources the writers found. One is an a description of architect Zach Stewart's papers held at Stanford University, listed in the Online Archive of California. The other is an obituary for architect Daniel Osborne.

There doesn't seem to have been further research for the DPR or HRE regarding the architects beyond those two resources and a few other scattered references.

Further research would have filled in more information. In just a few hours of inquiry I was able to find out that architect Zach Stewart is apparently still alive (and presumably could be a source of first hand information?) And that some of the questions raised by the DPR form can easily be answered.

Just one simple example. The DPR says, "*available drawings do not specify a landscape architect*" for Willard Park. Perhaps that is because in a 1970 piece in Landscape Architecture magazine Zach Stewart wrote about how in 1958 he "*decided to become a landscape architect as well as an architect*". Another online source identifies Daniel Osborne's wife, Mimi (also a Stanford architecture graduate) as someone who worked with their firm "*on a variety of projects—site assessment, landscape plant selection, audio-visual presentation*". (<http://www.sweetiesartbar.com/mimi-osborne> From those fragmentary references its possible to intelligently speculate that the firm provided indeed some landscape design services for the park, as well as architectural serves for the club house.

Next, we have the question, **Is Willard Park itself a significant historic resource in Berkeley?**

The HRE and DPR analysis asks and answers the wrong question in this regard. Their historic analysis is almost entirely limited to "*did important events happen there?*" They document and conclude there were a few activist events in the early 1970s, but not much since, and therefore the park has no historic significance.

But most parks and open spaces are not in and of themselves primarily important because of high-profile events held in them. Their significance more typically accrues from their overall role in the community and can accumulate from thousands of small and otherwise insignificant events and experiences involving the daily or occasional relationship of myriad users to the park spaces. That is how many, if not most, parks become "significant"—not necessarily as amazing design artifacts or episodic sites of great or singular events, but as continuously used and useable spaces that become integral—indeed, "significant"—to their communities.

In essence, they create their significance out of many small, interlocking, parts and experiences and context rather than one piece of design character or overwhelming event.

For example, is Lake Merritt a significant historical element in Oakland? I would guess most of us would reply it is. But a historical analysis limited in scope to "*did any important historic events happen at Lake Merritt?*" might construe otherwise.

How does Willard Park fit into the history of park development in Berkeley and the surrounding region?

Helpfully, a historical analysis of the development of Berkeley's parks and open spaces was undertaken in 2008 by UC Berkeley faculty members Louise Mazingo and Marcia McNally. (It does not appear to have been discovered by the DPR and HSE researchers.) The faculty documented and qualified and analyzed the history of Berkeley's many parks and park movements and prepared an excellent summary. I remember visiting their exhibit and listening to their presentations at the time. They provided considerable insight into how to understand the evolution and importance of each part and era of Berkeley's public park system.

Their written and visual summary material is apparently filed in the Environmental Design Archives on the UC Berkeley campus but I have not, in the limited time available, been able to ascertain if it is indeed there and if a copy can be obtained.

I was able to locate a summary of their conclusions that it is worth including here.

The result is an impressive park system that ranges from the ordinary to the cutting edge, but is shaped by certain underlying characteristics:

- Berkeley's hills with rock outcrops, sloping alluvial fan, flatlands, and Bayside, fingered together by creeks, create a "geographic genetics" that give the park system a **bio-locality**.
- The parks lend **local traction to national trends** about how cities function and whom they serve.
- Exuberant participation exposes competing claims on Berkeley's public landscape that also evince a love of the community—**self interest rightly understood**.
- The essence of Berkeley parks is **plain and simple**. Their open formal can read as boring but is experienced as democratic.
- **Visions matter**. They have provided Berkeley with compelling back-pocket ideas for when events, people, government, and institutions galvanize around civic notions.

Today the park system, plus the regional and state parks edging the hills and the shore, is arguably an approximation of the "Midway Plaisance," planner Werner Hegemann's 1915 vision for Berkeley. The question is, "What should the next 100 years yield?" On May 3, 2008 we assembled 21 speakers representing four decades of Berkeley park activism to put forward their vision. What resulted was a heartening intersection of resonating ideas for future consideration.

- **1. Berkeley needs a vision drawing for Berkeley's parks that engages the physical structure of the city in a specific way.** Since Berkeley began general planning in 1955, the distinct intentions of *park* planning have been co-opted. It is time to correct this and make Berkeley's bio-local genetics once again integral and visible.
- **2. Berkeley can be transformed from a city with many parks into a city within a park.** This should occur at various connected scales, starting with all Berkeley neighborhoods having a green center.
- **3. Every infrastructure improvement should include strategic thinking about parks.** Making the city's infrastructure add up to a multi-functional green should be the goal. There are opportunities to add strategic parcels to the park system, to exhume and display the city's creeks, and to create hybrid public space.
- **4. Streets are the greatest opportunity to build a layered and linked open space circuit.** They are where most of the water flows and where the City already controls generous existing rights-of-way. Berkeley's streets should treat runoff, move people on foot or bike, instead of automobile, and cool the landscape.
- **5. The city will grow denser but "ecodensity" can be balanced by generous collective public space.** Parks are destinations in the everyday life of the city where citizens meet, greet, and latch on to each other. One proposal is to re-design the Derby-Addison corridor as a 21st century plaisance where a wide green circuit would connect key parts of the city landscape.
- **6. Berkeley needs money for parks.** The legacy of Berkeley's parks is a periodic, flexible commitment to park planning that readied the City for when acquisition and capital improvement opportunities arose. The time is right for another big push in park funding.
- **7. Berkeley historically uses parks as a showcase for innovative thinking and a stepping stone for long term civic engagement.** Change in Berkeley has happened best when working to achieve something positive and progressive, such as building the Adventure Playground or opening Strawberry Creek. A vision for a reunited park and playfield system where Berkeley's ever more diverse residents go to be active and healthy should be a catalyst for community action.

Within the context of their park history, the argument might be made that Willard Park was one of the most important park developments in Berkeley during the nearly seven decades of Post World War II era park and recreation development.

In scale and scope in Berkeley Willard Park essentially has only three local counterparts: first, the extensive conversion of Berkeley's dump / landfill into what is now Chavez Park and the Berkeley portion of the McLaughlin Eastshore State Park; second, the development of People's Park; third, the development of Ohlone Park, atop the buried BART tracks, in an area that was originally slated for housing redevelopment.

It is interesting that among those examples, Willard Park is the only one that was intended by Berkeley officialdom as a public park / open space from the beginning. The Berkeley dump / landfill / waterfront was intended for development for industrial / housing purposes before the "Save the Bay" movement presented a new vision and changed city policy; "People's Park" did not arise from any governmental or institutional plans but, rather, from grassroots activism strongly opposed by most conventional authority; Ohlone Park was similarly created out of civic activism that changed city policy, in that instance, from plans for housing development to neighborhood park creation.

In contrast, Willard Park was intentionally planned from the beginning as a new city park, to be established on a site that required the demolition / removal of a large number of houses. It was part of an intentional Post-war municipal policy to provide sufficient and varied public open spaces for Berkeley's residents to use and recreate.

Willard Park is not necessarily important because of specific high profile events that happened there but is important because of its major contribution to that post-War park / recreation movement in Berkeley. In origin, size, and function it is part of a very limited set of park / open spaces. That is context in which its significance should be evaluated.

One important factor is extremely important in that consideration. In their 2008 analysis, Mazingo and McNally pointed out that Berkeley's parks have few architecturally dramatic features. We don't have ornate greenhouses or gazebos, grand monuments and fountains (with limited exceptions), spectacular or intricate park layouts, or dramatic plantings. Instead, as they wrote, ***"The essence of Berkeley parks is plain and simple. Their open format can be read as boring but is experienced as democratic."***

I ask my Landmarks Commission colleagues to keep that statement and historical fact in mind when analyzing Willard Park. We are not seeking to determine where the Park contains a spectacular, unique, designed architectural structure. We are seeking to determine if what is there is otherwise significant.

Second, Willard Park should be compared to other new and / or renovated parks in the Bay Area from the same era (Post War probably to the mid-1960s), to determine if it has regional significance. For example, did neighboring communities (Oakland, Richmond) create similar new parks in the same period and for the same general purpose?



**Finally, beyond the region, how does Willard Park compare to state and national urban park movements in the same era, particularly those that re-purposed large parts of already developed urban areas for new park uses?**

I have not done that research or analysis. And neither have the consultants. Their conclusion that Willard has no regional or national significance is simply an opinion that is not based on any discernible research or documented facts presented in the reports.

In this same context, the authors of the HRE and DPR note that People's Park was developed at the same time as Willard Park, but simply provide this information for background, rather than analysis.

However, there are interesting synergies and contrasts to be drawn between the two parks, which are of similar size and located only two blocks from each other. The two can be compared for the purpose of historical analysis and significance and they are closely tied together in history and intention.

Both were intended to serve as public open space in densely populated neighborhoods without existing parks. The design / evolution of both emphasized adaptable open space—informal plantings, large, irregular, lawns, integration of surviving trees from residential lots into new landscape—to create spaces suitable for many flexible purposes and users, rather than rigid predetermination of uses or expression of a single overriding design style or concept. Both were intentionally located in built up areas where existing buildings had been removed. The creation of both involved controversy, including opposition from residents who were displaced from housing slated for demolition.

These are the similarities. The difference is also quite striking. People's Park was created by community activism on a space which was then (and is to this day) designated by its owner for another use. In contrast, Willard Park was created as part of a decades old parks and recreation plan for Berkeley. Wallace Johnson, Berkeley's Mayor during the late 1960s, emphasized that difference. During the People's Park struggle he repeatedly expressed the view that if the South Campus area needed a park, but the City was already developing an officially planned one two blocks from People's Park. In essence, Willard Park's development was hastened as the officially sanctioned alternative to the unsanctioned People's Park, each park—official, and rebel—serving roughly the same neighborhood and potential users.

In addition to analysis of the architecture of the clubhouse, the clubhouse needs to be analyzed in the context of the entire park. Many public park spaces both historic and new are notable for their built features.

Willard Park was planned in a different way. The open space—particularly the informal / flexible open space such as the lawn—was and is the primary feature of Willard Park. Remember those terms from earlier—*“plain and simple”* and a format *“experienced as democratic.”*

When initially developed Willard Park intentionally contained only a single enclosed structure—the clubhouse—far smaller and less visually conspicuous than even the most modest two bedroom, one-story, Berkeley bungalow home.

The club house was located (intentionally?) at the extreme perimeter of the park, unlike other Berkeley parks (San Pablo Park, Live Oak Park) where club house / recreation buildings were constructed well within the large park spaces and are prominent and large buildings.

The Willard club house appears to have been designed to be low and inconspicuous, set back into a corner of the park and not even occupying all of the land area in that corner.

In addition, large formal recreational facilities built in the same era as Willard Park and part of the original concept, including the Willard Junior High School gymnasium, the defunct Willard Pool complex, and the Willard School athletic fields, were intentionally placed away from the large, informal, unstructured open spaces of the park rather than incorporated with the open space. This was, and is, quite different from similar local parks of the era.

Design features of the club house emphasized and deferred to the open space primacy of the park. These included the rock piles that flanked the building, and the publicly accessible, open air, roof deck that reincorporated the full footprint of the building into the “open space” of the park. The building also originally appears to have functioned as an art form or piece of landscape art. Note this picture from 1980 included in the HRE. The building reads as much as a landform as it does as architecture.



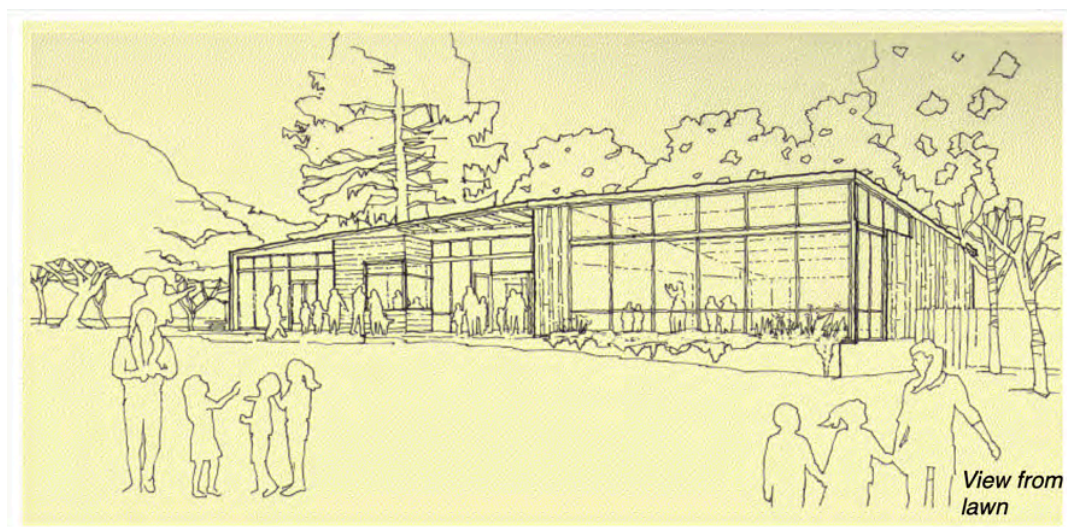
In essence, the Willard clubhouse appears, from its context and design, to have been designed to serve certain minimal purposes for roofed, indoor, facilities in what was planned to be primarily an open space park, not a park of buildings and other built structures mixed with public open spaces.

In that respect, a small, low, building integrated with the landscape is not the same as an insignificant building. Limited size and a retiring / background visual character can be positive features of significance for buildings in a public open space.

The Willard clubhouse and its relationship to the surrounding park and neighborhood is expressive of what landscape architect and theorist Galen Cranz (another notable Berkeley designer) called the fourth era or movement of public park design in the United States:

*"In the mid-1960s there was a new attitude that recreation is potentially everywhere - in the street or on the rooftop or on a crosswalk or at a waterfront or an abandoned railway site or a plaza or a park - and that you could think of integrating all those spaces into a network. I call this fourth model The Open Space System, because of this ideology - that all open space has potential recreational value, depending on the twist that you give it. A more artistic, participatory sensibility was born in this period so you get hip programming in parks, like controversial rock concerts."* Source: <https://www.pps.org/article/futureparks>

(In contrast to the original clubhouse design, it's worth observing that the current design for the new park clubhouse—six or seven times larger than the existing one—is more of a 'look at me!' Glassy Modernist structure with a rectilinear form and its highest structural elements and large window walls fronting directly onto the park lawn. The conceptual design, shown below, was provided in public presentations. Because of increased construction costs it has since been value-engineered into a smaller structure, but seems to retain the same architectural style.)



There is another aspect of the original / existing Willard clubhouse that bears analysis. The original organic form of the building—based significantly on informal amalgamations of boulders that partially obscured and softened the rectilinear built structure, making it more of a rocky mound than a built box—has an interesting relationship to higher profile park projects of the same era, including Lawrence Halprin's celebrated Levi Plaza in San Francisco that is a construct of huge rock forms designed to recall a natural landscape.

The form of the Willard clubhouse, with its landforms of rocks, projecting rough timber pergola, and minimization of formal architectural styles, also relates to what was sometimes called 'Hippie Modernism' design of the era, such as the 1960s conversion of a now-demolished old brick garage nearby on Telegraph Avenue at Blake Street, into a counterculture shopping and dining arcade called "The Village". (Also nearby, in the Willard neighborhood in that same era, was the home of architect and design visionary Christopher Alexander who involved his students in building an organic "Hobbit House" cottage in his backyard.)

In 2017, the Berkeley Art Museum hosted an exhibit, "Hippie Modernism: The Struggle for Utopia", that delineated this type of design development and its place in American design and cultural history. The catalogue for the exhibit explains in part:

*"In the art, architecture, and design of the counterculture one can see early stirrings of the tech revolution and ecological consciousness, as well as powerful expressions of the desire for peace and social justice. Hippie Modernism shows us how the counterculture, once dismissed as a social and aesthetic anomaly, introduced ideas and techniques that have profoundly shaped contemporary life. The BAMPFA presentation highlights **the key role the Bay Area—and especially Berkeley—played in the art, architecture, and design of the counterculture movement.** Creative innovators in Bay Area communities sought to create radical change—technological, political, and ecological—on the streets, in the classroom, and in government policy. Among the central themes of the exhibition is the desire to expand consciousness and achieve greater awareness of the holistic relationship of self, world, and cosmos."*

**Emphasis** added. Source: <https://bampfa.org/program/hippie-modernism-struggle-utopia>

It is worth considering from a historic significance standpoint whether—and if so, how—the Willard clubhouse is a surviving artifact of that movement, along with the overall original character of Willard Park?

This is particularly worthwhile to consider since the DPR form says of Osborne and Stewart, *“the firm was extremely well-known in the Berkely (sic) architecture scene as well as the cultural and social developments of 1960s San Francisco.”*

Exactly. If the firm was prominent and immersed in *“cultural and social developments of 1960s San Francisco”*, an era of almost unequalled creative, cultural, and political ferment and turmoil in the Bay Area, then the built work of the firm can validly be evaluated in terms of how it might relate to that cultural era.

In addition, beyond the original design, other, later, parts of Willard Park also exhibit the tendency to be organic and community driven, including the mosaic “Potter’s Wall” art and seating structure along Derby Street, and the 1980s/90s community based redesign of the northeast entrance to the park that features a masonry plaza around a stone well (symbolic of Derby Creek’s buried presence in the landscape) as well as low key stone walls and pathways blending into a redwood grove and the informal park lawn.

But instead of conducting this analysis the DPR form simply concludes *“Willard Park and its components—including the clubhouse and other built features—do not appear to meet the criteria for landmark listing at the federal, state, or local level, either as individual resources, a historic district or a cultural landscape.”*

This is simply a stated conclusion without foundation or evidence.

**There is literally no analysis or documentation given in the DPR form for how this conclusion was reached, particularly in regard to potential cultural landscape character.**

The documentation in the DPR form and HRE is simply a partial account of how the park was planned and created, and some events that happened there.

There is no comparison provided of the park to other parks of its era, of the architects and their work to other architects and architecture of the era, or the history of the park to the history of other public open spaces created in the era.

That’s the sort of information the LPC needs to intelligently discuss potential significance. We are not given that information.

This leads to the conclusion of my memo. When we are given a potential significance referral for a building proposed for demolition, we make a determination of whether the structure merits further study and/or initiation for potential Landmark or Structure of Merit status. That will be a focus of the LPC deliberation on November 3.

We also consider whether we wish to make recommendations to the Zoning Adjustments Board for mitigations or other considerations to incorporate in project approval, whether or not the structure to be demolished has been formally deemed “historic”.

I would like to suggest the LPC consider making the following recommendations to the ZAB specific to the Willard Park clubhouse project:

- (1) **Salvage of the brass Frances Willard memorial plaque currently attached to the building (shown below) and placement of it either on the new building, or elsewhere in the park;**
- (2) **Photo documentation of the existing building and its context in the park, with copies of the photographs deposited in local historical / architectural repositories;**
- (3) **Design the new clubhouse to serve in the same way as the existing club house as a low-key, perimeter and peripheral, built structure of the park, secondary to the open space, rather than a visually dominant building in the park (this recommendation does not presuppose or mandate any specific architectural 'style');**
- (4) **Additionally, reflect the placement of the clubhouse to avoid intrusion of the new clubhouse building and its supporting spaces / structures into the large, informal, multi-purpose lawn area that is physically and conceptually "central" to the character of Willard Park;**
- (5) **Design the new clubhouse to reflect the original in being a low-key "good neighbor", both in physical form and in function, to adjacent residential structures and their residents;**
- (6) **The HRE report suggests "special consideration in local planning could take the form of creating interpretive panels to document and share Willard Park's history with the public. Such interpretive information could include the pre-park history...as well as the park's role in Berkeley's counter-culture movement of the late 1960s and early 1970s." (page 33). Recommend that the LPC endorse this suggestion, and request that interpretive panels be incorporated in park renovations. The interpretive panels should also incorporate information on more recent park design history and use beyond the '60s/'70s.**





Parks, Recreation, and Waterfront Department

November 1, 2022

TO: Landmarks Preservation Commission  
FROM: Scott Ferris, Director, Parks, Recreation & Waterfront  
Re: Demolition Referral for Willard Clubhouse Building

A handwritten signature in black ink, appearing to read "Scott Ferris", is written over the "FROM:" line of the memo.

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Attached please find four documents that provide detailed responses to two recent memo's you have received from Commissioner Steven Finacom and Vincent Casalaina regarding the demolition referral for the Willard Clubhouse building:

- a. Steven Treffers, Rincon Consultants (historic resources subconsultant to the project).
- b. Mark Schatz, ELS Architecture (prime design consultant for the project).
- c. Wendy Wellbrock, Project Manager, City of Berkeley (re: Memo from Vincent Casalaina).
- d. Councilmember Lori Droste District 8 Newsletter - Willard Park Clubhouse Special Edition!

We concur with Planning staff's recommendation that the Landmarks Preservation Commission take no action to initiate the Willard Clubhouse building for City of Berkeley Landmark or Structure of Merit designation. In terms of the 6 recommendations suggested by Commissioner Finacom, the project can implement recommendations 1 and 2, and 3 through 6 are addressed in the responses by ELS Architecture and Rincon Consultants.

Thank you for your consideration.



Rincon Consultants, Inc.

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November 1, 2022  
Project No: 22-13579

Wendy Wellbrock, P.E.  
City of Berkeley  
Parks, Recreation & Waterfront Department  
1497 Center Street, 5<sup>th</sup> Floor  
Via email: wwellbrock@cityofberkeley.info

**Subject: Response to Comments Regarding the Historical Resources Evaluation of  
Frances Willard Park, Berkeley, California**

Dear Ms. Wellbrock:

On behalf of ELS Architecture + Urban Design, Rincon Consultants Inc. prepared a historical resources evaluation (HRE) of Frances Willard Park in 2021. The HRE was prepared to support the City of Berkeley and compliance with the California Environmental Quality Act (CEQA) for a proposed project, which would include park upgrades and new construction, primarily related to the Willard Park Clubhouse. Since this time, the City has asked Rincon to provide responses to comments on the HRE that were provided in a letter dated October 25, 2022, by Berkeley Landmarks Preservation Commission (LPC) member Steven Finacom. Commissioner Finacom's comments are centered on a series of questions, which are presented with responses below. Additional responses have been provided in a separate letter by Mark Schatz, FAIA, Principal at ELS Architecture + Urban Design.

**1) *Were the designers of Willard Park and the clubhouse significant in a local, regional, and/or national context?***

Commissioner Finacom suggests that a lack of detailed information has been provided to determine if the designers of Willard Park and the clubhouse can be considered significant. As discussed in the HRE prepared by Rincon and confirmed by Commissioner Finacom, Daniel R. Osborne and Zach R. Stewart are responsible for the design of the clubhouse. Commissioner Finacom contends that additional information on the firm should be presented, including how park design fits into the body of their work.

The HRE provides a focused history of these individuals of their firm, as well as a list of other known examples of their work. As detailed in the methods of the HRE, Rincon gathered information on the firm via a review of primary and secondary sources, much of which was gathered through the Berkeley Architectural Heritage Association (BAHA), the Online Archive of California, and the University of California Calisphere.

Commissioner Finacom acknowledges that limited funding may be a reason these histories were not explored further. However, an exhaustive biography on an architect is not always feasible or necessary to make a defensible conclusion on a property's historical resources eligibility. In this instance, there is sufficient information to determine that Willard Park is not significant due to its associations with Osborne and Stewart. Both architects were clearly prolific within the Berkeley area and surrounding region of Northern California; however, based on the research completed for the HRE, the firm designed





a wide variety of projects, including elementary schools, tourism-related facilities, and private residences. Rincon identified no information in either primary or secondary sources to indicate that Willard Park can be considered individually noteworthy within their larger body of work. Historical newspapers and other primary sources provide very limited information on the park's initial development or subsequent reception from the public or architecture community. Further, and regardless of the firm's potential significance, the clubhouse and park have been substantially modified and as such can no longer be considered a strong example of the firm's work. These changes include the removal of stone features and the addition of restrooms to the clubhouse in 1991, changes to the park's circulation, and the removal of the original playground areas. Although additional information on the firm would be beneficial, it ultimately is not necessary in this instance when considering the property's historical resources eligibility.

**2) *Is Willard Park itself a significant historical resource in Berkeley?***

Commissioner Finacom correctly points out that in exploring the potential historical significance of Willard Park, one must explore more than if an important event occurred at the site. Rather, the property must be placed within its larger historical context to determine if it is directly associated in a significant way with a larger trend or pattern of events. Commissioner Finacom provides useful data regarding a historical analysis which was completed by U.C. Berkeley faculty members in 2008. However, in light of this and supplemental research completed by Rincon, it is our conclusion Willard Park does not appear to be individually significant within the context of post-World War II parks in Berkeley.

An article from Susan Schwartz of Berkeley Partners for Parks discussing the history of parks in Berkeley reveals that Willard Park was one of numerous parks to be constructed in the post-World War II era.<sup>1</sup> These included Totland in 1948 and Terrace View in 1950, and a series of neighborhood parks in the 1960s and 1970s, including Willard Park, Greg Brown, Charlie Dorr, Becky Temko, Prince Street, and 63<sup>rd</sup> Street. Although Commissioner Finacom suggests that Willard Park has only three counterparts in terms of scale and scope, the other parks mentioned above were similarly neighborhood focused parks meant to serve the surrounding community. Rincon identified no information to suggest Willard Park is singularly important within this larger theme. Further, the alteration of the park described above has affected aspects of its design which date to and were representative of this era.

**3) *How does Willard Park compare to state and national park movements in the same era, particularly those that re-purposed parts of already developed urban areas for new park uses?***

Expanding on the information presented above, Willard Park was one of countless city parks developed across the county in the decades after World War II. Growing populations created an increased demand for recreational facilities at the community level. While Willard Park is associated with and emblematic of that history, Rincon identified no information to indicate it was individually significant within this context.

Commissioner Finacom suggests that the flexible open space, specifically the large lawn of Willard Park, is unique as it provided a democratic space which was open to a variety of uses. However, large lawns and playing fields are typical of parks from this era. A review of a historic context statement prepared by the City of Los Angeles to support the historical resource evaluations of municipal parks

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<sup>1</sup> Susan Schwartz, "A Short, Partial History of Berkeley Parks," Berkeley Partners for Parks, accessed October 31, 2022 at <https://www.bpfp.org/index.php/bpfp-official-documents/a-short-partial-history-of-berkeley-parks/>.



City of Berkeley  
Frances Willard Park Historical Resources Evaluation

reveals that large activity lawns and open spaces were common during this period and helped support a variety of uses rather than pre-programmed uses.<sup>2</sup>

Clubhouses were also a common feature of parks from this era and helped support the varying needs of the community. Commissioner Finacom suggests that the clubhouse was intentionally designed as a small, inconspicuous building at the edge of the park, further supported by its landforms of rocks and minimization of formal architectural styles. While this may be true, as detailed above, the building has been substantially modified from its original design and is no longer representative of those concepts as a result. The removal of the rocks has affected one of its primary character-defining features, a feature that contributed to the "Hippie Modernism" design Commissioner Finacom suggests. Based on the guidance of the National Park Service, the integrity of properties must be based on the current conditions of the property.<sup>3</sup>

## Conclusion

We thank Commissioner Finacom for his comments and supplemental information. We value the feedback of the City's experts and the public to support a fully informed decision-making process. As mentioned above, consultants such as Rincon are tasked with providing information and findings to support the City and decision makers in planning efforts and compliance with CEQA. Rincon continues to recommend that Willard Park and the clubhouse do not meet the applicable criteria required for federal, state, or local designation. We hope the collective information presented herein and in conjunction with that supplied by Commissioner Finacom provides the LPC with sufficient background to support their ultimate determination.

Sincerely,  
Rincon Consultants, Inc.

A handwritten signature in black ink, appearing to read "Steven Treffers".

**Steven Treffers**  
Architectural History Program Manager

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<sup>2</sup> City of Los Angeles, *SurveyLA: Municipal Parks, Recreation, and Leisure, 1886-1978*, City of Los Angeles, accessed October 31, 2022 at [https://planning.lacity.org/odocument/fe2a87f0-8ed1-4bc2-b1e5-3b14f7ea3be8/MunicipalParksRecreationAndLeisure\\_1886-1978\\_2.pdf](https://planning.lacity.org/odocument/fe2a87f0-8ed1-4bc2-b1e5-3b14f7ea3be8/MunicipalParksRecreationAndLeisure_1886-1978_2.pdf).

<sup>3</sup> National Park Service, *How to Apply the National Register Criteria for Evaluation*, National Park Service, accessed October 31, 2022 at [https://www.nps.gov/subjects/nationalregister/upload/NRB-15\\_web508.pdf](https://www.nps.gov/subjects/nationalregister/upload/NRB-15_web508.pdf).

## Willard Park Community Clubhouse

Response to Memo from LPC member Steven Finacom

Comments from Mark Schatz, FAIA, Principal - ELS Architects

October 28, 2022

This memo addresses Commissioner Finacom's memo to the Landmarks Preservation Commission (LPC). The initial commentary in the memo focuses on concerns with the submitted HRE and DPR forms, both of which were prepared by our sub-consultant, Rincon Consultants, Inc. I will note that most of Mr. Finacom's comments deal with the historic status of the park itself, and we are not proposing any substantial changes to the park. The only change to the park itself is the relocation of the path to the north of the clubhouse building, which results in the loss of less than 1% of the original lawn area. This is described in more detail in the response to recommendation 4 below.

Commissioner Finacom discusses the original design of the clubhouse within the context of "hippie modernism". Specifically, the landforms of rocks and concrete stairs which led up to the roof on both sides in the original design were the dominant features of the structure. Please note that these elements were removed in 1991 in response to concerns about public safety and liability. The remaining building has also been altered in a number of other ways from the original structure. These include the addition of a park restroom on the east side of the clubhouse, and painting the building in bright colors, which differs from the original exposed wood finish.

Below is a specific response to the 6 mitigation recommendations that are proposed within Commissioner Finacom's memo.

1. *Salvage of the brass Frances Willard memorial plaque currently attached to the building and placement of it either on the new building or elsewhere in the park.*

We agree with this suggestion and would propose that the plaque be mounted either on the east wall of the building facing out onto the terrace, or on one of the wood stumps at the south side of the new patio at the eastern end of the building.

2. *Photo documentation of the existing building and its context in the park, with copies of the photographs deposited in local historical / architectural repositories.*

We will provide such photo documentation and will deposit it to a repository per the direction of the LPC.

3. *Design the new clubhouse to serve in the same way as the existing clubhouse, as a low-key, perimeter and peripheral built structure of the park, secondary to the open space*

*rather than as a visually dominant building in the park (this recommendation does not presuppose or mandate any specific architectural style)*

We believe that our current design meets this recommendation. The proposed single-story building of 3,285 square feet with a maximum height of 15'-8" is located at the southern edge of the park that has a total area of 126,200 square feet. The height of the new building is lower than the homes bordering the park to the east and south, adjacent to the site of the clubhouse. The building area is equal to 2.6 percent of the total gross area of the site. In other words, the new structure is very small compared to the overall size of the park, so it will not be visually dominant.

The proposed location for the replacement clubhouse is in the same spot as the existing building, which is in the far southeast corner of the site, right up against the edge. We believe that this complies fully with the request for a perimeter and peripheral building. We studied other options within the park but agreed with comments from community members that the current location is the best spot for the new building.

The building has a linear footprint in direct response to the constraints of the specific site in the southeast corner of the park. These constraints include the fences, side and rear yards to the south and west, as well as 1 large heritage oak tree, a Japanese maple, and a heritage redwood tree. We worked with the city arborist to determine the required setbacks from the trunks of these trees, and that helped define the area in which the building could be sited.

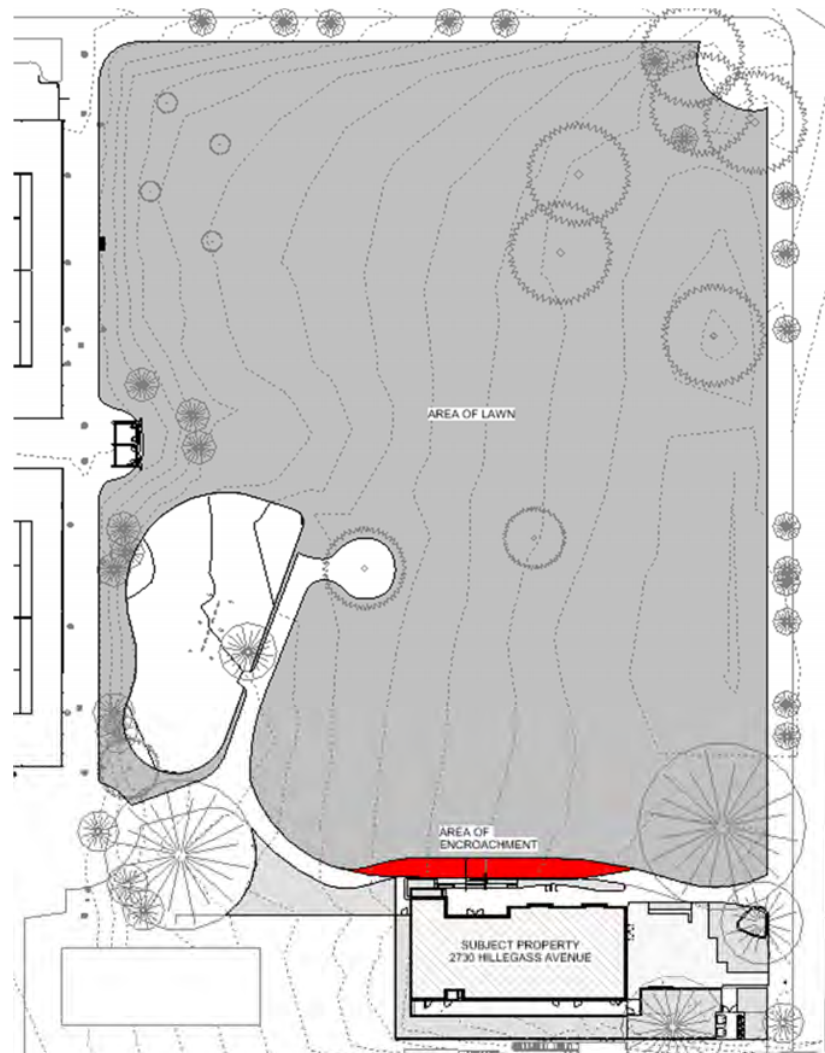
Also, the City's Urban Forestry Division and City Arborist are developing a tree plan for the entire park to evaluate all site trees, replace any trees lost, and provide a variety of new trees along the perimeter of the park. Given the large trees which surround the building, as well as the others located within the park and others to be planted in the future, we feel that the current design complies fully with the request that it not dominate the park.

4. *Additionally, reflect the placement of the clubhouse to avoid intrusion of the new clubhouse building and its supporting spaces/structures into the large, informal, multi-purpose lawn area that is physically and conceptually "central" to the character of Willard Park.*

The existing central lawn, including the playground, has an area of 84,384 sf. No part of the new building or its associated patio or trellis area project into that space.

Due to the existing contours of the site, and the requirement to provide an accessible path to and from the front door of the new building while also maintaining an accessible path into the park itself, we do need to reconfigure the path directly north of the building to allow for a parallel level pathway from the east and new stairs with flanking planters directly north of the entry door. This new pathway does project slightly into

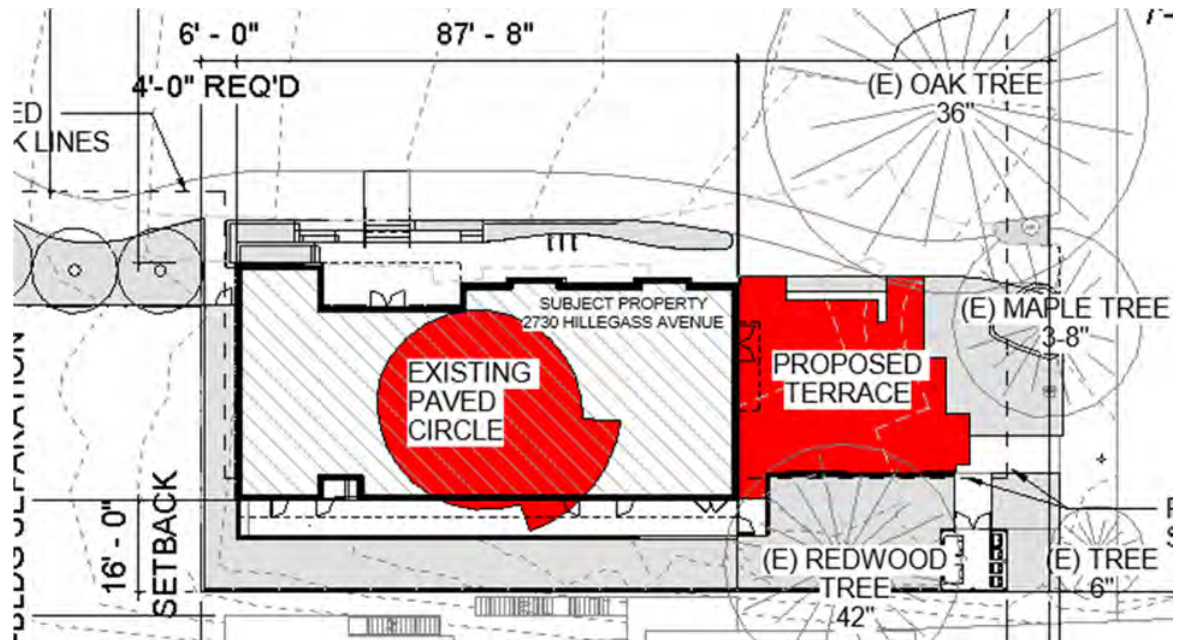
the overall lawn area and we have requested a variance from the planning department to reduce the rear yard setback to minimize this impact. The current proposed design calls for a reduction in the lawn area equal to less than 1% (0.94%) of the total lawn area.



*Site plan illustrating the relocated path and area of encroachment into the existing lawn*

The proposed design also includes a new paved terrace area to the east of the building which will replace the paved circular area to the west of the existing building. The existing outdoor paved space is used for gatherings of children in the after school and summer camp programs, practicing martial arts and other activities. The proposed outdoor terrace as shown below, has been added in response to feedback from the

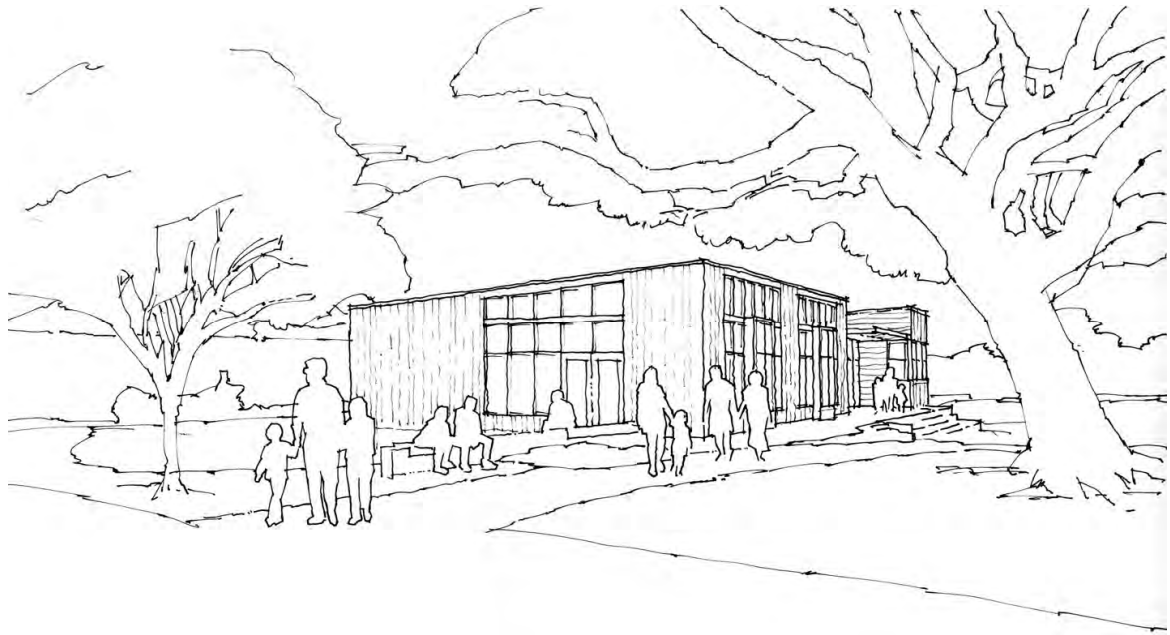
community to provide a similar paved space. This area will now be more visible from the street for improved safety. Additionally, the new patio is roughly the same area as the paved circular area it will be replacing, but has been relocated to make it more visible and to better integrate it with the adjacent clubhouse and surrounding planted areas.



*Plan showing the relative sizes of the existing paved circle and the proposed terrace*

5. *Design the new clubhouse to reflect the original in being a low-key “good neighbor” both in physical form and in function to adjacent residential structures and their residents.*

At 15'-8" tall, the proposed new clubhouse is substantially lower than all of the neighboring residential structures, most of which are 2-3 stories in height. The proposed roof form of the new building is a simple shed, sloping from the north to the south. This is proposed because it is the optimal configuration for rooftop photovoltaic solar panels, which are being provided to enable this building to generate its own power onsite. This also complies with an upcoming code requirement that new public buildings of this nature be constructed with solar panels. Most of the neighboring homes have gable or shed style roofs, but providing a roof like that on the clubhouse would greatly reduce the area available for the solar panels.

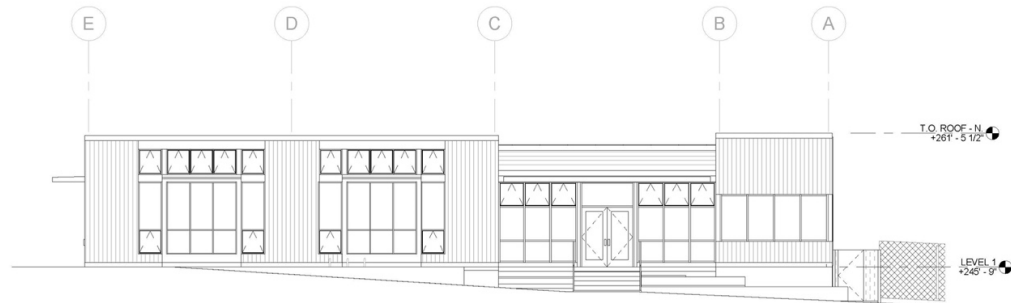


*View of the building from the East*

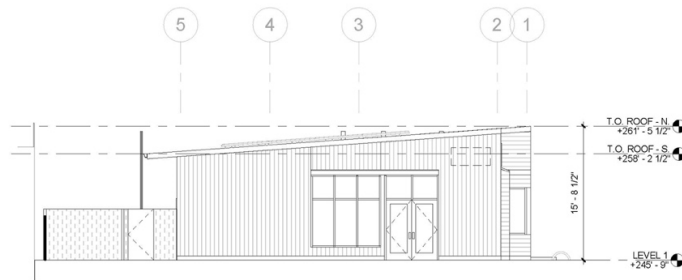
Many of the neighboring homes have wood siding or shingles as their exterior finish, and a similar wood siding material is proposed for the new clubhouse.

There is a comment within the memo about the large areas of glazing that face the park. These have been included for a couple of reasons. Firstly, they provide for wide open views from the inside of the lobby and activity rooms out into the park, creating a sense of indoor/outdoor connectivity. Secondly, they provide abundant daylighting, and natural ventilation through operable panels to help minimize the use of artificial lighting and forced air ventilation, which in turn save energy and make the project “greener” and in alignment with the City’s sustainability and energy efficiency goals. Furthermore, the specifications for the windows will require bird safe glass and building exterior lighting will comply with dark sky requirements.

There is also a large glass area called for on the east side of the building to provide a similar connection to the new outdoor terrace. The windows are much smaller on the south, and they are provided with a roof overhang to minimize glare and heat gain, and there is a small window at the west elevation which provides views from the office into the park.



North Elevation



East Elevation

6. *The HRE report suggests “special consideration in local planning could take the form of creating interpretive panels to document and share Willard Park’s history with the public. Such interpretive information could include the pre-park history as well as the park’s role in Berkeley’s counter-culture movement of the late 1960’s and 1970’s. Recommend that the LPC endorse this suggestion and request that the interpretive panels be incorporated in park renovations. The interpretive panels should also incorporate information on more recent park design history and use beyond the 60’s/70’s.*

These are not included within the scope of the project at this time. If funding becomes available, these could be provided by the City at a future date.





Parks, Recreation, and Waterfront Department

November 1, 2022

To: City of Berkeley Landmarks Preservation Commission

From: Wendy Wellbrock, Associate Civil Engineer, Department of Parks, Recreation and Waterfront

Subject: Response to Email from Vincent Casalaina to Landmarks Preservation Commission, dated October 22, 2022

This is a City response to an email from Vincent Casalaina dated October 22, 2022. In this response, we provide details regarding the City's community input process over the past three years for the design of the proposed Willard Clubhouse and Restroom Project.

Over the course of planning for this project, hundreds of community members and parents participated in the City's public engagement meetings for this project. Between September 2019 and October 2021 there were 5 community meetings and 8 focus group meetings (in-person and virtual) to gather input and hear about the needs and concerns of the community. Participating groups included the Willard Neighborhood Association, Parent Teacher Associations, Friends of Willard Park, City commissioners, councilmembers, neighbors, families in the afterschool and summer day camp programs, and Parks, Recreation, and Waterfront departmental staff. In terms of outreach to publicize these meetings, City staff mailed 2,685 notices, the project consultants went door-to-door, City staff canvassed park visitors during numerous recreational events at the park, and the meetings and project status were publicized on the City's website. Over this three-year period, the vast majority of the participants indicated a strong interest in an expanded and improved clubhouse and restroom at Willard Park that would provide more afterschool programs and community events. A group of neighbors within the immediate vicinity of the park expressed a desire for no expansion of the facility. Virtually all participants expressed strong support for preserving open green space at Willard Park, which was always part of the project plan. The three-year public process involved an iterative design process with the stakeholders and resulted in a preferred conceptual design. This preferred conceptual design was recently reduced in scope and size due to escalating construction costs resulting in the final site plan.

The new design will enhance existing open space by better integrating the proposed clubhouse and its patios with the adjacent outdoor areas. This will help beautify the southern boundary of



Parks, Recreation, and Waterfront Department

the park and provide more flexibility for indoor and outdoor programming at the facility. For example, youth programs need adequate indoor space, especially during inclement weather or increasingly common days with poor air quality due to smoke from wildfires.

The current clubhouse and existing public restroom are not fully ADA compliant. At present, there is a one-stall, open-roof public restroom to the east of the clubhouse with a simple doorway chain to indicate if it is in use. The project will make the public restroom more accessible to the community by relocating it away from the clubhouse and providing two gender-neutral ADA accessible stalls. Meanwhile, children and others using the new clubhouse will have access to a new indoor restroom for enhanced privacy, safety, and comfort. In sum, the proposed project will help the City expand youth and community programming at the facility, which helps to promote equity for a wider range of community residents.

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## Willard Park Clubhouse Special Edition

Hello, Janet!

I am sending this special edition newsletter because I'm excited to give you an update about the planned improvements to the Willard Park clubhouse! I am going to provide a lot of detail in the second part of this newsletter, but please feel free to read the first few paragraphs to get a summary of the project's history, present status, and the current clubhouse plans.



City staff and my office have been engaged in an ongoing [multi-year public engagement process](#) to learn what parents, kids, neighbors, and other residents of South Berkeley would like to see with the Willard Clubhouse renovation. We heard broad support from parents, PTAs, and others in South Berkeley for a larger and improved space that would be capable of hosting more afterschool programs and community events. We heard from a few immediate neighbors a desire for a smaller space. Across the board, we heard strong support for preserving green space at Willard, which was

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corporate office" campus overtaking the grassy park.) Staff took these initial comments and ongoing feedback to heart as they undertook an iterative design process with neighbors, other stakeholders, and project architects.



The existing clubhouse has scarcely changed since it was completed in 1971. It is only 565 square feet and with only one room, it can only serve about 45 kids at a time through the use of outdoor space—but the capacity of that room is only about 25. These programs are vital to Berkeley's low-income children and families. The proposed new design preserves green space at Willard Park, while offering a dramatically improved indoor space with a kitchen, an office, improved ADA accessibility, and new public restrooms, as well as new fully indoor restrooms.

These changes will make the clubhouse a stronger asset for the neighborhood, and a better and safer place for afterschool activities for children, which are [currently scarce](#) in Berkeley. The Clubhouse will also serve the Willard neighborhood and South Berkeley by establishing a community space. At the same time, the project preserves the green space at Willard Park, with the new clubhouse remaining tucked into the corner of the park. The new clubhouse will also be better integrated with surrounding open areas. This will help beautify the southern boundary of the park and encourage more indoor/outdoor play and activities.



In consultation with the project architects, staff have just completed and are about to share a new design for the proposed clubhouse (new

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overall footprint of the building, while still maintaining key new features and adequate space for the envisioned programming.

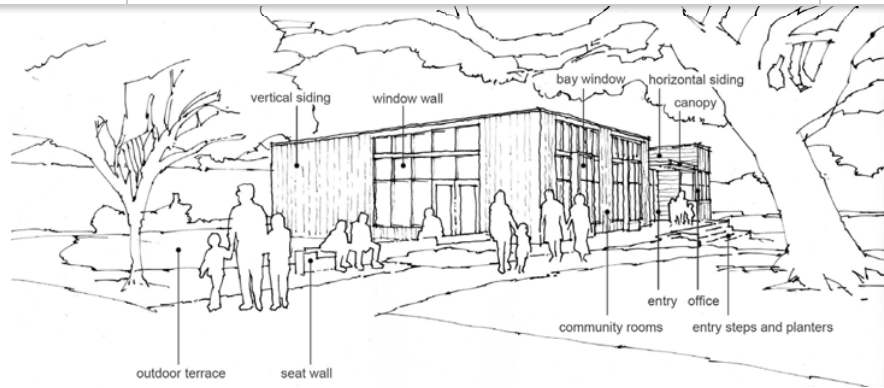


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Thank you to everyone who has participated in the community process to envision this space. And an enormous thank you to City staff and the project architects, who have shown incredible dedication to this process and sensitivity to the community's desires and concerns for the project. It is very important to me that we continue to hear from you about this project—even if it is just to share how excited you are to see it finally complete!

If you would like additional information about the new clubhouse, and to see replies to some common questions and myths, please read on! Otherwise, thank you again for your feedback and involvement, and I look forward to seeing you in our new neighborhood clubhouse at Willard!

Best,  
Lori

### Why do we need a new clubhouse at Willard Park?

- The Clubhouse was built in 1971 and is long overdue for an update. With only one room and 565 square feet of space, the current clubhouse can only serve up to 45 children in its programs, even when using its outdoor space—the interior space only has a capacity of 25.
- With a larger space, the Clubhouse could meet more community needs. Enrollment for after school and day camp programs typically fills up fast, with a wait list of typically around 25 children. If the space were roomier, there would be greater capacity to meet that demand. Staff, parents, PTA equity liaisons, and community members all emphasized the need for a larger space to support the children's programs, and potentially be a place for other community meetings, classes, and activities.
- These programs are vital to under-resourced communities in Berkeley. Recreational programs at Berkeley's parks, community centers, and clubhouses are among the most affordable and accessible.
- This project will include new public restrooms and a new indoor restroom. Currently, there is a one-stall, open roof restroom with just a chain to indicate if it is in use. This project would make the public restroom more accessible to the community by relocating it away from the clubhouse and changing it into a prefabricated building with two gender-neutral stalls. Meanwhile, children and others using the

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- The current clubhouse is not fully ADA compliant. Ensuring that City facilities are accessible to all is an equity issue and essential for complying with federal law.

### What exactly is being proposed?

Community members and staff identified priorities and concerns about a new clubhouse and created three initial designs based on that feedback. After extensive community outreach, the preferred design includes:

- Expanding the footprint of the single story clubhouse to meet greater demand and serve more children. It will **not** take over the park's central green space.
- Maintaining a similar patio size but relocating it to make it more visible and better integrate it with the adjacent clubhouse and surrounding green spaces.
- Moving and updating the public restrooms to make them more comfortable and accessible.
- Restrooms within the new clubhouse space specifically for after school and summer camp participants and other building users.
- A terrace area for outdoor programming. Classrooms will still have direct access to park lawn space.
- Additional amenities such as a kitchenette, an office, a lobby area, increased storage, community meeting rooms with a removable divider to create one large room, and new landscape features.

### Who took part in the community feedback process?

Staff gathered feedback through community meetings, focus groups, online surveys, and emails from:

- Members of the general public
- Families enrolled in the afterschool care programs
- Friends of Willard Park
- City Councilmembers
- Parks Commissioners
- Parks and Recreation staff
- Maintenance staff

### What are some myths about the project?

- **"The project includes a 'corporate-style office park.'"**

This claim is [categorically false](#). At no point were there any plans for an office park on the site, and claims to the contrary are pure misinformation.

- **"The proposed clubhouse will take over green space," reduce open space by 20%, or have a "significant impact" on open space in the**

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This is not, nor ever was, correct. The project's impact to the amount of green open space in the park is negligible. It actually enhances existing open space by better integrating the proposed clubhouse and its patios into the surrounding areas of the park.

- **“The proposal is too big!”**

Focus group participants were in overwhelming support of the project and many parents wanted an even bigger project than what was initially envisioned. Now, with the recent revisions, the footprint is smaller but will still be able to serve community members far better than the current clubhouse.

- **“Only 58 people were surveyed.”**

Over the course of planning for this project, hundreds of community members and parents took part in the public engagement for this project. There were five public meetings and eight focus group meetings. Groups that were consulted included Parent Teacher Associations, the Willard Neighborhood Association, Friends of Willard Park, city commissioners, councilmembers, neighbors, families in the program, and park maintenance staff. Staff mailed 2,685 notices and consultants went door to door as well. Staff also canvassed park visitors during recreational events. The overwhelming sense from the majority of these participants was that they wanted an expanded and improved clubhouse at Willard Park.

- **“These resources could have been used to open Willard Pool”**

Sadly, no. The Willard Pool property is owned by the Berkeley Unified School District, which has given no indication that it intends to sell or re-lease the property back to the City for pool use. Additionally, when given the option to fund re-opening of Willard Pool in 2010 and 2012 (through aquatic-focused bond measures), Berkeley voters sadly declined to support the ballot measures. On the other hand, Berkeley voters did support T1, which is the source of funding for the Willard Clubhouse update. There is not funding to reopen the pool in Willard Park and the funds for the Willard Clubhouse cannot be used for that purpose.

- **“The facility is only available if you pay for it.”**

The City frequently makes free and reduced-cost programming and use of its buildings available for community events and for low-income families. Without a doubt, this project will dramatically help families throughout Berkeley, many of whom are struggling with childcare options as [recently reported by Berkeleyside](#). The City of Berkeley Recreation Division has among the least expensive childcare in the city. It is important that park users in South Berkeley have access to updated, affordable, beautiful, and safe facilities.

- **“Kids won’t be able to play outside.”**

Of course children need to play outside. Thankfully, the proposed clubhouse will in no way reduce opportunities for outside play. The clubhouse will actually enhance them by better integrating the clubhouse with adjacent outdoor areas. Sometimes kids need to play inside as well, especially during inclement weather or increasingly



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opportunities for indoor play when it is preferred/necessary.

**Once the city website goes live on Friday, even more questions will be addressed so stay tuned!**



**Office of District 8  
Councilmember Lori Droste**

ldroste@cityofberkeley.info (510) 981-7180  
2180 Milvia Street, Fifth Floor  
Berkeley, CA 94704  
United States

City Service Requests: Dial 311 from a landline,  
510-981-2489 from a cell phone, or use [online 311 reporting](#).

Homeless Outreach & Treatment Team (HOTT): (510) 981-5273  
In an Emergency: Dial 911, or (510) 981-5911  
Police Non-Emergency: (510) 981-5900

Sign up for emergency notifications on [AC Alert](#)  
and crime prevention/updates on [Nixle](#)  
For more information, visit [the City of Berkeley website](#)

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**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Elif Kale-Lostuvali <elifkale@yahoo.com>  
**Sent:** Tuesday, April 25, 2023 10:31 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board, Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley. Regards,

[Sent from Yahoo Mail on Android](#)

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: ZAB: Please support rec space for kids at Willard Park

**From:** Jeff Vincent <jvincent1134@gmail.com>  
**Sent:** Tuesday, April 25, 2023 6:05 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** ZAB: Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board members,  
Thank you all for your attention to this important decision. Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Jeff Vincent  
D2

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Willard Clubhouse Remodel Support

**From:** Justin Randall <jrandall.berkeley@gmail.com>  
**Sent:** Tuesday, April 25, 2023 2:22 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Willard Clubhouse Remodel Support

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustment Board Members,

I am currently serving as president of the PTA at Sylvia Mendez Elementary and ask that you support the Willard Clubhouse remodel. The T1 Bond Measure has improved so many of our green spaces, updating and modernizing playgrounds and parks for our children all over Berkeley.

In a city that prides itself on equity, education, and progressivism, I don't understand how this clubhouse can fall into such disrepair. While the refurbishment of the clubhouse is undoubtedly crucial, I would also like to highlight the importance of outdoor spaces and socializing for children, especially as we navigate this post-pandemic world.

In recent years, there has been a noticeable change in economics in the region. The cost of living continues its astronomical rise while wages remain relatively stagnant. The result is common in this region: Low-income families struggling to make ends meet, leaving them with fewer opportunities for their kids. Already, this neighborhood lost its pool years ago. The Willard Clubhouse's low-cost child care program is vital to many families.

I believe that we should focus on providing these families greater opportunity for their children to be outdoors and socialize with their peers. The pandemic has taken a significant toll on children's mental health, and it is critical that our community prioritizes their social and emotional well-being moving forward. This Willard Clubhouse project is a prioritization of affordable and high-quality child care that supports our community's families who are struggling the most, which will help children thrive and strengthen our community as a whole.

I understand that there are many factors to take into consideration when making decisions about community resources. I'm also certain that you've heard many of these points from members of our great community. Still, I hope that you'll take my thoughts and concerns into account.

Thank you for your service and dedication to improving the lives of families in our area.

You rock,  
Justin Randall, International MBA  
Randall Writes Writing Services  
510.629.0337

My pronouns are: he / him

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Comments Re: 2720 Hillegass Avenue (Willard Park), Use Permit #ZP2022-0095  
**Attachments:** 2023-04-25 Letter to ZAB\_final.pdf

**From:** Rae Lovko <rlovko@greenfirelaw.com>  
**Sent:** Tuesday, April 25, 2023 2:16 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>; Riemer, Allison <ARiemer@cityofberkeley.info>; All Council <council@cityofberkeley.info>  
**Subject:** Comments Re: 2720 Hillegass Avenue (Willard Park), Use Permit #ZP2022-0095

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Attached are comments from the Willard Neighborhood Association Re: 2720 Hillegass Avenue (Willard Park), Use Permit #ZP2022-0095. This application is set for the April 27, 2023 public ZAB meeting.

--



Rae Lovko, Esq.  
**Greenfire Law, PC**  
2748 Adeline Street, Suite A  
Berkeley, CA 94703  
T: 510.900.9502 x 710  
[rlovko@greenfirelaw.com](mailto:rlovko@greenfirelaw.com)

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RAE LOVKO  
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Berkeley, CA 94703  
Phone: (510) 900-9502  
Email: rlovko@greenfirelaw.com  
www.greenfirelaw.com

April 25, 2023

*By Electronic Mail*

City of Berkeley Land Use Planning Division  
ATTN: Zoning Adjustments Board Secretary  
1947 Center Street, Second Floor  
Berkeley, CA 94704  
[zab@cityofberkeley.info](mailto:zab@cityofberkeley.info)

City of Berkeley Land Use Planning Division  
ATTN: Zoning Adjustments Board Staff Planner  
1947 Center Street, Second Floor  
Berkeley, CA 94704  
[ARiemer@cityofberkeley.info](mailto:ARiemer@cityofberkeley.info)

City Council  
2180 Milvia Street  
Berkeley, CA 94704  
[council@cityofberkeley.info](mailto:council@cityofberkeley.info)

**RE:** Comments from the Willard Neighborhood Association Re: 2720 Hillegass Avenue (Willard Park), Use Permit #ZP2022-0095

Dear Members of the ZAB and City Council:

These comments on the application for Use Permit #ZP2022-0095 are made on behalf of the Willard Neighborhood Association (“WNA”), a group of concerned citizens that live near and use Willard Park.

Use Permit #ZP2022-0095 would allow the demolition of the existing clubhouse and restroom at Willard Park, the new construction of a 3,301 square-foot community center, and the new construction of a public restroom (the “Project”). While some changes to Willard Park may be warranted, the WNA objects that the City is considering approval of the Project without adhering to the requirements of Berkeley Municipal Code 6.42.010 and CEQA. Elements of the Project also are inconsistent with Berkeley’s General Plan. WNA’s opposition mirrors that of the neighboring Berkeley community, as evidenced by a 2021 survey conducted on WNA’s behalf in

Page 2 of 4

which 75% of the respondents identified as living within 6 blocks of the park. A copy of that survey is attached hereto as **Exhibit A**.

### **1. Consideration of the Project Without Voter Approval is in Violation of Berkeley Municipal Code 6.42.010**

Measure L was adopted in 1986 and is codified in Berkeley Municipal Code (“BMC”) Chapter 6.42. It requires that plans involving change to public parks and public open land must be submitted by the Berkeley City Council “to the citizens for approval by a majority of registered Berkeley voters voting at the next general election.” (BMC 6.42.010.)

The voter information pamphlet for Measure L, attached hereto as **Exhibit B**, establishes the intent and purpose of Measure L. Recognized as a “citizen’s initiative ordinance,” the measure was created to allow Berkeley Voters to directly participate in decisions to change the use of Public Parks and Open Space.” It “**prevents the City Council from using the existing public parks and open spaces for any new use without the approval of the community**. If the **Council wants to remove/develop** existing public parks and open space, **prior voter approval is required.**” (emphasis in the original.)

Berkeley City Councilmember Terry Taplin has affirmed the importance of BMC 6.42.010, noting that “Measure L provides for the protection of open space and requires any proposed construction on existing parks be approved by voters.” (Berkeley Community Members Discuss Importance of Protecting Urban Green Space, *Daily Californian*, April 22, 2021, [https://www.dailycal.org/2021/04/22/berkeley-community-members-discuss-importance-of-protecting-urban-green-space.](https://www.dailycal.org/2021/04/22/berkeley-community-members-discuss-importance-of-protecting-urban-green-space/))

The proposed Project at Willard Park involves the demolition of an existing clubhouse that is approximately 565 square feet in size and an existing public restroom that is approximately 114 square feet in size. It would allow the new construction of a community center that is approximately 3,301 square feet in size and a restroom that is approximately 241 square feet in size. The community center is not only larger than the existing facility, but it entails a change of use. Such demolition and new construction falls squarely within BMC 6.42.010, and therefore, the City Council is legally mandated to place the Project before voters in the next general election.

### **2. The Project Has Not Been Properly Analyzed Under CEQA**

The agenda for the April 27, 2023 ZAB Meeting, wherein the proposed Project is to be addressed, recommends that it be “[c]ategorically exempt pursuant to CEQA Guidelines Section 15303 (‘New Construction’).”<sup>1</sup> To provide the public with adequate opportunity to raise CEQA objections, the City must give notice of the grounds for making an exemption determination. (*Los Angeles Dept. of Water & Power v. County of Inyo* (2021) 67 Cal.App.5th 1018, 1034.)

Nothing in the language of Section 15303 in and of itself demonstrates that the proposed Project should be considered exempt — it is larger than 2,500 square feet, and WNA objects that the City has not provided the public with grounds for this recommendation. As a result, WNA and the public are unable to raise CEQA objections and meaningfully participate in environmental review of the proposed Project.

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<sup>1</sup> The CEQA Guidelines are codified in title 14 of the California Code of Regulations.

Page 3 of 4

Relatedly, WNA objects that the information provided to the public does not address design specifications that might make the Project more environmentally friendly. For example, they would like to know whether solar panels will be installed or whether a water collection cistern will be utilized.

### **3. The Project is Inconsistent with Berkeley's General Plan**

Decisions made by ZAB and the Berkeley City Council must be consistent with the goals, objectives, and policies of the City's General Plan. Elements of the proposed project go against the Plan's goals and policies as regards to maximizing citizen participation, maintaining open space and parks, and reducing traffic impacts on the community. The public safety and welfare have not been properly addressed.

#### **Open Space Reduction**

The new community center, which is roughly six times the size of the existing clubhouse, and new restroom will result in a marked reduction of open space, critical to the community. The increased size of the school program in the community center also would further affect open space as the program routinely sequesters section of the park grounds for their activities.

The Project would significantly change the use and feel of a relatively compact park, in an area where there is little alternative open space. Also, the City is becoming increasingly dense, making shared green space ever more important.

In the past, the lawn areas of Willard Park have been used for concerts, movies, bouncy house events, and an annual Easter egg hunt. It is unclear that sufficient open space will remain post-construction to accommodate these important community traditions.

#### **Traffic Impacts**

The current clubhouse is used for a school program involving approximately 45 children. The new community center supposedly will allow the program to serve 60 children — but it is 6 times the size of the existing structure, so this seems like an undercount<sup>2</sup>. As a community center, the new building also may be used for additional community programs and events. All such increased use necessarily involves increased traffic that impacts the neighborhood. In addition to traffic congestion, the community center will increase the need for parking.

The proposed Project envisions adding a passenger loading zone on Hillegass Avenue. This addition does not ameliorate the amount of traffic or its impacts.

#### **Noise Impacts**

The new community center can handle a larger school program, and it can be rented out for parties and other events. This new and increased use will generate a substantial increase in noise levels for those living in the vicinity.

#### **Movement of Plaza/Terrace**

The new community center would allow for the expansion of the school program to include many more children. An open plaza area exists to the west of the existing clubhouse, which is utilized by the program. The proposed Project eliminates this area, and instead a terrace

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<sup>2</sup> The City has not articulated why an enlarged school program is necessary. WNA is aware that public school enrollment has been on the decline in Berkeley over the past 5 years. Further, the summer school program was cancelled in 2022 and is not scheduled for 2023.



Page 4 of 4

will be located east of the community center. WNA assumes the terrace would be utilized by the children in the school program.

The new terrace area abuts Hillegass Avenue, posing a safety risk to the children that are playing there. This risk is heightened by the fact that a passenger loading zone will be added to the street near the terrace.

**Movement of Public Restroom**

The new restroom is located in an area of the park not visible from any of the roadways that surround the park. This impacts the ability of law enforcement to conduct visual surveillance and provide for the public safety and welfare of park users and neighbors.

Thank you for your attention to these comments.

Sincerely,



Rae Lovko  
Greenfire Law, PC

SUPPLEMENTAL ITEM #9 - 2720 HILLEGASS AVE  
ZAB 04-27-2023  
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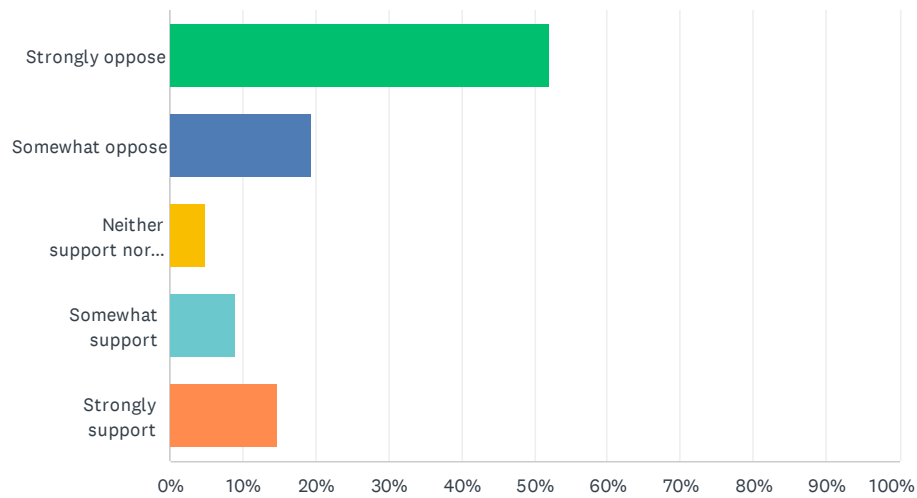
# EXHIBIT A

Willard Park Survey

SurveyMonkey

### Q1 How much do you support or oppose the expansion of the Club House?

Answered: 300 Skipped: 0



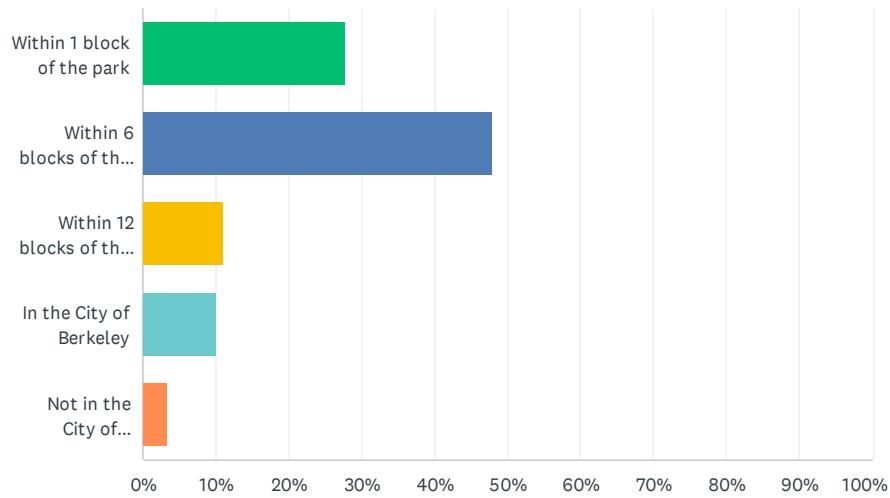
ANSWER CHOICES	RESPONSES	
Strongly oppose	52.00%	156
Somewhat oppose	19.33%	58
Neither support nor oppose	5.00%	15
Somewhat support	9.00%	27
Strongly support	14.67%	44
TOTAL		300

Willard Park Survey

SurveyMonkey

### Q2 Where to you live?

Answered: 300 Skipped: 0



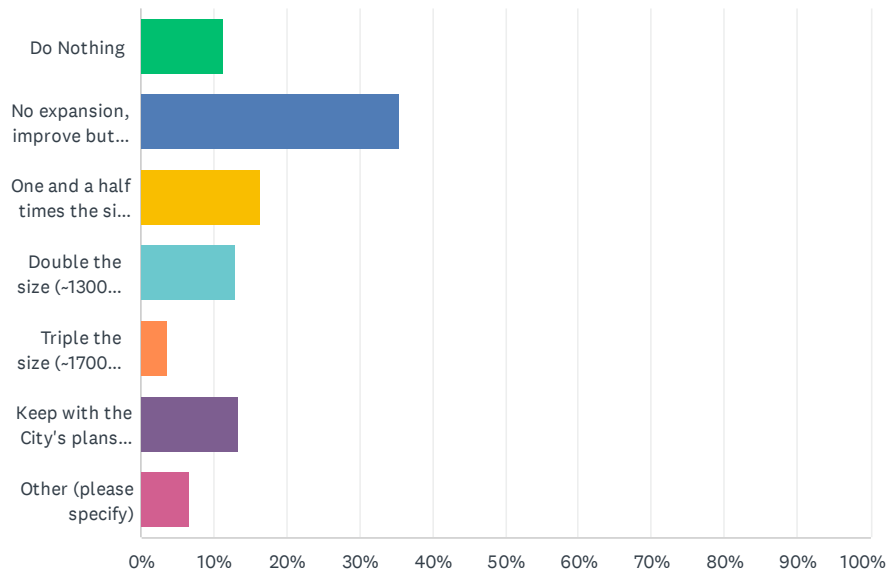
ANSWER CHOICES	RESPONSES	
Within 1 block of the park	27.67%	83
Within 6 blocks of the park	48.00%	144
Within 12 blocks of the park	11.00%	33
In the City of Berkeley	10.00%	30
Not in the City of Berkeley	3.33%	10
TOTAL		300

Willard Park Survey

SurveyMonkey

### Q3 What size Club House would you like to see?

Answered: 299 Skipped: 1



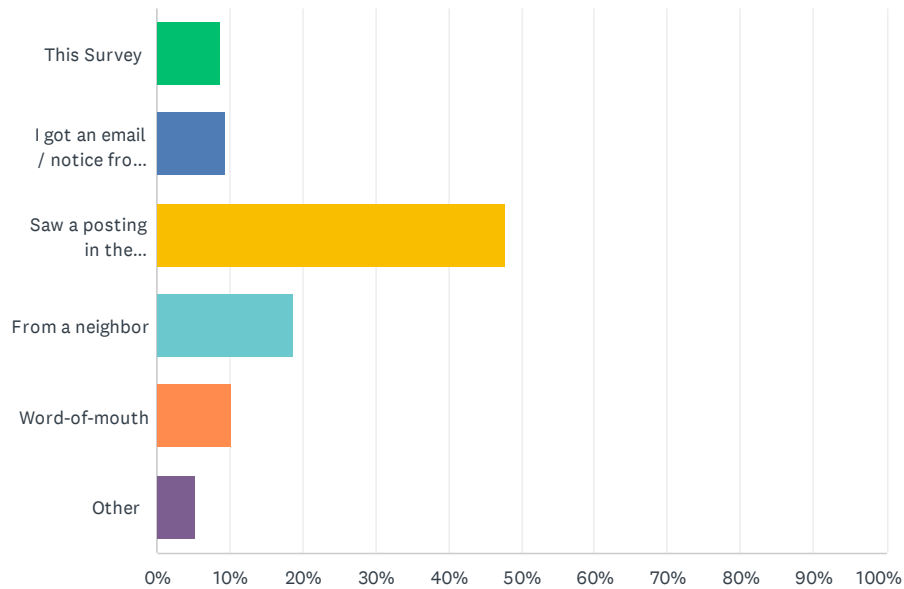
ANSWER CHOICES	RESPONSES	
Do Nothing	11.37%	34
No expansion, improve but keep the same size	35.45%	106
One and a half times the size ( ~850 square feet)	16.39%	49
Double the size (~1300 square feet)	13.04%	39
Triple the size (~1700 square feet)	3.68%	11
Keep with the City's plans (~5000 square feet)	13.38%	40
Other (please specify)	6.69%	20
<b>TOTAL</b>		<b>299</b>

Willard Park Survey

SurveyMonkey

### Q4 How did you find out that this is being planned?

Answered: 300 Skipped: 0



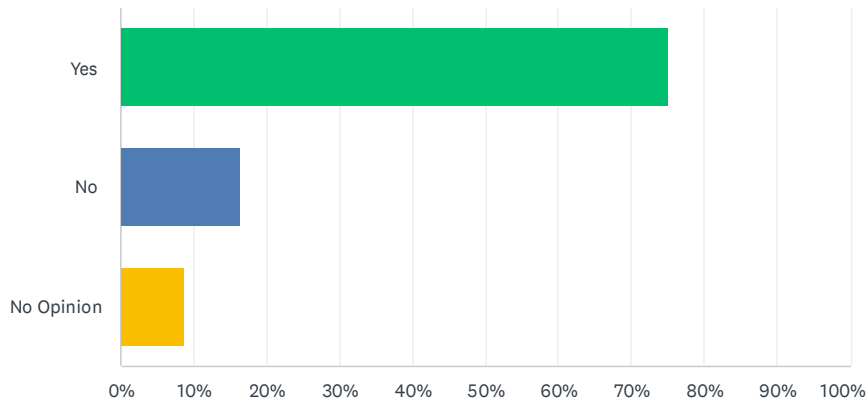
ANSWER CHOICES	RESPONSES	
This Survey	8.67%	26
I got an email / notice from the City	9.33%	28
Saw a posting in the neighborhood	47.67%	143
From a neighbor	18.67%	56
Word-of-mouth	10.33%	31
Other	5.33%	16
<b>TOTAL</b>		<b>300</b>

Willard Park Survey

SurveyMonkey

### Q5 Do you support a public bathroom in the park (separate from the Club House)?

Answered: 300 Skipped: 0



ANSWER CHOICES	RESPONSES	
Yes	75.00%	225
No	16.33%	49
No Opinion	8.67%	26
TOTAL		300

SUPPLEMENTAL ITEM #9 - 2720 HILLEGASS AVE  
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# EXHIBIT B



CITY OF BERKELEY INITIATIVE ORDINANCE	
MEASURE L: Shall an ordinance be adopted to require voter approval of non-recreational uses of parks or open space and require acquisition of open space controlled or leased by the City if acquisition is the only means of preserving the open space?	YES
Financial Implication: Increase in landscape assessment fees; acquisition costs unknown.	NO

**FULL TEXT OF MEASURE L**

LET IT HEREBY BE ORDAINED that an Ordinance shall be passed which shall provide:

**THE BERKELEY PUBLIC PARKS AND OPEN SPACE PRESERVATION ORDINANCE: PROPOSAL FOR AN ORDINANCE TO REQUIRE THE BERKELEY CITY COUNCIL TO PRESERVE AND MAINTAIN THE PUBLIC PARKS AND OPEN SPACE WHICH EXIST IN BERKELEY, AS WELL AS TO ACQUIRE AND MAINTAIN PUBLIC PARKS AND OPEN SPACE IN THE CENSUS TRACTS AND NEIGHBORHOODS OF BERKELEY HAVING LESS THAN THE MINIMUM AMOUNT OF OPEN SPACE RELATIVE TO POPULATION (2 ACRES PER 1,000) IDENTIFIED IN THE BERKELEY MASTER PLAN OF 1977, AND TO REQUIRE THE CITY TO SUBMIT TO A POPULAR VOTE ALL PROPOSALS TO WITHDRAW FROM RECREATIONAL USE PUBLIC PARKS OR PUBLIC OPEN SPACE.**

**FINDINGS:**

WHEREAS the Berkeley Master Plan of 1977 (hereinafter Master Plan) provides for a minimum standard of two acres of public open space per 1,000 persons and identifies specific Berkeley census tracts as having high population density and high open space demands, and attainment of the minimum standard is jeopardized by continued loss of Public open spaces.

WHEREAS the City of Berkeley is the second most densely populated city in California, undeveloped land is at a high premium in Berkeley, there are significant pressures to convert City owned or controlled open space to permanent or long-term non-park, non-open space uses and there exists a clear and present emergency in that the threatened loss of open space, parks and recreational opportunities in the neighborhoods in Berkeley, will cause irreparable damage to the health and welfare of Berkeley residents.

WHEREAS the Berkeley City Council has failed to provide and fund the Master Plan minimum standard of public parks and open space in every Berkeley neighborhood, and in particular in those census tracts having high park and open space requirements.

WHEREAS, specific procedures and directives to the Berkeley City Council are necessary to insure that the Master Plan's minimum park and open space goals are not rendered impossible through the continued loss of public open spaces;

**VOTER AUTHORIZATION PROCEDURE**

Section 1: That no public parks (hereinafter defined) or public open space (hereinafter defined) owned or controlled or leased by the City of Berkeley or agency thereof, shall be used for any other purpose than public parks and open space, without The Berkeley City Council first having submitted such use to the citizens for approval by a majority of registered Berkeley voters voting at the next occurring general election.

**FUNDING LEVELS TO ALLOW FULL USE**

Section 2(a): That wherever public parks and open space currently exist in Berkeley, such use shall continue and be funded at least to allow the maintenance of the present condition and services. (b) That all undedicated or unimproved open space owned or controlled by the City of Berkeley (including land held by the City in trust) shall be retained and funded by the Berkeley City Council to enable public recreational use of those lands. (c) That those census tracts containing less than the Master Plan provision of two acres of parks and open space per 1,000 population shall be singled out as having a high priority for funding the acquisition, development and maintenance of parks and recreational facilities.

BM-30

**DEFINITIONS**

Section 3(a): **Public parks** shall be defined as City of Berkeley parks, public school playgrounds or lands held in trust by a public entity, which have been formally dedicated to permanent recreational use by the City of Berkeley, and funded for recreational use by City of Berkeley public funds.

Section 3(b) **Public open space** shall be defined as all City of Berkeley parks, public school playgrounds, and vacant public land, whether dedicated formally to park use or being used de facto as open space with recreational use or potential use on or after January 1, 1985.

**ADOPTION OF THIS ORDINANCE**

Section 4(a): If the petition accompanying this proposed ordinance is signed by the number of voters required by the Berkeley City Charter, Article XIII, Section (3) or (4) or (5), the Berkeley City Council is hereby directed to submit this ordinance forthwith to the vote of the people pursuant to the appropriate Charter Section that applies to the highest number of voter signatures certified by the City Clerk, unless the Council passes this ordinance pursuant to the Charter, Article XIII, Section (3)(a).

**RETROACTIVITY**

Section 5(a): Upon passage of this initiative, all actions taken on or after January 1, 1985, by the Berkeley City Council, Housing Authority, or any agency of the City of Berkeley which contravene the provisions herein shall be declared null and void.

Section 5(b): Upon passage of this initiative, all actions, even administrative, taken by the Berkeley City Council, or Housing Authority or agency of the City of Berkeley occurring after the date this initiative is certified for placement on the next occurring general election ballot, which actions are not in full conformity with this Ordinance, shall be declared null and void.

**SEVERABILITY**

Section 6: If any provision of this Ordinance or the application thereof to any person or circumstances is held invalid, such invalidity shall not affect other provisions or applications of the Ordinance which can be given effect without the invalid provision or application and, to this end, the provisions of this Ordinance are severable.

**BERKELEY CITY ATTORNEY ANALYSIS OF MEASURE L**

The initiative ordinance would have the following effect:

1. Require that all existing public parks and vacant public land, either formally or informally devoted to recreational use after January 1, 1985, be retained and maintained at their present level of service. This requirement would only apply to land owned or controlled by the City of Berkeley, since the City does not have the authority to regulate land owned by other public entities such as the school district or the University of California. The Berkeley Redevelopment Agency and the Berkeley Housing Authority are independent state agencies and thus would be immune from regulation in this manner.
  2. Require prior voter approval if such City of Berkeley public parks or open space are to be used for any other purpose. This measure requires the City to acquire land it does not presently own, if acquisition is the only means to retain the land as open space or public park. As of the date this analysis was prepared, several City parks are owned by others, including: sections of Ohlone Park, leased from Bay Area Rapid Transit District; six school parks owned by the Berkeley Unified School District and maintained, in part, by the City; and Douglas Park on Dwight Way which is owned by the University. The City has plans underway to acquire the remaining section of Ohlone Park.
  3. Census tracts that do not meet the Master Plan open space requirements will have priority for the funding, acquisition, development and maintenance of parks and recreational facilities.
- Financial Implications**  
 Currently park maintenance is funded by fees through the Landscape Assessment District. Increase in fees will be required to maintain additional land. Costs to acquire land owned by others is unknown at this time, but may be significant.

BM-31

**ARGUMENT IN FAVOR OF MEASURE L**

Approval of this citizen's initiative ordinance will allow Berkeley Voters to directly participate in decisions to change the use of Public Parks and Open Space. Berkeley's parks and public open spaces are highly used and valued by all parts of the community. They help provide for the health, fitness, children's play, entertainment, and recreational needs of all citizens. Decisions to reduce our presently insufficient number of parks belong on the ballot where all citizens can express their opinion with their vote. This initiative ordinance requires that the voters must approve new uses for city lands held in public trust. It does not limit or prohibit any potential new uses approved by the majority of the voters. Approval of this ordinance would certify that Berkeley Census tracts that presently contain less public open space than the Master Plan standard of two acres per 1,000 residents be given priority funding in acquisition, development and maintenance of parks/recreational facilities. It will help make distribution of parks more equitable throughout Berkeley. This is a minimal standard, since Berkeley has fewer parks than state and national averages. The provisions of the Master Plan combined with the approval of Measure Y (1974) park funding, strongly suggests that the Citizens of Berkeley believe that Public Parks and Open Space need expansion. Since there is no indication that Berkeley has changed its opinion, it is all the more appropriate to require voter approval when potential development removes parks and open space called for in the Berkeley Master Plan. You can help Preserve Berkeley's parks and open space by voting YES on Measure L.

- s/Martha Nicoloff, Co-Author, Neighborhood Preservation Ordinance
- s/Clifford Fred
- s/Dorothy Bryant
- s/Carroll B. Williams, Former Berkeley School Director
- s/John G. Cecil, Chair, Preservation Initiatives Committee

**REBUTTAL TO ARGUMENT IN FAVOR OF MEASURE L**

The need for parks is a serious issue which should not be the subject of the scare tactics employed by the proponents of Measure L. City parks are designated in the Master Plan for recreational use. Contrary to implications made by the proponents of this measure, no one can recall any City plan—past, present, or future—to reduce the number of parks serving Berkeley's recreational needs. Open space, sometimes a vacant lot, on the other hand, is usually held by owners other than the City. They may, or may not, have plans for future use of their property. The real reason for Measure L is the Housing Authority's plan to build 12 single-family townhouses for low income families on a small portion of School District property at Sawo Island (MLK, Jr. Way between Derby and Ward). The remaining piece of land is large enough to accommodate a football field. The neighborhood will still be able to enjoy the use of this open space. Measure L does more than require a vote for new uses for City lands held in public trust. It requires the City to acquire land. But where will the money come from? Given the tremendous federal budget cuts to municipalities and the demands on the City's budget, from what other City services will the trade-off come? And given the pressure of Measure L on the City, property owners would be foolish to negotiate. If we want additional parks, someone has to pay. And since we will ultimately pay, we should know the cost before we make such an important decision.

Don't let the proponents of this measure scare you into believing that our parks will disappear. Quite honestly, they won't.

**VOTE NO ON MEASURE L**

- s/Wesley E. Hester, Chair, Council Committee on Revenue and Finance
- s/Ariene Irlanda, Member, Berkeley Chicano/Latino Network
- s/Maudelle Miller-Shirek, Berkeley City Council
- s/Stacy Wilson, Chair, Citizens Budget Review Commission
- s/Carole K. Davis, Former Vice-Mayor

**ARGUMENT AGAINST MEASURE L**

On its face as a statement of community values, Measure L seems harmless. What could be wrong with wanting additional parks? However, the difference between the outcome of Measure L and the kind of program which can come from a thoughtful parks proposal such as Measure Y (1974) is a budget—a specific amount dedicated to acquiring and maintaining parks and open space.

In 1974 voters passed a park acquisition, renovation and development ordinance: Measure Y. It raised more than \$5 million. As a result, the City was able to create 9 new parks and 8 parks on school grounds. That measure was a direct result of the recognition that Berkeley was deficient in park space and was able to accomplish what it did because it included a budget.

As a community we are stretched thin in trying to fund a variety of City Services ranging from police services to sidewalk repair. New parks and additional open space cost money (it and when the City can get title to the property. In fact, this measure may well prejudice City negotiations with landowners who will use this measure in their bargaining. The proponents of Measure L are irresponsible in offering this proposal without including the means by which to finance it. They have made promises but have not provided any way of keeping them. The citizens deserve to know how the money will be obtained, and what the price tag will be.

- s/Hydrtha Hewitt, Parks and Recreation Commissioner
- s/Carole Davis, Former Vice-Mayor
- s/Maudelle Shirek, Berkeley City Council
- s/Carole Lewis, Social Services Director
- s/Rich Ilgen, President, Planning Commission

**REBUTTAL TO ARGUMENT AGAINST MEASURE L**

The opponents of Measure L have missed its major provision. Measure L prevents the City Council from using the existing public parks and open spaces for any new use without the approval of the community. If the Council wants to remove/develop existing public parks and open space, prior voter approval is required. At this time, no law prevents our elected officials from placing such decisions on the ballot. Measure L also requires that the minimal standard for parks already in existence be observed in areas that presently have less than their "fair share" of parks called for in the Berkeley Master Plan of 1977. We do not agree with the opponents financial argument.

Despite the implications of the opponent's argument, responsibility for implementing and financing the Master Plan has not shifted from Council and Staff to individual community members. It should be noted that **determined citizens who believe in the importance of parks and recreational facilities in everyone's quality of life**, have and will continue to assist in the search for sources of new and additional funding. Measure L ensures the community will be directly involved in decisions to re-use existing Public Parks and Open Space by placing every proposed development plan on the ballot and letting the voters decide between parks and development.

**Vote YES on Measure L.**

- s/Michael Winter, Executive Director, Center for Independent Living
- s/Pamela J. Ferguson
- s/Gloria A. Belsky
- s/John G. Cecil, Chair, Preservation Initiatives Committee
- s/Jane M. Maestre

**CITY OF BERKELEY INITIATIVE ORDINANCE**

<b>M</b> MEASURE M: Shall an ordinance be adopted requiring voter approval for non-educational and/or non-recreational uses of Berkeley Unified School District property?	YES
	NO
Financial Implications: Unknown.	

**FULL TEXT OF MEASURE M**

**BE IT ORDAINED BY THE PEOPLE OF THE CITY OF BERKELEY:**  
**FINDINGS:**

WHEREAS the Berkeley City Council and Berkeley Housing Authority have attempted to acquire, develop, use or approve Berkeley Unified School District property for non-educational purposes.

WHEREAS the Berkeley Unified School District (hereinafter School District) has been given a public trust in real property to use for the educational benefit of the Citizens of Berkeley.

WHEREAS the School District has purchased and developed real property with monies received in trust and intended to be expended for the educational benefit of the citizens of Berkeley, which property if lost to the originally intended and dedicated educational and related recreational uses, will be unavailable or irreplaceable when needed for those uses.

WHEREAS there is a potential that use or development of School District property for non-educational uses will ultimately act to the detriment of the Citizens of Berkeley and will violate the wishes of a majority of the Citizens of Berkeley regarding the use of that property.

WHEREAS these actions have been proposed and are being undertaken without the approval of the voters of Berkeley.

WHEREAS there exists a clear and present emergency in that the threatened sale or long-term lease of School District real property and buildings for non-educational or non-recreational use will cause irreparable damage to the health and welfare of Berkeley residents.

BM-34

LET IT HEREBY BE ORDAINED that an Ordinance shall be passed which shall provide

**VOTER AUTHORIZATION PROCEDURE**

Section 1: That should the Berkeley City Council, Housing Authority or any other agency of the City of Berkeley propose to acquire, or approve the use of, School District property (hereinafter defined) for other than educational or existing recreational purposes, and should that approval or use require the purchase, sale or long-term encumbrance (hereinafter defined) of that property, the Berkeley City Council shall first submit that specific proposal, detailing the specific use, transaction sought, and the site involved, after being approved officially by the appropriate City agency and the Berkeley City Council, to the Citizens for approval by a majority of registered Berkeley voters voting at the next occurring general election.

**DEFINITIONS**

Section 2(a): **School District property** shall be defined to include the land and buildings which have been used by the Berkeley Unified School District for educational purposes, child-care, recreation or School District support services (including maintenance) at any time since January 1980.

Section 2(b): A **long-term encumbrance** shall include a lease whose term is greater than five years or where options are granted such that the term may be extended beyond five years by option of the lessee. In addition, a long-term encumbrance shall include any mortgage transaction which pledges the property as security.

**ADOPTION OF THIS ORDINANCE**

Section 3(a): If the petition accompanying this proposed ordinance is signed by the number of voters required by the Berkeley City Charter, Article XIII, Section (3) or (4) or (5), the Berkeley City Council is hereby directed to submit this ordinance forthwith to the vote of the people pursuant to the appropriate Charter Section that applies to the highest number of voter signatures certified by the City Clerk, unless the Council passes this ordinance pursuant to the Charter, Article XIII, Section (3) (a).

**RETROACTIVITY**

Section 4(a): Upon passage of this initiative, all actions taken on or after January 1, 1985, by the Berkeley City Council, Housing Authority or any agency of the City of Berkeley which contravene the provisions herein shall be declared null and void.

Section 4(b): Upon passage of this initiative, all actions, even administrative, taken by the Berkeley City Council, Housing Authority or agency of the City of Berkeley occurring after the date this initiative is certified for placement on the next occurring general election ballot, which actions are not in full conformity with this Ordinance, shall be declared null and void.

**SEVERABILITY**

Section 5: If any provision of this Ordinance or the application thereof to any person or circumstances is held invalid, such invalidity shall not affect other provisions or applications of the Ordinance which can be given effect without the invalid provision or application and, to this end, the provisions of this Ordinance are severable.

**BERKELEY CITY ATTORNEY ANALYSIS OF MEASURE M**

The initiative ordinance would have the following effect:

1. Require the City Council to submit to the voters for prior approval any proposal to acquire, encumber or lease for a period longer than five years, or approve the use of property owned by the Berkeley Unified School District, if the property is not intended to be devoted to educational or recreational uses. Under current law, voter approval of such a proposal would be required only if the property was to be used for specified kinds of public housing and the City had exhausted its current voter approved authority to construct such units. The Housing Authority is an independent state agency implementing statewide laws and is not subject to this ordinance. Zoning or other City land use approvals of projects proposed by other private or public persons or entities would not be subject to prior voter approval under current case law.
2. Provide that any actions taken by the City Council or the Berkeley Housing Authority or other City agency after January 1, 1985, which contravene the ordinance in the above respect, are null and void. The Berkeley Housing Authority has entered into a long-term lease with the Berkeley Unified School District

BM-35

**Jacob, Melinda**

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**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Nicole Una <nicoleuna@gmail.com>  
**Sent:** Tuesday, April 25, 2023 1:05 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board, Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley. Regards,

Nicole Una

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Jennifer Ruskin <jenruskin@yahoo.com>  
**Sent:** Tuesday, April 25, 2023 10:40 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board, Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Jennifer Ruskin

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Willard clubhouse

**From:** Larry Snyder <larrysnider22@gmail.com>  
**Sent:** Tuesday, April 25, 2023 8:32 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Fwd: Willard clubhouse

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

----- Forwarded message -----

**From:** Larry Snyder <larrysnider22@gmail.com>  
**Date:** Tue, Apr 25, 2023 at 8:27 AM  
**Subject:** Willard clubhouse  
**To:** [mayor@cityofberkeley.info](mailto:mayor@cityofberkeley.info) <[mayor@cityofberkeley.info](mailto:mayor@cityofberkeley.info)>, <[mhumbert@berkeleyca.gov](mailto:mhumbert@berkeleyca.gov)>, <[council@cityofberkeley.info](mailto:council@cityofberkeley.info)>

You proposed one project and delivered something entirely different! We have many objections to the size of what you now propose. You must get further community input before going ahead!

Larry and Marian Snyder

2812 Regent St.

**Jacob, Melinda**

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**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Stephanie Allan <stepbad@yahoo.com>  
**Sent:** Tuesday, April 25, 2023 8:14 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board, Due to other obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. My son graduated from Willard a long time ago and no longer needs childcare, but, as a single mom, I well remember the struggle to find after-school care for him.

When he was at Washington Elementary, I helped plan the remodel. A key element was the makeover of the large space adjoining the school. We put in a slide, climbing structures and a basketball court, all with a mind to giving kids in the neighborhood a safe, clean, upgraded space to "hang out." It worked beyond our wildest expectations.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. I urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards, Stephanie Allan

**Jacob, Melinda**

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**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

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**From:** Nathan Francis <nathan.francis@gmail.com>  
**Sent:** Monday, April 24, 2023 10:08 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board, Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city.

Thank you for your dedication to Berkeley.

Regards,  
Nathan Francis — Berkeley resident and parent of two school age children.



**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Katie Aftosmis <katie.aftosmis@gmail.com>  
Sent: Monday, April 24, 2023 8:49 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

I am writing in support of the Willard Clubhouse redesign. Willard was the primary park for my family and our young children when we first moved to Berkeley, and our girls attended any number of city sponsored programs at Willard, from the Easter Egg Hunt to summer camps.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Katie

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Elizabeth Kneebone <elizabethkneebone@gmail.com>  
Sent: Monday, April 24, 2023 7:47 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Cc: Diana Hristova <hristova@gmail.com>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

My family won't be able to attend the meeting, but wanted to send our support for the proposed remodel of Willard Playhouse. The proposed remodel will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. The programming offered at the park is a critical resource (our family has benefitted from aftercare) that could be made available to more families under the proposed plan.

We urge you to support this important project. Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Elizabeth Kneebone and Diana Hristova

**Jacob, Melinda**

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**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: I support rec space for kids at Willard Park

**From:** Ben Finkel <finkel@gmail.com>  
**Sent:** Monday, April 24, 2023 5:25 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** I support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Ben Finkel

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: PLEASE support rec space for kids at Willard Park

**From:** Pamela Hyde <pamela@hydromatic.net>  
**Sent:** Monday, April 24, 2023 4:22 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** PLEASE support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

**I'd like to underline that the South East Berkeley general area has been short on community resources since the closing of the Willard pool. We've watched what's possible in terms of community building and enjoyment at Kenney, Albrier, Live Oak, King pool, West Campus swim center, and sites on UC grounds, and it's impressive! Many of us in South & East areas feel stiffed of these essential public goods. We really hope the vocal minority doesn't stop the City from recognizing the majority need and voice in favor of this crucial project.**

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Pamela Hyde  
2732 Prince St.

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

---

**From:** Vishal Shah <shahvr@gmail.com>  
**Sent:** Monday, April 24, 2023 4:22 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Vishal Shah

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Heather M. Fernandez <heather.fernandez@gmail.com>  
**Sent:** Monday, April 24, 2023 3:31 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Heather Mirjahangir Fernandez

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Kim-Mai Cutler <kimmaicutler@gmail.com>  
**Sent:** Monday, April 24, 2023 3:02 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

My toddler goes to Willard Park every weekday to play in the tot area and she will hugely benefit from the proposed improvements to the clubhouse.

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Kim-Mai Cutler

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Delilah Raybee <delilahlah@gmail.com>  
**Sent:** Monday, April 24, 2023 1:04 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Delilah Raybee  
2727 Russell street



**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Approve OVERDUE Willard Clubhouse Remodel

**From:** Rana Cho <rana@ranacho.com>  
**Sent:** Monday, April 24, 2023 12:30 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Cc:** Lori Droste <lori@loridroste.com>  
**Subject:** Approve OVERDUE Willard Clubhouse Remodel

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustment Board Members,

As the current head of the PTA at Emerson Elementary School in Berkeley Unified, I implore you to support the Willard Clubhouse remodel. After extensive community engagement, multiple participants, including the parents we represent, the City of Berkeley is finally moving forward on a desperately needed clubhouse remodel.

Lori Droste, the City of Berkeley and the Parks and Recreation department presented an informative and engaging presentation to our PTA Association Meeting on September 21 2021, where our members weighed in on design directions and concerns. I am disappointed that almost two years have gone by since that very relevant community engagement, where our community clearly stated support for this project.

As you surely know, [hundreds of children were placed on a waitlist for childcare](#) this school year. [Childcare and education is in a crisis nationwide](#) due to the pandemic. The City of Berkeley's childcare program at Willard offers the lowest cost childcare in the whole city and is a vital resource for low-income children. Right now, the 52-year old clubhouse is in disrepair and doesn't even have an ADA bathroom. We need to do better for our community. Please remember that dozens of families have participated in this process but are unable to attend the meeting due to parental obligations. Please approve moving ahead with this important project for South Berkeley children and families.

Thank you for your service.

Rana Cho

President, Emerson Elementary PTA

Redistricting Commissioner District 7 for 2020 Census

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please fix the Willard Park Buildings

**From:** Willis, Lauren <lauren.willis@lls.edu>  
**Sent:** Monday, April 24, 2023 11:33 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please fix the Willard Park Buildings

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

I will not be able to attend the zoning board meeting but wanted to write to urge you to fix the Willard Park buildings. The bathrooms are a disgusting embarrassment -- how can we ask children to use these bathrooms? The playhouse building is tiny and over-full.

One reason to live in Berkeley is to be in a community where families can use public spaces together with other families, regardless of income. By allowing the public infrastructure of the city to rot, we drive affluent families to seclude themselves and their children in private clubs and childcare (or leave the city) and less affluent families to seclude themselves (and possibly under-supervised and under-stimulated children) at home. Isn't it better to create a Berkeley where all families and their children feel safe, and enjoy our parks together?

Thank you for your dedication to Berkeley,

Lauren Willis  
2811 Stuart Street  
Berkeley, CA 94705

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Alexander Wooten <alexander.wooten@gmail.com>  
**Sent:** Monday, April 24, 2023 11:19 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Alex Wooten  
Russell St. Berkeley Resident

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Chrissie Kazerooni <chrissiekazerooni@gmail.com>  
**Sent:** Monday, April 24, 2023 10:38 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board, Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city.

Thank you for your dedication to Berkeley.

Regards,  
Chrissie Kazerooni

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Support Willard Clubhouse Remodel

**From:** Heather Ball <hubvox75@gmail.com>  
**Sent:** Monday, April 24, 2023 10:07 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Support Willard Clubhouse Remodel

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustment Board,

I am the PTA President at Malcolm X Elementary School this year, but writing as a parent, educator, and community member in Berkeley for 20 years.

Please approve the plans for the Willard clubhouse remodel. The building has been insufficient for years. The bathrooms and community space are in dire need of upgrade. After school and day camp program staff have never had enough room in the current building to support the work they do.

We are in need of more options for after school care in Berkeley. Families at Malcolm X are scrambling for after school care for their children. Our on-site programs are understaffed and haven't been able to accept everyone. We often recommend that they sign up for the City of Berkeley programs at Willard and San Pablo park, but those are apparently at capacity as well. This remodel could allow for more families in need of after school care to send their kids to Willard park, keeping them close to their school and homes, and accessing the very reasonably priced and quality childcare programs that Berkeley should be very proud to offer.

This is a no-brainer. Plans have been hashed out with community support, most of the park remains intact, and our kids and staff get the facilities they deserve to have. Working parents are often unable to attend these meetings to voice their support, but please know that we are in full support of this project.

Thanks for your time,  
Heather Ball

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Michael Piliero <michael.piliero@gmail.com>  
**Sent:** Monday, April 24, 2023 10:06 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Michael Piliero

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Letter in support of Willard Park Playhouse

**From:** Chelle Putzer <cputzer@gmail.com>  
**Sent:** Sunday, April 23, 2023 12:52 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Letter in support of Willard Park Playhouse

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Unfortunately, my wife and I are unable to attend the meeting this week. We are neighbors of Willard Park and fully support the proposed remodel of Willard Playhouse. We urge you to support this important project-Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city.

Regards,

Chelle & Lindsay Putzer  
2713 Derby St

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Justin Dawe <dawe.justin@gmail.com>  
**Sent:** Sunday, April 23, 2023 12:57 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
The current facilities at Willard Park are a disgrace, and if you think a remodel is not needed then I'd encourage you to find a different line of work.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city.

Thank you for understanding that there is never a solution that makes everyone happy, but that if Berkeley is to function sometimes you just have to do the obvious necessary thing.

Regards,  
Justin Dawe  
100% voting record in local elections



**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Jessica Bylo <jessicabylo@gmail.com>  
**Sent:** Sunday, April 23, 2023 12:57 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city.

Thank you for your dedication to Berkeley.

Regards,

--

Jessica Bylo

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Josh Buswell-Charkow <jbuswellchar@gmail.com>  
**Sent:** Sunday, April 23, 2023 1:14 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Josh Buswell-Charkow, Berkeley Resident  
3011 Dohr Street, Berkeley, CA 94702

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Bridgette Lehrer <bridgettelehrer@gmail.com>  
Sent: Sunday, April 23, 2023 1:20 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Bridgette Lehrer  
Berkeley resident

Sent from my iPhone

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Mary Catherine <mcplunk@gmail.com>  
Sent: Sunday, April 23, 2023 1:24 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week, but I did want to share my support for the Willard Playhouse remodel.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Mary Catherine Plunkett  
Berkeley Resident  
2806 Stuart St

Sent from my iPhone

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Sara Shnider <sara.shnider@gmail.com>  
**Sent:** Sunday, April 23, 2023 1:39 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Sara

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** chris <chrislee.public@gmail.com>  
**Sent:** Sunday, April 23, 2023 1:48 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley. Regards,

Chris Lee-Egan

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Ryn Singley <rynsingley@gmail.com>  
Sent: Sunday, April 23, 2023 2:01 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Kathryn singley

Sent from my iPhone

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: My kid needs Willard Park

**From:** Vivian White <vivwhite@gmail.com>  
**Sent:** Sunday, April 23, 2023 2:12 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** My kid needs Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

I'm sorry I missed the meeting this week but I want to please ask you to keep funding the remodel of Willard Park. My kid Ace was there for 3 years afterschool when there was nowhere else that had space. As a single mom working in SF I desperately needed the aftercare. Please continue this wonderful, affordable program!

Vivian White  
415-279-2932

--

*Be glad of life because it gives you the chance to love, to work, to play, and to look up at the stars.*  
Henry Van Dyke



**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Jeffery Cross <jeffery@jefferycross.com>  
**Sent:** Sunday, April 23, 2023 2:13 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

I will be unable to attend the meeting this week due to other commitments. The proposed remodel of Willard Playhouse sounds like a much needed addition to the park. This will no doubt serve the diverse demographics of our community, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city.

Seems like a grossly underutilized space in its current state. Let's get this project started and polish it into the gem it deserves to be!

Even though I can not attend I'll be watching online!

Thank you for your dedication to Berkeley.

Regards,

Jeffery Cross

--

Jeffery Cross  
Jeffery Cross, Inc.  
415-640-1457

[jeffery@jefferycross.com](mailto:jeffery@jefferycross.com)  
[jefferycross.com](http://jefferycross.com)

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**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Neighbor in support of rec space at Willard Park

**From:** Matt Small <smaulio@gmail.com>  
**Sent:** Sunday, April 23, 2023 2:23 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Neighbor in support of rec space at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

I am a Willard neighborhood homeowner. My family lives just a block away from the park on Hillegass, we have raised our child at and around Willard Park, and we strongly support the remodel plan for the Willard Playhouse.

I believe that the new project is a substantial aesthetic and functional improvement to the park and the surrounding neighborhoods. It also meets a critical need for childcare for families in Berkeley.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Matt Small and family

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Molly Burnett <mollyburnett@gmail.com>  
**Sent:** Sunday, April 23, 2023 3:14 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board, Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley. Regards,

Molly Burnett  
2820 Regent St  
Berkeley 94705

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support recreation space for kids at Willard Park

**From:** Caroline Massad Francis <cemfrancis@gmail.com>  
**Sent:** Sunday, April 23, 2023 5:00 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support recreation space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will likely be unable to attend the meeting this week -- as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, but it will dramatically help children across Berkeley, particularly low-income children and families. Like many others, I urge you to support this important project.

Please remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city.

Thank you for your dedication to Berkeley and its future as a family-friendly city.

Regards,  
Caroline Massad Francis  
6029 Chabolyn Ter, Berkeley  
--  
Caroline Massad Francis  
415.410.3631

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Kris Piliero <kristine.piliero@gmail.com>  
**Sent:** Sunday, April 23, 2023 6:31 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
-Kris Piliero

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: In Support of Recreational Space for Kids at Willard Park

---

**From:** Brian Wong & Scott Hofmeister <Brian.and.Scott@levitas.com>  
**Sent:** Sunday, April 23, 2023 6:43 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** In Support of Recreational Space for Kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Members of the Zoning Adjustments Board,

We are writing to express our strong support for the proposed Willard Clubhouse project and to urge you to approve it. While we are unfortunately unable to attend the meeting in person, we feel it is important to voice our opinion on this matter.

The proposed remodel of the Willard Playhouse will not only improve the aesthetics of the area and protect valuable green space, but it will also have a significant positive impact on children and families across Berkeley. In particular, it will greatly benefit low-income families who rely on affordable and high-quality childcare services in our city.

As parents of children who attend or will attend Willard Middle School, we know firsthand how important it is to have access to safe and clean neighborhood spaces for our children. The Willard Clubhouse project will not only support all families in the area, but it will also contribute to the overall safety and cleanliness of the neighborhood where the middle school is located.

Approving this important project will help maintain a diverse population in our city by supporting recreational improvements, community spaces, and childcare options. We believe that these benefits are crucial for the health and well-being of our community as a whole.

Thank you for your time and consideration in this matter.

Respectfully,

Brian Wong and Scott Hofmeister  
Woolsey Street, Berkeley

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Orli Cotel <orli.cotel@gmail.com>  
**Sent:** Sunday, April 23, 2023 7:15 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

I live in South Berkeley and my family enjoys playing at Willard Park. Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Thanks,

Orli Cotel  
2424 Dowling Place  
Berkeley, CA 94705

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Willard club house

-----Original Message-----

From: Pascale Fisher <pascalefisher@yahoo.com>

Sent: Sunday, April 23, 2023 7:19 PM

To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>

Subject: Willard club house

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Pascale Fisher  
2373 Woolsey St  
Berkeley, CA 94705



**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Alyssa <sophiaalyssasimpson@gmail.com>  
**Sent:** Sunday, April 23, 2023 7:57 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board, Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley. Regards,

Alyssa simpson rochwerger

--

[S. Alyssa Simpson Rochwerger](#)

m. 415.235.1306

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Mollie Starr <starr.mollie@gmail.com>  
Sent: Sunday, April 23, 2023 8:04 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city.

Thank you for your dedication to Berkeley!  
- Mollie Starr

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Colleen Kantner <clskantner@gmail.com>  
Sent: Sunday, April 23, 2023 8:17 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Colleen Kantner  
(Elmwood resident)

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Arabelle Malinis <amalinis@gmail.com>  
**Sent:** Sunday, April 23, 2023 8:48 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, and it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Berkeley should prioritize the needs of children and their families by providing a safe, improved space for gathering and play

Thank you for your dedication to Berkeley.

Kind Regards,  
Arabelle

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Jef Cunningham <crowcrag@gmail.com>  
Sent: Sunday, April 23, 2023 8:56 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Jef Cunningham

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Emily Murphy <emilyhaassmurphy@gmail.com>  
**Sent:** Sunday, April 23, 2023 9:08 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board, Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley. Regards, Emily

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Bill Williams <billwilliamsjr@gmail.com>  
Sent: Sunday, April 23, 2023 9:16 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Bill Williams

Sent from my iPhone

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Tanya Brown <tanyasbrown@gmail.com>  
**Sent:** Sunday, April 23, 2023 9:32 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Tanya Brown



**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Amy Neuwelt Max <amy.neuwelt@gmail.com>  
**Sent:** Sunday, April 23, 2023 9:35 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

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Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Amy Max

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Kerry Birnbach <kerryhb@gmail.com>  
Sent: Sunday, April 23, 2023 9:41 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Finding affordable childcare is one of the biggest challenges parents face today. One of my children currently attends a City of Berkeley after school program at Live Oak Park and I'm incredibly grateful for the program.

As a main source of after school programming for south Berkeley children, willard playhouse is in desperate need of repair and renovation. All children deserve clean and updated places to play and learn.

I urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Kerry Birnbach

Sent from my iPhone

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: In support of rec space for kids at Willard Park

**From:** Merrian Goggio Borgeson <merriangb@gmail.com>  
**Sent:** Sunday, April 23, 2023 9:45 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** In support of rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Sam and Merrian Borgeson  
3051 Benvenue Ave

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park!!

**From:** Vlad Gutkovich <vgutkovich@gmail.com>  
**Sent:** Sunday, April 23, 2023 10:56 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park!!

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

I live at 1932 Blake Street, and have an incoming Kindergartner at Malcolm X, soon to be followed by his younger sister in a year.

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Vlad Gutkovich

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Rose Lynn Abesamis-Bell <roselynn20@gmail.com>  
Sent: Sunday, April 23, 2023 11:37 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Rose Lynn Abesamis-Bell  
South Berkeley Resident and Homeowner

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Shawn Jackson <shawnjackson77@gmail.com>  
**Sent:** Monday, April 24, 2023 7:28 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board, Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley. Regards,

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: David Rose <davidstuartrose@gmail.com>  
Sent: Monday, April 24, 2023 7:58 AM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

I recognize there are probably many places the City can deploy resources but this one seems to have a very good cost/reward ratio.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

David Rose  
Former Emerson Elementary PTA President, District 8

Sent from my iPhone

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Brooke Groves-Anderson <brooke\_grovesanderson@yahoo.com>  
Sent: Monday, April 24, 2023 7:59 AM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Brooke Groves-Anderson



**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Emma Cott <emcott@gmail.com>  
**Sent:** Monday, April 24, 2023 8:01 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Emma Cott  
3140 Eton Ave.

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support recreational space for kids at Willard Park!

**From:** Laura King <lking788@gmail.com>  
**Sent:** Monday, April 24, 2023 8:09 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support recreational space for kids at Willard Park!

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Hi folks on the Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to our community!

Best,  
Laura King

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please approve the variance for Willard Clubhouse

**From:** Lori Droste <lori@loridroste.com>  
**Sent:** Monday, April 24, 2023 8:13 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please approve the variance for Willard Clubhouse

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Hi ZAB members,

I am writing in my personal capacity as an Emerson parent but also as the former Councilmember who helped oversee the project.

First of all, I truly believe this is the most important project for South Berkeley children in recent memory. Childcare options are very limited and parents are struggling. At Emerson, parents are on the waitlist for childcare for months. Thankfully, through Willard, there are some affordable options for parents. The PTA presidents for Emerson, John Muir, and Malcolm X all have expressed strong support for this project. So, please keep that in mind when people speak about what is in the best interest for children.

Unfortunately, the space is decrepit and is not ADA accessible. The bathrooms are unsanitary and it hasn't been remodeled in 50 years.

During the community engagement process (and yes, there was extensive outreach and input), most of the participants wanted the project to be even bigger than what was originally planned. However, the project was then further scaled down. No green space will be lost and the resulting project would be a huge benefit to the community.

Moving forward on this project will ensure that South Berkeley, and particularly its kids, will be prioritized with city funding.

If you would like to learn more, I wrote an email outlining the process:

<https://mailchi.mp/cityofberkeley/district-8-willard-park-special-newsletter>

I sent a series of emails to my list of 3,000 over the course of this project development as well.

Thank you so much for your service to our city.

--

Thanks,  
Lori Droste

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Carrie Gray <grayce24@gmail.com>  
Sent: Monday, April 24, 2023 8:26 AM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to my parenting obligations (kids ages 9 and 11) I am unable to attend the meeting this week as will many of the parents that I know.

I'm writing in support of the proposed remodel of Willard Playhouse. It will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

I urge you to support this important project. Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for the work you do and for your dedication to Berkeley.

With gratitude,  
- Carrie Gray

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Ryan L. Smith <Ryan@ryanlsmith.com>  
**Sent:** Monday, April 24, 2023 8:30 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

-Ryan

▪

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Mari Larangeira <mariwork2019@gmail.com>  
**Sent:** Monday, April 24, 2023 8:32 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

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Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Mari Larangeira PhD, CST

“Without justice there can be no love.”  
— bell hooks

[mariwork2019@gmail.com](mailto:mariwork2019@gmail.com)

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Jonathan Hankar <jonathan.hankar@gmail.com>  
**Sent:** Monday, April 24, 2023 8:39 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Jordan Gill <jordan.m.gill@gmail.com>  
**Sent:** Monday, April 24, 2023 8:39 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

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Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Jordan Gill  
Parent, Former PTA President - Willard Middle School



**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support recreation space for kids at Willard Park

---

**From:** Marc Hedlund <marc@precipice.org>  
**Sent:** Monday, April 24, 2023 8:41 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support recreation space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

I'm writing regarding item 9, 2720 Hillegass Avenue, on ZAB's Action Agenda for your April 27th, 2023 meeting. I urge you to approve the Use Permit named in that item, #ZP2022-0095.

I live close to Willard Park and have attended several community meetings about this development. Many of the people who have opposed the work at Willard Park speak about the impacts of the project in racist terms, saying that they don't want people coming from "other parts of town" to come to "our" neighborhood. I vehemently reject this framing. We live in a city together, and the entire idea of a society is to pool resources for the benefit of all. Our area has high-resource residents who benefit from a huge number of city services and we are lucky to live where we do. It is our obligation to support the city in making Berkeley more welcoming to all and more supportive of the needs of all. Providing space for kids to play and get care should be absolutely uncontroversial and should be approved easily. I hope to see a unanimous vote in favor of this item to send a clear message to the neighborhood that Willard Park should support all Berkeley residents and visitors, and not be claimed as an extension of property rights by those who happen to live near it.

Thank you for all your work on this and other items.

Regards,  
Marc Hedlund

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Stephanie Boys <stefi113@gmail.com>  
**Sent:** Monday, April 24, 2023 8:50 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children and families across Berkeley.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city.

Thank you for your dedication to Berkeley!

Regards,  
Stephanie Boys

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Matt Boys <matt.boys@gmail.com>  
**Sent:** Monday, April 24, 2023 9:05 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city.

Thank you for your dedication to Berkeley.

Regards,

Matt Boys  
178 Hillcrest Road  
Berkeley

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** anne nachtwey <yeahanne@gmail.com>  
**Sent:** Monday, April 24, 2023 9:15 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

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Dear Zoning Adjustments Board, Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city. The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families. We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley. Regards, Anne and Rob Nachtwey

--

Anne Atkinson Nachtwey

We do best those things that we know how to do skillfully and those things about which we feel passionately.

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

---

**From:** Rob Nachtwey <robnachtwey@gmail.com>  
**Sent:** Monday, April 24, 2023 9:34 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

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Dear Zoning Adjustments Board,

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The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Rob Nachtwey  
2943 Pine Ave, Berkeley

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Kim Zylker King <kzylker@gmail.com>  
**Sent:** Monday, April 24, 2023 9:39 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

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Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Kim Zylker King

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Patricia G Hankar <pattygmez@gmail.com>  
**Sent:** Monday, April 24, 2023 9:48 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

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Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Patricia Hankar

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**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Willard Clubhouse

**From:** Jesse Greenspan <jgreens14@yahoo.com>  
**Sent:** Wednesday, April 26, 2023 8:18 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Willard Clubhouse

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

I'm the parent of two Berkeley elementary students (who attend John Muir), and I'm writing in support of the proposed remodel of Willard Playhouse. The re-model would help children and families, and there doesn't seem to be any compelling reason to oppose it.

Thanks for the time, and I'm looking forward to viewing the new Willard Playhouse once it's complete.

Best,  
Jesse Greenspan



**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Maya Amago <amago.maya@gmail.com>  
**Sent:** Wednesday, April 26, 2023 7:26 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

*Dear Zoning Adjustments Board,*

*Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.*

*The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.*

*We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.*

*Regards,  
Maya Amago*

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Willard Park Clubhouse

**From:** rj godin <votingcitizen@outlook.com>  
**Sent:** Wednesday, April 26, 2023 5:28 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Cc:** Humbert, Mark <MHumbert@cityofberkeley.info>  
**Subject:** Willard Park Clubhouse

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

I am a neighborhood home owner resident who uses Willard Park on a regular basis. I have attended multiple project reviews for the past several years, in person and via Zoom. I provided feedback to the former project manager and the her replacement.

It is very unfortunate that a small minority has been able to delay this project for so long. Community input was accommodated and the project scope was materially changed. Unfortunately, the small minority will only be satisfied with no project at all.

The Willard Park Clubhouse needs to be expanded so it can provide programs for more children and become a community center. The current clubhouse is too small, run down and insufficient to support the number of children that deserve it.

Please approve the zoning variance as requested so construction can begin as soon as possible.

Thank you,

RJ Godin  
2614 Stuart Street

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Willard Clubhouse Project - yay!

**From:** beth alyse snyder <bethalyse@gmail.com>  
**Sent:** Wednesday, April 26, 2023 5:16 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Willard Clubhouse Project - yay!

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

*Dear Zoning Adjustments Board,*

*Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.*

*The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.*

*We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.*

*Regards,*

*Elizabeth Snyder*

--

Beth Alyse Snyder

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1-866-293-STYLE

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**To:** Darryl Knudsen; Zoning Adjustments Board (ZAB)  
**Subject:** RE: Please support rec space for kids at Willard Park

**From:** Darryl Knudsen <darrylknudsen@gmail.com>  
**Sent:** Wednesday, April 26, 2023 4:12 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

**Dear Zoning Adjustments Board,**

**I want to see the proposed improvements to the Willard Park clubhouse implemented.** I will be unable to attend the public meeting this week (as will many parents who need or rely on childcare), so I am submitting my comments in writing to the Board.

**I have a personal and close connection to Willard Park.** I am a nearby resident and homeowner, and I frequently walk to Willard Park with my dog. My younger child will also be attending Willard Middle School next year, and my older child previously attended Willard Middle School.

**The proposed remodel of Willard Playhouse is, in my view, an excellent proposal.** I believe the improvements will be an aesthetic improvement to the park that will increase use and enjoyment. I have read through details about the proposal, and I am convinced that the proposal will protect green space and that it will increase use and activity in and around the immediate area of the clubhouse. Further, I understand that it will dramatically help children across Berkeley, particularly low-income children and families.

**The current clubhouse is an eyesore that reduces the value of the park.** Especially when I was new to the area but also now, I have found that the current dilapidated and unused clubhouse projects a sense of decay, decline, and neglect that reduces my sense of safety or interest in using the nearby areas of the park with my children or for myself. It is also an aesthetic detraction to my enjoyment of the park. I'm sure I'm not alone.

**Our iconically liberal city should prioritize the needs of our most vulnerable e.g., the low-income children and families who stand to benefit, and it should also prioritize investments that make Berkeley fresh, dynamic, well-maintained, and attractive.** I understand that there are a small but committed group of people, who wish to preserve things as they are. In my view, this position of "no change" fails to recognize that our city must be dynamic to remain vibrant, enjoyable, and attractive. I believe this effort to ward off change represents a misguided quest to preserve their view of the city's halcyon days in a way that is narrow-minded and stultifying to our city's progressive values. If they succeed in blocking this project, I fear their obstructive efforts will only further contribute to the mummification of our city in perverse rags of stagnation and injustice.

**For all these reasons, I urge you to support this important project** and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Sincerely,  
Darryl Knudsen

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** sue dykstra <suedykstra@hotmail.com>  
**Sent:** Wednesday, April 26, 2023 3:58 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

***Dear Zoning Adjustments Board,***

***Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.***

***The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.***

***We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.***

***Regards,***

***Sue Dykstra***

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Josie de Janvry <josiedejanvry@gmail.com>  
**Sent:** Wednesday, April 26, 2023 3:27 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

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Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Josie de Janvry  
Berkeley resident, 2727 Woolsey Street

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** Oliver McCrum <oliver@omwines.com>  
**Sent:** Wednesday, April 26, 2023 3:11 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

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Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Oliver McCrum  
2373 Woolsey St  
Berkeley

Cell: +1 510/703.8222

[www.omwines.com](http://www.omwines.com)

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support Willard Park Playhouse

**From:** Denise Hall Montgomery <dhm@dhmarchitecture.com>  
**Sent:** Wednesday, April 26, 2023 10:20 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support Willard Park Playhouse

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

As a longtime Berkeley Elmwood resident, business owner, Architect, Landmark Preservation Commissioner, and working parent, I am in strong support of the proposed remodel of the Willard Playhouse. I've closely followed the extremely thorough and lengthy design process of the Playhouse over the years and am heartened not only with the proposed design, but also with the sensitivity in the process to listen to all the parties impacted by the proposed project.

The proposed remodel of Willard Playhouse will not only be a functional and aesthetic improvement to the neighborhood, it will dramatically help families across Berkeley increase access to high quality child care, aftercare, and summer programs - particularly for low-income children and families. In my professional opinion, the design is sensitive to the surroundings and will have little impact on the overall use of the park (ie. the tot lot, the grassy fields, the tennis courts, etc.) itself but will increase the utility of the portion of the park already allocated for child focused education and community based programs. It will also provide a public facility in near proximity to several Berkeley schools (ie. Sylvia Mendez, Emerson, and Willard Middle School) in a part of Berkeley that lacks similar facilities.

I implore you to support this important project and remember that Berkeley needs these types of public recreational improvements, community spaces, and childcare options in our city.

Thank you for your public service on behalf of Berkeley.

Respectfully,  
Denise Hall Montgomery

architecture

denise hall montgomery

1769 alcatraz avenue  
berkeley, ca 94703  
t 510.547.3040  
a california corporation  
[dhmarchitecture.com](http://dhmarchitecture.com)  
ig: @dhm\_architecture





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APR 27 2023  
LAND USE PLANNING

12700 HILLEGASS ZP2022-0095



RECEIVED

APR 27 2023

LAND USE PLANNING

ZP2022-0095

2720 HILLEGASS



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APR 27 2023  
LAND USE PLANNING

ZP2022-0095

2770 HILLEGASS

ITEM #: 9 ZAB DATE: 4/27

CITY OF BERKELEY  
ZONING ADJUSTMENTS BOARD  
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2720 Hillegeass Ave  
(Project Address)

NAME Theo Gordon  
(Please Print- to be sure we spell your name correctly)

SUPPORT  OPPOSITION \_\_\_\_\_  
(Optional)

RESIDENT  BUSINESS OWNER \_\_\_\_\_  
OTHER \_\_\_\_\_

SIGNATURE: 

PHONE 847-736-1339 DATE 4/27  
(In case we would like to contact you)

ITEM #: 9 ZAB DATE: 4/27/2023


CITY OF BERKELEY  
ZONING ADJUSTMENTS BOARD  
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2720 Hillegeass  
(Project Address)

NAME Alana Kinrich  
(Please Print- to be sure we spell your name correctly)

SUPPORT  OPPOSITION \_\_\_\_\_  
(Optional)

RESIDENT  BUSINESS OWNER \_\_\_\_\_  
OTHER \_\_\_\_\_

SIGNATURE: 

PHONE \_\_\_\_\_ DATE \_\_\_\_\_  
(In case we would like to contact you)

ITEM #: 9 ZAB DATE: 4/27/23

CITY OF BERKELEY  
ZONING ADJUSTMENTS BOARD  
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC Willard Community Center  
(Project Address)

NAME KINGA CHOMICZ  
(Please Print- to be sure we spell your name correctly)

SUPPORT \_\_\_\_\_ OPPOSITION   
(Optional)

RESIDENT  BUSINESS OWNER \_\_\_\_\_  
OTHER \_\_\_\_\_

SIGNATURE: 

PHONE 510 599 4844 DATE \_\_\_\_\_  
(In case we would like to contact you)

ITEM #: 9 ZAB DATE: 4/27/23

CITY OF BERKELEY  
ZONING ADJUSTMENTS BOARD  
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2720 Hillegeass  
(Project Address)

NAME Lukas STEC  
(Please Print- to be sure we spell your name correctly)

SUPPORT \_\_\_\_\_ OPPOSITION   
(Optional)

RESIDENT  BUSINESS OWNER \_\_\_\_\_  
OTHER \_\_\_\_\_

SIGNATURE: 

PHONE \_\_\_\_\_ DATE 4/27/23  
(In case we would like to contact you)

ITEM #: 9 ZAB DATE: 4/27/2023

CITY OF BERKELEY  
ZONING ADJUSTMENTS BOARD  
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2720 Hillerass Avenue  
(Project Address)

NAME Pamela Michaud  
(Please Print- to be sure we spell your name correctly)

SUPPORT \_\_\_\_\_ OPPOSITION X  
(Optional)

OTHER RESIDENT X BUSINESS OWNER \_\_\_\_\_

SIGNATURE: Pamela Michaud

PHONE 510 847 9257 DATE 4/27/23  
(In case we would like to contact you)

ITEM #: 9 ZAB DATE: 4/27/23

CITY OF BERKELEY  
ZONING ADJUSTMENTS BOARD  
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2720 Hillerass  
(Project Address)

NAME ALEX STEC  
(Please Print- to be sure we spell your name correctly)

SUPPORT \_\_\_\_\_ OPPOSITION X  
(Optional)

OTHER RESIDENT ✓ BUSINESS OWNER \_\_\_\_\_

SIGNATURE: A Stec

PHONE 510 708 5355 DATE 4/27/23  
(In case we would like to contact you)

ITEM #: 9 ZAB DATE: 4/27/23

CITY OF BERKELEY  
ZONING ADJUSTMENTS BOARD  
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2720 Hillerass  
(Project Address)

NAME Mary Oram  
(Please Print- to be sure we spell your name correctly)

SUPPORT \_\_\_\_\_ OPPOSITION X in its current form  
(Optional)

OTHER RESIDENT X BUSINESS OWNER \_\_\_\_\_

SIGNATURE: Mary Oram

PHONE 510-851-3266 DATE 4/27/23  
(In case we would like to contact you)

ITEM #: #9 ZAB DATE: 4/27/2023

CITY OF BERKELEY  
ZONING ADJUSTMENTS BOARD  
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2720 Hillerass  
(Project Address)

NAME Carla Woodward  
(Please Print- to be sure we spell your name correctly)

SUPPORT \_\_\_\_\_ OPPOSITION X  
(Optional)

OTHER RESIDENT X BUSINESS OWNER \_\_\_\_\_  
2335 Parker St #2, Berkeley 94702

SIGNATURE: Carla Woodward

PHONE (510) 849-3048 DATE 4/27/2023  
(In case we would like to contact you)

ITEM #: 9

ZAB DATE: 04/27/23

CITY OF BERKELEY  
ZONING ADJUSTMENTS BOARD  
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2720 Hillegass

(Project Address)

NAME Patrick Kehoe

(Please Print- to be sure we spell your name correctly)

SUPPORT \_\_\_\_\_ OPPOSITION \_\_\_\_\_  
(Optional)

RESIDENT  BUSINESS OWNER \_\_\_\_\_  
OTHER \_\_\_\_\_

SIGNATURE: [Signature]

PHONE 510 843-4206 DATE 04/27/23  
(In case we would like to contact you)

ITEM #: 9

ZAB DATE: 4/27/23

CITY OF BERKELEY  
ZONING ADJUSTMENTS BOARD  
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC WILLARD PARK

(Project Address)

NAME PAUL TOLESA

(Please Print- to be sure we spell your name correctly)

SUPPORT \_\_\_\_\_ OPPOSITION   
(Optional)

RESIDENT  BUSINESS OWNER \_\_\_\_\_  
OTHER \_\_\_\_\_

SIGNATURE: [Signature]

PHONE 510 846-8245 DATE 4/27/23  
(In case we would like to contact you)

I'M ALLISON RIEMER, 2720 HILLEGASS AVENUE USE PERMIT ZP 2022-00096 TO DEMOLISH THE EXISTING CLUBHOUSE AND RESTROOM CONSTRUCT A 3,301 SQUARE FOOT SINGLE STORY, 18 FEET COMMUNITY CENTER WITH A VARIANCE FOR A REAR SETBACK OF 16 FEET WHERE 20 FEET IS REQUIRED AND ADD A NEW SINGLE STORY RESTROOM BUILDING.

IT'S IN THE R2 RESIDENTIAL DISTRICT.

THE TENNIS COURTS OCCUPY THE REGENT STREET RIGHT OF WAY.

THE SITE IS DEVELOPED WITH A CLUBHOUSE AND ATTACHED RESTROOM AT THE SOUTHEAST CORNER OF THE LOT AND PLAYGROUND EAST OF THE TENNIS COURTS.

MUCH OF THE PARK IS OPEN SPACE WITH GRASS AND MATURE TREES.

NORTH OF THE CLUBHOUSE ALONG THE HILLEGASS FRONTAGE IS A LARGE OAK TREE.

A LARGE MAPLE TREE IS EAST OF THE CLUBHOUSE AND ALONG HILLEGASS AVENUE AND A LARGE REDWOOD TREE IS SOUTH OF THE CLUBHOUSE.

THE PROPOSED PROJECT WOULD DEMOLISH THE CLUBHOUSE AND RESTROOM FOR A LARGER CLUBHOUSE.

THE CURRENT AND PROPOSED CLUBHOUSE MEETS THE CODE DEFINITION OF A COMMUNITY CENTER WHICH IS A NON-COMMERCIAL FACILITY WHERE THE PUBLIC CAN MEET FOR SOCIAL, EDUCATIONAL OR RECREATIONAL ACTIVITIES.

AND THE BUILDING MAY BE REFERRED TO AS COMMUNITY CENTER OR A CLUBHOUSE, WHICH IS THE HISTORIC NAME FOR THE BUILDING.

THE USE AT THE SITE IS NOT CHANGING.

THE NEW CLUBHOUSE WOULD INCLUDE TWO COMMUNITY ROOMS THAT COULD BE COMBINED TO ONE ROOM, KITCHEN, RESTROOMS AND AN OFFICE.

COVERED TRASH ENCLOSURE AT THE SOUTH END OF THE LOT.

TERRACE EAST OF THE CLUBHOUSE AND NEW BICYCLE RACKS WOULD BE ADDED BETWEEN THE TERRACE AND THE MAPLE TREE.

WHILE THE PROJECT WAS BEING REVIEWED IN 2022, OFF STREET PARKING WAS REQUIRED AND A VARIANCE WAS REQUESTED TO PROVIDE ZERO PARKING SPACES.

THE APPLICANT HIRED A CONSULTANT TO PREPARE A TRANSPORTATION STUDY TO DETERMINE THE NUMBER OF PARKING SPACES THAT SHOULD BE REQUIRED.

A CONSULTANT RECOMMENDED A TEMPORARY LOADING SPACE BE ADDED TO ACCOMMODATE PICK UP AND DROP OFF OF CHILDREN.

EXPAND 24 FOOT LOADING ZONE ON HILLEGASS AVENUE BY 36 FEET TO CREATE A 60-FOOT ON STREET LOADING ZONE NEAR THE CLUBHOUSE.

IN 2023, AB 2097 WENT INTO EFFECT AND OFF STREET PARKING IS NO LONGER REQUIRED.



SINCE PARKING IS NO LONGER REQUIRED, PLANNING WILL NOT BE REQUIRING A LOADING ZONE.

PUBLIC WORKS MAY WORK WITH STAFF TO ADD IT IN THE FUTURE.

PER THE R-2 DISTRICT SETBACKS A REQUIRED CLUBHOUSE REAR SETBACK IS 20 FEET.

THE PROPOSED BUILDING WOULD HAVE A SETBACK OF 16 FEET.

THE APPLICANT CONSIDERS SEVERAL DESIGN ITERATIONS AND FEASIBILITY ALTERNATIVES AND FOUND IT NECESSARY TO REQUEST A VARIANCE TO THE DISTRICT APPLICATION OF THE 20 FOOT REAR SETBACK.

STAFF MUST MAKE FINDINGS TO APPROVE A VARIANCE.

FINDING A, THE PROJECT SITE IS UNIQUE IN THAT IT IS THE ONLY CITY PARK THAT SERVES COUNCIL DISTRICT 7.

AND THE CLUBHOUSE IS THE ONLY COMMUNITY CENTER FOR COUNCIL DISTRICT 7 AND 8.

THE PARK IS SHARED WITH THE CITY AND WILLIARD JUNIOR HIGH SCHOOL THROUGH A JOINT AGREEMENT.

THE CLUBHOUSE AND PARK IS A SITE OF A CITY OF BERKELEY AFTER SCHOOL AND SUMMER DAY CAMP PROGRAM FOR 45 CHILDREN.

THE PARK IS ONE OF THE FEW PLACES IN THE AREA THAT PROVIDES PUBLICLY OWNED OPEN SPACE.

THERE ARE 36 TREES AT THE PARK.

THERE IS A MORATORIUM ON THE REMOVAL OF COAST SIDE OAKS WITHIN THE CITY.

THEY NEED TO PRESERVE EXISTING CITY TREE, ESPECIALLY OAK TREES.

A LOCATION OF THE PROPOSED COMMUNITY CENTER.

THIS FINDING CAN BE MADE.

FOR FINDING B, THE APPLICANT, WHICH IS CITY OF BERKELEY PARK WATERFRONT HAS REQUESTED A BIGGER CLUBHOUSE SO MORE CHILDREN MAY ENROLL.

CURRENTLY THE ADJACENT CONCRETE PATIO AND LAWN ARE USED BY AFTER SCHOOL AND SUMMER DAY CAMP PROGRAMS IN ADDITION TO THE CLUBHOUSE.

THE EXISTING CLUBHOUSE HAS A REAR SETBACK OF ABOUT 12 FEET AND PROPOSED CLUBHOUSE WOULD HAVE A REAR SETBACK OF 16 FEET.

THE NEW COMMUNITY CENTER HAS BEEN DESIGNED TO PROVIDE MORE SPACE WHILE ALSO ADHERING TO MORE SETBACK.

SINCE THE LAND IS PUBLICLY OWN THE GOALS OF THE PROJECT ARE MULTIFACETED.

PARKS ARE IMPORTANT FOR EVERYONE.

AND AFTER SCHOOL AND SUMMER DAY CAMP PROGRAMS ARE IMPORTANT TO AREA FAMILIES.

THE CITY IS RAPIDLY DENSIFYING AND PUBLIC OPEN SPACES ARE NEEDED.

THE PROPOSED 16 FOOT SETBACK ALLOWS FOR A BUILDING THAT MEETS THE NEEDS FOR ALL PARK USERS WITHOUT DAMAGING OR REMOVING LARGE TREES.

THIS FINDING CAN BE MADE.

THE FINDING C, VARIANCE WOULD NOT ADVERSELY AFFECT THE HEALTH OR SAFETY OF PERSONS RESIDING OR WORKING NEAR THE PROPERTY.

SINCE THE NEW BUILDING WOULD ADHERE TO ALL REQUIREMENTS OF THE CALIFORNIA BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

PER CONDITION OF APPROVAL 16 SOLAR PANELS AND BATTERY STORAGE WILL BE REQUIRED.

THE NEW CLUBHOUSE WILL ALLOW AFTER SCHOOL AND SUMMER CAMP PROGRAMMING TO TAKE PLACE INDOORS WHICH WILL BE BENEFICIAL IN INCLEMENT WEATHER, ESPECIALLY WHEN THE AIR QUALITY IS POOR DUE TO WILDFIRES.

THIS FINDING CAN BE MADE.

FOR FINDING D, THE NEW CLUBHOUSE WOULD BE COMPATIBLE IN TERMS OF HEIGHT AND MATERIALS WITHIN THE NEIGHBORING BUILDINGS AND WOULDN'T BE DETRIMENTAL IN TERMS OF VIEWS, LIGHT AND AIR IMPACTS.

IT WOULDN'T CAST SHADOWS ON NEARBY RESIDENTS AND ONE WOULD BE LOWER IN HEIGHT THAN AREA RESIDENCES, THIS FINDING CAN BE MADE.

FOR FINDING E, THE 16 FOOT REAR SETBACK REDUCES THE IMPACT ON NEW BUILDING ON OPEN LAWN AREA.

A 20 FOOT SETBACK WOULD INCREASE THE ENCROACHMENT OF THE CLUBHOUSE IN THE OPEN LAWN AREA.

THE VARIANCE FOR THE SETBACK ALLOWS FOR A ONE STORY BUILDING THAT COULD BE USED FOR A VARIETY OF PROGRAMMATIC NEEDS INCLUDING CHILD CARE AND PRESERVES OPEN SPACE AND LARGE TREES.

THIS FINDING CAN BE MET.

ADMINISTRATIVE USE PERMIT IS REQUIRED TO ADD NEW ACCESSORY BUILDING FOR THE RESTROOM.

AN EXISTING BENCH WOULD BE REMOVED TO ADD A RESTROOM NEAR THE TENNIS COURT BUT NO IMPACTS TO THE TREES AND LAWN.

IT WOULD HAVE A RIGHT SIDE SETBACK OF 35 FEET.

BECAUSE OF THE PROJECT'S CONSISTENCY WITH THE ORDINANCE AND GENERAL PLAN AND MINIMAL IMPACT ON SURROUNDING PROPERTY STAFF RECOMMENDS ZAB APPROVE.

THE EXEMPT FROM PROVISIONS OF CEQA, PURSUANT TO 15303 APPLIES TO NEW CONSTRUCTION, SINCE ITS IN AN URBANIZED AREA AND LESS THAN 10,000 SQUARE FEET IN AREA.

THANK YOU, I'M AVAILABLE FOR QUESTIONS.

>> CHAIR DUFFY: ARE THERE ANY QUESTIONS FOR STAFF?

BOARD MEMBER TREGUB?

>> I. TREGUB: THANK YOU.

I HAVE TWO QUESTIONS.

ANTICIPATING PROBABLY WHAT WE WILL HEAR ABOUT TONIGHT.

CAN YOU DETAIL THE COMMUNITY ENGAGEMENT THAT HAS OCCURRED  
PRECEDING THIS BEING PLACED BEFORE ZAB?

>> STAFF: I THINK PARK STAFF WILL DO A VERY GOOD THOROUGH JOB OF  
EXPLAINING BUT I CAN START OFF SAYING SO, BECAUSE IT'S A CITY  
PARK, THE PARK STAFF DID MORE OUTREACH THAN WE WOULD EXPECT FOR  
A REGULAR PROJECT IN THE CITY OF BERKELEY.

AND SO THEY HAD IN-PERSON MEETINGS AND ONLINE MEETINGS DURING  
THE HEIGHT OF THE PANDEMIC.

AND THEY ALSO HAD A PUBLIC SURVEY.

AND THEN THE PROJECT ALSO WENT TO THE LANDMARKS PRESERVATION  
COMMISSION LAST FALL.

YEAH, SO FOR MOST PART PARKS HAS BEEN TAKING THE LEAD ON  
REACHING OUT TO THE COMMUNITY.

NOT JUST MAILING OUT NOTICES BUT ALSO ORGANIZING MEETINGS FOR PEOPLE TO GIVE FEEDBACK.

>> I. TREGUB: OKAY, THANKS.

I HAVE ONE MORE QUESTION ON PAGE 11 OF THE STAFF REPORT.

I SEE THERE'S DISCUSSION ON THE LANDMARKS PRESERVATION COMMISSION REVIEW.

AND THAT THERE WAS A VOTE TO FORWARD TO ZAB SIX RECOMMENDATIONS.

CAN YOU JUST CONFIRM THAT THERE IS A REQUEST FROM THE LANDMARKS COMMISSION THAT WE CONSIDER ADDING THESE AS EITHER RECOMMENDATIONS OR CONDITIONS OF APPROVAL?

>> STAFF: YES.

SO THE L.P.C. DID NOT INITIATE THE PROPERTY FOR LOCAL REGISTER, SUCH AS A LANDMARK OR STRUCTURE OF MERIT.

BUT THEY DID PROVIDE SIX RECOMMENDATIONS AND ZAB CAN CHOOSE TO ADD THESE AS SOME OR ALL AS CONDITIONS OF APPROVAL.

YEAH, SO THAT COULD BE A PART OF THE VOTE TONIGHT.

>> I. TREGUB: THANK YOU.

>> CHAIR DUFFY: OR RECOMMENDATIONS OR THEY COULD BE OFFERED UP BY THE APPLICANT.

BOARD MEMBER O'KEEFE?

>> S. O'KEEFE: YEAH, THANKS.

I HAVE QUESTIONS ABOUT FINDING A -- WE HAVE SEEN QUITE A FEW VARIANCES ON ZAB HERE.

I HAVE ALWAYS UNDERSTOOD THE EXCEPTIONAL CIRCUMSTANCE FINDING, WHATEVER THE CIRCUMSTANCE IS NAMED IN THAT FINDING HAS TO HAVE SOME SORT OF NEXUS WITH THE EXCEPTION BEING ASKED FOR.

THIS MAKES NO SENSE.

AND I GUESS I WOULD JUST LIKE TO HEAR STAFF'S RESPONSE TO THIS.

PREVIEWING WE CAN TALK ABOUT IN DISCUSSION.

TO ME, IT SEEMS IT'S A PARK, THAT'S UNUSUAL.

WHAT DOES THAT HAVE TO DO WITH THE SETBACK?

I DON'T SEE ANY CONNECTION BETWEEN THIS FINDING OR FINDING WE ARE BEING ASKED TO MAKE AND WHAT WE ARE DOING, OH THERE'S SOMETHING VERY UNUSUAL ABOUT THIS PROPERTY THAT IS MAKING IT MAKE SENSE YOU ARE ASKING FOR THIS EXCEPTION TO THE LAW.

I DON'T SEE ANYTHING THAT JUSTIFIES CHANGING THE SETBACK, BECAUSE YOU HAVE A PARK IN THE AREA.

YOU COULD DO THIS WITH ANY PARCEL, YOU COULD SAY IT'S THE ONLY ONE LIKE THAT THEREFORE I NEED A VARIANCE.

I DON'T THINK THIS IS APPLYING THE LAW CORRECTLY.

SO I WANT TO GIVE STAFF THE CHANCE TO RESPOND TO THAT NOW AND WE CAN TALK ABOUT IT MORE LATER.

>> STAFF: YEAH, YOU KNOW, STAFF, WE WOULD INTERPRET THAT AS BECAUSE HERE THE FOCUS IS ON RETAINING THE OPEN SPACE.

AND YET ALSO PROVIDING A FACILITY FOR PUBLIC USE.

WHERE IF THEY WERE PROVIDING THE 20-FOOT SETBACK, THAT COULD NEGATIVELY IMPACT PUBLIC SPACE, IN TERMS OF THE OPEN SPACE AND ALSO THE FEASIBILITY OF A CLUBHOUSE OR COMMUNITY CENTER BUILDING.

>> S. O'KEEFE: I'M NOT REALLY HEARING AN EXCEPTIONAL CIRCUMSTANCE IN THERE BUT WE CAN TALK ABOUT IT LATER.

THIS IS QUESTIONS RIGHT NOW.

THANK YOU.

>> CHAIR DUFFY: ANY OTHER QUESTIONS FROM THE BOARD FOR STAFF?

SEEING NONE.

NOW WE WILL GO TO THE APPLICANT PRESENTATION.

YOU'VE GOT FIVE MINUTES.

PLEASE KEEP IT TO YOUR FIVE MINUTES.

AND THEN WE WILL HAVE QUESTIONS FOR YOU.

WELCOME.



>> ZAB COMMISSIONERS I'M SCOTT FERRIS DIRECTOR, WITH ME EVELYN CHAN, SENIOR SUPERVISING CIVIL ENGINEER FOR THE CITY OF BERKELEY, AND MARK SHOTSZ.

WE WILL RUN THROUGH THE PRESENTATION AND BE AVAILABLE TO ANSWER QUESTIONS.

NEXT SLIDE.

THIS WAS COVERED.

WHY WE ARE HERE, FOR A VARIANCE AND SEVERAL PERMITS.

NEXT SLIDE.

THIS IS THE EXISTING BUILDING THAT WE ARE TALKING ABOUT.

SEE THE CLUBHOUSE THERE.

WHICH WAS BUILT IN THE 1970S AND LATER ADDED A RESTROOM TO THE EASTERN SIDE OF THE BUILDING THERE.

IT'S THE AREA TO THE LEFT, WHICH UNFORTUNATELY HAS SOME GRAFFITI ON IT IN THIS IMAGE AND YOU SEE THE ENCLOSED OUTDOOR PATIO AREA WHICH IS IN FRONT OF THE 500 SQUARE FOOT BUILDING.

NEXT SLIDE.

EXISTING PARK PLAN.

TOUGH TO MAKE OUT HERE, BUT ESSENTIALLY IT GIVES YOU A FEEL FOR THE PARK, THE AREAS WHERE THE TENNIS COURTS ARE, LABELED #2.

THE AREAS OF POTTER'S WALL, AN ART PIECE AND A GARDEN PIECE IS OUT IN FRONT IN FRONT OF THE TENNIS COURTS THERE.

ONE, THE MEADOW OR THE PARK LAWN IS #4.

THE PARK EQUIPMENT IS LABELED #3.

THE EXISTING CLUBHOUSE AND PUBLIC RESTROOM ARE 1 AND 2.

NEXT SLIDE.

THIS IS AN IMAGE OF THE ONE-ROOM, A COUPLE IMAGES OF THE ONE-ROOM BUILDING.

FROM THE INTERIOR PERSPECTIVE.

NEXT SLIDE.

THERE IS AN INTERIOR BATHROOM, BY THE WAY, IN THAT PHOTO.

IT'S VERY SMALL BUT THERE'S AN INTERIOR BATHROOM.

THESE ARE IMAGES OF THE OUTDOOR RESTROOM.

NEXT SLIDE.

SO JUST WANTED TO COVER A LITTLE BIT ABOUT TIMELINE.

THIS PROJECT WAS APPROVED TO BE A PART OF T-1, PHASE 1, A CONCEPTUAL PHASE.

T-1 IS OUR INFRASTRUCTURE BOND MEASURE.

IN THE MIDDLE OF PHASE 2 PROJECTS NOW.

PHASE 1 WE HAD SOME FUNDING TO DO A CONCEPTUAL DESIGN PROCESS WITH THE COMMUNITY AND IN PHASE 2 WE HAVE NOW GOT THE FUNDING TO BUILD THE FACILITY, A MAJORITY OF IT.

SO FROM 2019 TO 2020 WE DID COMMUNITY ENGAGEMENT.

WE WENT THROUGH PUBLIC WORKS AND PARKS AND WATERFRONT COMMISSIONS.

AND IN 2021 AND 2022 WE CONTINUED COMMUNITY ENGAGEMENT AND DESIGN.

STARTING IN 2023 AS WE REALIZED WE WOULD BE IN CONSTRUCTION PROBABLY IN FISCAL '24, THE PRICE OF CONSTRUCTION INCREASED DRAMATICALLY ALMOST 26% IN THE LAST TWO YEARS.

WE HAVE BEEN DOWN SIZING A LOT OF T-1 PROJECTS.

THIS IS ONE WE DOWN SIZED SCALE TO SCOPE THE PLAN BACK DRAMATICALLY.

THAT HAPPENED IN '22 AS WITH THE AFOREMENTIONED VISIT TO THE L.P.C.

AND FURTHER PLANNING AND FURTHER SUBMITTALS TO PLANNING AND ZONING.

NEXT SLIDE.

GO BACK ONE.

JUST A BRIEF COMMENT ABOUT PUBLIC PROCESS HERE.

WE'VE DONE FIVE LARGE COMMUNITY MEETINGS.

BOTH COMBINATION OF VIRTUAL AND IN PERSON.

EIGHT FOCUS GROUP MEETINGS WHICH INCLUDE A VARIETY OF GROUPS INCLUDING PTA'S NEIGHBORHOOD ASSOCIATIONS, AND A VARIETY OF OTHER GROUPS IN THE AREA.

ONLINE SURVEY.

WE HAVE BEEN TO THE LANDMARKS PRESERVATION COMMISSION.

NEXT SLIDE.

HERE YOU SEE TWO VERSIONS OF THIS PROJECT.

THE TOP IS THE PREFERRED CONCEPTUAL PLAN.

AFTER THE CONCEPTUAL DESIGN PROCESS.

YOU CAN SEE IT'S MUCH LARGER THAN THE EXISTING BUILDING NOW.

EXISTING BUILDING HAS BEEN REDUCED TO FIT INTO OUR BUDGET.

WE ORIGINALLY HAD \$7 MILLION FOR CONSTRUCTION AND WE STILL HAVE, IN T-1 PHASE 2 FUNDING.

BUT HAVE NOW ADDED \$500,000 OF FISCAL 2024 PARKS TAX.

THE REDUCED SIZE BUILDING TOTAL PROJECT IS GOING TO COST US ABOUT \$7.5 MILLION.

AND SO THE REDUCTION IN SPACE, IN TERMS OF SIZE OF THE BUILDING HAS GONE FROM ABOUT, I CAN'T QUITE SEE THAT, BUT GONE FROM ABOUT, 4300 TO 3300, INCLUDING THE BATHROOM.

IT'S ABOUT 3500.

>> CHAIR DUFFY: YEP, YOU GOT IT.

>> NEXT SLIDE.

JUST A COUPLE ELEVATION SHOTS.

OF THE POTENTIAL NEW CLUBHOUSE.

THERE IT IS ON THE TOP THERE, THAT'S LOOKING WESTWARDLY AT THE CLUBHOUSE FROM THE STREET, WITH THE SIZE OF THE TWO OTHER HOUSES NEXT TO IT.

THEY ARE ADJACENT TO IT.

AND THE OTHER LOOK IS FROM THE GRASS AREA LOOKING BACK TO THE CENTER, AND ALSO YOU SEE THE CENTER AND ALSO THE PUBLIC BATHROOM.

I'M SORRY, THE PUBLIC -- THE AREA WE ARE GOING TO KEEP THE GARBAGE.

NEXT SLIDE.

THIS IS WHERE THE PUBLIC PROCESS LED US TO RELOCATE THE BATHROOM.

THERE WAS A LOT OF COMMENTS AROUND NOT HAVING THE RESTROOM, THE PUBLIC RESTROOM SO CLOSE TO THE CLUBHOUSE DURING PROGRAMMATIC HOURS.

SO WE LOOKED AT A LOT OF DIFFERENT OPTIONS IN THE PARK.

AND EVENTUALLY, THE CONSENSUS WAS TO PLACE IT HERE.

THERE USED TO BE AN OLD WATER FAUCET IN THIS AREA BEFORE THE PLAYGROUND RENOVATION, WE STUCK IN TWO SEMI CIRCULAR BENCHES, THEY WOULD BE REMOVED AND THE NEW RESTROOM WILL GO IN THE AREA WHERE THE STONE WORK IS.

IT WILL NOT INFRINGE ON THE TURF AREA, OR THE OPEN SPACE AREA, THE GREEN OPEN SPACE IN THE PARK.

NEXT SLIDE.

THEN THIS IS KIND OF A CONCEPTUAL DESIGN RENDERING OF THE NEW CLUBHOUSE LOOKING FROM HILLEGASS.

NEXT SLIDE?

SO THE PROPOSED SITE.

I WOULD WANT TO CALL, WHAT I WANT TO CALL OUT HERE IS THE AREA IN RED.

THIS IS THE AREA THAT WILL INFRINGE ON THE EXISTING WILLARD TURF AREA.

IN ORDER TO MAKE A.D.A. ACCOMMODATIONS TO ENTER THE FACILITY.

WE WILL NEED TO MOVE INTO THAT AREA.

IT ESSENTIALLY IS A 0.94% OR LESS THAN 1% OF THE OPEN SPACE GREEN AREA OF THE PARK, BUT WE WILL TAKE UP A LITTLE BIT MORE AREA.

WE TRIED TO NOT INFRINGE AT ALL INTO THE PARK, OR INTO THE TURF OR ANY OPEN SPACE.

THAT WAS USABLE BY MANY OF OUR PARTICIPANTS.

THE SMALLEST WE COULD GET WITH THE 16-FOOT SETBACK FROM THE BACK IS LESS THAN 1%.

SO THAT IS THE RATIONALE FOR THE VARIANCE.

OUR PURPOSE FOR APPLYING FOR IT IS TO REDUCE THE IMPACT TO THE TURF AREA IN THE PARK.

NEXT SLIDE.

I WAS GOING TO TALK ABOUT THE LOADING AREAS.

BUT IT SOUNDS LIKE THOSE REQUIREMENTS ARE OBSOLETE AT THIS POINT.

>> CHAIR DUFFY: CORRECT, IT'S NO LONGER REQUIRED.

>> RIGHT NOW THERE'S AN EXISTING WHITE AREA OF TEN FEET AT THE BOTTOM.

AND THERE'S ANOTHER, I THINK 30 -- 23-24 FEET ON THE OTHER SIDE.

BUT WE WERE PROPOSING 60 FEET BUT IT DOESN'T SOUND LIKE THE A REQUIREMENT ANY MORE, SO WE WOULD PROBABLY WITHDRAW THAT.

NEXT SLIDE.

>> CHAIR DUFFY: JUST SO YOU KNOW, I WASN'T TIMING IT BUT I AM NOW AND I'M PRETTY SURE YOU ARE OVER FIVE MINUTES.

WE WILL HAVE QUESTIONS TOO.

>> JUST LAST COUPLE SLIDES, TREE PLANTING APPROACH.

WE ARE REPLANTING A LOT OF OUR PARKS RIGHT NOW.

WE'VE GOT GRANTS FOR TREE PLANTING TO DO THAT.

SO WE HAVE AS A PART OF THIS PROJECT, OUR ARBORISTS HAVE CALLED OUT 25 NEW TREES IN THE PARK THAT WILL BE PLANTED WITH THIS PROJECT, OR BEFORE.

WE ARE TAKING OUT SEVEN TREES, WHICH ARE AROUND THE CONCRETE AREA NOW.

MOST OF THEM ARE SMALL TO MEDIUM SIZED TREES THAT ARE TREES THAT WE NO LONGER PLANT IN THE CITY.

FOR A VARIETY OF REASONS.

BUT WE WILL BE ADDING AN ADDITIONAL 25 TREES.



AND LAST SLIDE.

>> CHAIR DUFFY: THANK YOU.

GO QUICK.

>> BUNCH OF FREQUENTLY ASKED QUESTIONS AND CONCERNS WE HAVE  
HEARD ABOUT A COUPLE THINGS.

I JUST WANT TO CALL OUT A COUPLE THINGS.

INITIALLY THERE WAS A LOT OF INFORMATION OUT IN THE COMMUNITY WE  
ARE BUILDING A MASSIVE CONFERENCE CENTER IN WILLARD PARK.

THIS WAS MIDWAY THROUGH THE PUBLIC PROCESS.

THAT IS TOTALLY NOT TRUE.

AND WE ARE TAKING OUT SEVEN TREES.

THERE'S BEEN SOME CONCERN FROM THE RESIDENTS THAT WE HAVE HEARD  
THAT HEY, WE DON'T NEED TO EXPAND TO INCLUDE ADDITIONAL AREAS  
FOR CHILD CARE BECAUSE A LOT OF THE FAMILIES IN WILLARD AREA CAN  
AFFORD CHILD CARE.

BUT WE HAVE, OUR CHILD CARE CENTERS SERVE ALL THE RESIDENTS IN  
THE CITY.

SCHOOL DISTRICT BUSES TO A LOT OF OUR AFTER-SCHOOL SITES.

SO THE PARTICIPANTS IN OUR PROGRAMS, BOTH 0-5, AFTER SCHOOL,  
SUMMER PROGRAMS ARE FROM ALL OVER THE CITY.

>> CHAIR DUFFY: THANK YOU.

>> SORRY I WENT OVER.

>> CHAIR DUFFY: YEP, WENT A LITTLE LONGER.

BUT PARKS, REC AND WATERFRONT IS AN ESSENTIAL PART OF OUR CITY  
AND THANK YOU FOR ALL YOU DO.

DO WE HAVE ANY QUESTIONS FROM THE BOARD TO THE APPLICANT?

CECILIA YOU HAVE A QUESTION?

>> I HAVE A QUICK CLARIFICATION, IN FINDING A IT SAYS THE  
PROJECT SITE IS UNIQUE IN THAT IT'S THE ONLY PARK THAT SERVES  
COUNCIL DISTRICT 7.

BUT FROM MY UNDERSTANDING, WILLARD PARK IS IN DISTRICT 8.

I'M NOT SURE IF THAT CHANGES THE FINDING.

BUT IT'S IN DISTRICT 8.

>> CECILIA, I COULDN'T UNDERSTAND YOUR QUESTION, I'M SORRY.

>> C. LUNAPARRA: THERE'S NO SPECIFIC QUESTION, JUST CLARIFYING  
IT'S IN DISTRICT 8.

>> CHAIR DUFFY: THANK YOU, WE CAN INCLUDE THAT IN OUR DISCUSSION  
AND MAKE SURE EVERYBODY KNOWS.

THANK YOU.

NOW I WOULD LIKE TO, GO AHEAD WE HAVE A QUESTION FROM BOARD MEMBER TREGUB.

>> I. TREGUB: THANK YOU SO MUCH.

DIRECTOR FERRIS, I HAD A QUESTION ON THE LANDMARKS PRESERVATION COMMISSION RECOMMENDATIONS.

I HAVE CALLED OUT THREE OF THE SIX, WHICH APPEAR TO BE ACTIONABLE AND PERHAPS NOT RELATED TO THE BUILDING PLANS THEMSELVES.

SALVAGING THE GLASS, PHOTO DOCUMENTATION OF THE EXISTING BUILDING AND ITS CONTEXT IN THE PARK AND INCORPORATING INTERPRETIVE PANELS.

I DON'T KNOW IF YOU HAVE HAD A CHANCE TO REVIEW, THAT'S PAGE 11 OF THE STAFF REPORT.

I JUST WANTED TO GET YOUR PERSPECTIVE ON WHETHER THAT IS SOMETHING THAT YOU WOULD SUPPORT IF WE WERE TO POTENTIALLY CONDITION THOSE THREE ITEMS?

>> CAN YOU REPEAT THOSE THREE?

I THINK I KNOW WHAT THREE THEY ARE, I HAD A VARIETY OF CONVERSATIONS ABOUT COMMISSIONER FINACOM ABOUT THESE.

I HAVE COMMITTED TO DOING THREE, BUT I WANT TO MAKE SURE THEY ARE THE SAME THREE WE TALKED ABOUT.

>> I. TREGUB: SALVAGE OF THE GLASS FENCES MEMORIAL PLAQUE, PHOTO DOCUMENTATION OF THE EXISTING BUILDING IN ITS CONTEXT IN THE PARK.

INCORPORATE INTERPRETIVE PANELS IN PARK RENOVATIONS AND THEN IT GOES ON.

>> YEAH, I'M FINE WITH ALL OF THOSE THREE.

>> I. TREGUB: THANK YOU.

>> CHAIR DUFFY: THANK YOU.

NOW WHAT I'M GOING TO DO, IT IS -- OH, WE HAVE A QUESTION FROM BOARD MEMBER SANDERSON, GO FOR IT.

>> D. SANDERSON: WAY DOWN HERE.

I WAS CURIOUS ABOUT THE DECISION TO REMOVE SOME TREES WHEN YOU ARE PLANTING SO MANY.

AND IF YOU COULD EXPLAIN WHY THOSE TREES ARE BEING REMOVED AND MAYBE WHAT TYPE THEY ARE.

>> YEAH.

TYPES ARE ACTUALLY ON SLIDE #15.

YOU WILL SEE THEM WITH X'S ON THE BOTTOM OF THE SLIDE THERE.

THE TREES TO BE REMOVED ARE ONE OF THEM IS A SWEET GUM OR LIQUID AMBER, WE ARE REMOVING ALL OVER THE CITY.

DURING THE LAST SEVERAL STORMS IT HAS HAD A HUGE RATE OF FAILURE.

SO WE HAVE BEEN SLOWLY TAKING THOSE TREES WHENEVER POSSIBLE.

ALSO, YOU WILL SEE THERE ARE TWO FLOWERING PEARS.

THE GRAY ONES IN THE BACK.

THOSE ARE ALSO TREES THAT HAVE INHERENTLY A LOT OF STRUCTURE DAMAGE, OR STRUCTURAL ISSUES WHEN PLANTED.

AND WE HAVE BEEN REMOVING A LOT OF THOSE TOO.

THEY, TOO, HAVE BEEN LOSING LIMBS AT AN UNUSUAL RATE IN THE LAST SEVERAL YEARS.

AND THEN THE RIVER BIRCH AND JAPANESE PAGODA ARE TREES WE NO LONGER PLANT IN THE CITY.

AND WHILE THEY ARE ATTRACTIVE TREES TO LOOK AT, THEY ARE SMALL TO MEDIUM SIZED TREES.

AND IN THIS CASE, WHERE WE ARE GOING TO COME BACK AND REPLANT THE PARK WITH 25 NEW TREES, MOSTLY NATIVES, THAT WILL GROW MUCH LARGER AND WE ARE INCLINED TO GIVE UP THESE TREES WHERE WE CAN HAVE A LARGER FACILITY AND PLANT NEW TREES.

>> D. SANDERSON: OKAY, THANK YOU SO MUCH.

>> CHAIR DUFFY: ANY OTHER QUESTIONS FROM THE BOARD?

BOARD MEMBER YUNG?

>> B. YUNG: THIS MIGHT BE MORE OF A QUESTION FOR COMMISSIONER TREGUB.

WHEN YOU SAY L.P.C. ARE YOU REFERRING TO THE LETTER DATED OCTOBER 25TH 2022 IN ATTACHMENT #5?

>> I. TREGUB: THAT'S POSSIBLE.

BUT WHAT I'M MORE DIRECTLY REFERRING TO CAME FROM THE LETTER REFERENCED BUT PAGE 11 OF THE STAFF REPORT.

ITEM C LANDMARKS PRESERVATION COMMISSION REVIEW.

>> B. YUNG: OKAY, THANK YOU FOR THAT.

AND THEN I HAVE A FEW QUESTIONS FOR PARKS AND RECREATION AND WATERFRONT.

MY FIRST ONE IS ARE THERE ANY -- WERE THERE ANY A.D.A.

CONSIDERATIONS IN HOW THE SITING OF THE PROPOSED CLUBHOUSE AND PATHWAY AS A WHOLE WAS DESIGNED?

>> YES.

AND I'M GOING TO TURN IT OVER TO OUR ARCHITECT, MARK, TO TALK ABOUT THOSE.

BECAUSE THOSE GOT FAIRLY COMPLICATED IN THIS PROJECT.

>> SURE, THE BIGGEST, I DON'T KNOW IF I'M ON OR NOT, CAN YOU HEAR ME?

>> CHAIR DUFFY: YEAH, WE HEAR YOU.

>> THE BIGGEST CONCERN IS THE SITE IN THIS CORNER DOES HAVE A SLOPE DOWN.

AND SO WE HAD TO DO TWO PARALLEL PATHS IN FRONT OF THE BUILDING. ONE OF WHICH CONTINUES THE PATH AROUND THE PARK AS AN ACCESSIBLE PATH.

THE SECOND ONE OF WHICH BRINGS YOU UP TO THE ENTRY OF THE BUILDING.

SO THERE ARE SOME STAIRS IN FRONT OF THE BUILDING BUT THERE'S ALSO A RAMP, WELL IT'S NOT A RAMP, THE A SLOPED WALKWAY BECAUSE IT'S LESS THAN ONE IN 20, OUR GOAL WAS NO HANDRAILS FOR THE RAMPS.

WE DO HAVE THESE TWO PARALLEL PATHS WHICH IS WHAT NECESSITATED US CUTTING INTO THE LAWN.

I JUST WANT TO FOLLOW-UP TO MEMBER O'KEEFE.

THE REASON WE REQUESTED THE VARIANCE IS IN RESPONSE TO ALL THE CONCERNS FOR MAXIMIZING THE AMOUNT OF LAWN WE WERE ABLE TO KEEP.

AND WITH THESE TWO PATHS IN FRONT OF THE BUILDING, IF WE WERE 20 FEET SETBACK FROM THE REAR YARD WE WOULD HAVE PROJECTED ANOTHER FOUR FEET INTO THE LAWN AREA, TIMES THE LENGTH OF THAT RAMP.

SO IT PROBABLY WOULD HAVE DOUBLED THE AMOUNT OF LAWN THAT WAS COMING OUT.

SO IT WAS DEEMED BETTER FOR THE PROJECT TO KEEP AS MUCH PARK AS POSSIBLE BY PUSHING THE BUILDING BACK THOSE FOUR FEET.

>> CHAIR DUFFY: THANK YOU.

ANY OTHER QUESTIONS FROM THE BOARD?

NO OTHER QUESTIONS FROM THE BOARD.

I WANT TO CHANGE THINGS UP.

WE ARE GOING TO DO PUBLIC COMMENT BUT NOT DO IN-PERSON FIRST.

WE WILL DO THE ONLINE COMMENTS FIRST.

AND THE REASON IS, THESE PROJECTS THAT OFTEN HAVE TO DO DIRECTLY WITH CHILDREN AND FAMILIES WITH CHILDREN OFTEN THEY DON'T HAVE THE OPPORTUNITY TO BE HERE OR TO CALL IN.

I DON'T SEE ANY CHILDREN IN THE AUDIENCE HERE OR YOU WOULD ALSO GET TO SPEAK.

BUT IN TERMS OF THOSE ONLINE, IF WE COULD PUT ALL YOUR HANDS DOWN FIRST.



EVERYBODY, HANDS DOWN FIRST.

AND YOU WILL GET A MOMENT TO SPEAK, DON'T WORRY.

BEN, IF YOU COULD PUT YOUR HAND DOWN, AND ORLY.

>> CHAIR DUFFY, YOU CAN PUT THEIR HANDS DOWN, THAT'S WHAT I DID  
WHEN I WAS CHAIR.

YOU CAN SAY LOWER HAND.

>> CHAIR DUFFY: THEY DID IT ALREADY.

THANK YOU, EVERYBODY.

THANK YOU SO MUCH.

NOW IF YOU ARE CALLING IN AND YOU HAVE A CHILD THAT NEEDS TO GO  
TO BED AT 9:00 P.M. LIKE MINE, PLEASE RAISE YOUR HAND.

PLEASE, IF IT'S OKAY WITH EVERYONE THAT THOSE PEOPLE AND THOSE  
FAMILIES WILL SPEAK FIRST.

THEY GET PRIORITY.

AND THEN WE WILL HEAR FROM EVERYBODY.

YOU CAN NOW RAISE YOUR HAND IF YOU HAVE CHILDREN OR IF YOU ARE A  
FAMILY AND YOU WISH TO SPEAK SOONER.

ALSO, GIVEN THE NUMBER OF COMMENTS THAT THERE ARE ON THIS, I  
WOULD REQUEST THAT YOU SPEAK FOR ONE MINUTE.

GIVEN THAT THERE IS SUCH A LARGE NUMBER OF SPEAKERS AS WELL AS PROJECTS FOR THIS EVENING.

SO IF YOU CAN KEEP YOUR COMMENTS TO ONE MINUTE.

THAT WOULD BE GREAT.

SO LET'S START.

ORLY?

WELCOME.

>> HI, CAN YOU HEAR ME?

>> CHAIR DUFFY: YEP, LOUD AND CLEAR.

>> THANKS, MY NAME IS ORLI CORE TELL, I LIVE NEAR WILLARD, I HAVE TWO KIDS WHO PLAY AT THE PARK AND NEED TO GO TO BED SOON SO THANK YOU FOR LETTING ME GO FIRST.

I AM JOINING TONIGHT BECAUSE I WANT TO STRONGLY ENCOURAGE YOU TO SUPPORT THIS PROJECT.

THERE IS A NATIONAL CHILD CARE CRISIS RIGHT NOW IN THIS COUNTRY AND MILLIONS OF WOMEN DROPPED OUT OF THE WORKFORCE DURING THE PANDEMIC.

AND THE LACK OF AFFORDABLE CHILD CARE IS KEEPING THEM FROM RETURNING TO WORK.

SO AS YOU KNOW, THIS IS AN EVEN GREATER CHALLENGE FOR LOW-INCOME FAMILIES.

AND BERKELEY HAS AN OPPORTUNITY TO TAKE A STAND ON THIS.

WE SEE THIS HERE IN BERKELEY WHERE THE SCHOOLS END AT 2:00 P.M. BUT MOST JOBS GO UNTIL 5:00 AND THERE ARE NOT CURRENTLY ENOUGH AFTER-CARE SPOTS FOR FAMILY THAT'S NEED THEM.

THIS SPOT WOULD EXPAND ACCESS TO AFFORDABLE CHILD CARE WHICH IS NEEDED HERE IN THE BAY AREA.

I SEE A VOTE AGAINST THIS PROJECT AS A VOTE AGAINST EQUITY AND INCLUSION, AND IT'S A VOTE AGAINST WOMEN IN THE WORKPLACE.

AND I KNOW THAT, I HAVE HEARD OVER 100 PARENTS LIKE ME HAVE ALSO SHARED WRITTEN COMMENTS FOR SUPPORT BUT THE REASON YOU DON'T SEE THEM IN THE MEETING IS THIS IS KID BEDTIME AND EVERYONE IS BUSY JUGGLING THE COMPLETELY IMPOSSIBLE TASK OF PARENTING WITH FULL-TIME WORK.

I HAVE SPOKE PERSONALLY WITH MANY FRIENDS AND NEIGHBORS WHO REALLY WANT TO SEE THIS PROJECT MOVE FORWARD SO BERKELEY CAN LIVE UP TO ITS VALUES OF EQUITY AND INCLUSION AND MAKE SURE ALL FAMILIES HERE CAN THRIVE.

>> CHAIR DUFFY: ORLI, THANK YOU.

APOLOGIES TO CUT YOU SHORT, YOU GOT SURPRISED BUT EVERYONE ELSE  
YOU HAVE BEEN GIVEN FAIR WARNING.

BEN FINKLE, YOU ARE NEXT.

>> THERE WE GO, SORRY ABOUT THAT.

I WANT TO SECOND EVERYTHING ORLI SAID.

I'M HERE WITH MY DAUGHTER AND WE GO TO WILLARD PARK ALL THE  
TIME.

GETTING THE BATHROOM TO BE NICE WOULD MAKE A BIG DIFFERENCE.

THIS LOOKS LIKE IT'S BEEN THROUGH THOUGHTFUL DESIGN, I WANT TO  
SUPPORT THIS.

I WOULD SAY LET'S JUST GET THIS DONE.

IT'S TIME.

THANK YOU.

>> CHAIR DUFFY: THANK YOU.

WE ALMOST HAD A CHILD COMMENT.

IT'S BEDTIME, CHILD.

IT'S BEDTIME.

SO NEXT IS TODD ANDREW.

AND THEN ANYBODY ELSE FROM THE PUBLIC WHO WISHES TO SPEAK THAT  
ISN'T HERE IN PERSON, PLEASE RAISE YOUR HAND.

AND I WILL CALL ON YOU IN ORDER.

TODD ANDREW.

>> WOW, THANK YOU, THAT WAS QUICK.

THANK YOU FOR YOUR SERVICE, MEMBERS OF THE ZONING ADJUSTMENTS  
BOARD.

I JUST WANT TO SPEAK UP IN SUPPORT OF THIS PROJECT.

I THINK IT'S A GOOD PROJECT.

I THINK THE OBJECTIONS HAVE BEEN RAISED BY FAIRLY FEW PEOPLE AND  
I UNDERSTAND IT'S BEEN THE RESULT OF YEARS LONG COMMUNITY  
PROCESS WITH WIDESPREAD COMMUNITY INPUT AND SUPPORT.

THERE WERE CONCERNS ABOUT THE OPEN SPACE AND EVEN THAT IT MIGHT  
VIOLATE A CERTAIN LAW AND THAT'S WHY, MY UNDERSTANDING WAS THE  
REQUEST FOR THE SETBACK.

THERE ARE PLANS TO PLANT TREES, AS THE DIRECTOR SAID.

AND IN GENERAL, THIS WILL SERVE MORE PEOPLE, INCLUDING MANY MORE  
CHILDREN AND THERE WERE A NUMBER OF PEOPLE, IT'S MY  
UNDERSTANDING, INCLUDING PARENTS AND OTHER COMMUNITY MEMBERS WHO  
WERE IN FAVOR OF AN EVEN BIGGER FACILITY.

SO I WOULD JUST URGE YOUR SUPPORT, I THINK IT'S AN EXCELLENT OPPORTUNITY TO IMPROVE OPPORTUNITY AND ACCESS FOR VARIOUS MEMBERS OF THE COMMUNITY WHO MIGHT NOT OTHERWISE HAVE IT.

THANK YOU.

>> CHAIR DUFFY: THANK YOU TODD, NEXT UP, SONJA, AND VINCENT AND THEN LORI.

>> HI, I'M ALSO A BERKELEY PARENT.

I JUST WANT TO ECHO WHAT PEOPLE ARE SAYING ABOUT THE IMPORTANCE OF HAVING AFFORDABLE AFTER CARE.

I'M A SINGLE WORKING PARENT WITH A DAUGHTER IN KINDERGARTEN WHICH GETS OUT AT 1:15 AND THERE'S NO WAY I COULD SURVIVE IN BERKELEY WITHOUT AFFORDABLE AFTER CARE AND I'VE BEEN IN BERKELEY 25 YEARS.

I'VE BEEN TOLD THERE'S WAITING LISTS, WE ARE NOT GUARANTEED SLOTS, I RELY ON AFTER CARE PROGRAMS SO I CAN WORK.

I AGAIN WANT TO CALL THESE OTHER PARENTS AND ECHO HOW IMPORTANT IT IS TO MOVE THIS PROJECT FORWARD SO OUR KIDS HAVE A PLACE TO PLAY AND WE CAN WORK AND STAY IN A WONDERFUL CITY LIKE BERKELEY.

THANK YOU.

>> CHAIR DUFFY: THANK YOU, SONYA.

VINCENT, YOU ARE NEXT.

>> HI, I'M VINCE CASALAINA, I LIVE AT 2619BIENVENU.

I'M A GRANDPARENT NOT A PARENT, I'VE BEEN A PARENT AT ONE TIME.

I HAVE SEEN IT CHANGE.

IT NOW HAS A FENCE AROUND IT.

WHY DO WE NOT BELIEVE THE WAY THE PROJECT IS SET UP, WE WON'T HAVE A FENCE AROUND THE BUILDING THAT'S BEING BUILT?

BECAUSE THE BACK OF THAT BUILDING IS GOING TO BE A PLACE WHERE THINGS CAN GO ON AT NIGHT THAT WE MAYBE DON'T WANT.

IN TERMS OF BUILDING THIS, I BELIEVE EVERYONE HERE WANTS TO SEE THE BUILDING BUILT.

IT'S A QUESTION OF HOW BIG DOES THE BUILDING NEED TO BE.

THAT'S THE TRADE-OFF.

1986 BERKELEY PASSED AN INITIATIVE THAT TALKED ABOUT WHAT NEEDS TO HAPPEN WITH OPEN SPACE.

THE MEASURE ALLOWS PEOPLE, THE CITIZENS OF BERKELEY TO VOTE ON PROJECTS WHERE THERE'S A CHANGE OF USE AND PARKLAND IS GOING AWAY.

I THINK THAT'S IS WHAT IS HAPPENING HERE, I UNDERSTAND WHAT PEOPLE ARE SAYING ABOUT NEEDING CHILD CARE BUT I THINK THAT THERE'S ALSO THE OPEN SPACE ISSUE THAT NEEDS TO BE DEALT WITH.

THANK YOU.

>> CHAIR DUFFY: THANK YOU.

>> I HOPE YOU WILL TAKE THIS PROJECT ON HOLD.

>> CHAIR DUFFY: THANK YOU VERY MUCH.

>> FOR PUBLIC INPUT.

>> CHAIR DUFFY: VALER, YOU ARE NEXT.

VALER IN BERKELEY.

NO, I JUST SAW YOU BACKED OUT.

LORI DROSTE AND KELLY HAMMARGREN.

WELCOME.

>> WELL, HI EVERYONE, CAN YOU HEAR ME?

>> CHAIR DUFFY: HELLO, WE CAN HEAR YOU.

>> MY INTERNET IS UNSTABLE SO THANK YOU FOR BEARING WITH ME.

MY NAME IS LORI DROSTE, I'M THE FORMER COUNCILMEMBER WHO  
REPRESENTED THE DISTRICT PAST 8 YEARS AND CURRENT -- PARENT.

I WANT TO TELL YOU THIS IS ONE OF THE MOST IMPORTANT PROJECTS  
FOR CHILDREN IN ALL OF SOUTH BERKELEY, A CORNERSTONE FOR  
RECREATIONAL EQUITY.



I WANT TO TELL YOU OVER 100 PEOPLE HAVE EXPRESSED SUPPORT FOR THIS PROJECT, YOU CAN SEE IN YOUR SUPPLEMENTAL PACKET, OVER 89 WROTE SPECIFICALLY IN SUPPORT OF THIS PROJECT EVEN THOUGH THEY ARE PUTTING THEIR KIDS TO B\*E BED RIGHT NOW.

THOUGH I WANT TO TELL YOU HOW WELL OUR STAFF HAS TRIED TO INCORPORATE THE INPUT FROM DOZENS OF MEETINGS WHAT I WANT TO EMPHASIZE IS THE ISSUE IS ONE ABOUT THE VARIANCE TO ALLOW FOR MORE GREEN SPACE.

TWO, THE DEMOLITION OF A DANGEROUS STRUCTURE THAT IS CRUMBLING, NOT A.D.A. COMPLIANT AND DOESN'T SERVE THE COMMUNITY WELL.

AND THREE, PUBLIC BATHROOM FOR THE COMMUNITY IS APPROPRIATE.

I BELIEVE THE EASIEST DECISION YOU WILL MAKE HERE, PLEASE APPROVE THE STAFF RECOMMENDATION, HELP OUR KIDS, HELP OUR PARK AND HELP OUR COMMUNITY IN SOUTH BERKELEY.

BEFORE I GO, ROHINI HAR ASKED ME -- PUBLIC COMMENT, IF YOU WILL JUST OBLIGE ME FOR ONE SECOND, WE HAVE AMAZING PEOPLE IN THIS TOWN AND P.A. PRESIDENT FROM JOHN MERE ACTUALLY TEXTED ME FROM THE BORDER OF SYRIA AND TURKEY YESTERDAY BECAUSE SHE WAS SO CONCERNED THAT THE WILLARD CLUBHOUSE MODEL MAY NOT BE APPROVED, EVEN THOUGH SHE IS DOING AMAZING HUMANITARIAN WORK ON THE BORDER OF SYRIA.

I PROMISED HER I WOULD CONVEY HER SUPPORT.

SHE WAS UNABLE TO WRITE AN EMAIL BECAUSE OF WIRELESS ACCESS.

THAT'S HOW IMPORTANT IT IS FOR OUR COMMUNITY.

THE KIDS IN THE COMMUNITY DESERVE A BETTER CLUBHOUSE.

THE PROJECT DESCRIBES WHAT A CONSENSUS OF FEEDBACK PEOPLE HAVE PROVIDED.

THANK YOU SO MUCH FOR LISTENING AND YOUR SERVICE AND HAVE A WONDERFUL EVENING.

S

>> CHAIR DUFFY: THANK YOU, FORMER COUNCILMEMBER DROSTE, THANK YOU FOR YOUR SERVICE AND YOUR COMMENT.

NEXT WE HAVE KELLY HAMMARGREN.

>> THANK YOU, I'M NOT GOING TO TAKE A POSITION ON THE BUILDING.

BUT I'M ASKING THAT FOR THIS BUILDING, WHICH HAS LOTS OF GLASS, THAT EVERYWHERE THERE'S GLASS THAT IT EITHER BE COVERED WITH PERMANENT SCREENING AS IN INSECT SCREENS FOR ANY WINDOWS THAT OPEN.

OR BE BIRD-SAFE GLASS.

DO WE REALLY WANT CHILDREN IN A CLUBHOUSE WITH LOTS OF GLASS AND A PARK WITH LOTS OF TREES WHERE WE HOPE THERE WILL BE LOTS OF BIRDS, SEEING BIRDS COLLIDE WITH THAT BUILDING AND DIE IN FRONT OF THEM?

I DON'T THINK WE WANT THAT.

SO I WOULD ASK THAT WE REQUIRE BIRD-SAFE GLASS OR WE REQUIRE  
SCREENING.

I MEAN, YOU CAN JUST PUT A SCREEN OVER IT, AND IT WILL BE BIRD  
SAFE.

JUST LIKE WE HAVE INSECT SCREENS ON OTHER BUILDINGS.

AND THAT BE A REQUIREMENT, NOT IF FEASIBLE.

THAT IS MY REQUEST.

THANK YOU.

>> CHAIR DUFFY: THANK YOU, KELLY.

THAT IS THE END OF THE ONLINE PUBLIC COMMENT PORTION.

WE HAVE A CAPTIONER'S BREAK SCHEDULED FOR 9:00.

I SUGGEST THAT, WHAT TIME IS IT RIGHT NOW, WE HAVE THREE  
MINUTES?

LET'S START FOR THE SAKE OF TIME.

START WITH IN-PERSON PUBLIC COMMENT ACTUALLY.

AND THEN WE WILL STOP AT 9:00.

IS THAT OKAY?

WE WILL SAVE MINUTES HERE.

PATRICK KEHOE, BEGIN THE IN-PERSON PUBLIC COMMENT, PATRICK KEHOE, YOUR COMMENT FOR ONE MINUTE AND THEN WE WILL LIKELY HAVE A CAPTIONER'S BREAK AFTER THAT.

HELLO AGAIN, WELCOME BACK.

>> GOOD EVENING.

I USE WILLARD PARK EVERY DAY AND I'M CONCERNED ABOUT THE SIZE AND THE SCOPE OF THE CLUBHOUSE REMODELING PROJECT.

WHAT BEGAN AS A CLUBHOUSE UPGRADE FOR AFTER SCHOOL PROGRAMS HAS NOW EVOLVED TO A COMMUNITY CENTER FOR WEEK DAY AND WEEKEND PARTIES AND EVENTS.

THE BUILDING PLANS AS PROPOSED WOULD REDUCE THE AMOUNT OF ALREADY SCARCE GREEN SPACE IN THE PARK AND NEW PARKING DESIGNATIONS THAT WOULD LIMIT THE ALREADY TIGHT NEIGHBORHOOD PARKING ISSUES.

I URGE YOU TO PUT THE CURRENT PLANS ON HOLD AND REFER THE PROJECT BACK TO STAFF SO THE CITY CAN HOLD ADDITIONAL PUBLIC MEETINGS.

THANK YOU.

>> CHAIR DUFFY: THANK YOU FOR YOUR COMMENT.

NEXT IS CARLA WOODWORTH.

WELCOME, HELLO.

>> GOOD EVENING, COMMISSIONERS MY NAME IS CARLA WOODWORTH, 2335 PARKER STREET A FEW BLOCKS FROM WILLARD PARK.

SPEAKING ABOUT 2720 HILLEGASS ON THE AGENDA.

I SERVED THREE TIMES ON BERKELEY CITY COUNCIL AND WILLARD PARK WAS PART OF MY DISTRICT.

TONIGHT I WANT TO REMIND THE ZONING ADJUSTMENTS BOARD MEASURE L WAS ADOPTED BY THE VOTERS IN 1986.

IT WAS A CITIZEN'S INITIATIVE ORDINANCE TO ALLOW BERKELEY VOTERS TO DIRECTLY PARTICIPATE IN DECISIONS TO CHANGE THE USE OF PUBLIC PARKS AND OPEN SPACE.

PROHIBITS USING FOR ANY NEW USE WITHOUT THE APPROVAL OF THE COMMUNITY.

IF THE COUNCIL WANTS TO REMOVE OR DEVELOP EXISTING PUBLIC PARKS AND/OR OPEN SPACE PRIOR VOTER APPROVAL IS REQUIRED.

THIS PROJECT YOU SEE TONIGHT INVOLVES A DEMOLITION OF AN EXISTING CLUBHOUSE, IT'S 565 SQUARE FEET AND AN EXISTING PUBLIC RESTROOM THAT IS 114 SQUARE FEET, ALLOW NEW CONSTRUCTION OF A COMMUNITY CENTER 3300 SQUARE FEET AND RESTROOM THAT IS 241 SQUARE FEET.

THE COMMUNITY CENTER IS NOT ONLY MUCH LARGER THAN THE EXISTING FACILITY BUT ENTAILS A CHANGE OF USE.

SUCH NEW CONSTRUCTION FALLS SQUARELY WITHIN 1986 MEASURE L AND  
THE COUNCIL IS MANDATED TO PLACE THIS PROJECT BEFORE THE VOTERS.

THANK YOU FOR YOUR TIME.

>> CHAIR DUFFY: THANK YOU FOR YOUR TIME.

IT IS NOW 9:00.

SO WE WILL HAVE A TEN-MINUTE CAPTIONER'S BREAK.

I HAVE NOT FORGOTTEN ABOUT THE REST OF YOU TO SPEAK.

AND WE HAVE NOT FORGOTTEN ABOUT THE REST OF THE PROJECTS ON THE  
DOCKET TONIGHT.

THANK YOU.

TEN MINUTES WE WILL BE BACK.

[ 10-MINUTE BREAK ]

>> CHAIR DUFFY: I WOULD LIKE TO CALL THE MEETING BACK TO ORDER.

IT'S 9:11 RIGHT NOW.

WE HAVE EIGHT SPEAKERS IN PERSON THAT WISH TO SPEAK ON THIS  
ITEM.

IT'S ITEM #9.

YOU ARE HELD TO ONE MINUTE.

I'M GOING TO HOLD YOU TO ONE MINUTE.

PLEASE DO CHECK ON THE SCREEN, YOU WILL SEE THE ONE MINUTE  
TIMER.

IN THE ORDER THAT I RECEIVED WE WILL BEGIN WITH MARY, ALEX,  
KINGA, PAMELA, LUCAS, ALANA, THEO, PAUL.

>> HI, MY NAME IS MARY ORAM AND I HAVE LIVED ACROSS FROM WILLARD  
PARK SINCE 1986.

I WALK TO TALK ABOUT THE LOCATION AND ORIENTATION OF THE  
BATHROOM.

IF IT'S MOVED ACROSS FROM THE WALKWAY FROM THE TENNIS COURTS AND  
THE DOORS ARE ORIENTED TOWARD THE WEST, THEY ARE NOT VISIBLE  
FROM HILLEGASS OR DERBY BY ANYONE WALKING BY OR THE POLICE AFTER  
THE PARK CLOSES.

THERE IS ALSO DRUG ACTIVITY, MOST FOCUSED ON THE WALKWAY BETWEEN  
THE TENNIS COURTS AND PATHWAY TO THE WEST.

A NEIGHBOR TOOK THESE PICTURES YESTERDAY MORNING WHEN SHE WAS  
WALKING WITH HER DOG IN THE PARK, THERE'S A REGULAR DRUG USER  
DOWN THERE DROPPING HIS SYRINGES EVERY NIGHT.

>> CHAIR DUFFY: THANK YOU, MARY, YOU HAVE FIVE SECONDS LEFT.

>> PLEASE KEEP THE BATHROOM WHERE IT IS SO POLICE CAN MONITOR  
IT.

I ALSO ENCOURAGE ALL THE PARENTS OF THE KIDS WHO CAN'T BE HERE TO JOIN THE WILLARD NEIGHBORHOOD ASSOCIATION SUPPORT GETTING THIS REHABBED AND OPEN AGAIN SO YOUR KIDS HAVE A PLACE --

>> CHAIR DUFFY: THANK YOU.

ALEX YOU ARE NEXT, COME ON UP.

THANK YOU, MARY.

>> I LIVE WITHIN HALF A BLOCK OF THE PARK.

I WOULD LIKE TO TALK ABOUT THIS I RECEIVED FROM THE CITY AND CONTAINS CEQA GUIDELINES.

THEY ARE HALF A PAGE LONG IN THE HANDOUT I PROVIDED.

THAT SECTION DEFINES WHAT STRUCTURES ARE EXEMPT.

THIS SECTION APPLIES TO CONVERSION OR NEW CONSTRUCTION OF SMALL STRUCTURES.

IN OUR CASE THIS IS GOING TO BE NEW CONSTRUCTION BECAUSE THE OLD CLUBHOUSE IS TO BE DEMOLISHED.

EXAMPLES SEEN IN THE REVERSE SECTION REFERENCES TO A STRUCTURE THAT IS 2500 SQUARE FOOT OR LESS.

THAT IN MY MIND THE DEFINITION OF A SMALL STRUCTURE.

THE PROPOSED NEW STRUCTURE, THE COMMUNITY CENTER BUILDING IS OVER 3300 SQUARE FEET.



FOR THAT REASON SECTION AND EXEMPTION DO NOT APPLY TO THE PROJECT.

>> CHAIR DUFFY: THANKS, ALEX.

THANK YOU FOR KEEPING IT TIGHT, I APPRECIATE.

THERE ARE MANY PEOPLE WHOSE TIME WE MUST RESPECT TONIGHT.

THANK YOU.

>> HINGA.

>> WE ARE HAVING TECHNICAL DIFFICULTIES WITH THE TIMER, I CAN DO IT ON MY PHONE.

>> CHAIR DUFFY: OKAY, THANK YOU.

WELCOME.

>> HELLO, I WOULD LIKE TO SPEAK ABOUT TWO ISSUES ONE IS SPACE REDUCTION AND THE OTHER IS NOISE.

THE PARK WAS CREATED YEARS AGO IN THE MIDDLE OF THE NEIGHBORHOOD.

THE HOUSES WERE DEMOLISHED TO CREATE GREEN SPACE FOR THE NEIGHBORS.

BECAUSE THERE'S NO BARRIER OR BUFFER ZONE BETWEEN THE IMMEDIATE NEIGHBORS AND THE PARK.

THERE'S CHAIN LINK FENCE BETWEEN THE PARK AND IMMEDIATE NEIGHBORS.

SUCH A USE OF THE PARK WHEN THE NOISE IS INCREASING, IT'S ALREADY TOO MUCH FOR THE NEIGHBORS ON THE SOUTH, EIGHT UNITS ON KITTY CORNER 14 UNITS AND SINGLE FAMILY HOUSE.

SO MANY ISSUES WITH THE NOISE.

THE PARK, THE NEW BUILDING IS SUPPOSED TO BE IN THE SPACE, WHICH WILL TAKE ACTUALLY 80,000 SQUARE FEET.

BECAUSE THERE'S THE BACK OF THE BUILDING ON ONE SIDE AND BACK ON THE OTHER SIDE.

IT WON'T BE SAFE.

IT WILL BE FENCED AND ALSO THIS ENCROACHES ON THE GREEN SPACE.

>> CHAIR DUFFY: THANK YOU FOR YOUR COMMENT.

>> MORE SPACE.

>> CHAIR DUFFY: OKAY, THANK YOU.

>> THE AFTERNOON PROGRAMS AND THERE'S ONLY 35 CHILDREN IN THE PROGRAMS INSTEAD OF 45.

SO IF THERE'S NOT ENOUGH SPACES WHY DON'T THEY USE THE PARK NOW?

>> CHAIR DUFFY: THANK YOU FOR YOUR COMMENT, INGA.

MY APOLOGIES FOR EVERYONE FEELING RUSHED.

BUT THANK YOU.

PAMELA.

>> I WANT TO MAKE YOU AWARE OF A COUPLE THINGS.

ONE IS THAT BACK IN THE, ON THE ACTION CALENDAR FOR THE CITY COUNCIL NOVEMBER 14TH, 2017 THEY ACKNOWLEDGE THAT SOUTHEAST BERKELEY HAS THE LEAST GREEN SPACE BOTH IN TERMS OF SQUARE FOOTAGE, ET CETERA THAN ANY OTHER PLACE IN BERKELEY.

AND THE COMMITMENT WAS TO NOT ONLY PRESERVE WHAT GREEN SPACE WE HAD BUT TO ADD MORE.

THAT SEEMS TO NOT HAVE BEEN CONSIDERED.

FOR A 3300 SQUARE FOOT BUILDING TO COST \$7 MILLION IS RIDICULOUS.

SOME OF THAT MONEY SHOULD NOT BE SPENT IN THAT AND SHOULD GO BACK INTO BRINGING BACK THE POOL.

THE THIRD THING IT'S TRUE, THERE ARE SAFETY PROBLEMS IN WILLARD PARK.

AND WHATEVER IS DONE REALLY NEEDS TO ADDRESS THOSE AND THE FOURTH THING IS, I AM NOT COMFORTABLE WITH THE ZONING ADJUSTMENTS BOARD AND THE DESIGNER TAKING BACK SPACE, YOU KNOW PUSHING CLOSER TO THE NEIGHBORS.

>> CHAIR DUFFY: THANK YOU FOR YOUR COMMENT.

>> IT SHOULD NOT BE DONE.

>> CHAIR DUFFY: THANK YOU FOR YOUR COMMENT.

NEXT IS LUCAS.

CLAUDIA HAS THE TIMER.

WHEN YOU HEAR THE BEEP, THERE'S A CANE THAT COMES OUT AND WHOOP.

>> WE HAVE IT ON THE SCREEN NOW.

THANK YOU.

>> THANK YOU FOR LISTENING TO ME.

I'M NEW SO I'M NOT SURE HOW THE DECISIONS ARE MADE.

I LIKE BOARD MEMBER O'KEEFE'S COMMENT WHY IS THERE AN EXCEPTION  
BEING MADE, SOUNDS LIKE THE SETBACK IS FROM 20 FOOT TO 16.

I STILL HAVEN'T HEARD ANYTHING.

IT'S MOSTLY BEEN ON EQUALITY.

HOW DO WE ADDRESS THOSE ISSUES.

WE HAVE 5X BIGGER, IF YOU SHRINK THAT A LITTLE, YOU DON'T NEED  
VARIANCES OR AFFECT THE NEIGHBORS AS MUCH.

IN TERMS OF ACCESS FOR KIDS HOW CAN THEY ACCESS THE PARK RIGHT  
NOW?

THEY STILL HAVE THE SAME ACCESS.

IF WE LOOK AT PICTURES SCOTT SHOWED US EARLIER TODAY, YOU SEE  
GRAFFITI IN FENCED OFF AREA.

HOW IS A FENCED OFF AREA ACCESSIBLE TODAY?

THERE MAY BE KIDS WHO WANT TO GO IN THE MORNING, THEY CAN'T, IT  
WILL BE FENCED OFF.

ONE MORE ROUND OF ADJUSTMENT WILL REALLY MEET THE NEIGHBORHOOD'S  
REQUIREMENTS AND ALSO CONTINUE TO SERVE THE COMMUNITY AS  
INTENDED.

SO THAT'S IT.

>> CHAIR DUFFY: THANK YOU, I APPRECIATE IT.

GOOD TO SEE NEW FACES AND NEW COMMENTERS JUMPING IN.

THAT WAS LUCAS, RIGHT.

ALANA IS NEXT.

>> THANK YOU, I'M A HOMEOWNER HALF A BLOCK FROM THE PARK.

THIS IS MY FIRST TIME GIVING PUBLIC COMMENT.

SUPPORT THIS PROJECT, IT'S TAKEN A LONG TIME.

WE HAVE HAD A LOT OF INPUT.

INPUT DOESN'T MEAN EVERYBODY GETS EXACTLY WHAT THEY WANT.

THE TEAM HAS DONE A GOOD JOB FINDING IT'S SMALLER THAN BEFORE,  
FIXING WITH THE TREES, THERE'S A LOT OF THINGS THAT HAVE BEEN  
ADDRESSED.

I DON'T THINK WE SHOULD DELAY IT ANY LONGER.

I PLAN ON RAISING A FAMILY HALF A BLOCK FROM THE PARK, HAVING  
THE CHILDREN'S SPACE THERE IS EXTREMELY IMPORTANT TO ME.

THANK YOU.

>> CHAIR DUFFY: THANK YOU.

THEO AND THEN PAUL.

>> HELLO, MY NAME IS THEO GORDON.

THANK YOU FOR TAKING THE TIME TONIGHT.

I'M A HOMEOWNER ON REGENT STREET.

AS THE PREVIOUS SPEAKER, WOULD LOVE TO SEND MY KIDS ACROSS THE  
PARK TO SOME GREAT AFTER SCHOOL PROGRAMMING IN THE CLUBHOUSE.

OVERALL, I WANT TO SAY SUPPORT THE CLUBHOUSE.

I THINK IT'S A QUESTION WHO IS THE CITY FOR?

IS IT FOR HOMEOWNERS WHO ARE CONCERNED ABOUT A LITTLE BIT, NOW  
THE BUILDING IS 20 FEET AWAY NOW 16.

CAN WE GET KIDS WHO ARE MAYBE IN MORE DISADVANTAGED PARTS THE  
CITY TO GREAT AFTER SCHOOL PROGRAMMING.

CAN WE SUPPORT THE PARENTS WHO NEED A PLACE TO SEND THEIR KIDS  
SO THEY CAN WORK AND AFFORD OUR ASTRONOMICAL RENTS.

EVERY P.T.A. CHAIR IN THE AREA SUPPORTS THE PROJECT.

I WANT TO MAKE SURE THAT WAS ON YOUR MINDS.

I JUST WANT TO SAY AGAIN, THIS PROJECT HAS BEEN TAKING TOO LONG.

IT'S BEEN I THINK ON THE EARLIER SIDE OF 7 YEARS SINCE IT WAS  
FIRST PROPOSED.

NOT SURE IF THAT IS CORRECT.

WE CAN'T LET EVERY SINGLE PROJECT TAKE THIS LONG IN THE CITY  
OTHERWISE WE WILL NEVER GET ANYTHING DONE.

THANK YOU.

>> CHAIR DUFFY: THANK YOU VERY MUCH.

PAUL?

THAT'S OUR LAST PUBLIC COMMENT.

YOU GET THE FINAL MINUTE.

AND THEN WE GET THE FINAL WORD.

>> HI MY NAME IS PAUL TULAY, I REPRESENT THE OWNER OF THE  
PROPERTY DIRECTLY TO THE SOUTH OF THE PROJECT, I HAVE SPOKEN  
WITH SCOTT MANY A TIME.

I AM AGAINST IT AND WOULD LIKE IT TO GO BACK TO BE RECONSIDERED.

THE CURRENT HEIGHT IS 12 FEET, THE NEW BUILDING IS 18 FEET,  
THAT'S A 50% INCREASE.

THE SECOND THING IS TO NOT ENCROACH ON THE GRASS THERE, NOW  
ENCROACHING ON MY FOUR FEET THAT THERE IS SUPPOSED TO BE A 20  
FOOT VARIANCE BETWEEN MY PROPERTY AND THE PARK.

THEY ARE TRYING TO ENCROACH FOUR FEET BACK TO MAKE IT 16.

THIS ISN'T THE WAY IT'S SUPPOSED TO OCCUR.

THIS BUILDING OR THIS PROJECT IS TOO BIG.

AND ALSO LASTLY, FOR THIS AMOUNT OF TIME, I WOULD LIKE TO SEE  
SOME POLES PUT UP TO SHOW US THE DIMENSIONS OF THE NEW PROPERTY,  
OR THE NEW BUILDING THAT IS SUGGESTED TO GO UP.

I USED TO SEE IT IN THE HILLS WHEN I DROVE UP THERE.

IF SOMEONE WAS GOING TO BUILD SOMETHING, THEY PUT UP POLES TO  
SHOW WHAT KIND OF LINE OF SIGHT WOULD BE CUT DOWN.

THIS IS TOO CLOSE TO OUR PROPERTY.

WE HAVE BEEN MANAGING APARTMENTS THERE FOR 63 YEARS AND THE LINE  
OF SIGHT OF MY TENANTS WILL BE TAKEN AWAY BECAUSE OF THIS NEW  
GIANT BUILDING THAT IS GOING UP BY A 50% INCREASE IN HEIGHT.

>> CHAIR DUFFY: THANK YOU FOR YOUR COMMENT.

OKAY.



WITH NO FURTHER PUBLIC COMMENT, THAT CLOSES THE PUBLIC HEARING.

NOW WE GET TO DISCUSS AMONGST THE BOARD.

OR IF, ACTUALLY WOULD OFFER, I WOULD LIKE TO OFFER THE APPLICANT TO ADDRESS ANY ISSUES, IF YOU COULD TAKE A MINUTE OR TWO AND ADDRESS ANY ISSUES THAT MIGHT HAVE BEEN BROUGHT UP THAT YOU WOULD LIKE THE BOARD TO KNOW.

YOU GOT A LITTLE TIME TO DO IT.

IS THERE ANYTHING YOU WOULD LIKE TO SAY?

>> SURE, I JUST WANT TO REITERATE WE AREN'T CHANGING THE USE OF THE FACILITY THAT'S THERE.

WE ARE JUST AFFORDING MORE OPPORTUNITIES FOR USE BY MEMBERS OF THE PUBLIC TO HAVE DIFFERENT KIND OF PROGRAMS IN A COMMUNITY CLUBHOUSE.

SO THE A SIMILAR THING.

THE A PUBLIC SERVING FACILITY AT 3300 SQUARE FEET, IT'S STILL VERY SMALL.

WE HAD TO LOP ONE OF THE THREE ORIGINALLY PROGRAMMED CLASSROOMS OFF THE BUILDING.

WE FELT THAT ALSO GAVE US THE OPPORTUNITY TO RESPOND TO THE PUBLIC'S CONCERN THAT IT WAS TOO LARGE.

WE BELIEVE NOW THIS IS ABOUT THE MINIMUM, THE SMALLEST IT COULD BE TO STILL ACCOMMODATE THE PROGRAMS THAT THE COMMUNITY NEEDS IN THIS SPACE.

SO WE HOPE YOU WILL APPROVE THIS PROJECT TONIGHT.

BECAUSE IT HAS BEEN A LONG TIME.

WE HAVE SPOKEN AT A LOT OF PUBLIC MEETINGS AND COMMUNITY MEETINGS OVER THE LAST FEW YEARS.

WE THINK WE HAVE HEARD AND RESPONDED TO AN AWFUL LOT OF WHAT WAS SAID IN PRESERVING AS MUCH LAWN AS POSSIBLE.

AND THAT AGAIN, IS WHY WE WERE REQUESTING THE VARIANCE TO BE ABLE TO DO THAT.

THANK YOU.

>> CHAIR DUFFY: THANK YOU VERY MUCH.

OKAY, SO THAT CLOSES THE PUBLIC COMMENT PERIOD.

IF WE HAVE ANY QUESTIONS NOW FROM THE BOARD, OR MOTIONS OR DISCUSSION.

BOARD MEMBER YUNG?

>> B. YUNG: I THINK I SAW COMMISSIONER TREGUB'S HAND BEFORE MINE, SO I WILL DEFER.

>> CHAIR DUFFY: PLEASE GO.

>> I. TREGUB: OKAY.

>> CHAIR DUFFY: SO KIND.

>> I. TREGUB: I KNOW.

WE ARE SO NICE TO EACH OTHER HERE.

I HAVE THREE QUESTIONS FOLLOWING UP ON SOME OF THE THINGS THAT WERE MENTIONED.

WOULD YOU BE OPEN TO KELLY'S POINT, INSTALLING PERMANENT SCREENING OR BIRD-SAFE GLASS?

>> YES.

IN FACT I ALREADY SENT A NOTE TO THE PROJECT MANAGER TO SEE IF WE ALREADY HAD IT IN THE SPEC OR NOT, BUT OF COURSE, YEAH.

>> I. TREGUB: GREAT.

THERE WAS COMMENTARY ON THE APPLICABILITY OF MEASURE L, OR LACK THEREOF, COULD YOU COMMENT ON THAT, PLEASE?

>> SO I WILL SAY I'M NOT A LAWYER.

BUT MY UNDERSTANDING OF MEASURE L THERE IS NOT A PROBLEM WITH THIS FACILITY IN THE PARK.

THE A RECREATIONAL IN PARK USE ALREADY SO THERE ISN'T AN ISSUE.

BUT I'M NOT THE CITY ATTORNEY.

>> I. TREGUB: THANK YOU.

I AM NEITHER OF THOSE EITHER.

THAT WAS HELPFUL.

LAST QUESTION, SOMEONE MENTIONED A CONCERN WITH THE LOCATION AND ORIENTATION OF THE BATHROOMS.

SO IT MIGHT BE HELPFUL, IT WOULD BE HELPFUL FOR ME, IF YOU COULD TAKE US THROUGH THE DESIGN DECISIONS THAT WENT INTO PLACING A BATHROOM WHERE IT IS PROPOSED TO GO.

>> MARK WILL OFFER COMMENTS AND I WILL FOLLOW-UP.

>> WE FIRST CAME IN AND DIDN'T COME WITH DESIGNS AT ALL.

WE HAD A MEETING IN THE PARK AND IT WENT ON FOR HOURS, WE DID IT FIRST TO MEET WITH THE PARENTS PICKING UP KIDS FROM THE AFTER-SCHOOL PROGRAM.

AND WE DID IT IN THE EVENING FOR THE WHOLE GENERAL PUBLIC.

WE HAD MODEL BLOCKS FOR PEOPLE TO COME UP WITH AND SCHEMES AND WE PHOTOGRAPHED ALL THE VARIOUS SCHEMES PEOPLE CAME UP WITH.

BUT ONE OF THE THINGS WE HEARD LOUD AND CLEAR WAS HAVING THE PUBLIC RESTROOM ATTACHED TO THE BUILDING WASN'T WORKING RIGHT NOW.

IT WAS CAUSING CONFLICTS WITH THE KIDS BEING THERE.

SO EVERYBODY WANTED THE RESTROOM SEPARATED.

SO WE CAME UP, INITIALLY WITH TWO DIFFERENT LOCATIONS.

ONE WHICH WAS ABOVE THE TENNIS COURTS RIGHT NEXT TO THE STREET.

>> RIGHT NEXT TO THE POTTER'S WALL.

>> IT WOULD HAVE CALLED FOR REPLACING THE POTTER'S WALL AND AT THE FIRST MEETING WE HAD PEOPLE ASKING TO GET RID OF IT, THEN WE SAID NO.

>> WE COULDN'T PLACE WITHOUT REMOVING THE POTTER'S WALL.

ULTIMATELY THE DECISION, WE TOOK A POLL, A COUPLE SURVEYS BUT WE ALSO TALKED TO THE POLICE AND THEY FELT LIKE THIS WAS ALONG WITH A LOT OF OUR RECREATION STAFF AND NEIGHBORS FELT THIS WAS THE BEST LOCATION FOR IT.

I THINK FOR A LOT OF PEOPLE USING THE PLAYGROUND IT'S STILL RELATIVELY CLOSE AND THEY FELT COMFORTABLE GOING THE 15-20 FEET TO USE THAT RESTROOM IF NEEDED.

AND SO I THINK THAT WAS MOTIVATION FOR A LOT OF THE KIDS AND PARENTS WHO USE THE PLAYGROUND.

>> AND IT WAS ON AN EXISTING PAVED AREA WITH ADJACENT UTILITY SERVICES SO IT WAS A GOOD SITE FOR THAT.

>> I. TREGUB: THAT PESKY UTILITY SERVICE.

YEAH THAT'S IMPORTANT.

OKAY, THANK YOU.

>> CHAIR DUFFY: BOARD MEMBER SANDERSON AND THEN BOARD MEMBER O'KEEFE.

>> I CAN JUMP IN?

>> B. YUNG: SO JUST RESPONDING TO L.P.C.'S REQUEST.

THE HISTORIC RESOURCE DIDN'T FIND IT WAS EITHER A LANDMARK, ACCORDING TO THE STATE REGISTER, THE LOCAL STATUS OR A SITE OF HISTORIC SIGNIFICANCE SO I'M NOT IN FAVOR OF ADDING ANY OTHER CONDITIONS THAT WOULD ADD DELAY OR COST TO THIS PROJECT.

WE ARE SEEING HOW CAPITAL IMPROVEMENTS, MEASURE T, COSTS ARE GREATLY INCREASING.

SO I DON'T THINK WE SHOULD ADD ANY MORE UNNECESSARY COSTS OR DELAY.

>> CHAIR DUFFY: DO YOU HAVE A QUESTION FOR THEM?

>> B. YUNG: OH, SORRY, NO.

>> CHAIR DUFFY: I'M SORRY.

OR IS THIS JUST DISCUSSION AMONGST US?

OKAY, I'M SORRY.

PLEASE PROCEED.

>> B. YUNG: ARE WE ALLOWED NON QUESTIONS?

>> CHAIR DUFFY: YES WE ARE.

I THOUGHT IT WAS A QUESTION FOR THE APPLICANT.

WE DON'T HAVE A MOTION ON THE FLOOR TO DISCUSS, SO THIS IS  
GENERAL DISCUSSION.

THE FINDING TO PROCEED HAS BEEN FOUND, SO GO AHEAD.

>> B. YUNG: PART OF ZAB'S EVALUATION PROCESS IS FINDING NON-  
DETRIMENT.

IT FINDS APPROVAL WOULD NOT IMPINGE UPON THE HEALTH, SAFETY,  
MORALS AND OTHER THINGS OF THE IMMEDIATE COMMUNITY.

THE LOGICAL EXTENSION OF THAT WOULD BE TO NOT ARRIVE AT THOSE  
FINDINGS -- THE TEXTBOOK EXAMPLE OF WHAT WOULD BE CONDITIONS  
FOR ZONING VARIANCE ARE, IMAGINE A NEIGHBOR HAS A BOULDER ON  
THEIR PROPERTY.

AND THE BOULDER WOULD MAKE IT SO, GIVEN THE ZONING IN THE AREA,  
THE PROPERTY OWNER WOULDN'T HAVE THE SAME ENJOYMENT OF THEIR  
PROPERTY AS THE OTHER NEIGHBORS.

SO THAT ARRIVES AT THE KIND OF YARD STICK WE USE, OR I GUESS THE  
ESTABLISHED YARD STICK IN THE LAND USE LAW THAT'S USED TO GRANT  
VARIANCES.

WHICH IS SPECIAL CIRCUMSTANCES TO THE PROPERTY, FOR EXAMPLE,  
LOCATION, SIZE, SHAPE SO THAT DISTRICT APPLICATION OF THE

DEVELOPMENT CODE DENIES PRIVILEGES ENJOYED BY OTHER OWNERS IN THE VICINITY.

IN THIS CASE THAT WOULD BE PRIVILEGED ENJOYED BY THE CITY AT COME PAABLE PARKS WITH THE SAME ZONING.

I THINK THE SPECIFICS OF THE SITE DO WARRANT THE ZONING VARIANCE.

THE CITY DOES NOT ALLOW LIVE OAKS TO BE REMOVED.

SO WE KIND OF HAVE A SITE SHAPE AND CONFIGURATION WHERE REALLY THE ONLY FEASIBLE WAY TO LOCATE THE NEW FACILITY WHICH WOULD HELP THE COMMUNITY AT LARGE ENJOY THIS OPEN SPACE IS TO GRANT THE ZONING VARIANCE.

IT'S BOXED IN BY THE LIVE OAK AND KIND OF THE LITTLE CUT-OUT TO THE SOUTHEAST.

ADDITIONALLY NOT GRANTING THE VARIANCE, I THINK WOULD CREATE A CONFLICT BETWEEN INCREASING A.D.A. ACCESSIBILITY AND DECREASING THE LARGE OPEN SPACE MEADOW.

SO FOR THOSE REASONS, I THINK A VARIANCE IS WARRANTED.

THANK YOU.

>> CHAIR DUFFY: BOARD MEMBER O'KEEFE?

>> S. O'KEEFE: WAIT A MINUTE.

>> D. SANDERSON: I RAISED MY HAND EARLIER.



>> CHAIR DUFFY: AND THEN BOARD MEMBER SANDERSON.

>> S. O'KEEFE: I HAVE TO RESPECTFULLY DISAGREE WITH MY COLLEAGUE ABOUT THE VARIANCE.

MY EXAMPLE OF WHAT I WOULD CONSIDER TO BE A GOOD EXCEPTIONAL CIRCUMSTANCE OF A VARIANCE IS LIKE IF IT'S -- THE PROPERTY IS TEN FEET WIDE WHICH IS VERY UNUSUAL, OBJECTIVELY UNUSUAL AND THERE'S A FOUR FOOT SETBACK REQUIREMENT ON THE SIDES.

I WOULD HAVE TO DEVELOP SOMETHING THAT IS TWO FEET WIDE, RIGHT? WHICH IS IMPOSSIBLE.

SO THEREFORE NOT ONLY IS THERE SOMETHING VERY, VERY UNUSUAL ABOUT MY PROPERTY, VERY UNUSUAL.

BUT THAT ACTUALLY, IT IS THAT THING THAT STOPS ME FROM BEING ABLE TO DEVELOP THE PROPERTY.

AND THAT DEVELOPMENT MAY NOT BE ABLE TO BUILD ANYTHING AT ALL, BECAUSE TWO FEET ISN'T ENOUGH TO BUILD ANYTHING AT ALL.

YOU MADE A BETTER ARGUMENT.

I THINK THERE'S POTENTIAL FOR EXCEPTIONAL CIRCUMSTANCE ARGUMENT HAVING TO DO, ALL THE PARKS HAVE LIVE OAKS BY THE WAY.

MAYBE YOU CAN DO SOMETHING ABOUT THE EXACT CONFIGURATION.

I'M OPEN MINDED TO THERE BEING SOMETHING WE CAN FIGURE OUT.

BUT WHAT WE ARE BEING ASKED TO FIND RIGHT NOW DOESN'T SAY THAT.

WHAT WE ARE BEING ASKED TO FIND ON THIS IS THE FINDINGS IN FRONT OF US WE ARE BEING ASKED TO VOTE ON IS THAT IT'S A PARK IN AN AREA WITH NOT A LOT OF PARKS.

THAT'S BASICALLY WHAT'S UNUSUAL ABOUT IT.

AND THE SUBSTANTIAL PROPERTY RIGHT IS THAT WE WANT A BIGGER CLUBHOUSE.

THAT'S A SUMMARY OF WHAT THIS IS SAYING.

AND THAT IS NOT HOW A VARIANCE IS WRITTEN.

I WORRY A LITTLE BIT, WE HAVE HAD A LOT OF TURNOVER ON STAFF AND BOARD AND WE HAVE LOST SOME ANCESTRAL MEMORY.

I HAVE BEEN ON THIS BOARD FOR TEN YEARS.

WE HAVE GRANTED MAYBE THREE VARIANCES IN THAT TIME.

AND WE HAVE SAID NO TO A LOT.

WE HAVE SAID NO TO BETTER ONES THAN THIS.

THIS IS NOT HOW YOU DO A VARIANCE.

IF WE APPROVE THIS, I'M GOING TO FILE AN APPLICATION FOR MY PROPERTY BECAUSE I HAVE AN ALMOND TREE WHICH IS VERY UNUSUAL, NO ONE HAS ONE THAT I KNOW, THERE ARE NO ALMOND TREES IN MY NEIGHBORHOOD.

I HAVE ONE ON MY PROPERTY, IT'S UNUSUAL.

I WOULD LIKE TO HAVE ANOTHER STORY, EVEN THOUGH IT'S NOT ZONED FOR THAT.

IF THIS PASSES THEN SOMETHING LIKE THAT CAN PASS BY PRECEDENT.

WE CANNOT PASS THIS.

I WANT TO SAY, I MEANT TO SAY THIS IN THE BEGINNING.

THIS IS A GREAT PROJECT.

I LOVE THIS PROJECT.

MY KIDS HAVE BEEN IN THAT AFTER-SCHOOL PROGRAM.

I WANT IT TO BE MORE ACCESSIBLE AND NICER.

IT'S A GREAT PROJECT.

BUT IF ZAB EVEN MEANS ANYTHING, WE CANNOT VOTE FOR THIS AS IT'S IN FRONT OF US.

I WOULD LIKE TO VOTE FOR A VERSION OF THIS THAT HAD EITHER WAS REDESIGN TO BE IN COMPLIANCE WITH THE LAW.

CAN THE CITY MAYBE FOLLOW ITS OWN LAWS?

THAT WOULD BE GREAT.

ALL RIGHT.

OR IF MORE CREATIVE AND BETTER THOUGHT OUT VARIANCE FINDINGS WERE CREATED I WOULD CONSIDER VOTING FOR THEM.

BECAUSE I WANT TO VOTE FOR THIS PROJECT BUT THIS IS ABSURD.

THANK YOU.

>> CHAIR DUFFY: THANK YOU.

BOARD MEMBER SANDERSON, THANK YOU FOR YOUR PATIENCE.

>> D. SANDERSON: I'M LEARNING.

BACK TO THE ISSUE OF TALKING WITH THE POLICE.

CAN I ASSUME YOU MET WITH OR WORKED WITH THE DEFENSIBLE SPACE PROGRAM IN THE POLICE DEPARTMENT?

I THINK AS LONG AS THEY HAVE REVIEWED THE PROJECT AND THEY UNDERSTAND HOW TO BUILD TO CREATE DEFENSIBLE SPACE BETTER THAN THE REST OF US, THEN I'M SATISFIED WITH THE LOCATION IN THE PLACEMENT OF THE BATHROOMS.

SECOND, I THINK WE CAN MAKE THE FINDING FOR THE EXCEPTIONAL CIRCUMSTANCES AND SUBSTITUTE THAT FINDING FOR WHAT THE STAFF HAS PREPARED.

I THINK WE CAN DO THAT BECAUSE WHEN YOU LOOK AT THIS PARK IT HAS LOTS OF DIFFERENT USES AND THEY ARE IN A TIGHT SPACE.

ALMOST ANYTHING YOU DO TO ONE PART OF THAT IMPINGES ON ANOTHER PART.

SO IN ORDER TO BALANCE THOSE PROTECTING THE SPACE, SERVING THE COMMUNITY, PROVIDING THE AFTER SCHOOL AND DAYCARE SERVICES WE SO DESPERATELY NEED AND TO MAKE IT ALL WORK, I THINK THAT THAT WOULD JUSTIFY THE EXCEPTIONAL CIRCUMSTANCES.

AND I AGREE THAT BERKELEY IS ONE OF THE CITIES THAT RARELY EVER GRANTS A VARIANCE.

THAT GOES WAY BACK.

SO, BUT IN THIS CASE I THINK WITHOUT THE VARIANCE, THE CIRCUMSTANCES OF THE SITE AND ALL THE DIFFERENT USES MEANS THAT THE VARIANCE IS, THAT CREATES THE EXCEPTIONAL CIRCUMSTANCE.

SO BY GRANTING THE VARIANCE THEN IT'S EASIER TO ACCOMMODATE ALL THE DIFFERENT USES.

AND THE CONCERNS OF THE COMMUNITY TO NOT TAKE UP ANY MORE GREEN SPACE.

SO THAT'S WHERE I STAND.

BUT I LOVE THE PROJECT.

>> CHAIR DUFFY: THANK YOU, BOARD MEMBER TREGUB?

>> I. TREGUB: I DON'T HAVE AN OLIVE TREE IN MY YARD, IN FACT I DON'T HAVE A YARD, I'M A RENTER.

I WANT TO THANK THE PUBLIC FOR COMING OUT.

OBVIOUSLY THIS IS, I MEAN EVERYTHING THAT I HEARD ON BOTH SIDES HAS BEEN VERY HEART FELT.

THE CONCERNS I BELIEVE ARE LEGITIMATE.

THE REQUEST FOR APPROVAL ARE ALSO LEGITIMATE.

I AM READY TO MAKE A MOTION.

I AM GOING TO NEED SOME HELP FROM FOLKS SMARTER THAN MYSELF, LIKE COMMISSIONER SANDERSON, TO HELP ME WITH ONE THING.

IF SHE IS OPEN.

I DO HAVE TO AGREE WITH COMMISSIONER O'KEEFE THAT RIGHT NOW, TO ME SOME OF THE FINDINGS TO MAKE A VARIANCE DON'T APPEAR TO HAVE A NEXUS IN WHAT IS ACTUALLY BEING ASKED.

I DON'T KNOW WHAT THE NEXUS IS BETWEEN WHAT COUNCIL DISTRICT IT IS AND WHY WE NEED TO APPROVE THIS.

HOWEVER, I THINK WHAT COMMISSIONER SANDERSON JUST MENTIONED IS ALONG THE LINES OF WHAT I, TOO, WAS GOING TO MENTION I BELIEVE THERE A STATEMENT OF OVERRIDING CONSIDERATIONS WE CAN MAKE ABOUT HOW AFTER SENT THIS VARIANCE, THE PROGRAM WILL NOT WORK.

AND IT NEEDS TO WORK IN THIS PARTICULAR CASE BECAUSE THERE IS NO OTHER COMMUNITY AMENITY LIKE THIS.

I JUST WANTED TO GET SOME CLARIFICATION, TO DO THIS.

FOR SCOTT OR ANYONE, CAN YOU JUST CONFIRM, ARE YOU SAYING THE ENCROACHMENT WILL ONLY ENCROACH ON LESS THAN 1% OF THE OTHERWISE OPEN SPACE?

>> LESS THAN 1%, CORRECT.

>> I. TREGUB: OKAY.

I THINK THERE MAY BE AN OPPORTUNITY HERE TO INCLUDE THAT IN THE JUSTIFICATION.

THERE ARE, WE HAVE TO FOLLOW WHAT IS IN THE CODE.

I DON'T THINK WHATEVER DECISION WE LAND ON IS GOING TO MAKE US EITHER FOR CHILD CARE OR ANTI-CHILD CARE.

BUT I ALSO REALLY DO BELIEVE THERE ARE IMMENSE RAMIFICATIONS TO THE TYPES OF DECISIONS THAT WE MAKE.

AND THIS IS NOT A HOUSING PROJECT, SO WE ACTUALLY HAVE DISCRETION HERE.

AND I THINK IT IS IMPORTANT TO LOOK AT THE CODES, CERTAINLY, AND ALSO LOOK AT WHAT WILL CREATE MORE DETRIMENT.

I THINK THE PART THAT WILL CREATE MORE DETRIMENT IS NOT HAVING A SPACE THAT KIDS COULD BE ABLE TO PLAY IN.

NUMBER ONE.

AND FOR PARENTS, INCLUDING A LOT OF SINGLE PARENTS, CAREGIVERS, THAT DON'T HAVE THE OPPORTUNITY REALLY.

BETWEEN WORK AND THE THINGS THEY ARE DOING TO BE ABLE TO HAVE THEIR KIDS PARTICIPATE IN THAT PROGRAMMING, I THINK THAT OUTCOME, IF WE DON'T APPROVE THIS TONIGHT WOULD ALSO BE DRACONIAN.

SO WEIGHING BOTH OF THOSE THINGS, I WOULD LIKE TO MAKE A MOTION THAT WE APPROVE THIS PROJECT WITH, I WILL NEED COMMISSIONER SANDERSON'S HELP ABOUT SUBSTITUTING SOME OF THE FINDINGS FOR THE VARIANCE.

BUT ALSO MY MOTION WILL INCLUDE APPROVAL WITH PARTS 1, 3 AND 6 ON PAGE 11 OF THE STAFF REPORT.

WHICH, COMMISSIONER YUNG, I ABSOLUTELY APPRECIATE YOUR POINT, I CAMPAIGNED FOR MEASURE T, I SPENT A LOT OF TIME, BOOTS ON THE GROUND, KNOCKING ON DOORS MAKING SURE IT PASSES.

I DESPERATELY WANT THIS PROJECT TO NOT RUN OUT OF MONEY.

ON THE OTHER HAND SALVAGING A MEMORIAL PLAQUE, PROVIDING PHOTO DOCUMENTATION AND INCORPORATING INTERPRETIVE PANELS, GIVEN THE OVERALL COST OF THE PROGRAM ALREADY THIS WILL BE A NEGLIGIBLE ADDITION.

SOME OF THE FOLKS WHO SPOKE TONIGHT, WHETHER THEY SUPPORT OR OPPOSE THE MOTION THAT I AM MAKING, THEY WERE INSTRUMENTAL, THEIR CONTRIBUTIONS WERE INSTRUMENTAL IN CREATING THE ORIGINAL FACILITY AND I THINK THAT TOO NEEDS TO BE RECOGNIZED.



AND THEN FINALLY, I WOULD LIKE TO MAKE THE BIRD-SAFE GLASS OR PERMANENT SCREENING.

I WILL INCORPORATE THAT INTO MY MOTION, IF THERE'S A SECOND AS A CONDITION.

SO WITH THAT, I AM COMPLETE, THANK YOU.

>> CHAIR DUFFY: IS THERE A SECOND OUT THERE?

>> SO MOVED.

>> CHAIR DUFFY: THERE'S A SECOND.

JUST AS A PROCEDURAL THING, I ASKED STAFF IF WE NEED TO VOTE TO CLOSE THE PUBLIC HEARING.

WE DID NOT DO THAT.

WE NEED TO VOTE TO CLOSE THE PUBLIC HEARING AND THEN WE CAN CONTINUE WITH OUR BUSINESS.

SO LET'S VOTE.

>> THANK YOU, MY APOLOGIES FOR NOT BRINGING THAT UP EARLIER WE HAVE CONSULTED THE COMMISSIONER'S MANUAL.

I NEED A MOTION AND SECOND.

>> CHAIR DUFFY: MOTION TO CLOSE THE PUBLIC HEARING?

>> SECOND.

>> I HAVE A MOTION TO CLOSE BY CHAIR DUFFY AND SECOND BY COMMISSIONER O'KEEFE.

WHEN I CALL YOUR NAME PLEASE STATE YOUR POSITION.

[ROLL CALL]

THANK YOU, THE MOTION CARRIES.

>> CHAIR DUFFY: I KNEW WE HAD TO DO SOMETHING.

>> I WOULD JUST LIKE TO REITERATE COMMISSIONER TREGUB'S MOTION AND SECOND, SO WE UNDERSTAND WHAT'S ON THE TABLE.

>> CHAIR DUFFY: THANK YOU.

>> COMMISSIONER TREGUB'S MOTION TO APPROVE 2720 HILLEGASS AVENUE WITH L.P.C. RECOMMENDATIONS FOUND ON PAGE 11, THOSE ARE ITEMS 1, 2 AND 6.

INCLUDING BIRD-SAFE GLASS, POTENTIALLY SCREENING.

AND THEN ALSO WITH THE HELP OF COMMISSIONER SANDERSON NOTING THAT THE FINDING FOR THE VARIANCE SHOULD CONSIDER PROTECTING OPEN SPACE IN RESPONSE TO PUBLIC COMMENT.

AND PROVIDING AN OPPORTUNITY TO ACCOMMODATE DIFFERENT USES THAT WOULD SERVE THE COMMUNITY.

>> I. TREGUB: THAT WAS MUCH MORE ELOQUENTLY STATED THAN MINE.

>> CHAIR DUFFY: THE MOTION HAS BEEN SECONDED AND NOW FOR DISCUSSION.

BOARD MEMBER O'KEEFE?

>> S. O'KEEFE: SO I WILL JUST SAY I'M SKEPTICAL BUT OPEN-MINDED ABOUT OUR ATTEMPT TO FIND A BETTER FINDING FOR A.

BUT I WOULD LIKE TO REMIND THE BOARD THERE IS ANOTHER FINDING B THAT WE HAVEN'T ADDRESSED.

VARIANCE NECESSARY TO PRESERVE A SUBSTANTIAL PROPERTY RIGHT.

THAT MEANS IT'S USUALLY WRITTEN OR TALKED ABOUT FROM THE POINT OF VIEW OF A PRIVATE LAND OWNER.

BUT YOU CANNOT ENJOY YOUR PROPERTY IN ANY MEANINGFUL WAY WITHOUT THIS VARIANCE.

SO WHAT'S IN FRONT OF US RIGHT NOW, IT IS SAYING WE WANT A BIGGER CLUBHOUSE.

IF WE ARE MAPPING THAT ONTO THIS SORT OF PUBLIC USE, THE USE, THE PROPERTY RIGHT WE ARE TRYING TO PRESERVE IS WHAT?

HAVING A BIGGER VERSION OF SOMETHING WE ALREADY HAVE?

THAT'S NOT A SUBSTANTIAL PROPERTY RIGHT.

THAT'S SOMETHING THAT WE WANT.

THIS IS NOT A SUBSTANTIAL PROPERTY RIGHT.

AND I CHALLENGE YOU, IGOR, I APPRECIATE WHAT YOU ARE DOING, I REALLY APPRECIATE IT.

BUT YOU GOT TO WRITE SOMETHING BETTER FOR THAT.

I DON'T SEE THE POTENTIAL.

BUT MAYBE SOMEBODY ELSE HAS A BETTER IDEA.

I WILL REMAIN OPEN MINDED.

>> CHAIR DUFFY: BOARD MEMBER LUNAPARRA?

>> C. LUNAPARRA: FROM WHAT MY UNDERSTAND, THE WAY THE CLUBHOUSE WORKS RIGHT NOW, IT'S NOT LARGE ENOUGH FOR ALL THE PROGRAMS BEING USED IN THE CLUBHOUSE.

AND FOR THAT REASON THEY NEED A BIGGER CLUBHOUSE TO ACCOMMODATE THOSE PROGRAMS AND PROGRAMS BEING PLANNED FOR THE FUTURE.

SO IF WE WANT TO ADD THAT TO THE MOTION.

>> CHAIR DUFFY: BOARD MEMBER HAUSER?

>> S. HAUSER: THANKS, I SUPPORT THE MOTION AT HAND.

I WOULD SAY MAYBE COMING FROM A SLIGHTLY DIFFERENT PERSPECTIVE THAN SOME OF MY FELLOW BOARD MEMBERS, I SEE THAT THIS PROJECT EASILY MEETS EVERY FINDING BEFORE US.

THE REASON THE VARIANCE PROCESS EXISTS IS TO USE IT IF THERE ARE EXCEPTIONAL CIRCUMSTANCES.

AND HERE WE HAVE BEFORE US A PROJECT THAT MEETS EXCEPTIONAL CIRCUMSTANCES.

I APPRECIATE THE POINT YOU JUST MADE ABOUT IT IS OUT OF, IT IS NOT ABLE TO MEET ITS CURRENT EXPECTATIONS BY THE COMMUNITY, BY THE CITY, THAT IT'S BECOMING RELIED ON.

SO THIS IS AN EXISTING, WELL PROPERTY RIGHT IS SORT OF A FUNNY WAY TO THINK ABOUT IT.

BECAUSE THIS IS A COMMUNITY FACILITY.

SO IT IS, THE VARIANCE IS NECESSARY TO PRESERVE AN EXISTING NEED AND EXISTING EXPECTATION.

I THINK THIS IS AN INSPIRATION TO LOOK AT ALL OUR PARKS AND OPEN SPACES AND PUBLIC LANDS.

AND WHAT ARE THE UNMET NEEDS IN BERKELEY TODAY.

OUTSIDE OF THE SCOPE OF THIS CURRENT DISCUSSION FOR SURE.

THIS PARK IN PARTICULAR WHICH HAPPENS TO BE LOCATED IN ONE OF THE MOST HISTORICALLY AND TO THIS DAY DIFFICULT TO LIVE IN BECAUSE OF THE ASTRONOMICAL RENTS AND PROPERTY VALUE THAT'S HAVE BEEN REFERRED TO MANY TIMES IN THIS DISCUSSION, THIS IS THE PLACE TO START, MAKE THIS PARK AND FACILITY MORE INCLUSIVE OF BERKELEY'S NEEDS.

AGAIN.

WHILE I AGREE WITH BOARD MEMBER TREGUB ABOUT DOESN'T MAKE YOU OPPOSED OR PRO-CHILD CARE, WE HAVE THE FINDINGS BEFORE US TO MAKE THE CASE FOR THIS EXCEPTIONAL SITUATION AND EXCEPTIONAL NEED, WHICH REALLY FULFILLS THE SPIRIT OF THE LAW OF PRESERVING GREEN SPACE AND THE PROGRAMS THAT ARE SO DESPERATELY NEEDED.

I ALSO WANT TO SECOND SOME OF THE COMMENTS WE HAVE HEARD FROM OUR GENERAL PUBLIC ABOUT THIS BEING AN URGENT ISSUE.

CHILD CARE DELAYED IS CHILD CARE DENIED.

WE HAVE KIDS AGING OUT OF THE PROGRAM.

THEY ARE ON THE WAIT LIST AND NEVER ABLE TO TAKE ADVANTAGE OF THIS AMAZING PROGRAM BECAUSE THERE'S NOT ENOUGH SPACE.

IT IS AGAIN, THE FACILITY IS NOT ABLE TO MEET ITS EXISTING KIND OF PROPERTY EXPECTATION BY THE CITY.

I'M TRYING TO GET THROUGH MY COMMENTS SO I DON'T HAVE TO PIPE IN AGAIN BECAUSE I SUPPORT THE MOTION AT HAND.

YEAH.

I HOPE WE CAN AGREE UNANIMOUSLY TO SUPPORT THE PROJECT AND MOVE IT FORWARD BECAUSE IT'S SOMETHING I THINK WE SHOULD ALL FEEL GOOD ABOUT AS A COMMUNITY.

THAT'S ALL I HAVE.

>> CHAIR DUFFY: THANK YOU.

BOARD MEMBER THOMPSON?

>> M. THOMPSON: YOU GUYS THIS IS PROBABLY SOME LIBRA STUFF.

I'M KIND OF HAVING A HARD TIME JUST HOLDING, LET'S SAY THE VARIANCES KNOW THAT DOESN'T FLY.

I'M ALSO HEARING THIS STRUCTURE CAN'T BE SMALLER.

SO, WHAT WOULD IT LOOK LIKE?

IF WE SAID WE SUPPORT THE PROJECT, NO, WE DON'T LIKE IT AS-IS.

THESE VARIANCES AREN'T, THEY DON'T WORK.

WE NEED A SMALLER STRUCTURE.

I'M ALSO HEARING THIS IS AS SMALL AS IT CAN BE.

AND THAT'S A REAL -- CAN SOMEONE ENLIGHTEN ME WHY IT CAN OR CANNOT BE SMALLER?

>> CHAIR DUFFY: THE PUBLIC HEARING HAS BEEN CLOSED BUT RHETORICALLY.

>> M. THOMPSON: OKAY.

SORRY.

>> S. O'KEEFE: I MEAN I HAVE A RESPONSE BUT IT'S NOT WHAT YOU ARE ASKING.

I THINK WHAT YOU ARE SAYING IS WHY CAN'T IT COMPLY WITH THE LAW?

IF IT COMPLIED WITH THE LAW IT WOULD BE SMALLER.

IF WE JUST SHRUNK IT, IT WOULDN'T VIOLATE THE SETBACK.

I HAVEN'T BEEN THROUGH THE DESIGN PROCESS, MAYBE THERE'S SOME REASON IT CAN'T.

BUT IF YOU JUST MADE IT SMALLER IT COULD COMPLY WITH THE LAW AND WE WOULDN'T NEED A VARIANCE AND I WOULD VOTE FOR IT.

BUT I DON'T THINK THAT'S THE RESPONSE PEOPLE ARE LOOKING AT.

>> CHAIR DUFFY: IS THIS THE POINT I GET TO CALL ON MYSELF.

I HAVE NEVER DONE THAT BEFORE.

HEARING EVERYBODY'S PUBLIC COMMENT, FIRST OF ALL, THANK YOU TO THE PUBLIC.

THANK YOU TO THE APPLICANT, THANK YOU TO THE CITY FOR ALL THE WORK OVER THE YEARS TO GET THIS UP IN FRONT OF US TODAY TO DISCUSS THIS.

AND THANK YOU TO THE BOARD HERE FOR DISCUSSING THIS TONIGHT.

IT'S SO MUCH WORK WENT INTO THIS, I DID MY BEST AND WAS DILIGENT READING EVERY SINGLE PIECE OF THIS.

IN TERMS OF WHAT WAS BROUGHT UP TONIGHT AND ESPECIALLY AROUND THE FINDINGS FOR A VARIANCE, MY PERSONAL FEELING AROUND THE FINDINGS IN THIS SPECIFIC CASE, I FEEL ARE FULLY, THAT WE ARE ABLE TO MAKE THOSE FINDINGS FOR THE VARIANCE.



AND FOR ME, AS AN ARCHITECT AND SOMEONE WHO DEALS ALWAYS WITH SIDE YARDS AND SETBACKS, REAR SETBACK AND CORNER LOTS, SPECIFICALLY TO THE VARIANCE HERE I WOULD SAY THIS IS ACTUALLY ADDRESSING THE SIDE YARD OF THE PRIVATE HOME IN THE R-12 DISTRICT WHICH IS ALLOWED 35 FEET.

THE SIDE YARD OF THE HOME IS ALLOWED 4 FEET.

FOR THE CORNER LOT OF THE PROPERTY IN FRONT OF US, THE CITY PROPERTY.

NOW DECIDING WHICH IS THE FRONT AND WHICH IS THE SIDE IS ACTUALLY DIFFICULT WHEN IT'S A CORNER.

SO IN THIS CASE, THE REAR YARD, WHICH IS A REQUIRED 20 FEET IS ACTUALLY THE SIDE YARD TO THE HOME THAT'S BEING AFFECTED.

SO IN A LOT OF CASES, IN THIS CASE, IT FEELS MORE LIKE A SIDE YARD TO ME, THAT CONDITION.

IF YOU LOOK AT THE OTHER PRIVATE HOME ON THE OTHER SIDE OF THE PRIVATE PROPERTY, THEY ARE TALLER.

THEY ARE OVER 20 FEET TALL AND THEY ARE AT LEAST EIGHT FEET AWAY.

SO IN THIS CASE I THINK THIS ACTUALLY, IN MY INTERPRETATION, THIS ISN'T A REAR YARD.

THIS IS ACTUALLY, MORE TREATED LIKE A SIDE YARD TO ME,  
ESPECIALLY WHEN IT COMES TO SOLAR ACCESS AND EMERGENCY ACCESS.

THE PROJECT BEING PROPOSED IS ON THE NORTH SIDE, IS NORTH TO THE  
PROPERTY AFFECTED.

SO THERE IS NO NEW SHADOW CAST, NO ISSUES AROUND SOLAR ACCESS  
THAT ARE COMING FROM THIS PROPERTY.

I WILL ADD IN THE R-2 DISTRICT IT'S ALLOWED TO BE 35 FEET.

HERE WE HAVE A PUBLIC PROJECT BEING PROPOSED THAT IS BETWEEN 12-  
18 FEET, THAT IS NOT EVEN NEAR 35 FEET.

AND NOT ONLY IS IT THE EXISTING PROJECT THAT IS THERE 11 FEET  
AWAY BUT THE PROPOSED PROJECT IS 16 FEET AWAY.

THIS, TO ME, FEELS LIKE THERE IS NO SIGNIFICANT PRIVATE TAKING  
HERE TO ME.

I IMAGINE THERE WILL BE A GREATER PUBLIC GOOD WHEN THESE  
COMMUNITY FACILITIES ARE UPGRADED.

WE KNOW IN THE CITY OF BERKELEY WE NEED MORE PUBLIC  
INFRASTRUCTURE.

AND ESPECIALLY FOR OUR KIDS AND FOR OUR FAMILIES.

IF BERKELEY IS GOING TO BE INCLUSIVE AND GROW, IT'S NOT JUST  
WITH NEW HOUSING.

THE NEW INFRASTRUCTURE FOR FAMILIES AND CHILDREN AND FOR ANYONE WHO WANTS TO COME.

AND SO, I'M VERY THANKFUL TO BERKELEY REC AND PARKS AND WATERFRONT.

HAVING GROWN UP AS A CHILD HERE, ALL THE GREAT RESOURCES I HAVE GOT TO ENJOY, I HOPE THERE ARE MORE AND HOPE AND CELEBRATE.

TO ME THIS IS A NO-BRAINER, WE NEED BETTER FACILITIES, PERIOD.

WE NEED BIGGER FACILITIES IN BERKELEY, PERIOD.

I THINK THE FINDINGS IN FRONT OF US ARE ADEQUATE FOR A GREATER PUBLIC GOOD.

I TRULY FEEL THAT WAY, TO THINK WE CAN'T ENCROACH 1% ON GRASS.

WHAT IS THE PRIORITY HERE?

IS IT ABOUT GRASS?

OR IS IT ABOUT TAKING CARE OF THE PEOPLE THAT WANT TO LIVE HERE AND THE FAMILIES THAT WANT TO GROW HERE AND THE CHILDREN THAT ARE AFFECTED BY THIS?

I'M SORRY, I CAN KEEP GOING.

I HAVE TWO MAJOR MEMORIES ABOUT THE NEED THE DEMAND AND NEED FOR THIS AND I'M THANKFUL FOR YOUR WORK.

ONE IS I REMEMBER THE FIRST TIME I HAD A TODDLER AND WENT TO THE CITY OF BERKELEY FOR CHILD CARE.

I WAS TOLD YOU MEAN YOU DIDN'T SIGN UP WHEN YOU WERE PREGNANT.

THAT'S HOW LONG THE WAIT LIST WAS.

AND THE LIST STILL VERY LONG.

SECONDLY I REMEMBER WHEN THE PANDEMIC HAPPENED, THE NUMBER ONE LIFE LINE FOR MY FAMILY AND MY CAREER WAS CITY OF BERKELEY PARKS AND RECREATION AND THEIR PROGRAMS.

I'M THANKFUL FOR THEM, I HOPE EVERYBODY ELSE IS TOO.

FOR SOMETHING THAT AMOUNTS TO FOUR FEET OF A SETBACK SIDE YARD AND 1% OF GREEN SPACE, THIS IS A NO-BRAINER FOR ME, I THANK YOU EVERYBODY FOR YOUR INPUT.

BOARD MEMBER SANDERSON?

>> D. SANDERSON: I AGREE WITH ALL OF WHAT YOU SAID.

BUT LET ME TAKE A STAB AT THE FINDING ABOUT EXCEPTIONAL CIRCUMSTANCES.

I THINK YOU HAVE TO LOOK AT THE USES OF THIS PARK.

THIS IS KIND OF BROKEN ENGLISH, BUT LET ME TRY.

THE PROJECT SITE IS UNIQUE IN THAT, WE HAVE, MY NEIGHBOR HELPED ME HERE.

WE HAVE FIVE, FOUR REASONS.

FIRST, THE PARK IS RELATIVELY SMALL FOR THE NUMBER OF USES IT HAS.

COMPARED TO OTHER PARKS IN THE CITY YOU HAVE LOTS OF SPACE TO FIGURE OUT WHERE TO PUT EVERYTHING.

EVERYTHING IS KIND OF CHEEK BY JOWL.

THE TIGHT, IT HAS MANY USES AND IF YOU WANT TO ALTER THE PHYSICAL SPACE AROUND ANYONE OF THOSE USES THEN YOU ARE GOING TO IMPINGE ON ANOTHER ONE.

THERE IS NO WAY YOU CAN DO ALL OF THE THINGS PEOPLE HAVE ASKED US TO DO, SAVING THE GREEN SPACE AND HANDICAP AND ALL THAT.

BECAUSE MOVING ONE PIECE IS GOING TO ADVERSELY AFFECT ANOTHER PIECE.

THE BOTTOM LINE IS IT WOULD IMPINGE ON MAKING A LARGER CLUBHOUSE.

THE ONLY WAY WE CAN DO THAT, AND I THINK THE DESPERATELY NEEDED.

I THINK WHY GO THROUGH THIS IF WE ARE GOING TO MAKE IT SMALLER.

SO I THINK THE PHYSICAL LAYOUT, THE NUMBER OF USES, THE SIZE OF THE PARK MEAN THAT WE CAN MAKE THIS FINDING.

THE LAST ONE IS NOT DOING THE VARIANCE WOULD CREATE A CONFLICT BETWEEN A.D.A. ACCESSIBILITY AND OPEN MEADOW SPACE.

THE NOT PERFECT.

BUT IN MY MIND WE CAN MAKE THAT FINDING BASED ON, IF YOU WANTED TO HAVE A BIGGER CLUBHOUSE YOU WOULD HAVE TO REALLY TAKE UP SOME OF THE OPEN MEADOW SPACE.

SO TAKE IT AS YOU WILL.

BUT I THINK WE CAN MAKE THAT FINDING.

I WOULD HATE TO SEE THE CLUBHOUSE GET SMALLER.

WE DESPERATELY NEED THAT SPACE.

AND IF IT IMPINGES ON A SETBACK, WHICH IS FAIRLY GENEROUS, IF IT WERE A SIDE SETBACK OR IF YOU HAD A HOUSE THERE COULD EASILY BE 35 FEET.

IF WE PUT IT INTO PERSPECTIVE OF, AND LOOK AT ALL THE TRADE-OFFS, I THINK WE DO MEET THE FINDING FOR EXCEPTIONAL CIRCUMSTANCES.

AND I WOULD NOT WANT TO MAKE THE CLUBHOUSE ANY SMALLER.

THANK YOU.

>> CHAIR DUFFY: THANK YOU, BOARD MEMBER SANDERSON.

BOARD MEMBER TREGUB?

BOARD MEMBER O'KEEFE?

>> S. O'KEEFE: THANK YOU.

I REALLY APPRECIATE THE EFFORTS EVERYONE IS MAKING.

I KNOW I HAVE SPOKEN A LOT SO I WILL MAKE THIS BRIEF.

I STILL, GOOD ATTEMPT, GOOD ATTEMPT.

BUT WHAT I'M HEARING IS SORT OF ABSTRACT TOP LEVEL SUMMARY,  
THERE'S A LOT OF COMPETING USES AND TRADE-OFFS.

THAT'S THE UNUSUAL CIRCUMSTANCE.

THERE COULD BE MORE STUFF HAPPENING, THAT'S OUR SUBSTANTIAL  
PROPERTY RIGHT.

LOOK AT WHAT WE ARE DOING, PEOPLE.

WE WANT TO PASS THIS SO BAD THAT WE ARE MAKING STUFF UP.

I JUST REALLY WANT TO ENCOURAGE YOU TO THINK ABOUT.

IMAGINE, BY THE WAY, THIS IS A CONTROVERSIAL PROJECT, THE NOT  
LIKE EVERYONE IN THE ROOM SUPPORTS IT.

THE NEIGHBORS ARE AFFECTED BY THE SETBACK ARE HERE AND THEY ARE  
AGAINST IT.

THIS ISN'T SOMETHING WE SHOULD FORCE THROUGH AGAINST THE RULES,  
OKAY.

AND IMAGINE ALL THESE ARGUMENTS BEING MADE FOR A PROJECT THAT  
YOU DIDN'T AGREE WITH.

LIKE WE NEED TO BE FAIR.

WE ARE QUASI JUDICIAL, WE HAVE TO APPLY THE LAW EQUALLY AND CONSISTENTLY.

AND WE ARE REALLY TRYING.

AND THE REASON WE ARE TRYING IS BECAUSE WE LIKE IT.

BUT THAT'S NOT WHAT WE ARE SUPPOSED TO DO.

I'M SORRY, I LIKE IT TOO.

>> CAN I ASK A QUESTION?

>> S. O'KEEFE: I'M DONE.

GO AHEAD.

>> IF WE DID NOT GRANT THE VARIANCE, AND WE MOVE EVERYTHING FOUR FEET FORWARD, THERE WOULD BE REDESIGNING OF THE ACCESSIBILITY A.D.A. STUFF AND WE WOULD OCCUPY A LITTLE BIT MORE OF THE GREEN SPACE.

IS THAT -- I MEAN, THERE ARE ALWAYS TRADE-OFFS, NOTHING IS FREE.

>> S. O'KEEFE: IF IT MET THE LAW, IF IT WAS COMPLIANT WITH THE LAW I WOULD VOTE FOR IT.

>> D. SANDERSON: IT'S A TRADE-OFF BETWEEN GREEN SPACE IN THE FRONT AND NEIGHBOR IN THE BACK.

I UNDERSTAND YOUR DILEMMA.



THE A STRETCH, I CAN SAY, EVEN WITH ALL OF OUR EFFORTS.

BUT IF THAT'S WHAT'S GOING TO HOLD THE PROJECT UP, THEN I WOULD RATHER NOT APPROVE THE VARIANCE.

BUT I WANT TO CHECK WITH THE APPLICANT ON SOMETHING FIRST.

TAKE UP MORE GREEN SPACE.

THE NOT VERY MUCH GREEN SPACE IN THE FIRST PLACE.

THE TINY.

>> S. O'KEEFE: I THINK HAS TO DO WITH MEASURE L WOULD BE IN VIOLATION OF THAT?

>> D. SANDERSON: THE NOT A CHANGE IN USE.

LIKE GOING FROM A GROCERY STORE TO A HOUSING PROJECT.

THE CHANGES IN USE AREN'T THERE.

MAY I ASK A QUESTION OF THE APPLICANT?

>> CHAIR DUFFY: YES YOU MAY.

IF THE APPLICANT WOULD COME UP.

THEY ARE ALREADY HERE, WELCOME.

>> D. SANDERSON: MY QUESTION IS, HOW ABOUT THE TRADE-OFF IS A DELAY IN THE PROJECT TO DO SOME REDESIGNING.

I HAVE NO CLUE HOW LONG THAT'S GOING TO TAKE OR HOW IT'S GOING TO AFFECT THE COST OR THE TIMING OF THE PROJECT.

>> YEAH.

IT AFFECTS ALL THAT.

IT ALSO AFFECTS THE OPERATIONAL SPACE AND THE A.D.A.

AND THERE ARE SOME REQUIREMENTS INSIDE THE BUILDING THAT ULTIMATELY IT AFFECTS.

IF YOU WANT TO GIVE ME A MINUTE TO TALK TO MY TEAM, WE CAN GIVE MORE SPECIFICS, BUT ESSENTIALLY, WE ATTEMPTED TO DESIGN THAT BUILDING AS SMALL AS POSSIBLE FOR THE OPERATIONS WE NEED TO USE.

1Y RIGHT.

>> D. SANDERSON: RIGHT.

IF WE WENT DOWN THIS PATH IT WOULD MEAN PUSHING THE BUILDING FORWARD.

>> TAKING UP MORE OF THE GREEN SPACE.

>> D. SANDERSON: AND REDESIGNING THE A.D.A. ACCESSIBILITY.

MAYBE YOU GUYS CAN TALK.

WE CAN CONTINUE WITH OUR COMMENTS.

>> CHAIR DUFFY: BOARD MEMBER TREGUB?

>> I. TREGUB: YEAH.

SO I APPRECIATE WHAT YOU ARE SAYING COMMISSIONER O'KEEFE,  
ABSOLUTELY.

I ALSO APPRECIATE HOW COMMISSIONER SANDERSON WITH SOME HELP  
PERHAPS BY OTHER COLLEAGUES WAS ABLE TO, I THINK PROVIDE A CASE  
FOR THIS VARIANCE TO BE MADE.

I AGREE WITH YOU THAT THIS IS NOT THE MOST AIR-TIGHT CASE.

BUT IT IS ONE THAT I AM WILLING TO SUPPORT.

I WOULD JUST ADD ON FINDING B YOU KNOW, THIS PROJECT WAS  
INITIALLY DESIGNED IN THE 70'S.

IMAGINE IF WE WERE TRYING THE SAME SALARY BUT IT DIDN'T GO UP IN  
ACCOUNT FOR INFLATION, IF WE HAVE THE SAME PAYCHECK NOW AS WE  
DID IN THE 70S.

THIS IS ESSENTIALLY THE SAME CONCEPT.

WHEN THIS WAS DESIGNED, IT WAS DESIGNED FOR CERTAIN PROJECTIONS,  
IN ANTICIPATION OF CERTAIN PROGRAMMING NEEDS.

THERE IS A SUBSTANTIALLY GREATER AMOUNT OF KIDS AND OTHERS IN  
THE COMMUNITY THAT STAND TO BENEFIT FROM THESE SERVICES.

EVEN IF THESE WERE THE MINIMUM SERVICES.

AND WE ALREADY HEARD THAT THIS IS THE MINIMUM, THIS IS THE MOST  
MINIMALISTIC CONFIGURATION THAT COULD BE DESIGNED TO BE ABLE TO  
MEET ALL OF THESE AT TIMES CONFLICTING AND COMPETING GOALS.

SO THAT IS ALSO PROBABLY NOT THE MOST AIR-TIGHT ARGUMENT.

I'M NOT A LAWYER AND I DON'T CLAIM TO BE ONE.

>> S. O'KEEFE: I AM, BY THE WAY.

>> I. TREGUB: ADD THAT TO FINDING THE --

>> S. O'KEEFE: SORRY, I'M SORRY.

>> I. TREGUB: PROBABLY THE ONLY PERSON ON THE ZAB AND VOTED AGAINST A CHANGE OF USE CONVERTING A GROCERY STORE USE TO HOUSING.

THIS IS THE BEST I CAN DO FOR THIS.

BUT I DO THINK THIS IS A UNIQUE CASE.

BUT IT DOES STAND ON ITS OWN.

-- ITS OWN.

>> CHAIR DUFFY: I WOULD LIKE TO MAKE, BEFORE I CALL ONBOARD MEMBER YUNG, IT'S 10:10, USUALLY AT 10:00 WE WOULD HAVE A MOTION TO EXTEND THE MEETING.

MAYBE WE DON'T HAVE NOW IF WE FEEL THE DISCUSSION IS COMING TO A POSITION?

>> S. O'KEEFE: CAN I ASK A QUESTION ABOUT THAT, PROCEDURAL QUESTION, I RECALL, IT HASN'T COME UP IN A WHILE, THAT THERE'S A RULE WE CAN'T TAKE UP ANOTHER PROJECT AFTER 10:00 P.M.

CAN WE CHECK ON THAT.

I THINK WE HAD TO DO IT BEFORE 10:00.

CAN WE LOOK IT UP, I DON'T REMEMBER HOW IT WORKED BUT WE NEED TO GET THAT RIGHT.

>> CHAIR DUFFY: THANK YOU, WHILE THAT'S LOOKED UP, I REMEMBER THAT.

BOARD MEMBER YUNG?

>> B. YUNG: FAILED TO MENTION A PART OF THIS PROCEDURE IS THAT WE ARE NOT THE FINAL BODY THAT MAKES THE DECISION OR PROVIDES INPUT.

ANOTHER PART OF THIS QUESTION IS A DEEPER QUESTION, WHICH IS HOW DO WE, AS REPRESENTATIVES OF GOVERNMENT DERIVE OUR LEGITIMACY.

IS IT FROM A STRICT MAYBE OVERLY CAUTIOUS ADHERENCE TO A PROCESS TO A LAY PERSON WOULD SEEM ARBITRARY AND OUT DRAWN?

OR IS IT THAT WE ENACT CIVIC VALUES TO UPHOLD THE BEST PARTS OF OUR COLLECTIVE SHARED VALUES?

THERE'S A REASON WHY WE ARE APPOINTED CITIZENS AND NOT TECHNOCRATS.

I'M READY TO MOVE FORWARD WITH A MOTION TO REFLECT THE VALUES WE SHOULD HAVE.

>> CHAIR DUFFY: THANK YOU, BOARD MEMBER SANDERSON?

>> D. SANDERSON: I THINK WE HAVE TWO PATHS AND TO ME IT DEPENDS A LOT ON WHAT THE IMPACT WOULD BE ON THE PROJECT.

THEY HAVE BEEN DOING THEIR LITTLE HUDDLE.

CAN WE HEAR BACK FROM THEM THE IMPACTS.

>> CHAIR DUFFY: SURE, BUT WE ARE STILL HEARING WHAT TREGUB PROPOSED.

>> THE IMPACT WOULD BE SIGNIFICANT ON A COUPLE THINGS.

ONE, ON THE GRASS AREA, IN WILLARD PARK, BECAUSE AS WE PUSH OUT FORWARD, THE A.D.A. GETS EVEN LARGER.

BECAUSE OF THE DROP-OFF IN THAT AREA TO CREATE THE PATHWAY.

AND THEN IT'S, YOU KNOW, SO THAT'S ONE HUGE IMPACT.

WE HAVE HEARD THAT IMPACT FROM A LOT OF THE CONSTITUENTS HERE TONIGHT WHO ARE OPPOSING THE SIZE OF THE BUILDING THAT THEY DON'T WANT US TO TAKE UP ANY OPEN SPACE.

SO WE HAVE GONE TO GREAT LENGTHS TO REDUCE THAT POSSIBILITY.

SO IF THERE'S NO VARIANCE THAT'S A REAL POSSIBILITY AND WE TAKE UP THAT SPACE.

ON THE OTHER SIDE, I WILL LET MARK EXPLAIN WHY ANY REDUCTION IN THE BUILDING MAKES IT MORE AND MORE DIFFICULT TO BUILD OR ACCOMMODATE THE NUMBER OF CHILDREN WE NEED TO.

>> WE WENT THROUGH A CONCERTED PROGRAMMING EFFORT WITH THE STAFF THAT RUN CHILD CARE PROGRAMS FOR THE CITY.

TO DEVELOP A PLAN THAT WOULD HAVE THE FLEXIBILITY TO ALLOW THE PROGRAM TO BE ABLE TO SERVE MORE CHILDREN THAN IT CURRENTLY DOES.

IT CURRENTLY SERVES 35-45 KIDS.

BUT THEY DON'T FIT IN THAT ROOM.

THAT ONE ROOM HAS THE OFFICE IN IT.

IT HAS THE KITCHEN IN IT.

THE ALL IN ONE ROOM.

AND IT HAS ALL THE STORAGE IN IT.

SO BASICALLY WHAT WE DID IS WE CAME UP WITH A PROGRAM THAT HAD THREE ACTIVITY AREAS, TWO OF WHICH COULD BE COMBINED INTO A LARGER ONE, AN OFFICE, AN ENTRY LOBBY WHERE THE KIDS GET CHECKED IN AND OUT, THE REQUIRED BATHROOMS PER CODE.

THE REQUIRED SUPPORTS AND SOME STORAGE.

THE NOT AN EXTRAVAGANT PROGRAM.

AND THEN WE CUT ONE OF THOSE CLASSROOMS OUT.

SO WE ARE REALLY CUT AS FAR AS WE CAN BE IN TERMS OF MEETING THE NEEDS OF A PROGRAM THAT WILL SERVE NOT EVEN THAT MANY MORE

CHILDREN BUT MORE CHILDREN THAN IT CURRENTLY DOES, BASED ON THE INPUT FROM STAFF.

WE DON'T THINK REDUCING THE BUILDING FURTHER --

>> D. SANDERSON: I'M NOT SUGGESTING.

WE JUST MOVE FORWARD AND THERE'S THAT COMPLEXITY.

HAVING HEARD THAT, I WOULD SUGGEST WE DISCUSS THE MOTION THAT'S ON THE FLOOR, TABLE, WHATEVER IT'S ON.

AND NOT ASK THEM TO REDESIGN AND WE WILL DO THE BEST WE CAN ON THE FINDING ON THE VARIANCE.

BUT WE NEED TO MAKE A DECISION AND MOVE ON BECAUSE WE DO HAVE A LOT OF OTHER PROJECTS.

>> CHAIR DUFFY: THAT'S RIGHT.

IF THERE ARE NO MORE COMMENTS THEN WE WILL TAKE A VOTE.

OKAY, SEEING NONE.

WE ARE GOING TO VOTE ON THE MOTION PROPOSED BY IGOR TREGUB, WHICH HAD A VARIETY OF WELL-CRAFTED EDITS TO THE FINDINGS.

>> I. TREGUB: CAN I ASK TO THE CHAIR FOR STAFF TO RESTATE THE MOTION?

AND I AM FRIENDLY TO ALL OF THE SUGGESTIONS BY COMMISSIONER SANDERSON.



I THINK IT WOULD BE HELPFUL FOR ALL OF US TO READ THE MOTION AGAIN.

>> SURE.

THERE'S A MOTION BY COMMISSIONER TREGUB AND SECOND BY COMMISSIONER SANDERSON TO APPROVE 2720 HILLEGASS AVENUE.

INCORPORATING LPC RECOMMENDATIONS ON PAGE 11 OF THE STAFF REPORT, SPECIFICALLY ITEMS 1, 2 AND 6.

CONSIDER INCLUDING BIRD-SAFE GLASS MEASURES INCLUDING SCREENING.

IN ADDITION, COMMENTS ADDED TO FINDINGS A, PROTECTING OPEN SPACE IN RESPONSE TO PUBLIC COMMENT.

AND THE CONFIGURATION WOULD MAKE IT EASIER TO ACCOMMODATE DIFFERENT USES.

IN ADDITION, FINDING B, THE CONFIGURATION WOULD PROVIDE AN OPPORTUNITY AGAIN TO PROVIDE THE PUBLIC WITH A VARIETY OF DIFFERENT USES IN THE CLUBHOUSE CONSIDERING THAT THE PARK IS SMALL, IN COMPARISON TO THE NUMBER OF USES THAT ARE PROPOSED ON SITE.

IN ADDITION, THE CONFIGURATION WOULD REDUCE POTENTIAL CONFLICTS BETWEEN A.D.A. ACCESSIBILITY AND THE REDUCTION OF THE OPEN MEADOW SPACE.

>> CHAIR DUFFY: THANK YOU SO MUCH FOR THAT.

>> SURE, WHEN I CALL YOUR NAME, PLEASE STATE YOUR POSITION, YES,  
NO, ABSTAIN OR RECUSED.

>> COMMISSIONER TREGUB?

>> I. TREGUB: AYE.

>> CHAIRPERSON DUFFY?

>> CHAIR DUFFY: YES.

>> VICE CHAIR PERSON GAFFNEY?

>> VICE CHAIR K. GAFFNEY: YES.

>> COMMISSIONER THOMPSON?

>> M. THOMPSON: YES.

>> COMMISSIONER LUNAPARRA?

>> C. LUNAPARRA: YES.

>> COMMISSIONER O'KEEFE?

>> S. O'KEEFE: NO.

>> COMMISSIONER HAUSER?

>> S. HAUSER: YES.

>> COMMISSIONER YUNG?

>> B. YUNG: YES.

>> COMMISSIONER SANDERSON?

>> D. SANDERSON: YES.

>> THANK YOU, MOTION CARRIES.

>> CHAIR DUFFY: THANK YOU, AND THANK YOU FOR YOUR PATIENCE  
EVERYBODY.

YOU HAVE YOUR USE PERMIT AFTER NOTICE OF DECISION PENDING THE  
14-DAY APPEAL PERIOD.

Internal



Parks, Recreation and  
Waterfront Department

# Application for Administrative Use Permit And Use Permits/Variance

Willard Clubhouse and Restroom Replacement Project  
Zoning Project Submittal Requirements

Submittal Date:

June 9, 2022

Applicant:

City of Berkeley, Parks, Recreation and Waterfront Department  
1947 Center Street, Fifth Floor, Berkeley, CA 94704

Contact:

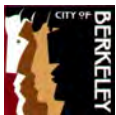
Wendy Wellbrock, Associate Civil Engineer  
wwellbrock@cityofberkeley.info; 510.981.6346

Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 1:

A. Zoning Project Application Form



Parks, Recreation and  
Waterfront Department



# Zoning Project Application

## Land Use / Zoning

Planning and  
Development

All new uses, structures, and modifications to structures in the City of Berkeley are required to be in conformance with the Zoning Ordinance.

Information on different types of permits can be found at the links below.

**Overview of the Permitting Process**  
[https://www.cityofberkeley.info/Planning\\_and\\_Development/Permit\\_Service\\_Center/Permitting\\_Process.aspx](https://www.cityofberkeley.info/Planning_and_Development/Permit_Service_Center/Permitting_Process.aspx)

**Types of Permits**  
[https://www.cityofberkeley.info/Planning\\_and\\_Development/Home/Types\\_of\\_Land\\_Use\\_Permits.aspx](https://www.cityofberkeley.info/Planning_and_Development/Home/Types_of_Land_Use_Permits.aspx)

**Zoning Project Submittal Requirements**  
<https://tinyurl.com/rahe8ld>

\*Dedicated Consultant Review involves a competitive bid process to select an outside consultant. Please note: The consultant costs are in addition to Use Permit fees already paid.

**Land Use / Zoning**  
1947 Center Street  
2nd Floor  
Berkeley, CA 94704  
Phone: 510-981-7410  
TDD: 510-981-7450  
[planning@cityofberkeley.info](mailto:planning@cityofberkeley.info)

(This box for staff use only.)	DATE STAMP HERE
ZP20 _____	
<input type="checkbox"/> Administrative Use Permit <input type="checkbox"/> Variance	
<input type="checkbox"/> Use Permit <input type="checkbox"/> Modification of any of the Above	
Zoning District(s): _____	
Intake Planner: _____	

**Project Information:**

Project Address: 2720 Hillegass Avenue, Berkeley, CA 94705    Unit/Suite #: \_\_\_\_\_  
Assessor Parcel Number: 54-1711-27

**Project Description:** \_\_\_\_\_

Replacement of Willard Park Clubhouse located at the south east corner of Willard Park in Berkeley, CA.

The work includes demolition of the existing, single-story, 565 sf clubhouse plus the 486 sf trellis and 114 sf restroom and construction of a new, single-story, 4,200 sf, wood-framed multi-purpose community building and a 200 sf stand-alone restroom, including building envelope, interior partitions, casework and finishes, as well as mechanical, electrical, plumbing and fire protection systems.

**Dedicated Consultant Review\* requested for UP(PH)?**  (Check box if requested)

**Property Owner's Name:** City of Berkeley  
**Owner's Mailing Address:** 1947 Center Street, 5th Floor, Berkeley, CA 94704  
**Phone #:** 510-981-6346  
**Email:** wwellbrock@cityofberkeley.info

**Applicant's Name (or enter "same"):** Wendy Wellbrock  
**Applicant's Mailing Address:** 1947 Center Street, 5th Floor, Berkeley, CA 94704  
**Phone #:** 510-981-6346  
**Email:** wwellbrock@cityofberkeley.info

Under penalty of perjury, I certify that:  
**(1) the application materials are true and complete to the best of my knowledge;**  
**(2) the attached paper and electronic copies of this application are the same; and**  
**(3) I agree to pay all expenses associated with this application.**  
(\*Owner's signature, or signed letter authorizing applicant to apply on owner's behalf, is required for all applications)

<b>Applicant Signature:</b> 	<b>Owner Signature:</b> 
<b>Printed Name:</b> <u>Wendy Wellbrock</u>	<b>Printed Name:</b> <u>Wendy Wellbrock</u>
<b>Date:</b> <u>06/09/2022</u>	<b>Date:</b> <u>06/09/2022</u>

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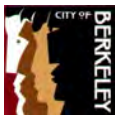
<b>Zoning District(s):</b>	
<b>Zoning Section</b>	<b>Description</b>
1. 23___._____.	UP/AUP to
2. 23___._____.	UP/AUP to
3. 23___._____.	UP/AUP to
4. 23___._____.	UP/AUP to
5. 23___._____.	UP/AUP to
6. 23___._____.	UP/AUP to
7. 23___._____.	UP/AUP to
8. 23___._____.	UP/AUP to
9. 23___._____.	UP/AUP to
10. 23___._____.	UP/AUP to

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Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 1:

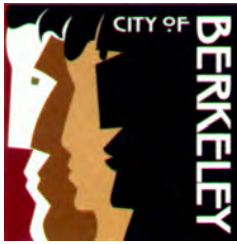
B. Applicant Statement



Parks, Recreation and  
Waterfront Department



Internal



Parks, Recreation and  
Waterfront Department

## Applicant Statement

### Application for Use Permit, Administrative Use Permit, and Variance Willard Clubhouse and Restroom Replacement Project

The proposed Willard Clubhouse and Restroom Replacement Project would replace an existing community recreation clubhouse, approximately 565 square feet in size, and an existing public restroom, approximately 114 square feet in size, with a new 4,195 square feet community center and a 197 square feet public restroom.

The Use Permit specifically applies to the following project elements: demolition of an existing 565 square feet non-residential building, construction of a new 4,195 square feet community center, and a variance to construct the new community center 16 feet from the rear property line where a minimum setback of 20 feet is required.

The Administrative Use Permit specifically applies to the following project elements: proposed fence modifications and construction of an accessory public restroom structure.

The current building in its condition is difficult to maintain and needs various upgrades and facility improvements to be able to meet current building codes and the City's sustainability and resiliency goals. Additionally, the current building limits the programming that can be offered at the site. A new, larger facility will support a multitude of programming options to activate the entire park and foster positive community engagements. The Department of Parks, Recreation & Waterfront could also provide a more stable and reliable childcare option for participating and waitlisted families. The needs of the community are continually changing, and a new, more flexible building will be able to sustain the City's ability to offer programs for the Berkeley community.

A proposed 6' tall fence along the southern (rear) property line would be installed above a retaining wall that will vary in height. The wall will retain a slope that varies on the adjacent property, and the maximum combined height of fence plus retaining wall is 10'-5.5".

The existing public restroom is located to the east of the Clubhouse along Hillegass Avenue. It is a single-stall restroom with an open roof. It does not have a door, but a chain that people can use for privacy and to indicate that the restroom is in use. Additionally, there is a gate to lock the restroom during non-park hours. City recreation staff and the community has strongly expressed that the public restrooms be

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Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

relocated to a different area of the park. To promote safety and sanitation for families and park users, the proposed restroom will be fully accessible with two unisex stalls and doors that can automatically lock during off-hours. The proposed location of the public restroom is tucked between the tennis courts and a gently sloping lawn where it is still visible to the general public, centrally located within the park, and easily accessible for cleaning and maintenance.

The City is requesting a Variance for the Rear Yard Setback for this project. There are exceptional circumstances which do not apply generally in the same district.

Willard Park is the only City park in District 7 and Willard Clubhouse is the only community center serving Districts 7 and 8. It has long been a staple of Berkeley's after-school and summer day camp programs. Each program serves a maximum of 45 elementary school aged children, and enrollment for programs quickly reaches the maximum capacity every year with a typical waitlist of approximately 25 children. Occupancy of the existing clubhouse is limited, therefore in order to accommodate 45 children, staff makes use of the adjacent patio, as well as the outside open lawn area. A new community center will meet the needs of the current programs and allow the City to expand opportunities to accommodate families who need affordable and quality childcare and recreation programs.

The Variance is requested to preserve public open space at the park. The most widely expressed concern from the community is losing any substantial amount of the large open lawn area in the park. Shifting the building south would preserve the maximum amount of open lawn area while maintaining an adequate space for programmatic use in the rear yard and space between the new building and adjacent properties.

Reducing the rear yard setback from 20' to 16' will not impinge on the neighboring properties. The proposed building is one-story, set at a level several feet lower than the adjacent 2-story buildings to the south, so the occupants of the new building would not look into the neighboring windows. Furthermore, the proposed building is located directly north of the adjacent properties, so shadows will be cast in directions going away from the adjacent properties and will not increase shading.

Willard Park is home to a large number of heritage trees which are both tall and widespread, and these have become the foreground views of the existing homes. The sunset views from Willard Park are to the northwest and best viewed from the center of the open lawn area, which will not be impacted by the project.

The proposed project will promote municipal health and welfare opportunities more equitably around the City and benefit the City and its residents as a whole.



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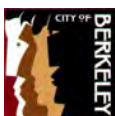
Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 1:

C. Fees

After the appropriate fees have been calculated, an adjustment journal can be processed by our administrative staff.

Please contact Wendy Wellbrock ([wwellbrock@cityofberkeley.info](mailto:wwellbrock@cityofberkeley.info) Ext. 6346) once the fees have been calculated and I will have an adjustment journal processed.



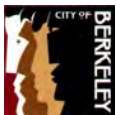
Parks, Recreation and  
Waterfront Department

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Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 1:

D. Hazardous Waste and Substances Statement



Parks, Recreation and  
Waterfront Department



# PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704  
Tel: 510.981.7410 TDD: 510.981.7474 Email: [Planning@cityofberkeley.info](mailto:Planning@cityofberkeley.info)

## HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to the Permit Streamlining Act (PSA), a development permit application may not be accepted as complete unless and until the applicant has submitted a signed statement indicating whether the proposed project site or any alternative site(s) is on the lists of hazardous waste sites compiled pursuant to Government Code Section [65962.5](#) by the California Secretary for Environmental Protection.

Data lists / maps are available at the following websites (check multiple lists and categories):

<http://www.calepa.ca.gov/SiteCleanup/CorteseList/>

<https://www.envirostor.dtsc.ca.gov/public/>

### Applicant's Information:

Name: Wendy Wellbrock

Street Address: 1947 Center Street, 5th Floor

City, State, Zip Code: Berkeley, CA 94704

Phone Number: 510-981-6346 Email: wwellbrock@cityofberkeley.info

### Project Information:

Address: 2720 Hillegass Avenue

City, State, Zip Code: Berkeley, CA 94705

Assessor's book, page, and parcel number: 54-1711-27

### Specify any list that the site appears on:

N/A

Regulatory identification number: \_\_\_\_\_

Date of list: \_\_\_\_\_

### Site Use (if known):

Past: Park clubhouse Present: Park clubhouse

Proposed: Park clubhouse

### Submittals (check all that are available):

Phase I Report  Phase II Report  Closure Letter  Other: \_\_\_\_\_

### Applicant's verification:

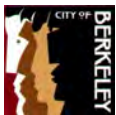
Signature:  Date: 06/09/2022

Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 1:

E. Tabulation Form



Parks, Recreation and  
Waterfront Department



# PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704  
 Tel: 510.981.7410 TDD: 510.981.6903 Email: Planning@CityofBerkeley.info

## TABULATION FORM

Project Address: \_\_\_\_\_ Date: \_\_\_\_\_

Applicant's Name: \_\_\_\_\_

Zoning District: \_\_\_\_\_

Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required<sup>1</sup></i>
<b>Units, Parking Spaces &amp; Bedrooms</b>			
Number of Dwelling Units (#)			
Number of Parking Spaces (#)			
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)			
<b>Yards and Height</b>			
Front Yard Setback (Feet)			
Side Yard Setbacks: (facing property)			
Left: (Feet)			
Right: (Feet)			
Rear Yard Setback (Feet)			
Building Height* (# Stories)			
Average* (Feet)			
Maximum* (Feet)			
<b>Areas</b>			
Lot Area (Square-Feet)		118,500	
Gross Floor Area* (Square-Feet)			
Total Area Covered by All Floors			
Building Footprint* (Square-Feet)			
Total of All Structures			
Lot Coverage* (%) Residential only (Building Footprint/Lot Area)			
Useable Open Space* (Square-Feet)			
Floor Area Ratio* Non-Residential only (Except ES-R)			

\*See Definitions – Zoning Ordinance Title 23F.

Revised: 11/19

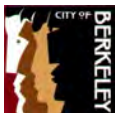
<sup>1</sup> See development standards for your Zoning District, per the Berkeley Municipal Code, Sub-Titles 23D and 23E  
 g:\landuse\forms & instructions\land use planning forms\word files\forms\_zoning project application\zoning project application\_tabulation form.docx

Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 1:

F. Pre-Application Yellow Poster



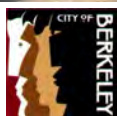
Parks, Recreation and  
Waterfront Department



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Hillegass Avenue

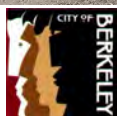


Parks, Recreation and  
Waterfront Department

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Derby Street



Parks, Recreation and  
Waterfront Department

Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 1:

G. Pre-Application Contact for any Project of Community or Neighborhood Interest

Five community meetings were held for this project.

On October 2, 2019, staff and the design team hosted the first community design workshop at the Willard Clubhouse to gather comments and public input. The workshop was split into two sessions – the first session focused on the afterschool care program, and the second session was an open community meeting. Both sessions were open to the public. The workshop format allowed anyone who attended to have an opportunity to participate, engage and voice their opinions.

Following the first community workshop, the plan was to hold the second community workshop on March 21, 2020 and present three emerging conceptual design options. The plan also included conducting an online survey following the community workshop to generate additional feedback and allow those not able to attend the in-person meeting an opportunity to provide input. Due to the COVID-19 (Coronavirus) global pandemic, all public in-person meetings were cancelled and residents were directed to shelter-in-place by order of the City of Berkeley Public Health Officer.

The project team quickly switched to remote engagement and utilized digital, phone-in, or mail-in input. The consultant team developed a digital presentation including: images of the site, explanation of current uses, proposed new and additional uses, discussion about the public process to date, questions to determine how respondents currently use the park and/or clubhouse and how they might use it with a new clubhouse. The presentation included three conceptual design options with questions to gather input on each one, and finally images of possible landscape features along with questions for feedback. An online survey was conducted from May 28, 2020 through June 22, 2020 and a total of 59 responses were received.

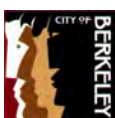
On July 1, 2021, a virtual community workshop was held to present the results of the survey and feedback received thus far on the conceptual design options.

On August 14, 2021, staff and the design team hosted the third community meeting at Willard Park to present modified conceptual design options for the new Clubhouse and public restrooms based on feedback received. A draft tree plan for the entire Willard Park, prepared by the City of Berkeley Urban Forestry staff, was also presented.

On August 19, 2021, a virtual community meeting was held in order to accommodate individuals not comfortable with an in-person meeting. The same material from the August 14<sup>th</sup> meeting was presented.

On October 28, 2021, the fifth and last community meeting was held to present the final conceptual design for the new Clubhouse and public restrooms.

For each of these meetings, an announcement flyer was mailed to residences within 1000 feet of Willard Park at least 3 weeks in advance of the meeting, as well as being posted in several locations at Willard Park. The mailing list is attached. The flyers and presentations for all of the community meetings can be provided upon request. The meeting announcement was also posted online on the City's events



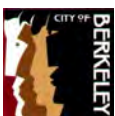
Parks, Recreation and  
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calendar and Measure T1 updates webpage, on the Berkeleyside calendar, and also emailed to residents who requested to be added to the project interest list.

The mailing list is attached. Flyers, presentations and meeting notes for all of the community meetings are available upon request.



Parks, Recreation and  
Waterfront Department

WILLARD CLUBHOUSE AND RESTROOM REPLACEMENT PROJECT MAILING LIST

Addressee	FullAddress	City	ZipCode
OWNER/OCCUPANT	2442 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2900 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2906 HILLEGASS AVE A	BERKELEY CA	94705
OWNER/OCCUPANT	2906 HILLEGASS AVE B	BERKELEY CA	94705
OWNER/OCCUPANT	2908 HILLEGASS AVE C	BERKELEY CA	94705
OWNER/OCCUPANT	2510 RUSSELL ST 1	BERKELEY CA	94705
OWNER/OCCUPANT	2510 RUSSELL ST 2	BERKELEY CA	94705
OWNER/OCCUPANT	2901 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2902 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2520 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2905 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2906 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2510 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2512 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	1826 KIRKHAM ST	SAN FRANCISCO CA	94122
OWNER/OCCUPANT	5561 HARBORD DR	OAKLAND CA	94618
OWNER/OCCUPANT	2901 HILLEGASS AVE 3	BERKELEY CA	94705
OWNER/OCCUPANT	2901 HILLEGASS AVE 4	BERKELEY CA	94705
OWNER/OCCUPANT	2904 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2945 ASHBY AVE	BERKELEY CA	94705
OWNER/OCCUPANT	PO BOX 3508	OAKLAND CA	94609
OWNER/OCCUPANT	2612 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2610 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2907 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2616 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2902 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2210 JACKSON ST 801	SAN FRANCISCO CA	94115
OWNER/OCCUPANT	2638 RUSSELL ST 2	BERKELEY CA	94705
OWNER/OCCUPANT	1271 SPRUCE ST	BERKELEY CA	94709
OWNER/OCCUPANT	2638 RUSSELL ST 4	BERKELEY CA	94705
OWNER/OCCUPANT	2901 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2707 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2711 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	1749 M L KING JR WAY	BERKELEY CA	94709
OWNER/OCCUPANT	5215 MASONIC AVE	OAKLAND CA	94618
OWNER/OCCUPANT	423 7TH ST 420	OAKLAND CA	94607
OWNER/OCCUPANT	2710 GARBER ST	BERKELEY CA	94705
OWNER/OCCUPANT	2712 GARBER ST	BERKELEY CA	94705
OWNER/OCCUPANT	P O BOX 5141	BERKELEY CA	94705
OWNER/OCCUPANT	2751 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2718 GARBER ST	BERKELEY CA	94705
OWNER/OCCUPANT	2715 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2719 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	244 ALVARADO RD	BERKELEY CA	94705

OWNER/OCCUPANT	343 SANSOME ST 1500	SAN FRANCISCO CA	94104
OWNER/OCCUPANT	2806 CHERRY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2809A COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2821 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	427 WESTERN DR	POINT RICHMOND CA	94801
OWNER/OCCUPANT	2737 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2810 CHERRY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2804 CHERRY ST	BERKELEY CA	94705
OWNER/OCCUPANT	601 CALIFORNIA ST 1500	SAN FRANCISCO CA	94108
OWNER/OCCUPANT	2811 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	1901 HARRISON ST 1100	OAKLAND CA	94612
OWNER/OCCUPANT	2706 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2802 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2638 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2640 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2816 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2818 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2804 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2801 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2636 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2829 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	123 CRESCENT AVE	SALUSALITO CA	94965
OWNER/OCCUPANT	2824 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2835 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2819 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2550 DANA ST 8D	BERKELEY CA	94704
OWNER/OCCUPANT	2240 BLAKE ST 99	BERKELEY CA	94704
OWNER/OCCUPANT	2815 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2810 COLLEGE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	3019 PINE ST	SN FRANCISCO CA	94115
OWNER/OCCUPANT	2805 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2831 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2635 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2639 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2929 AVALON AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2833 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2649 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2823 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2811 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2648 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	6401 BENVENUE AVE	OAKLAND CA	94618
OWNER/OCCUPANT	252 MANZANITA DR	ORINDA CA	94563
OWNER/OCCUPANT	30 HALKIN LN	BERKELEY CA	94708
OWNER/OCCUPANT	2829 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2828 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2822 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2803 HILLEGASS AVE	BERKELEY CA	94705

OWNER/OCCUPANT	2824 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2838 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2615 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2835 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2804 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2601 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2830 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2811 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2115 SHATTUCK AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2606 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2614 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2832 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	5434 RIVER RD N 106	KEIZER OR	97303
OWNER/OCCUPANT	P.O. BOX 5832	BERKELEY CA	94705
OWNER/OCCUPANT	2825 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2833 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2827 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	3305 GRAY MARE WAY	ANTELOPE CA	95843
OWNER/OCCUPANT	2804 HILLEGASS AVE 1	BERKELEY CA	94705
OWNER/OCCUPANT	2357 GLENDON AVE	LOS ANGELES CA	90064
OWNER/OCCUPANT	2804 HILLEGASS AVE 3	BERKELEY CA	94705
OWNER/OCCUPANT	2815 REGENT ST 1	BERKELEY CA	94705
OWNER/OCCUPANT	2815 REGENT ST 2	BERKELEY CA	94705
OWNER/OCCUPANT	7 MAPLE AVE	ATHERTON CA	94027
OWNER/OCCUPANT	972 EUCLID AVE	BERKELEY CA	94708
OWNER/OCCUPANT	2822 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	PO BOX 5489	BERKELEY CA	94705
OWNER/OCCUPANT	2808 HILLEGAS AVE A2	BERKELEY CA	94705
OWNER/OCCUPANT	2808 HILLEGASS AVE A4	BERKELEY CA	94705
OWNER/OCCUPANT	2808 HILLEGASS AVE 5	BERKELEY CA	94705
OWNER/OCCUPANT	2812 HILLEGASS AVE B1	BERKELEY CA	94705
OWNER/OCCUPANT	12829 ROSE AVE	LOS ANGELES CA	90066
OWNER/OCCUPANT	2814 HILLEGASS AVE C1	BERKELEY CA	94705
OWNER/OCCUPANT	2814 HILLEGASS AVE C2	BERKELEY CA	94705
OWNER/OCCUPANT	2814 HILLEGASS AVE C3	BERKELEY CA	94705
OWNER/OCCUPANT	2804 HILLEGASS AVE B	BERKELEY CA	94705
OWNER/OCCUPANT	2829 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2811 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2510 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2803 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2821 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2816 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2837 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2515 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2842 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2817 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2827 REGENT ST	BERKELEY CA	94705

OWNER/OCCUPANT	2828 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2505 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2800 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	73 MAPLE LEAF WAY	ATHERTON CA	94027
OWNER/OCCUPANT	2830 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2807 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2845 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2841 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2834 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2833 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2421 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	2418 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2422 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2436 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2406 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2342 SHATTUCK AVE 800	BERKELEY CA	94705
OWNER/OCCUPANT	19 DUNFIRTH DR	HAYWARD CA	94542
OWNER/OCCUPANT	2342 SHATTUCK AVE	BERKELEY CA	94704
OWNER/OCCUPANT	5580 FERNSHOF RD	OAKLAND CA	94619
OWNER/OCCUPANT	2813 TELEGRAPH AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2428 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2434 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2419 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	2812 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2433 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	2435 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	6640 THORNHILL DR	OAKLAND CA	94611
OWNER/OCCUPANT	215 PACIFIC AVE	PIEDMONT CA	94611
OWNER/OCCUPANT	2808 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	1196 MONTICELLO RD	LAFAYETTE CA	94549
OWNER/OCCUPANT	1085 SPRUCE ST	BERKELEY CA	94707
OWNER/OCCUPANT	2440 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2800 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2416 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2221 WOOLSEY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2439 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	2820 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2425 OREGON ST	BERKELEY CA	94705
OWNER/OCCUPANT	5247 ADRIAN ORCHARD DR	INDIANAPOLIS IN	46217
OWNER/OCCUPANT	1008 ORDWAY ST	ALBANY CA	94706
OWNER/OCCUPANT	2415 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2417 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	2419 RUSSELL ST 5	BERKELEY CA	94705
OWNER/OCCUPANT	2425 RUSSELL ST 6	BERKELEY CA	94705
OWNER/OCCUPANT	2427 RUSSELL ST	BERKELEY CA	94705
OWNER/OCCUPANT	3280 SAWTELLE BLVD 207	LOS ANGELES CA	90066
OWNER/OCCUPANT	14949 SOBEY RD	SARATOGA CA	95070

OWNER/OCCUPANT	910 DIAS DR	CHICO CA	95926	OWNER/OCCUPANT	2344 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2421 RUSSELL ST 10	BERKELEY CA	94705	OWNER/OCCUPANT	2715 DANA ST	BERKELEY CA	94705
OWNER/OCCUPANT	2447 RUSSELL ST A	BERKELEY CA	94705	OWNER/OCCUPANT	6224 AUBURN AVE	OAKLAND CA	94618
OWNER/OCCUPANT	2432 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2711 DANA ST	BERKELEY CA	94705
OWNER/OCCUPANT	2828 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	P O BOX 191232	SAN FRANCISCO CA	94119
OWNER/OCCUPANT	2424 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2707 DANA ST	BERKELEY CA	94705
OWNER/OCCUPANT	2422 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2706 TELEGRAPH AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2436 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2718 TELEGRAPH AVE 208	BERKELEY CA	94705
OWNER/OCCUPANT	2440 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2709 DANA ST	BERKELEY CA	94705
OWNER/OCCUPANT	2840 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	2404 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2836 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	5663 FLORENCE TER	OAKLAND CA	94611
OWNER/OCCUPANT	2435 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2134 M L KING JR WAY	BERKELEY CA	94704
OWNER/OCCUPANT	2439 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	22 PURCELL DR	ALAMEDA CA	94502
OWNER/OCCUPANT	2441 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	PO BOX 5832	BERKELEY CA	94705
OWNER/OCCUPANT	2445 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2180 MILLVIA ST	BERKELEY CA	94704
OWNER/OCCUPANT	1400 SHATTUCK AVE 8	BERKELEY CA	94709	OWNER/OCCUPANT	108 ARLENE DR	WALNUT CREEK CA	94595
OWNER/OCCUPANT	2428 OREGON ST	BERKELEY CA	94705	OWNER/OCCUPANT	2731 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	131 RAMONA AVE	PIEDMONT CA	94611	OWNER/OCCUPANT	1441 CAMINO ROBLES WAY	SAN JOSE CA	95120
OWNER/OCCUPANT	2830 REGENT ST	BERKELEY CA	94705	OWNER/OCCUPANT	11 SWIFT CT	ALAMEDA CA	94502
OWNER/OCCUPANT	2449 RUSSELL ST	BERKELEY CA	94705	OWNER/OCCUPANT	2740 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	1304 SOUTH POINT DR 250	PETALUMA CA	94954	OWNER/OCCUPANT	300 CHARLES ST	LOS GATOS CA	95032
OWNER/OCCUPANT	PO BOX 19306	ENCINO CA	91416	OWNER/OCCUPANT	2747 REGENT ST	BERKELEY CA	94705
OWNER/OCCUPANT	2334 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2509 STUART ST	BERKELEY CA	94705
OWNER/OCCUPANT	2800 TELEGRAPH AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2701 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2828 TELEGRAPH AVE	BERKELEY CA	94705	OWNER/OCCUPANT	1544 OLYMPUS AVE	BERKELEY CA	94708
OWNER/OCCUPANT	1600 SHATTUCK AVE 106	BERKELEY CA	94709	OWNER/OCCUPANT	2060 UNION ST 7	SAN FRANCISCO CA	94123
OWNER/OCCUPANT	28655 VIA CASILINA PKWY	ESCALON CA	95320	OWNER/OCCUPANT	2712 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2801 SHATTUCK AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2714 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	330 RIVERA ST	SAN FRANCISCO CA	94116	OWNER/OCCUPANT	2716 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2347 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2721 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	1555 MARIN AVE	ALBANY CA	94706	OWNER/OCCUPANT	1325 ARCH ST	BERKELEY CA	94708
OWNER/OCCUPANT	2345 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2708 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2341 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2731 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	PO BOX 5657	BERKELEY CA	94705	OWNER/OCCUPANT	2615 STUART ST 6	BERKELEY CA	94705
OWNER/OCCUPANT	11339 EASTBROOK AVE	LOS ALTOS CA	94024	OWNER/OCCUPANT	2747 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2339 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2734 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2343 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2738 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2331 WARD ST	BERKELEY CA	94705	OWNER/OCCUPANT	251 EMBARCADERO RD	PALO ALTO CA	94301
OWNER/OCCUPANT	2703 S HOOVER ST	LOS ANGELES CA	90007	OWNER/OCCUPANT	2717 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2340 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	2707 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2702 DANA ST	BERKELEY CA	94705	OWNER/OCCUPANT	241 ARROWHEAD WAY	HAYWARD CA	94544
OWNER/OCCUPANT	2337 WARD ST	BERKELEY CA	94705	OWNER/OCCUPANT	2715 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2333 WARD ST	BERKELEY CA	94705	OWNER/OCCUPANT	2610 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	5464 COLLEGE AVE A	OAKLAND CA	94618	OWNER/OCCUPANT	2742 BENVENUE AVE	BERKELEY CA	94705
OWNER/OCCUPANT	243 COLLUSA AVE	KENSINGTON CA	94707	OWNER/OCCUPANT	2735 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2714 DANA ST	BERKELEY CA	94705	OWNER/OCCUPANT	2725 HILLEGASS AVE	BERKELEY CA	94705
OWNER/OCCUPANT	2712 DANA ST	BERKELEY CA	94705	OWNER/OCCUPANT	2710 BENVENUE AVE A	BERKELEY CA	94705

OWNER/OCCUPANT	2705 HILLEGAS AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2629 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2704 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	3282 GREENHILLS DR	LAFAYETTE CA	94549
OWNER/OCCUPANT	2700 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 306	BERKELEY CA	94704
OWNER/OCCUPANT	2608 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	213 W NORTHVIEW RD	ITHACA NY	14850
OWNER/OCCUPANT	PO BOX 1475	MILLBRAE CA	94030	OWNER/OCCUPANT	2601 COLLEGE AVE 308	BERKELEY CA	94704
OWNER/OCCUPANT	2914 PIEDMONT AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 309	BERKELEY CA	94704
OWNER/OCCUPANT	2732 COLLEGE AVE 2	BERKELEY CA	94705	OWNER/OCCUPANT	121 BISCAWAY BAY	ALAMEDA CA	94502
OWNER/OCCUPANT	9717 BRIARCLIFFE LN	ELICOTT CITY MD	21042	OWNER/OCCUPANT	1943 ROSECREST DR	OAKLAND CA	94602
OWNER/OCCUPANT	480 3RD ST	OAKLAND CA	94607	OWNER/OCCUPANT	259 EATON RD	SAN MATEO CA	94402
OWNER/OCCUPANT	2647 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 301	BERKELEY CA	94704
OWNER/OCCUPANT	2746 COLLEGE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	60 FERNWOOD DR	SAN FRANCISCO CA	94127
OWNER/OCCUPANT	2641 STUART ST	BERKELEY CA	94705	OWNER/OCCUPANT	16024 TEMECULA ST	PACIFIC PALISADES CA	90272
OWNER/OCCUPANT	1683 SHATTUCK AVE A	BERKELEY CA	94709	OWNER/OCCUPANT	4692 SANTORINI DR	CYRESS CA	90630
OWNER/OCCUPANT	2723 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2316 TIPPERARY AVE	SOUTH SAN FRANCISCO CA	94080
OWNER/OCCUPANT	5217 BRISTOL PL	NEWARK CA	94560	OWNER/OCCUPANT	32 OAK TREE LN	FAIRFAX CA	94930
OWNER/OCCUPANT	1880 MISSION ST E	SAN FRANCISCO CA	94103	OWNER/OCCUPANT	2030 33RD AVE	SAN FRANCISCO CA	94116
OWNER/OCCUPANT	106 JANIE CT	EL CERRITO CA	94530	OWNER/OCCUPANT	995 CAMERON CIR	MILPITAS CA	95035
OWNER/OCCUPANT	4110 EL NIDO RANCH RD	LAFAYETTE CA	94549	OWNER/OCCUPANT	2246 MAGNIDIA BRIDGE DR	SAN RAMON CA	94582
OWNER/OCCUPANT	2278 SHATTUCK AVE	BERKELEY CA	94704	OWNER/OCCUPANT	15752 KAVIN LN	LOS GATOS CA	95030
OWNER/OCCUPANT	13003 NEPTUNE DR	SAN LEANDRO CA	94577	OWNER/OCCUPANT	2601 COLLEGE AVE 211	BERKELEY CA	94704
OWNER/OCCUPANT	2717 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 112	BERKELEY CA	94704
OWNER/OCCUPANT	2733 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	24743 OLIVE TREE LN	LOS ALTOS HILLS CA	94024
OWNER/OCCUPANT	252 GRAVATT DR	BERKELEY CA	94705	OWNER/OCCUPANT	910 BEACON ST 3	BOSTON MA	2215
OWNER/OCCUPANT	2107 DWIGHT WAY 102	BERKELEY CA	94704	OWNER/OCCUPANT	2601 COLLEGE AVE 203	BERKELEY CA	94704
OWNER/OCCUPANT	2709 BENVENUE AVE A	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 204	BERKELEY CA	94704
OWNER/OCCUPANT	2705 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2940 CHURCHILL DR	HILLSBOROUGH CA	94010
OWNER/OCCUPANT	2731 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	950 KENSINGTON DR	FREMONT CA	94539
OWNER/OCCUPANT	2727 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 107	BERKELEY CA	94704
OWNER/OCCUPANT	2700 COLLEGE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	6831 STEAMBOAT WAY	SACRAMENTO CA	95831
OWNER/OCCUPANT	P O BOX 5945	BERKELEY CA	94705	OWNER/OCCUPANT	2601 COLLEGE AVE 109	BERKELEY CA	94704
OWNER/OCCUPANT	2626 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	1411 BIRCHWOOD LN	SACRAMENTO CA	95822
OWNER/OCCUPANT	2640 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	10028 LUBAO AVE	CHATSWORTH CA	91311
OWNER/OCCUPANT	PO BOX 551	LAFAYETTE CA	94549	OWNER/OCCUPANT	2601 COLLEGE AVE 101	BERKELEY CA	94704
OWNER/OCCUPANT	2701 BENVENUE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	760 PICO AVE	SAN MATEO CA	94403
OWNER/OCCUPANT	966 SAN PABLO AVE	ALBANY CA	94706	OWNER/OCCUPANT	10580 GUIBAL AVE	GILROY CA	95020
OWNER/OCCUPANT	3132 COLLEGE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	477 41ST AVE	SAN FRANCISCO CA	94121
OWNER/OCCUPANT	718 MORNINGHOME RD	DANVILLE CA	94526	OWNER/OCCUPANT	1128 BERNAL AVE	BURLINGAME CA	94010
OWNER/OCCUPANT	PO BOX 4260	BERKELEY CA	94704	OWNER/OCCUPANT	1618 ASHBY AVE	BERKELEY CA	94703
OWNER/OCCUPANT	1071 BEL MARIN KEYS BLVD	NOVATO CA	94949	OWNER/OCCUPANT	PO BOX 11238	OAKLAND CA	94611
OWNER/OCCUPANT	2720 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	12405 VENICE BLVD 270	LOS ANGELES CA	90066
OWNER/OCCUPANT	1874 HANNIBAL DR	LAFAYETTE CA	94549	OWNER/OCCUPANT	2713 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	220 ROCKRIDGE RD	HILLSBOROUGH CA	94010	OWNER/OCCUPANT	1020 MERCED ST	BERKELEY CA	94707
OWNER/OCCUPANT	1100 SAN PABLO AVE 404	ALBANY CA	94706	OWNER/OCCUPANT	PO BOX 12301	BERKELEY CA	94712
OWNER/OCCUPANT	2717 FOREST AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2641A COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	3 STEVENS PL	SAN RAFAEL CA	94901	OWNER/OCCUPANT	2907 GLEN CRAIG CT	SAN JOSE CA	95148
OWNER/OCCUPANT	2727 COLLEGE AVE	BERKELEY CA	94705	OWNER/OCCUPANT	2625 ALCATRAZ AVE 285	BERKELEY CA	94705
OWNER/OCCUPANT	2627 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	13044 BROADWAY TER	OAKLAND CA	94611

OWNER/OCCUPANT	8 CORLISS DR	MORAGA CA	94556	OWNER/OCCUPANT	833 CAMINO RICARDO	MORAGA CA	94556
OWNER/OCCUPANT	2719 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	1909 MISSION ST 103	SAN FRANCISCO CA	94103
OWNER/OCCUPANT	2137 OAK CREST DR	RIVERSIDE CA	92506	OWNER/OCCUPANT	2607 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	PO BOX 60176	PALO ALTO CA	94306	OWNER/OCCUPANT	2649 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	PO BOX 37000	SAN FRANCISCO CA	94137	OWNER/OCCUPANT	497 PACIFIC ST 1B	BROOKLYN NY	11217
OWNER/OCCUPANT	2638 ETNA ST	BERKELEY CA	94704	OWNER/OCCUPANT	1715 SOLANO AVE A	BERKELEY CA	94707
OWNER/OCCUPANT	2619 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2616 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2406 GRANT ST	BERKELEY CA	94703	OWNER/OCCUPANT	700 N VALLEY ST STE B #22	ANAHEIM CA	92801
OWNER/OCCUPANT	3739 BALBOA ST 116	SAN FRANCISCO CA	94121	OWNER/OCCUPANT	2640 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	PO BOX 13059	OAKLAND CA	94661	OWNER/OCCUPANT	2638 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2647 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	2640 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2667 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	2644 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2645 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	334 KAI MALU PL	WAILAIE HI	96753
OWNER/OCCUPANT	2598 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	385 BELLEVUE AVE	OAKLAND CA	94610
OWNER/OCCUPANT	2140 SHATTUCK AVE 1105	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2628 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	15365 VILLA CABALLERO 1	LOS GATOS CA	95030
OWNER/OCCUPANT	4110 COCHRAN CHAPEL RD	DALLAS TX	75209	OWNER/OCCUPANT	2650 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2626 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2630 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	654 HIGHLAND AVE	SANTA CRUZ CA	95060	OWNER/OCCUPANT	2603 HILLEGASS AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2347 MAGNOLIA BRIDGE DR	SAN RAMON CA	94582	OWNER/OCCUPANT	2612 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2617 E WESTCHESTER DR	CHANDLER AZ	85249	OWNER/OCCUPANT	2614 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2680 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	2626 BENVENUE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	151 EL CAMINO REAL 216	MILLBRAE CA	94030	OWNER/OCCUPANT	2626 BENVENUE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2611 BENVENUE 2	BERKELEY CA	94704	OWNER/OCCUPANT	28351 RANCHO DE LINDA	LAGUNA NIGUEL CA	92677
OWNER/OCCUPANT	PO BOX 12381	ASPEN CO	81612	OWNER/OCCUPANT	995 COBBLE SHORES DR	SACRAMENTO CA	95831
OWNER/OCCUPANT	2611 BENVENUE AVE 4	BERKELEY CA	94704	OWNER/OCCUPANT	70 YERBA BUENA AVE	SAN FRANCISCO CA	94127
OWNER/OCCUPANT	2623 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	PO BOX 5793	BERKELEY CA	94705
OWNER/OCCUPANT	2623 BENVENUE AVE B	BERKELEY CA	94704	OWNER/OCCUPANT	2626 B BENVENUE	BERKELEY CA	94704
OWNER/OCCUPANT	11 MURASAKI ST	IRVINE CA	92617	OWNER/OCCUPANT	2640 BENVENUE AVE D	BERKELEY CA	94704
OWNER/OCCUPANT	2621 BENVENUE AVE B	BERKELEY CA	94704	OWNER/OCCUPANT	2638 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2615 BENVENUE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2628 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2615 BENVENUE AVE 2	BERKELEY CA	94704	OWNER/OCCUPANT	2628a BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2170 JACKSON ST	SAN FRANCISCO CA	94115	OWNER/OCCUPANT	2628 BENVENUE AVE B	BERKELEY CA	94704
OWNER/OCCUPANT	2603 BENVENUE AVE 1	BERKELEY CA	94704	OWNER/OCCUPANT	15 HILLCREST CT	BERKELEY CA	94705
OWNER/OCCUPANT	13389 HAMMONS AVE	SARATOGA CA	95070	OWNER/OCCUPANT	2601 HILLEGASS AVE	BERKELEY CA	94704
OWNER/OCCUPANT	18 DOVE MANOR CT	SPRING TX	77379	OWNER/OCCUPANT	47723 PARKMEADOW DR	FREMONT CA	94539
OWNER/OCCUPANT	1564 KENNEWICK DR	SUNNYVALE CA	94087	OWNER/OCCUPANT	480 SECOND ST 203	SAN FRANCISCO CA	94107
OWNER/OCCUPANT	2632 1/2 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	945 GROSVENOR PL	OAKLAND CA	94610
OWNER/OCCUPANT	2750 BUENA VISTA WAY	BERKELEY CA	94708	OWNER/OCCUPANT	2644 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	PO BOX 5507	EUGENE OR	97405	OWNER/OCCUPANT	PO BOX 5453	BERKELEY CA	94705
OWNER/OCCUPANT	2619 BENVENUE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2000 ENGLISH OAK CT	DANVILLE CA	94506
OWNER/OCCUPANT	2635 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2619 HILLEGASS AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2643 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2626 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	P.O. BOX 4623	BERKELEY CA	94704	OWNER/OCCUPANT	2601 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2670 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	2643 HILLEGASS AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2611 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	4553 N LITTLE ROCK DR	TUCSON AZ	85750
OWNER/OCCUPANT	2211 CHANNING WAY 6	BERKELEY CA	94704	OWNER/OCCUPANT	2611 DERBY ST	BERKELEY CA	94705

OWNER/OCCUPANT	4248A GILBERT ST	OAKLAND CA	94611	OWNER/OCCUPANT	2609 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2625 ALCATRAZ AVE 322	BERKELEY CA	94705	OWNER/OCCUPANT	6522 TELEGRAPH AVE	OAKLAND CA	94609
OWNER/OCCUPANT	2617 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	15560 LOMA VISTA AVE	LOS GATOS CA	95032
OWNER/OCCUPANT	2642 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	13 MADRONE AVE	SAN FRANCISCO CA	94127
OWNER/OCCUPANT	2615 DERBY ST A	BERKELEY CA	94705	OWNER/OCCUPANT	5662 W HOME AVE	FRESNO CA	93722
OWNER/OCCUPANT	2624 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	10706 BOTHWELL RD	CHATSWORTH CA	91311
OWNER/OCCUPANT	2622 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	1240 HILLVIEW DR	MENLO PARK CA	94025
OWNER/OCCUPANT	PO BOX 67815	LOS ANGELES CA	90067	OWNER/OCCUPANT	2623 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2312 TICE VALLEY BLVD	WALNUT CREEK CA	94595	OWNER/OCCUPANT	2631 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2613 HILLEGASS AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2511 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	PO BOX 3513	SAN RAMON CA	94583	OWNER/OCCUPANT	2515 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2528 BENVENUE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2519 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	7835 FLAGLER RD	NORDLAND WA	98358	OWNER/OCCUPANT	2607 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2424 RIDGE RD	BERKELEY CA	94709	OWNER/OCCUPANT	2509 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2606 DWIGHT WAY	BERKELEY CA	94704	OWNER/OCCUPANT	2647 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	7903 26TH AVE NW	GIG HARBOR WA	98332	OWNER/OCCUPANT	PO BOX 591302	SAN FRANCISCO CA	94159
OWNER/OCCUPANT	2619 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	1805 N CARSON ST 428	CARSON CITY NV	89701
OWNER/OCCUPANT	2611 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	5929 MARGARIDO DR	OAKLAND CA	94618
OWNER/OCCUPANT	P.O. BOX 5131	BERKELEY CA	94705	OWNER/OCCUPANT	2625 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2546 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	32 VALENCIA RD	ORINDA CA	94563
OWNER/OCCUPANT	PO BOX 4623	BERKELEY CA	94704	OWNER/OCCUPANT	2601 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	5606 LA SALLE AVE	OAKLAND CA	94611	OWNER/OCCUPANT	2508 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2617 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	4100 FULTON ST 5	SAN FRANCISCO CA	94121
OWNER/OCCUPANT	2535 HILLEGASS AVE	BERKELEY CA	94704	OWNER/OCCUPANT	581 GORDON HIGHLANDS RD	GLENDOORA CA	91741
OWNER/OCCUPANT	820 ARLINGTON AVE	BERKELEY CA	94707	OWNER/OCCUPANT	47664 AVALON HEIGHTS TER	FREMONT CA	94539
OWNER/OCCUPANT	2528 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	8969 LAKE CT	GRANITE BAY CA	95746
OWNER/OCCUPANT	7107 NORFOLK RD	BERKELEY CA	94705	OWNER/OCCUPANT	2615 TELEGRAPH AVE 204	BERKELEY CA	94704
OWNER/OCCUPANT	4844 TELEGRAPH AVE	OAKLAND CA	94609	OWNER/OCCUPANT	2530 36TH AVE	SAN FRANCISCO CA	94116
OWNER/OCCUPANT	PO BOX 675514	RANCHO SANTA FE CA	92067	OWNER/OCCUPANT	PO BOX 1593	PALO ALTO CA	94302
OWNER/OCCUPANT	2630 CEDAR ST	BERKELEY CA	94708	OWNER/OCCUPANT	1100 OAK HILL RD	LAFAYETTE CA	94549
OWNER/OCCUPANT	PO BOX 1029	GUALALA CA	95445	OWNER/OCCUPANT	7005 CORTE DEL MAR	PLEASANTON CA	94566
OWNER/OCCUPANT	1751 PETERS RANCH RD	DANVILLE CA	94526	OWNER/OCCUPANT	550 OAK PARK DR	SAN FRANCISCO CA	94131
OWNER/OCCUPANT	1751 MUSCAT PL	HANFORD CA	93230	OWNER/OCCUPANT	2615 TELEGRAPH AVE 402	BERKELEY CA	94704
OWNER/OCCUPANT	1047 MONTEREY AVE	BERKELEY CA	94707	OWNER/OCCUPANT	2616 ETNA ST	BERKELEY CA	94704
OWNER/OCCUPANT	1741 SPRINGBROOK RD	LAFAYETTE CA	94549	OWNER/OCCUPANT	1857 BARBARA WAY	EL CENTRO CA	92243
OWNER/OCCUPANT	2626 HILLEGASS AVE	BERKELEY CA	94704	OWNER/OCCUPANT	5475 BRAGG ST	SAN DIEGO CA	92122
OWNER/OCCUPANT	2632 1/4 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	5655 MILES AVE	OAKLAND CA	94618
OWNER/OCCUPANT	2626 HILLEGASS AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	4905 TELEGRAPH RD	LOS ANGELES CA	90022
OWNER/OCCUPANT	2626 HILLEGASS AVE B	BERKELEY CA	94704	OWNER/OCCUPANT	6721 RAINBOW DR	SAN JOSE CA	95129
OWNER/OCCUPANT	1 SHERIDAN RD	OAKLAND CA	94618	OWNER/OCCUPANT	2615 TELEGRAPH AVE 304	BERKELEY CA	94704
OWNER/OCCUPANT	2626 HILLEGASS AVE D	BERKELEY CA	94704	OWNER/OCCUPANT	361 S SWALL DR	BEVERLY HILLS CA	90211
OWNER/OCCUPANT	2632 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	15 PORTSMOUTH RD	OAKLAND CA	94610
OWNER/OCCUPANT	572 FALLEN LEAF CIR	SAN RAMON CA	94583	OWNER/OCCUPANT	1105 YORK ST 7	DENVER CO	80206
OWNER/OCCUPANT	2632 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	1425 BROADWAY 401	SEATTLE WA	98122
OWNER/OCCUPANT	2636 HILLEGASS AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2636 REGENT ST	BERKELEY CA	94704
OWNER/OCCUPANT	2876 SANDERLING DR	FREMONT CA	94555	OWNER/OCCUPANT	4131 OPAL ST	OAKLAND CA	94609
OWNER/OCCUPANT	2624 HILLEGASS AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2638 REGENT ST 4	BERKELEY CA	94704

OWNER/OCCUPANT	2447 CARLETON ST	BERKELEY CA	94704	OWNER/OCCUPANT	484 VASSAR AVE	BERKELEY CA	94708
OWNER/OCCUPANT	270 GLORIETTA BLVD	ORINDA CA	94563	OWNER/OCCUPANT	1579 SCENIC AVE	BERKELEY CA	94708
OWNER/OCCUPANT	3171 BOURGOGNE CT	SAN JOSE CA	95135	OWNER/OCCUPANT	2417 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	2800 DERBY ST	BERKELEY CA	94705	OWNER/OCCUPANT	2611 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2441 CARLETON ST	BERKELEY CA	94704	OWNER/OCCUPANT	21-C ORINDA WAY 203	ORINDA CA	94563
OWNER/OCCUPANT	PO BOX 711	DALLAS TX	75221	OWNER/OCCUPANT	2411 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	1891 SOLANO AVE	BERKELEY CA	94707	OWNER/OCCUPANT	2401 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	2445 CARLETON ST	BERKELEY CA	94704	OWNER/OCCUPANT	1085 GLEN RD	LAFAYETTE CA	94549
OWNER/OCCUPANT	P O BOX 7443	BERKELEY CA	94707	OWNER/OCCUPANT	1128 SPRUCE ST	BERKELEY CA	94707
OWNER/OCCUPANT	2646 REGENT ST A	BERKELEY CA	94704	OWNER/OCCUPANT	2655 BUSH ST 410	SAN FRANCISCO CA	94115
OWNER/OCCUPANT	6821 BALSAM WAY	OAKLAND CA	94611	OWNER/OCCUPANT	151 FLYING MIST ISLE	FOSTER CITY CA	94404
OWNER/OCCUPANT	6114 LASALLE AVE 197	OAKLAND CA	94611	OWNER/OCCUPANT	2628 TELEGRAPH AVE 201	BERKELEY CA	94704
OWNER/OCCUPANT	45 LA CAMPANA RD	ORINDA CA	94563	OWNER/OCCUPANT	2628 TELEGRAPH AVE 202	BERKELEY CA	94704
OWNER/OCCUPANT	2640 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 203	BERKELEY CA	94704
OWNER/OCCUPANT	2624 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 301	BERKELEY CA	94704
OWNER/OCCUPANT	1877 CHARNELTON ST	EUGENE OR	97401	OWNER/OCCUPANT	75 RIDGE RD	GREEN BROOK NJ	8812
OWNER/OCCUPANT	202 KITTERY PL	SAN RAMON CA	94583	OWNER/OCCUPANT	3615 BALFOUR AVE	OAKLAND CA	94610
OWNER/OCCUPANT	5327 JACUZZI ST 0.03	RICHMOND CA	94804	OWNER/OCCUPANT	4420 ALBANY DR 76	SAN JOSE CA	95129
OWNER/OCCUPANT	1321 MISSION ST 101	SAN FRANCISCO CA	94103	OWNER/OCCUPANT	336 HIGHLAND ST WEST	WESTON MA	2493
OWNER/OCCUPANT	2528 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 502	BERKELEY CA	94704
OWNER/OCCUPANT	2532 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 303	BERKELEY CA	94704
OWNER/OCCUPANT	2534 REGENT ST	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 304	BERKELEY CA	94704
OWNER/OCCUPANT	926 ESCONDIDO CT	ALAMO CA	94507	OWNER/OCCUPANT	40748 AMBAR PL	FREMONT CA	94539
OWNER/OCCUPANT	2236 CHANNING WAY 401	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 401	BERKELEY CA	94704
OWNER/OCCUPANT	2537 CHILTON WAY	BERKELEY CA	94704	OWNER/OCCUPANT	2628 TELEGRAPH AVE 402	BERKELEY CA	94704
OWNER/OCCUPANT	2411 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	6501 HARWOOD AVE	OAKLAND CA	94618
OWNER/OCCUPANT	2545 DANA ST	BERKELEY CA	94704	OWNER/OCCUPANT	1025 CHESTNUT ST	OAKLAND CA	94607
OWNER/OCCUPANT	2531 CHILTON WAY	BERKELEY CA	94704	OWNER/OCCUPANT	2405 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	1302 OAK AVE	DAVIS CA	95616	OWNER/OCCUPANT	2631 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2756 SUMMIT DR	HILLSBOROUGH CA	94010	OWNER/OCCUPANT	1875 MISSION ST	SAN FRANCISCO CA	94103
OWNER/OCCUPANT	2535 CHILTON WAY	BERKELEY CA	94704	OWNER/OCCUPANT	2649 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2419 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	264 AMHERST AVE	KENSINGTON CA	94708
OWNER/OCCUPANT	426 CASTRO ST	SAN FRANCISCO CA	94114	OWNER/OCCUPANT	2410 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	1150 E 65TH ST	INGLEWOOD CA	90302	OWNER/OCCUPANT	2643 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	409 SEAVIEW DR	EL CERRITO CA	94530	OWNER/OCCUPANT	2414 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	2543 CHILTON WAY	BERKELEY CA	94704	OWNER/OCCUPANT	1516 S BUNDY DR 300	LOS ANGELES CA	90025
OWNER/OCCUPANT	2804 GATEWAY OAKS DR 200	SACRAMENTO CA	95833	OWNER/OCCUPANT	1515 BRANDYWINE RD	SAN MATEO CA	94402
OWNER/OCCUPANT	2721 WEBSTER ST	BERKELEY CA	94705	OWNER/OCCUPANT	2637 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	34400A MISSION BLVD VILL	UNION CITY CA	94587	OWNER/OCCUPANT	6122 OCEAN VIEW DR	OAKLAND CA	94618
OWNER/OCCUPANT	5934 AYALA AVE	OAKLAND CA	94609	OWNER/OCCUPANT	2633 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2417 CARLETON ST 5	BERKELEY CA	94704	OWNER/OCCUPANT	2338 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	2601 DANA ST A	BERKELEY CA	94704	OWNER/OCCUPANT	2337 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2601 DANA ST B	BERKELEY CA	94704	OWNER/OCCUPANT	2335 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2601 DANA ST C	BERKELEY CA	94704	OWNER/OCCUPANT	2646 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2601 DANA ST D	BERKELEY CA	94704	OWNER/OCCUPANT	2341 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2408 PARKER ST	BERKELEY CA	94704	OWNER/OCCUPANT	364 WILDWOOD AVE	PIEDMONT CA	94611
OWNER/OCCUPANT	3301 SWEET DR	LAFAYETTE CA	94549	OWNER/OCCUPANT	1442A WALNUT ST 306	BERKELEY CA	94709

OWNER/OCCUPANT	PO BOX 9482	BERKELEY CA	94709	OWNER/OCCUPANT	2610 COLLEGE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	2630 DANA ST	BERKELEY CA	94704	OWNER/OCCUPANT	2610 COLLEGE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2336 CARLETON ST	BERKELEY CA	94704	OWNER/OCCUPANT	2610 COLLEGE AVE 3	BERKELEY CA	94704
OWNER/OCCUPANT	2622 DANA ST	BERKELEY CA	94704	OWNER/OCCUPANT	2610 COLLEGE AVE 4	BERKELEY CA	94704
OWNER/OCCUPANT	2040 BANCROFT WAY 301	BERKELEY CA	94704	OWNER/OCCUPANT	2610 COLLEGE AVE 5	BERKELEY CA	94704
OWNER/OCCUPANT	2208 BLAKE ST	BERKELEY CA	94704	OWNER/OCCUPANT	2610 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2515 TELEGRAPH AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 6	BERKELEY CA	94704
OWNER/OCCUPANT	2341 CARLETON ST	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 408	BERKELEY CA	94704
OWNER/OCCUPANT	1 18TH AVE	SAN FRANCISCO CA	94121	OWNER/OCCUPANT	2540 COLLEGE AVE 409	BERKELEY CA	94704
OWNER/OCCUPANT	2836 REGENT ST B	BERKELEY CA	94705	OWNER/OCCUPANT	2540 COLLEGE AVE 410	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 201	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 501	BERKELEY CA	94704
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OWNER/OCCUPANT	2540 COLLEGE AVE 202	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 402	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 203	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 403	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 101	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 404	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 102	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 405	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 104	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 406	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 105	BERKELEY CA	94704	OWNER/OCCUPANT	2540 COLLEGE AVE 112	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 107	BERKELEY CA	94704	OWNER/OCCUPANT	2645 1/2 PARKER ST	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 307	BERKELEY CA	94704	OWNER/OCCUPANT	2598 COLLEGE AVE A	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 111	BERKELEY CA	94704	OWNER/OCCUPANT	2541 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 211	BERKELEY CA	94704	OWNER/OCCUPANT	2539 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 212	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 311	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 3	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 312	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 4	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 401	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 5	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 106	BERKELEY CA	94704	OWNER/OCCUPANT	2649 BENVENUE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 309	BERKELEY CA	94704	OWNER/OCCUPANT	2601 BENVENUE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 210	BERKELEY CA	94704	OWNER/OCCUPANT	2622 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 301	BERKELEY CA	94704	OWNER/OCCUPANT	2620 COLLEGE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 108	BERKELEY CA	94704	OWNER/OCCUPANT	2620 COLLEGE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 310	BERKELEY CA	94704	OWNER/OCCUPANT	2620 COLLEGE AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2540 COLLEGE AVE 103	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 7	BERKELEY CA	94704
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OWNER/OCCUPANT	2625 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	2627 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 4	BERKELEY CA	94704
OWNER/OCCUPANT	2627 BENVENUE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 6	BERKELEY CA	94704
OWNER/OCCUPANT	2625 BENVENUE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2629 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2633 BENVENUE AVE 5	BERKELEY CA	94704
OWNER/OCCUPANT	2624 COLLEGE AVE A	BERKELEY CA	94704	OWNER/OCCUPANT	2612 BENVENUE AVE 1	BERKELEY CA	94704
OWNER/OCCUPANT	2624 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2612 BENVENUE AVE 2	BERKELEY CA	94704
OWNER/OCCUPANT	2639 BENVENUE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2626 BENVENUE AVE 5	BERKELEY CA	94704
OWNER/OCCUPANT	2642 COLLEGE AVE	BERKELEY CA	94704	OWNER/OCCUPANT	2626 BENVENUE AVE A	BERKELEY CA	94704
OWNER/OCCUPANT	2610 COLLEGE AVE 6	BERKELEY CA	94704	OWNER/OCCUPANT	2626 BENVENUE AVE B	BERKELEY CA	94704
OWNER/OCCUPANT	2610 COLLEGE AVE 7	BERKELEY CA	94704	OWNER/OCCUPANT	2628 BENVENUE AVE A	BERKELEY CA	94704
OWNER/OCCUPANT	2610 COLLEGE AVE 8	BERKELEY CA	94704	OWNER/OCCUPANT	2631 DERBY ST	BERKELEY CA	94705
OWNER/OCCUPANT	2610 COLLEGE AVE 9	BERKELEY CA	94704	OWNER/OCCUPANT	2716 STUART ST	BERKELEY CA	94705

























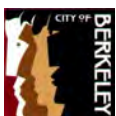
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OWNER/OCCUPANT	2556 TELEGRAPH AVE 9	BERKELEY CA	94704	OWNER/OCCUPANT	2400 CARLETON ST	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 10	BERKELEY CA	94704	OWNER/OCCUPANT	2650 TELEGRAPH AVE	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 11	BERKELEY CA	94704	OWNER/OCCUPANT	2620 DANA ST 1	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 12	BERKELEY CA	94704	OWNER/OCCUPANT	2620 DANA ST 2	BERKELEY CA	94704
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OWNER/OCCUPANT	2556 TELEGRAPH AVE 3	BERKELEY CA	94704	OWNER/OCCUPANT	2620 DANA ST	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 4	BERKELEY CA	94704	WENDY WELLBROCK	1947 CENTER STREET, 5TH FI	BERKELEY CA	94704
OWNER/OCCUPANT	2556 TELEGRAPH AVE 5	BERKELEY CA	94704				
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OWNER/OCCUPANT	2556 TELEGRAPH AVE	BERKELEY CA	94704				
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OWNER/OCCUPANT	2556 TELEGRAPH AVE 2	BERKELEY CA	94704				
OWNER/OCCUPANT	2417 CARLETON ST 3	BERKELEY CA	94704				
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OWNER/OCCUPANT	2601 DANA ST E	BERKELEY CA	94704				
OWNER/OCCUPANT	2609 DANA ST A	BERKELEY CA	94704				
OWNER/OCCUPANT	2609 DANA ST	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 15	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 4	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 10	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 9	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 8	BERKELEY CA	94704				
OWNER/OCCUPANT	2414 PARKER ST 16	BERKELEY CA	94704				
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OWNER/OCCUPANT	2414 PARKER ST 14	BERKELEY CA	94704				
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OWNER/OCCUPANT	2420 PARKER ST	BERKELEY CA	94704				
OWNER/OCCUPANT	2628 TELEGRAPH AVE 302	BERKELEY CA	94704				
OWNER/OCCUPANT	2628 TELEGRAPH AVE 405	BERKELEY CA	94704				
OWNER/OCCUPANT	2628 TELEGRAPH AVE 403	BERKELEY CA	94704				
OWNER/OCCUPANT	2636 TELEGRAPH AVE A	BERKELEY CA	94704				
OWNER/OCCUPANT	2636 TELEGRAPH AVE B	BERKELEY CA	94704				
OWNER/OCCUPANT	2636 TELEGRAPH AVE	BERKELEY CA	94704				

Internal

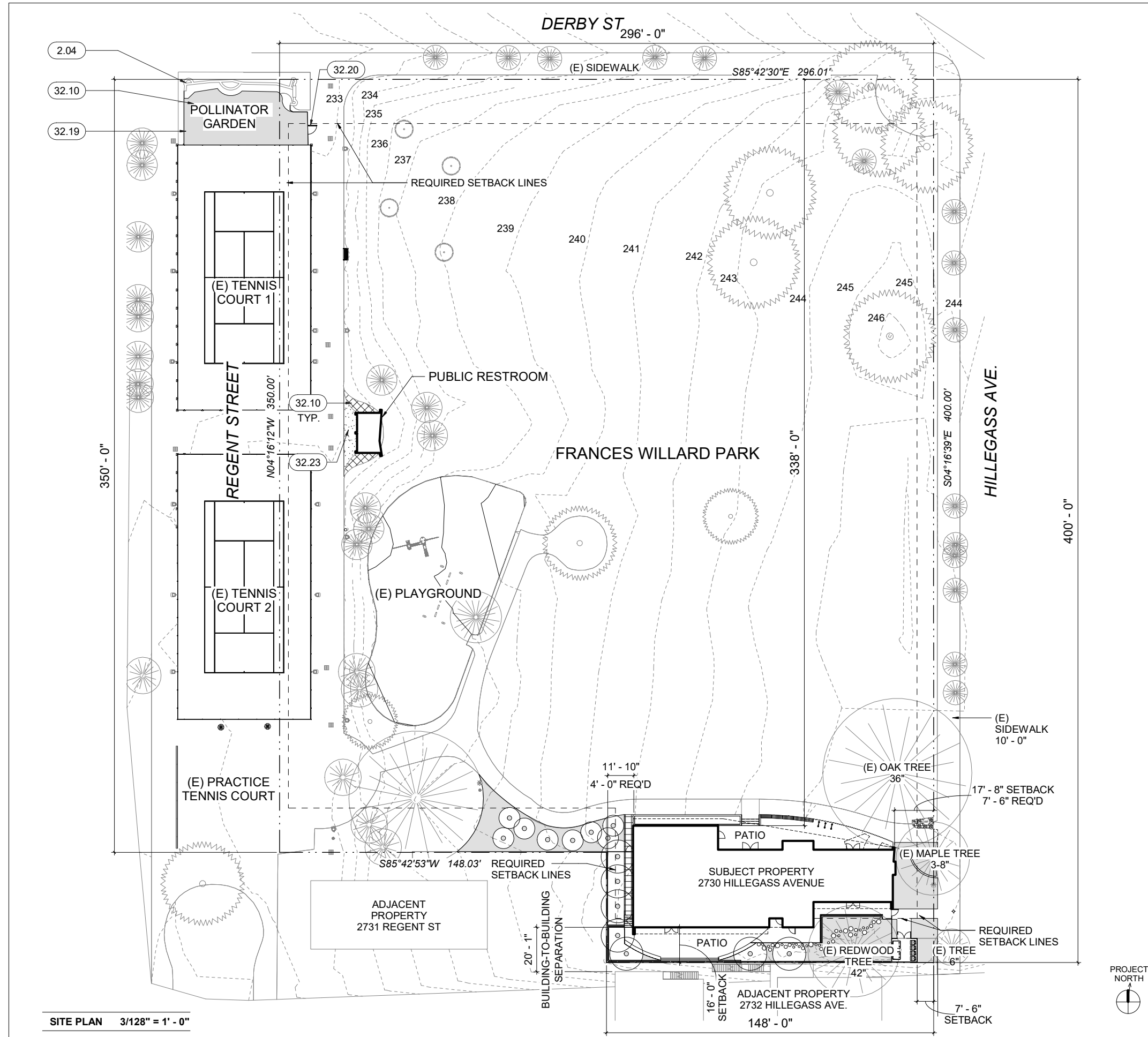
Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 2:

- A. Site Plan
- B. Landscape and Usable Open Space Plan
- C. Lot Coverage Diagram
- D. Floor Plans
- E. Building Elevations
- F. Street Strip Elevation



Parks, Recreation and  
Waterfront Department



SITE PLAN 3/128" = 1' - 0"

KEYNOTE LEGEND - ZONING

2.04	(E) DECORATIVE "POTTERS" WALL
32.10	PLANTER
32.19	3'-0" HIGH CHAIN LINK FENCE
32.20	3'-0" HIGH CHAIN LINK GATE
32.23	NEW PAVING



PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

CLIENT:  
CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION

NUMBER	DATE	DESCRIPTION

ISSUE:  
ZONING SUBMITTAL

DATE:  
03/22/2022



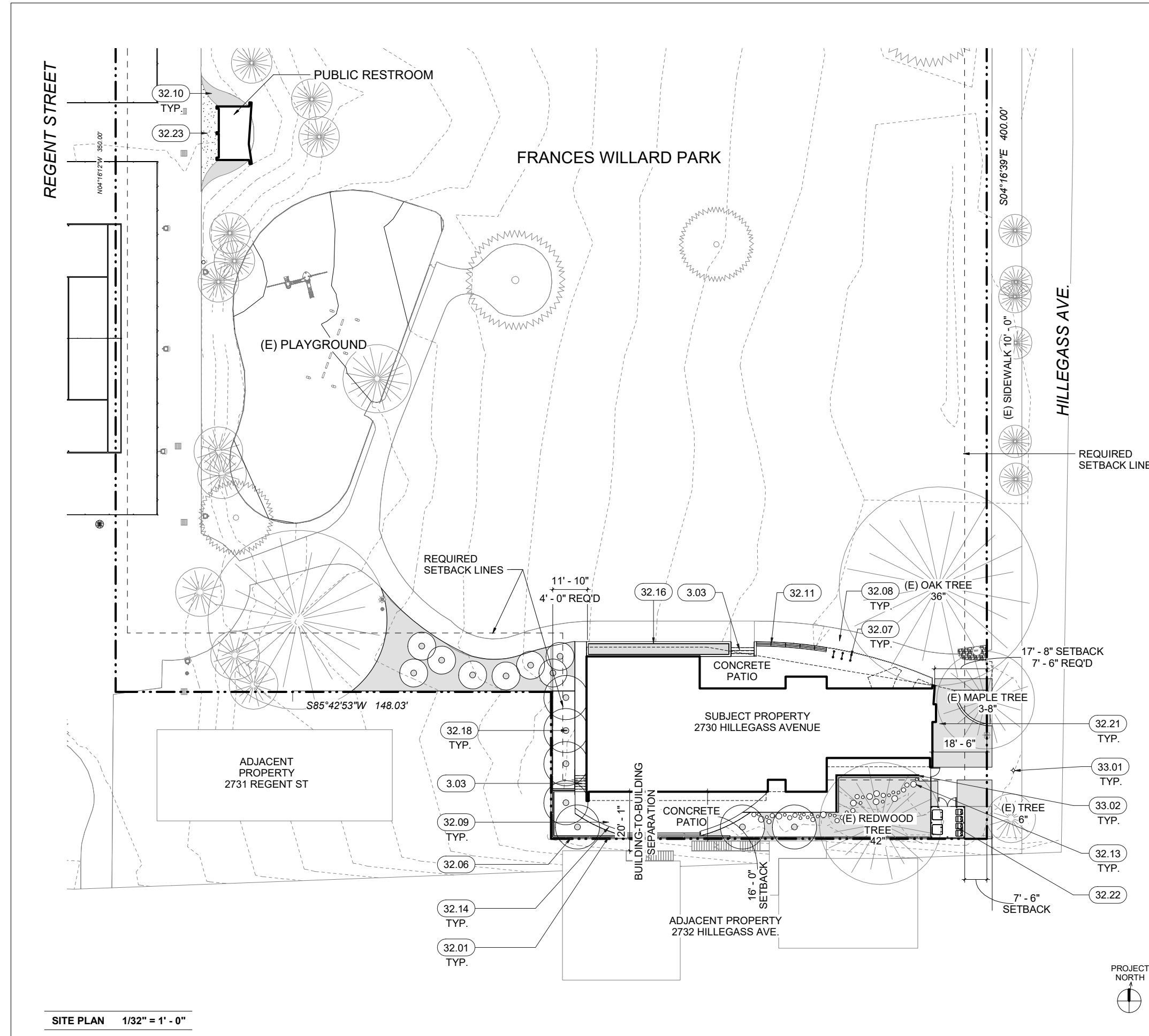
SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**Z2-A1**

LEGEND

	PROPERTY LINE
	EXISTING TOPOGRAPHY LINE
	PROPOSED TOPOGRAPHY LINE
	EXISTING ITEM TO REMAIN AND BE PROTECTED
	PROPOSED ITEM
	EXISTING TREE TO REMAIN AND BE PROTECTED
	PROPOSED TREE





KEYNOTE LEGEND - ZONING	
3.03	SANDBLASTED CONCRETE STEPS
32.01	PREFINISHED METAL FRAME FENCE WITH WOOD INFILL
32.06	CONCRETE RETAINING WALL
32.07	BICYCLE RACKS
32.08	CONCRETE PAVING, TYPE 1
32.09	CONCRETE PAVING, TYPE 2
32.10	PLANTER
32.11	BENCH INSET
32.13	STEPPING LOG
32.14	SEATWALL
32.16	CONC. PLANTER
32.18	PROPOSED TREE
32.21	EXTERIOR LIGHT FIXTURE OR LIGHT POLE, LOCATION TBD
32.22	CONCRETE PAD AT TRASH ENCLOSURE
32.23	NEW PAVING
33.01	FIRE HYDRANT
33.02	TRENCH DRAIN AT CONC. PAVING

**els** architecture  
urban design  
2040 Addison Street Berkeley, CA 94704  
510.549.2929 | elsarch.com

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**WILLARD PARK CLUBHOUSE**  
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ELS PROJECT NUMBER:  
**201320.27**

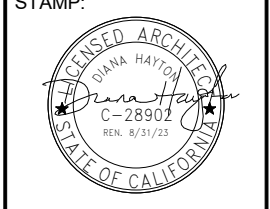
CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/22/2022**

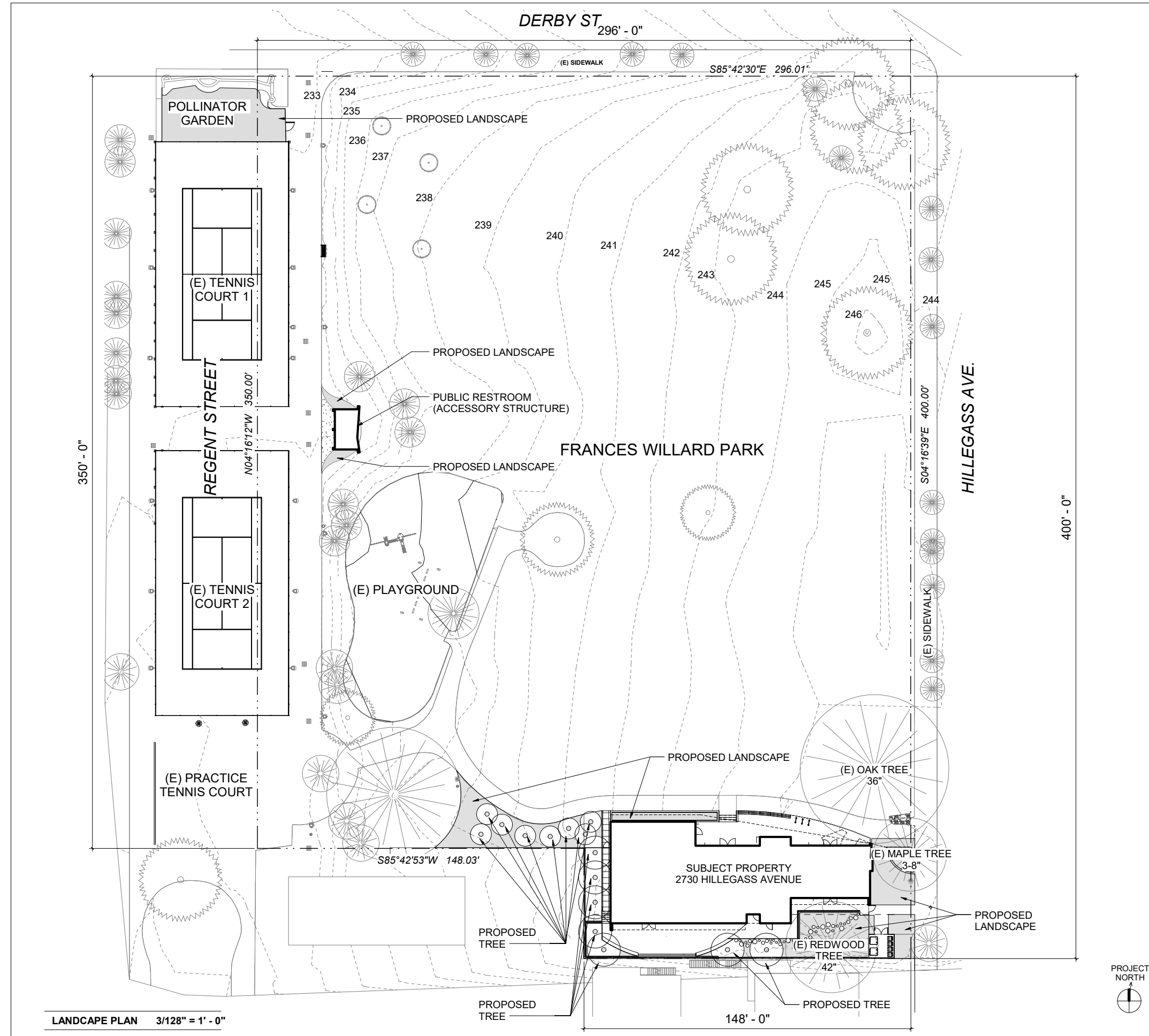


SHEET TITLE:  
**ENLARGED SITE PLAN**

SHEET NUMBER:  
**Z2-A2**

LEGEND	
	PROPERTY LINE
	EXISTING TOPOGRAPHY LINE
	PROPOSED TOPOGRAPHY LINE
	EXISTING ITEM TO REMAIN AND BE PROTECTED
	PROPOSED ITEM
	EXISTING TREE TO REMAIN AND BE PROTECTED
	PROPOSED TREE

SITE PLAN 1/32" = 1' - 0"



LANDSCAPE PLAN 3/128" = 1' - 0"

**LEGEND**

- · · — PROPERTY LINE
- - - - - EXISTING TOPOGRAPHY LINE
- — — — — PROPOSED TOPOGRAPHY LINE
- — — — — EXISTING ITEM TO REAMIN AND BE PROTECTED
- — — — — PROPOSED ITEM
- ○ ○ ○ ○ EXISTING TREE TO REMAIN AND BE PROTECTED
- ○ ○ ○ ○ PROPOSED TREE
- ■ ■ ■ ■ PROPOSED LANDSCAPE



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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

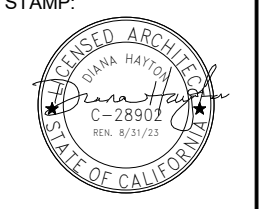
ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
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P: 510.549.2929

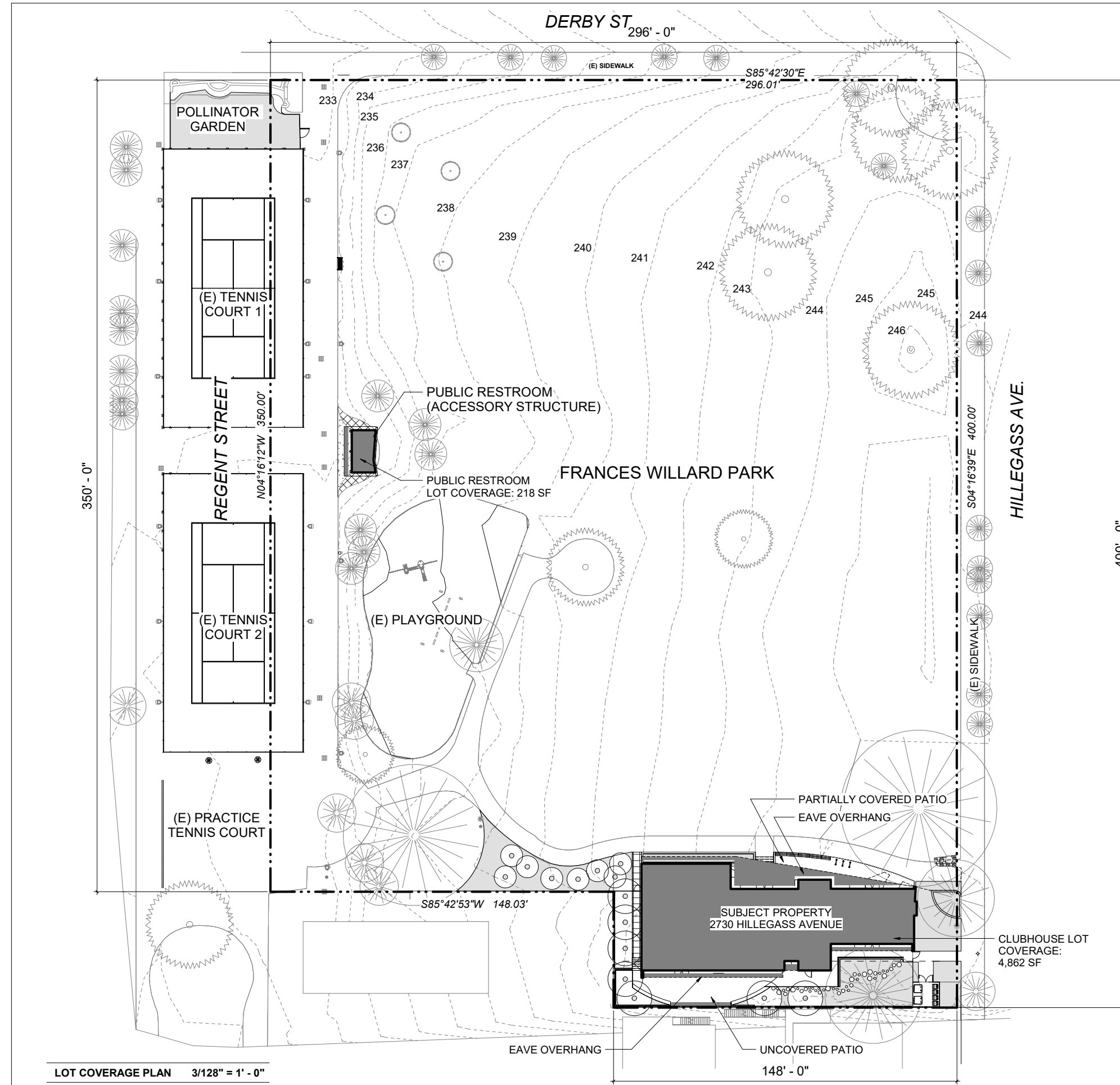
REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**  
DATE:  
**03/22/2022**



SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**Z2-B**



**LOT COVERAE:**

CLUBHOUSE:	4,862 SF
PUBLIC RESTROOM:	218 SF
TOTAL:	5,080 SF



**PROJECT:**  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
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**PROJECT INFO:**  
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**APN: 54-1711-27**  
**CONSTRUCTION: V-B**  
**OCCUPANCY: A-3, B, S-2**

**ELS PROJECT NUMBER:**  
**201320.27**

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1947 CENTER STREET, 4TH FL,  
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**PROJECT TEAM:**  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

- LEGEND**
- · · — PROPERTY LINE
  - - - - - EXISTING TOPOGRAPHY LINE
  - — — — — PROPOSED TOPOGRAPHY LINE
  - — — — — EXISTING ITEM TO REAMIN AND BE PROTECTED
  - — — — — PROPOSED ITEM
  - ○ ○ ○ ○ EXISTING TREE TO REMAIN AND BE PROTECTED
  - ○ ○ ○ ○ PROPOSED TREE
  - AREA COUNTING AS LOT COVERAGE - UP TO 18" OF EAVE OVERHANG IS EXCLUDED FROM LOT COVERAGE

**ISSUE:**  
**ZONING SUBMITTAL**

**DATE:**  
**03/22/2022**



**SHEET TITLE:**  
**LOT COVERAGE**

**SHEET NUMBER:**  
**Z2-C**

LOT COVERAGE PLAN 3/128" = 1' - 0"



KEYNOTE LEGEND - ZONING

6.01	WOOD POST, WITH WOOD TRIM AT EXTERIOR AND INTERIOR
6.05	QUARTZ COUNTERTOP
10.01	FOLDING PANEL PARTITION, MOTORIZED
22.01	DUAL HEIGHT DRINKING FOUNTAIN WITH BOTTLE FILLER



PROJECT:  
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**OCCUPANCY: A-3, B, S-2**

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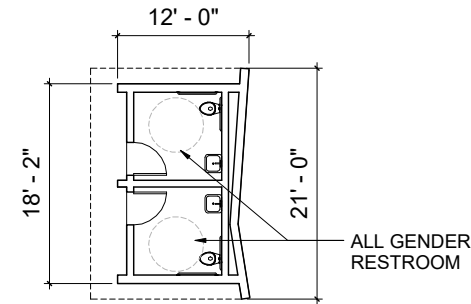
DATE:  
**03/22/2022**

STAMP:



SHEET TITLE:  
**FLOOR PLANS**

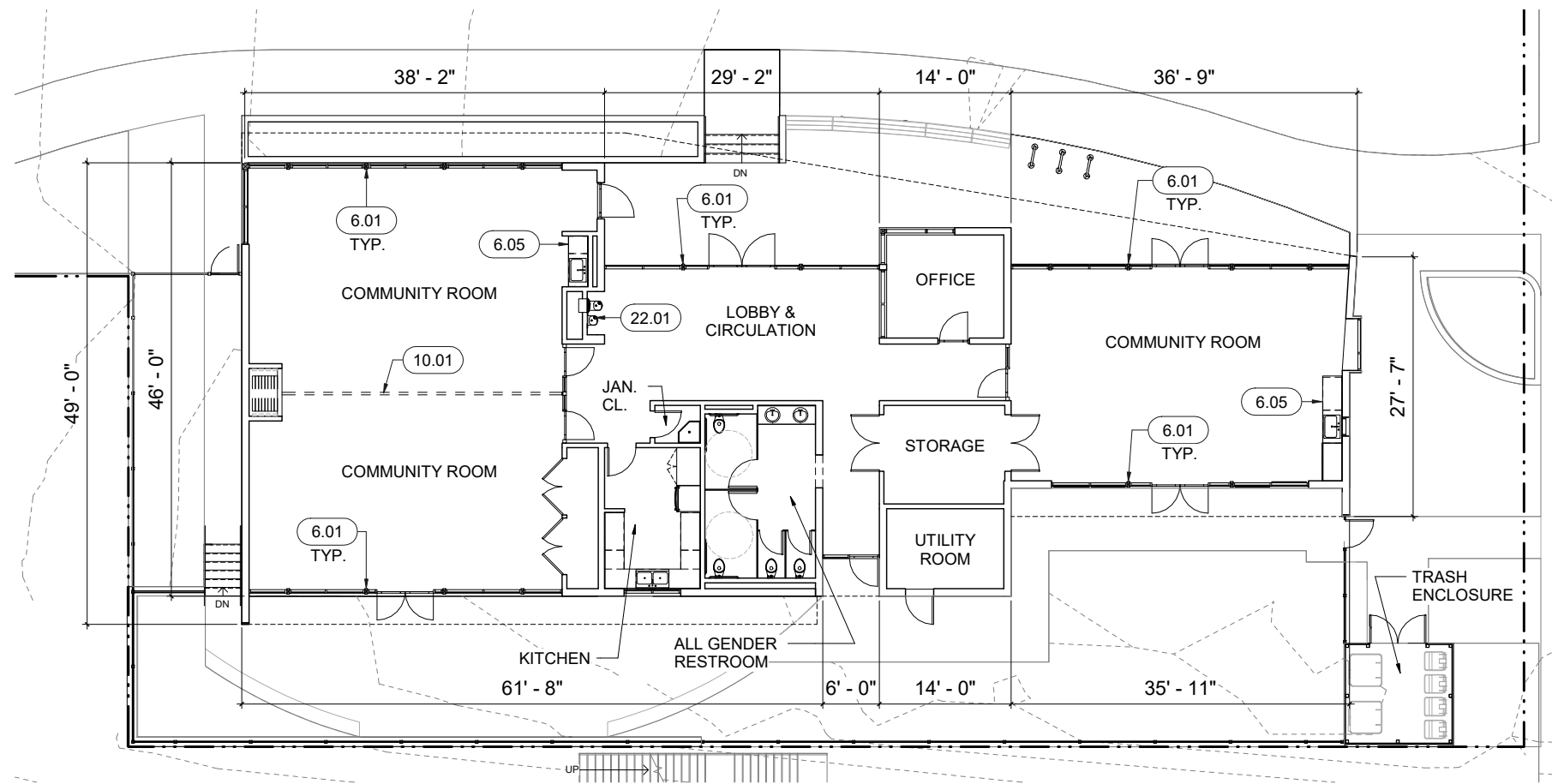
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**Z2-D**



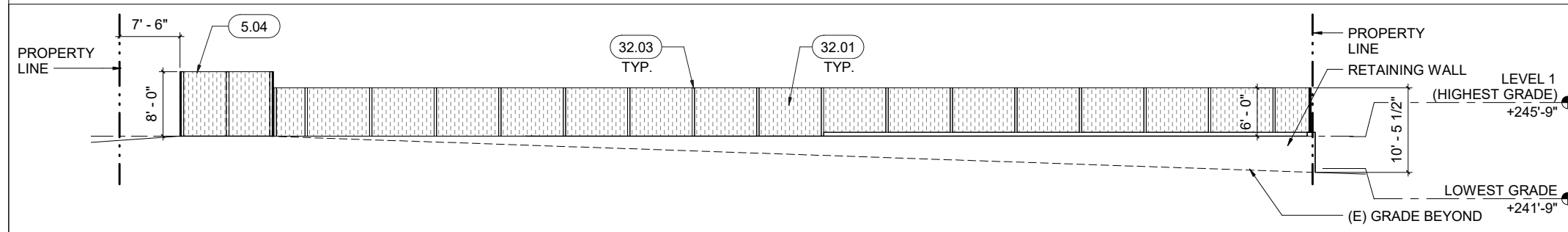
ALL GENDER RESTROOM



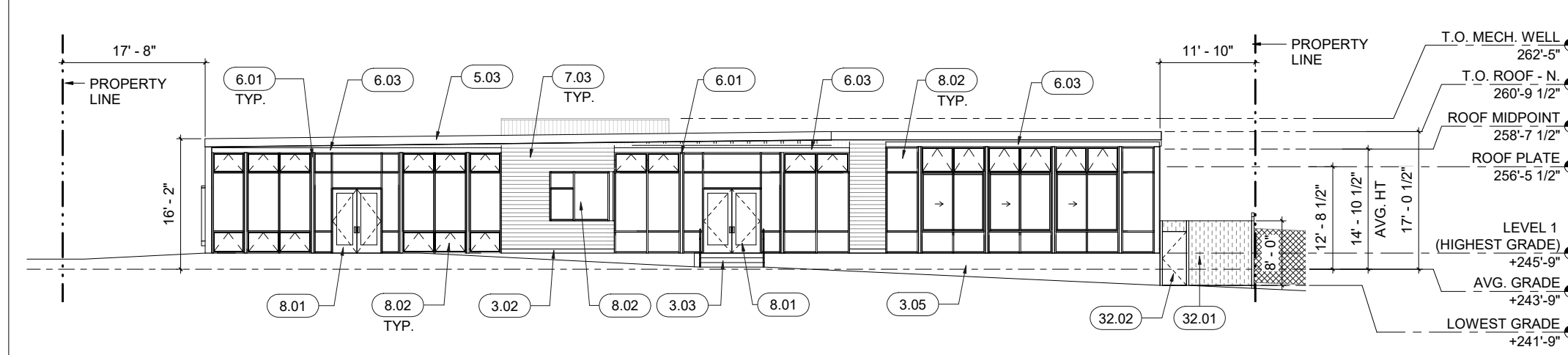
PUBLIC RESTROOM FLOOR PLAN 1/16" = 1' - 0"



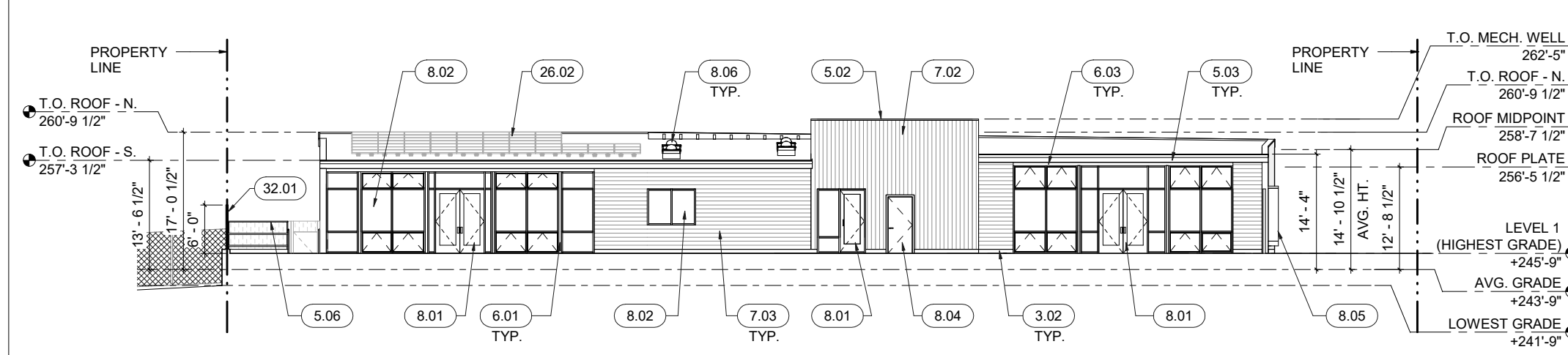
CLUBHOUSE FLOOR PLAN 1/16" = 1' - 0"



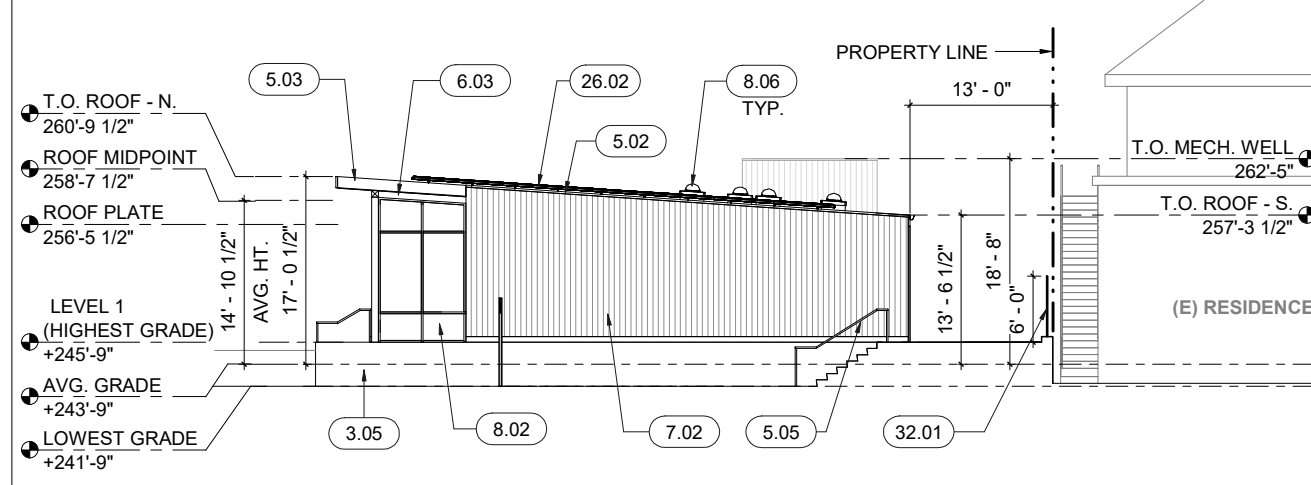
FENCE - NORTH ELEVATION 1/16" = 1' - 0"



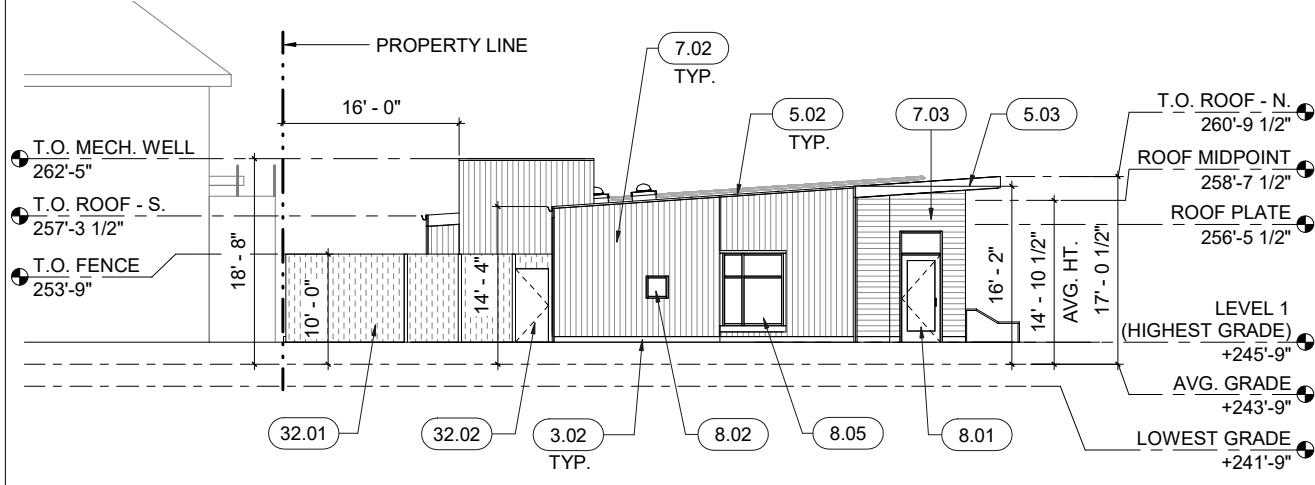
NORTH ELEVATION 1/16" = 1' - 0"



SOUTH ELEVATION 1/16" = 1' - 0"



WEST ELEVATION 1/16" = 1' - 0"



EAST ELEVATION 1/16" = 1' - 0"

KEYNOTE LEGEND - ZONING

3.02	CONCRETE CURB
3.03	SANDBLASTED CONCRETE STEPS
3.05	SANDBLASTED CONCRETE
5.02	METAL COPING, PAINTED
5.03	BRAKE METAL FASCIA, PAINTED
5.04	PRE-PRIMED STEEL POSTS WITH TNEMEC PAINT
5.05	1 1/2" DIAMETER STEEL PIPE HANDRAIL, PAINTED
5.06	1 1/2" DIAMETER STEEL PIPE GUARDRAIL, PAINTED
6.01	WOOD POST, WITH WOOD TRIM AT EXTERIOR AND INTERIOR
6.03	WOOD JOIST
7.02	VERTICAL WOOD SIDING, T&G, 1X6, SOLID STAINED; OVER WEATHER BARRIER, 1/2" PLYWOOD SHEATHING, 8" WOOD STUDS WITH BATT INSULATION, AND GYPSUM SHEATHING INTERIOR FINISH
7.03	HORIZONTAL WOOD SHIPLAP SIDING, 1X6, PAINTED; OVER WEATHER BARRIER, 1/2" PLYWOOD SHEATHING, 8" WOOD STUDS WITH BATT INSULATION, AND GYPSUM SHEATHING INTERIOR FINISH
8.01	EXTERIOR WOOD DOORS, STAINED, WITH GLASS PANELS
8.02	ALUMINUM FRAMED EXTERIOR STOREFRONT SYSTEM, PREFINISHED, PAINTED. WHERE SHOWN, OPERABLE WINDOWS TO BE MOTORIZED AND CONNECTED TO BUILDING MANAGEMENT SYSTEM
8.04	HOLLOW METAL DOOR, PAINTED
8.05	BAY WINDOW: ALUMINUM FRAMED EXTERIOR STOREFRONT, PREFINISHED, PAINTED, WITH BRAKE METAL CLADDING SURROUND
8.06	TUBULAR DAYLIGHTING DEVICE
26.02	PHOTOVOLTAIC SYSTEM, S.E.D.
32.01	PREFINISHED METAL FRAME FENCE WITH WOOD INFILL
32.02	PREFINISHED METAL FRAME GATE WITH WOOD INFILL
32.03	STAINED WOOD FENCE POSTS



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ELS PROJECT NUMBER:  
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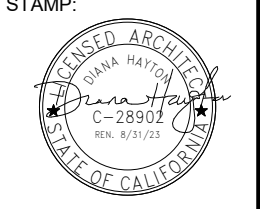
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ISSUE:  
**ZONING SUBMITTAL**

DATE:  
03/22/2022



SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E1**

KEYNOTE LEGEND - ZONING	
3.02	CONCRETE CURB
4.01	CONCRETE MASONRY UNIT, GROUND FACE, PAINTED
5.03	BRAKE METAL FASCIA, PAINTED
6.07	DOUGLAS FIR, T&G, 1X, CLEAR COAT FINISH
7.07	VERTICAL WOOD SIDING, T&G, 1X6, SOLID STAINED; OVER WEATHER BARRIER, 1/2" PLYWOOD SHEATHING ON 8" CMU
7.08	HORIZONTAL WOOD SHIPLAP SIDING, 1X6, PAINTED; OVER WEATHER BARRIER, 1/2" PLYWOOD SHEATHING ON 8" CMU
8.02	ALUMINUM FRAMED EXTERIOR STOREFRONT SYSTEM, PREFINISHED, PAINTED. WHERE SHOWN, OPERABLE WINDOWS TO BE MOTORIZED AND CONNECTED TO BUILDING MANAGEMENT SYSTEM
8.04	HOLLOW METAL DOOR, PAINTED



PROJECT:  
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**201320.27**

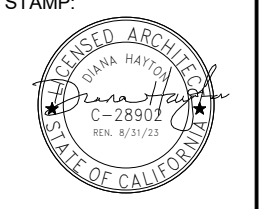
CLIENT:  
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**03/22/2022**



SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E2**

<p>PUBLIC RESTROOM - NORTH ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - EAST ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - WEST ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - SOUTH ELEVATION 1/16" = 1' - 0"</p>



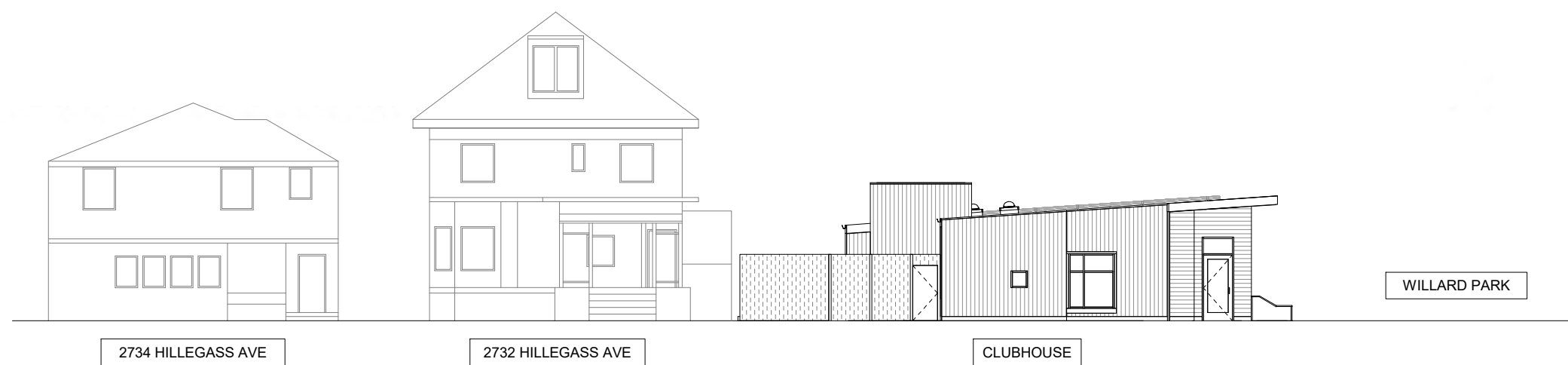
2734 HILLEGASS AVE

2732 HILLEGASS AVE

EXISTING CLUBHOUSE

WILLARD PARK

EXISTING CONDITION: STREET STRIP ELEVATION - EAST



2734 HILLEGASS AVE

2732 HILLEGASS AVE

CLUBHOUSE

WILLARD PARK

PROPOSED DESIGN: STREET STRIP ELEVATION - EAST 1/16" = 1' - 0"

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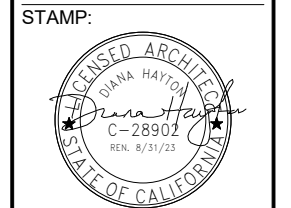
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SHEET TITLE:  
**STREET STRIP ELEVATION**

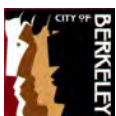
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**Z2-F1**

Internal

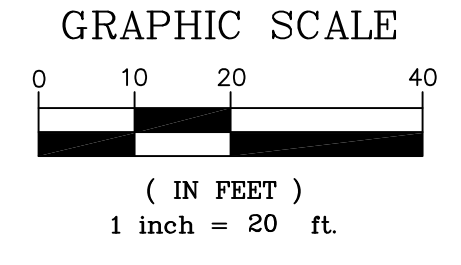
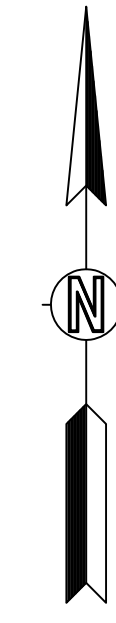
Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 2:

H. Boundary and Topographic Survey



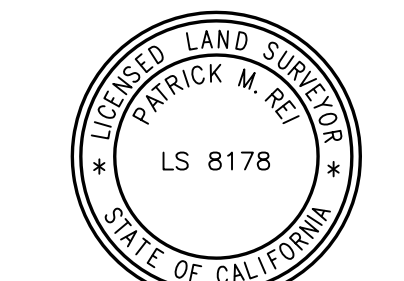
Parks, Recreation and  
Waterfront Department



- LEGEND**
- T = TREE (APPROX. DIA. @ BREAST HEIGHT)
  - AD = AREA DRAIN
  - AC = ANGLE CORNER
  - BC = BUILDING CORNER
  - BFP = BACK FLOW PREVENTER
  - BL = BUILDING LINE
  - BOX = BOLLARD
  - BRK = BRICK
  - BW = BOTTOM OF WALL
  - CP = TOP OF CURB
  - CB = CATCH BASIN
  - CL = CENTER LINE
  - COL = COLUMN
  - CONC = CONCRETE
  - DI = DRAIN INLET
  - DL = DAYLIGHT
  - DM = DRIVEWAY
  - ED = EDGE OF
  - EB = ELECTRIC BOX
  - EP = EDGE OF PAVEMENT
  - F = FENCE
  - FDC = FIRE DEPARTMENT CONNECTION
  - FF = FINISH FLOOR
  - FL = FLOOR LINE
  - GL = GUTTER LINE
  - GM = GAS METER
  - GP = GAS POST
  - GR = GROUND ELEVATION
  - GUY = GUY WIRE
  - GV = GAS VALVE
  - HB = HOSE BIB
  - HCR = HANDICAP RAMP
  - INV = INVERT
  - JP = JOINT POLE
  - JP/C = JOINT POLE W/CONDUIT
  - MH = MAN HOLE
  - P = PAVEMENT
  - PP = POWER POLE
  - PBB = PACIFIC BELL BOX
  - POE = PACIFIC GAS AND ELECTRIC
  - PLWTR = PLASTER
  - PSC = POINT ON CURVE
  - RET = RETURN
  - RMP = RAMP
  - R/W = RIGHT OF WAY
  - S = SIGN
  - SD = STORM DRAIN LINE
  - SDMH = STORM DRAIN MANHOLE
  - SL = STREET LIGHT
  - SLB = STREET LIGHT BOX
  - SS = SANITARY SEWER LINE
  - SSMH = SANITARY SEWER MANHOLE
  - SSCO = SANITARY SEWER CLEAN OUT
  - STR = STAIRS
  - T = TOP OF
  - TEL = TELEPHONE LINE
  - TEL/E = OVERHEAD TELEPHONE & ELECTRIC
  - TOB = TOP OF BRICK
  - TOC = TOP OF CONCRETE
  - TM = TOP OF WALL
  - UB = UTILITY BOX
  - VD = VALVE
  - VG = VALVE/GUTTER
  - W = WALK
  - WF = WATER FOUNDATION
  - WL = WATER LINE
  - WM = WATER METER
  - WV = WATER VALVE



- GENERAL NOTES**
1. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND MARKINGS PROVIDED. GREATEST UTILITY LOCATORS. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
  2. CONTRACTORS AND OTHERS PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES.
  3. CONTOUR INTERVAL = 1'
  4. BASIS OF BEARINGS: THE ASSUMED BEARING S04°16'39"E BETWEEN TWO FOUND CITY OF BERKELEY MONUMENTS ON HILLCASS AVENUE.
  5. BENCHMARK: MONUMENT B0265, FOUND 7/8" IRON PIN IN MONUMENT WELL. ELEVATION = 230.02' Cgd.



Patrick M. Rei  
DATE 12/9/19  
LS # 8178

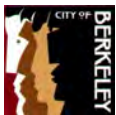
<p>REFERENCES</p> <p>FIELD BOOK NO.</p> <p>FILE MAP</p> <p>TITLE CSD</p> <p>POLICY NO.</p> <p>DATUM, C.O.B.</p> <p>NSC REF.</p>	<p>KISTER, SAVIO &amp; REI, INC.</p> <p>LAND SURVEYORS - CIVIL ENGINEERS</p> <p>825 SAN PABLO AVE</p> <p>PINOLE, CALIFORNIA 94564</p> <p>PHONE: (510) 222-4020 FAX: (510) 222-3718</p> <p>E-MAIL: info@ksrinc.net</p>
<p>REVISIONS</p>	<p>DESCRIPTION</p> <p><b>TOPOGRAPHIC SURVEY</b></p> <p>WILLARD PARK</p>
<p>BERKELEY, CALIFORNIA</p> <p>FOR: CITY OF BERKELEY</p> <p>SCALE: 1" = 20'</p> <p>DATE: 12/09/19</p>	<p>JOB No. 19653-19-07</p> <p>DATE: 12/09/19</p> <p>ENG No. 0-1431 TOPO</p>

Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 3:

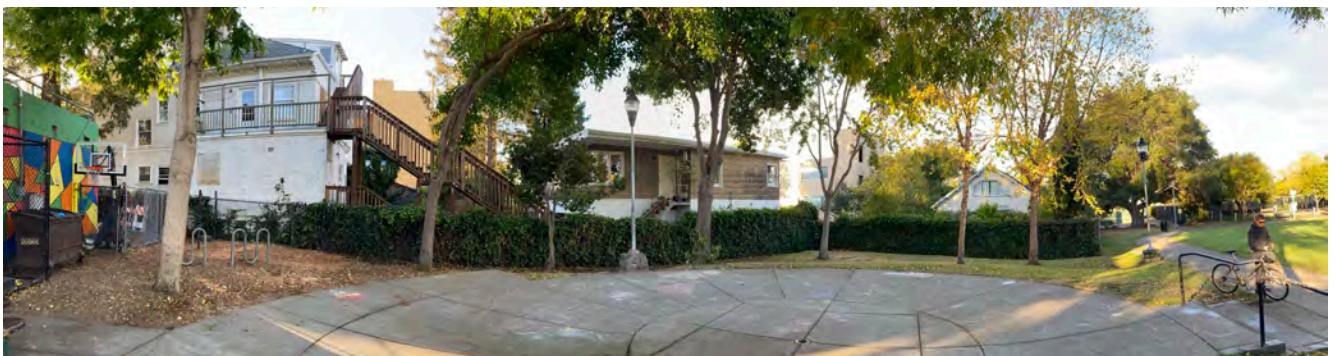
A. Site Photographs



Parks, Recreation and  
Waterfront Department



South of proposed clubhouse site - existing clubhouse and existing residence



Southwest of proposed clubhouse site - existing residence



Southeast of proposed clubhouse site - behind existing restroom by Hillegass Ave.



Proposed clubhouse site - existing clubhouse



Proposed clubhouse site - existing clubhouse





East of proposed clubhouse site - Hillegass Ave.



Southwest of proposed clubhouse site - existing residence



North of park - residence on Derby St.



Northeast of park- residence on Derby and Hillegass



Regent St. - looking north at proposed restroom site



View of proposed restroom site



View of proposed pollinator garden at Potter's wall



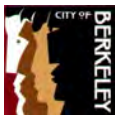
View of proposed pollinator garden at Potter's wall

Internal

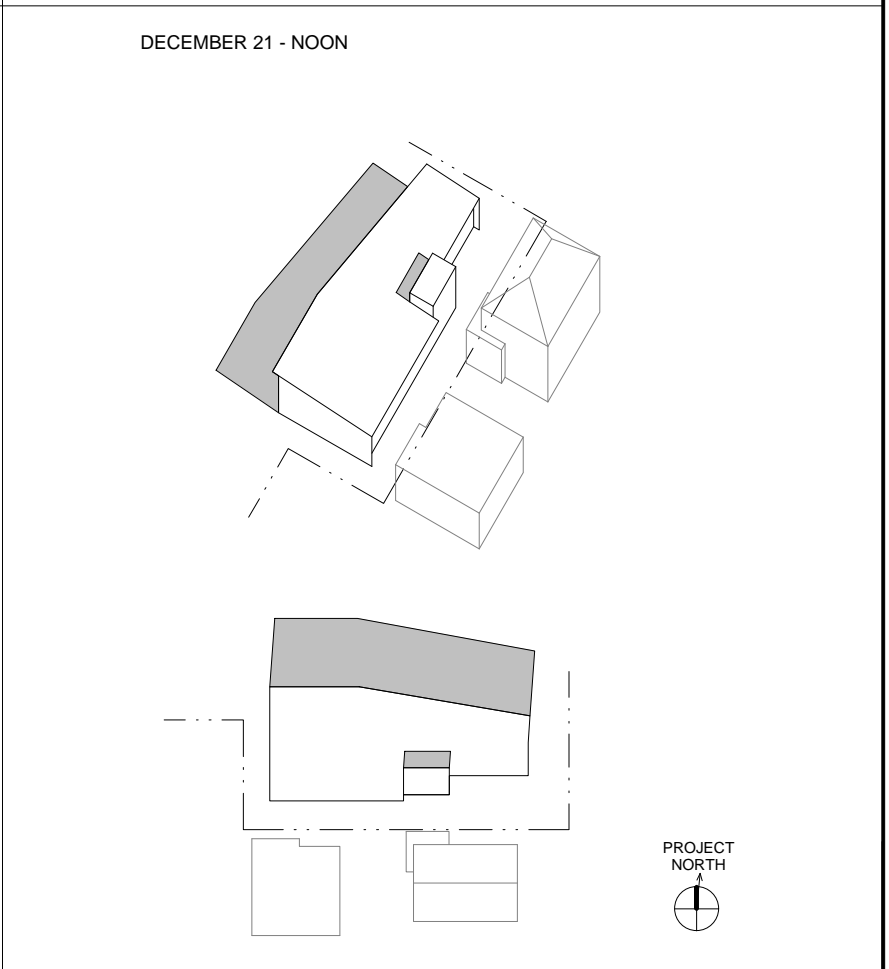
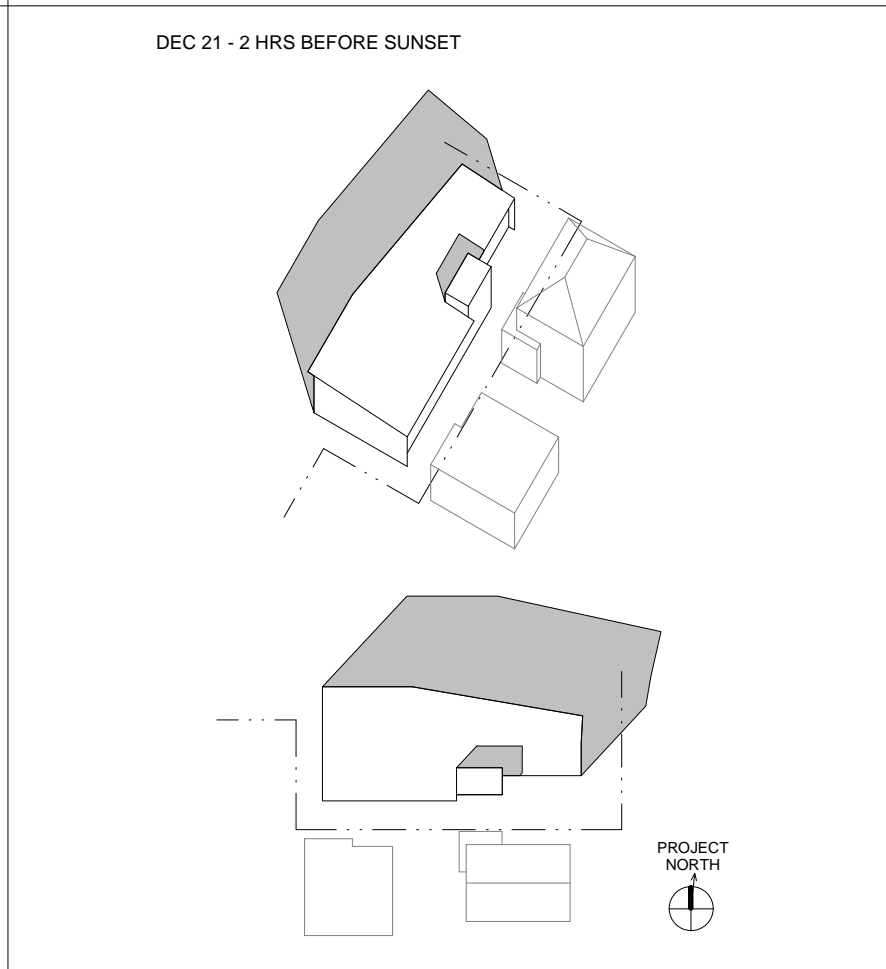
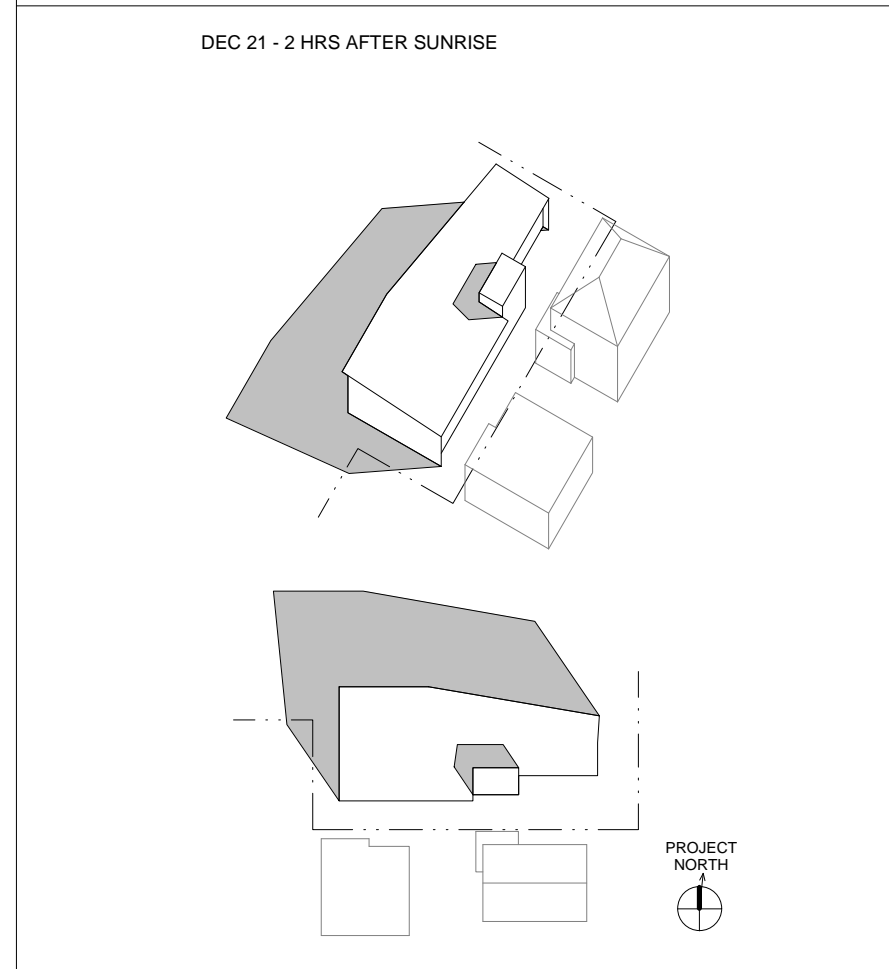
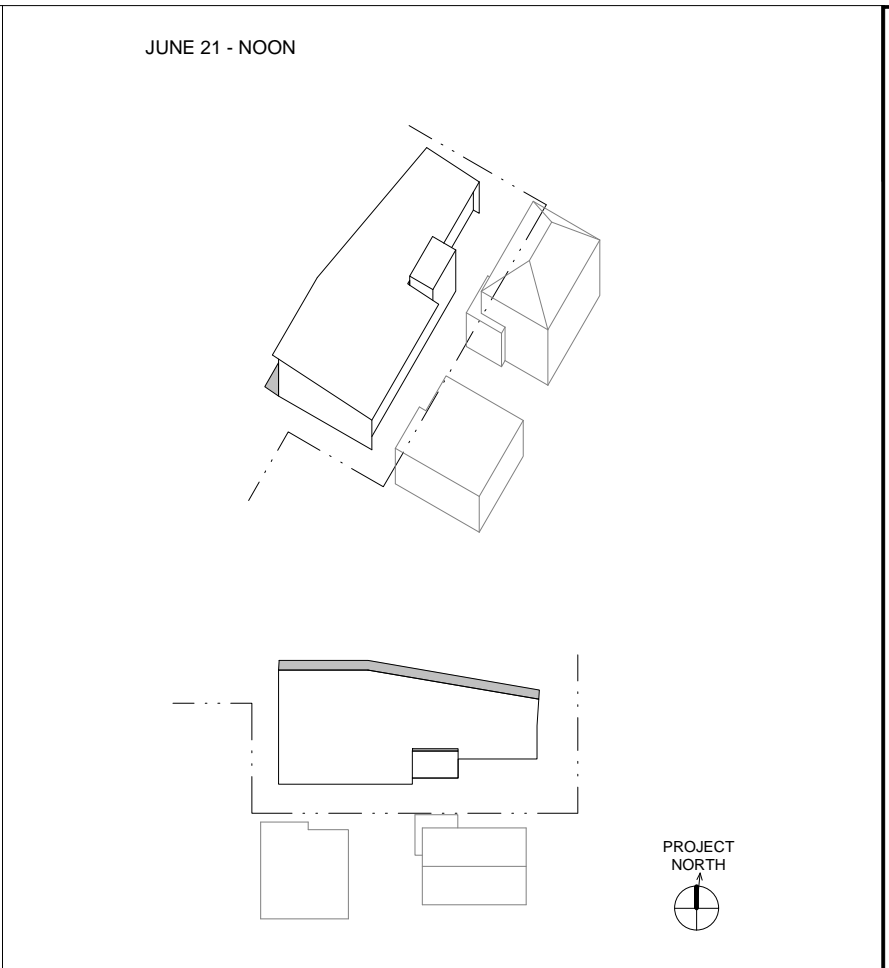
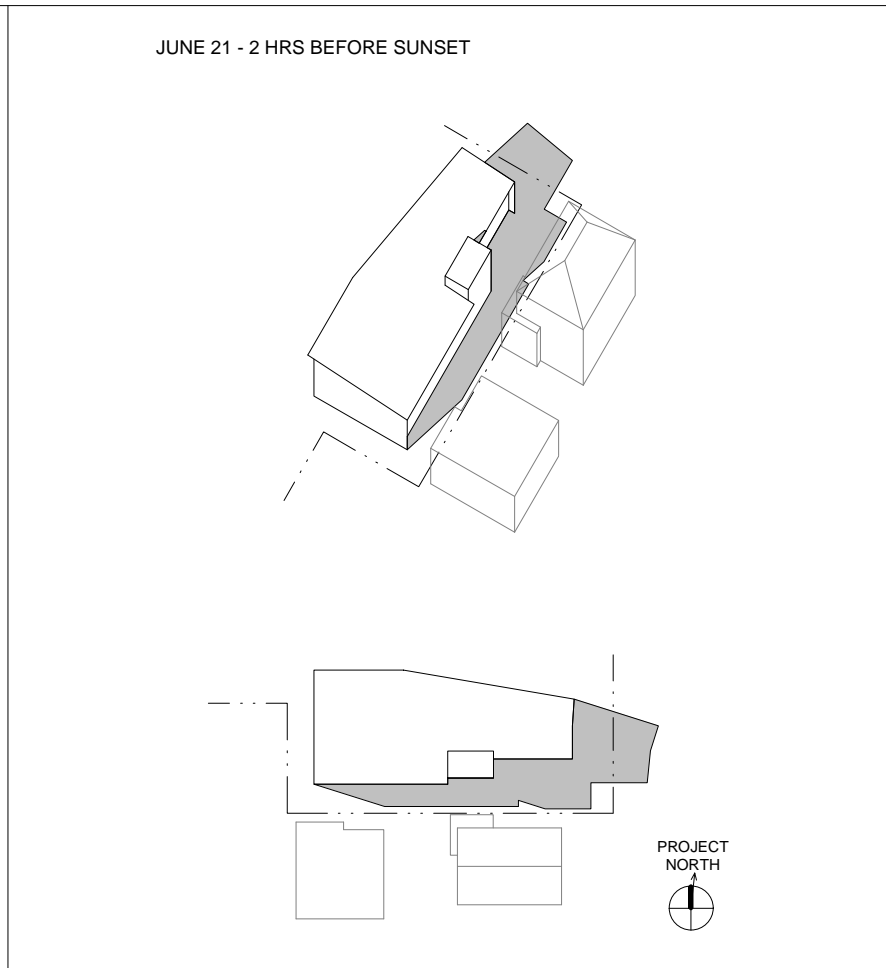
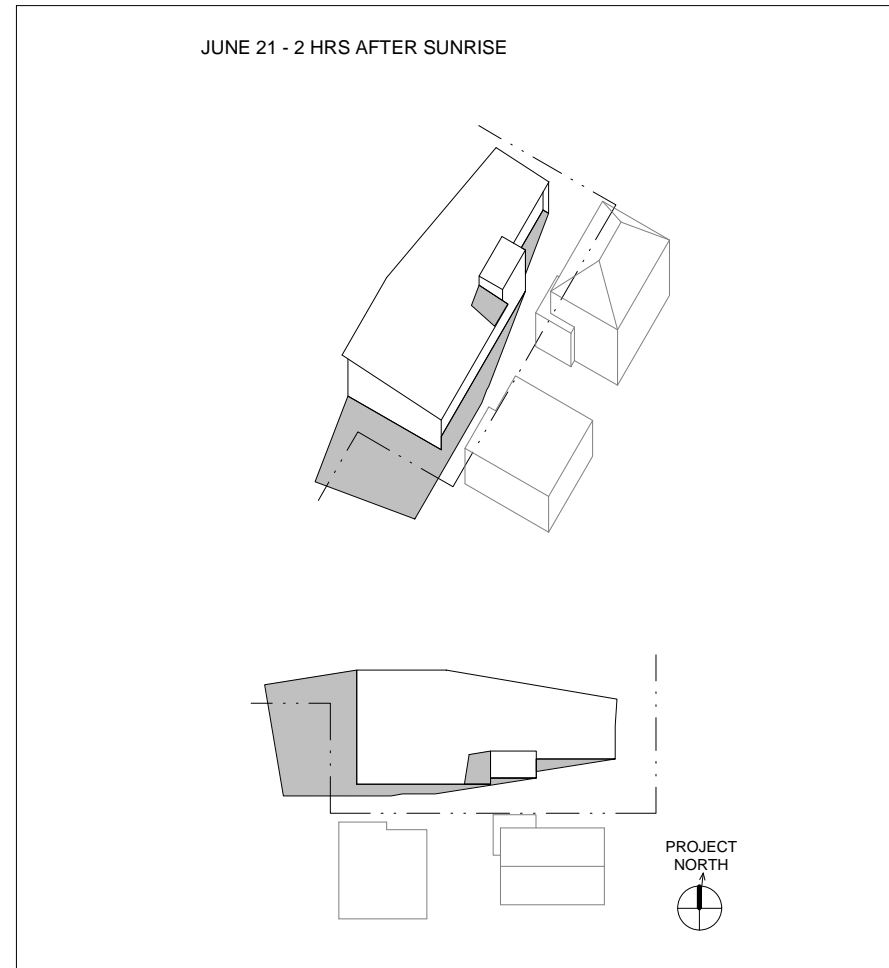
Application for Use Permit  
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Section 3:

B. Shadow Study



Parks, Recreation and  
Waterfront Department



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ELS PROJECT NUMBER:  
**201320.27**

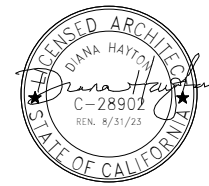
CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
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Berkeley, CA 94704  
P: 510.549.2929

REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/22/2022**

STAMP:  


SHEET TITLE:  
**SHADOW STUDY**

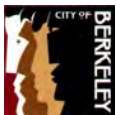
SHEET NUMBER:  
**Z3-B**

Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 3:

D. Arborist Report



Parks, Recreation and  
Waterfront Department



Parks Recreation & Waterfront  
Parks Division – Forestry Unit

**March 28, 2022**

**Re: Tree and Root Protection at Willard Park**

Ms. Wellbrock,

I have reviewed the plans for the new clubhouse and additional renovations at Willard Park. All of the tree and root protection measures outlined in the plans are consistent with industry standards and are acceptable as designed.

The fencing will keep all activity beyond the drip line of the coast live oak except where there is existing hardscape and will protect the critical root zone of the other trees that are being retained. Any roots four inches in diameter or less that are encountered during the excavation may be pruned as necessary. If any roots greater than four inches are encountered, contact the Urban Forestry Unit for review prior to pruning. Root pruning shall be performed using a stump/root cutting machine, saw, axe, or any other sharp blade tool; resulting in a flat surface with the adjacent bark firmly attached. No roots shall be torn or pulled using any other tools or machinery unless already severed on each end by one of the approved pruning tools.

Thank you,

Thomas Dodge

Urban Forestry Technician,

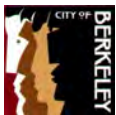
City of Berkeley, PR&W

Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 4:

B. Historic Resource Evaluation



Parks, Recreation and  
Waterfront Department



## Frances Willard Park, Berkeley, California

### Historic Resources Evaluation Report

*prepared for*  
**ELS Architecture + Urban Design**  
Diana Hayton AIA, Principal  
2040 Addison Street  
Berkeley, California 94704

*prepared with the assistance of*  
**Rincon Consultants, Inc.**  
449 15<sup>th</sup> Street, Suite 103  
Oakland, California 94612  
Contact: Debi Howell-Ardila, MHP

**September 2020**





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# 1 Introduction

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Rincon Consultants, Inc. (Rincon) was retained by ELS Architecture + Urban Design of Berkeley, California (Client), to complete a historic resources evaluation of Frances Willard Park, in support of park upgrades and new construction; the proposed project primarily would impact the Willard Park Clubhouse. The project is subject to the California Environmental Quality Act (CEQA) with the City serving as the lead CEQA agency. This report provides the substantial evidence necessary to make a historic resources determination of Willard Park; this study does not include an impacts analysis or project review.

Frances Willard Park is located in the residential neighborhood of Elmwood in southeast Berkeley. The park occupies a gently sloping site and is bounded by Derby Street (north), Hillegass Avenue (east), Willard Middle School (west), and single-family residences with frontage on Regent Street and Hillegass Avenue, respectively (south). The facilities span just over 118,500 square feet on a 2.7-acre site. The park address is 2730 Hillegass Avenue (Assessor's Parcel Number 54-1711-27) (Figure 1 and Figure 2). It is owned and operated by the Parks Division of the City of Berkeley Parks, Recreation, and Waterfront Department.

In the preparation of this evaluation, Ms. Howell-Ardila conducted an intensive-level survey of Frances Willard Park in August 2020. Ms. Howell-Ardila photographed and documented the overall features and spaces of the park. In order to ascertain the current historic resource status of Willard Park, Rincon reviewed the listings of the California Historic Resources Inventory, California Built Environment Resource Directory, and City of Berkeley Landmark and Structure of Merit listings. As of August 2020, Willard Park has not been designated as a landmark at the federal, state, or local level nor recorded as an eligible historic resource through evaluation or survey.

Archival research was completed in August 2020. Research methodology focused on the review of a variety of primary and secondary source materials relating to the history and development of Willard Park. Sources included historic maps, aerial photographs, and written histories of the area.

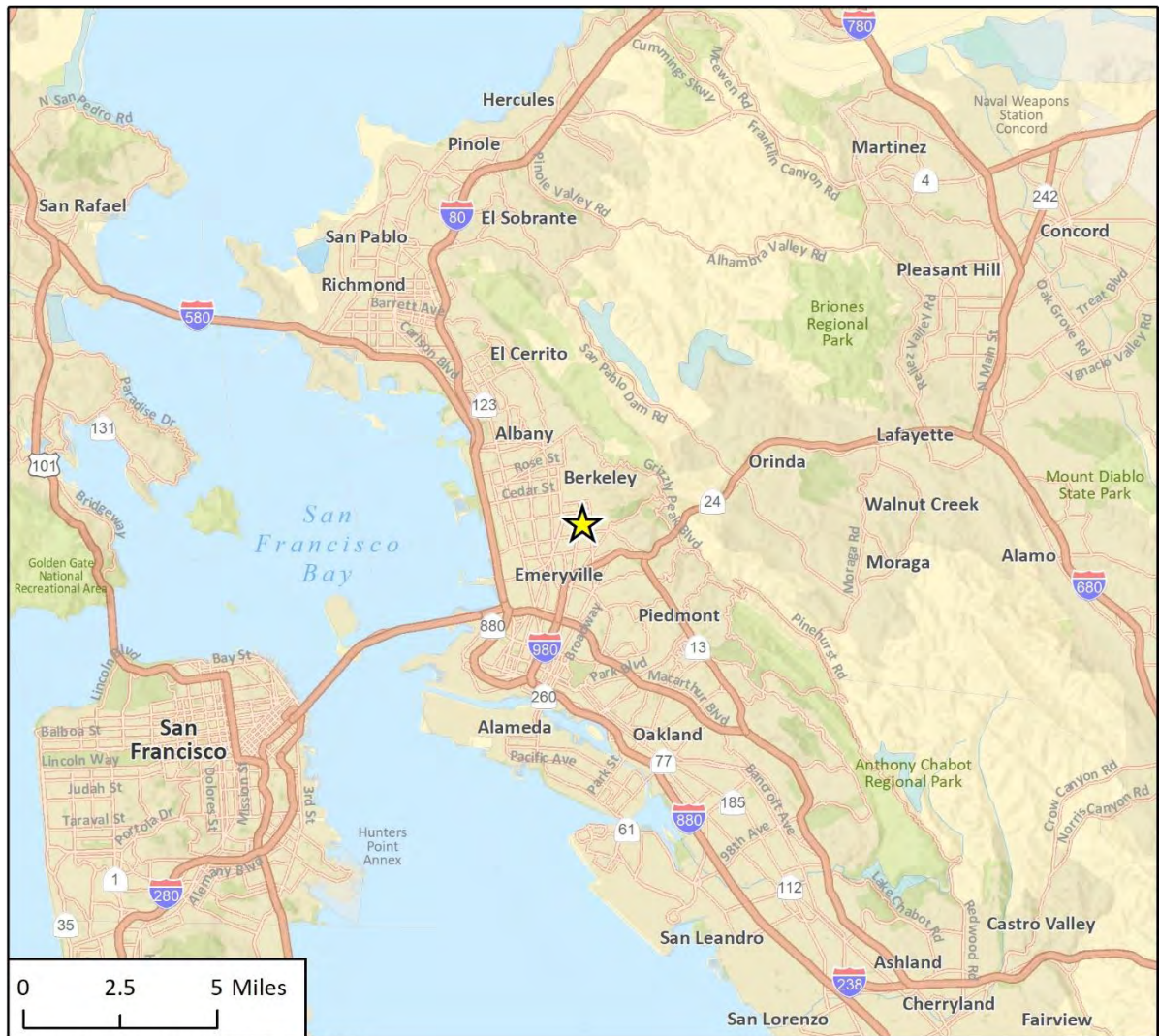
Rincon also coordinated with Anthony Bruce, the Executive Director of the Berkeley Architectural Heritage Association (BAHA) to inquire about materials and information regarding the park and its history. The online collections of the Online Archive of California and the University of California Calisphere were also searched. Other research materials consulted as part of this study included:

- Historical site plans of Willard Park;
- Historic aerial photographs, topographical maps, and Sanborn Fire Insurance Company Maps;
- Historic periodicals and newspapers, including the *Oakland Tribune*, *San Francisco Examiner*, *Berkeley Gazette*, and other historical newspapers;
- Historical photographs of Willard Park available via Flickr.com and other sources.

Rincon Senior Architectural Historian Debi Howell-Ardila, MHP, served as the principal investigator and author of this report. Rincon Architectural Historian James Williams, MA, contributed to research and coauthored sections of the report. Rincon Cultural Resources Principal Shannon Carmack and Principal Abe Leider reviewed this report for quality control.

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Frances Willard Park, Berkeley, California

Figure 1 Regional Map



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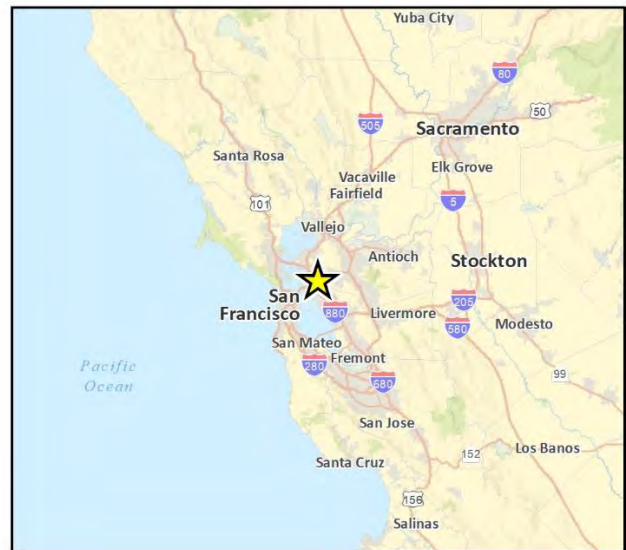


Figure 2 Project Location, Frances Willard Park, Berkeley



## 2 Regulatory Setting

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### 2.1 Federal

#### National Register of Historic Places (NRHP)

The NRHP was established by the NHPA of 1966 as “an authoritative guide to be used by Federal, State, and local governments, private groups and citizens to identify the Nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment” (CFR 36 CFR 60.2). The NRHP recognizes properties that are significant at the national, state, and local levels. A property is eligible for the NRHP if it is significant under one or more of the following criteria:

1. Criterion A: It is associated with events that have made a significant contribution to the broad patterns of our history;
2. Criterion B: It is associated with the lives of persons who are significant in our past;
3. Criterion C: It embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; and/or
4. Criterion D: It has yielded, or may be likely to yield, information important in prehistory or history. In general, a resource must be 50 years of age to be considered for the NRHP, unless it satisfies a standard of exceptional importance.

In order to retain eligibility for the NRHP, a property must meet one of these criteria and retain historic integrity (defined below).

### 2.2 State

CEQA requires a lead agency determine whether a project may have a significant effect on historical and archaeological resources (Public Resources Code [PRC], Section 21084.1) and tribal cultural resources (PRC Section 21074 [a][1][A]-[B]). A historical resource is a resource listed in, or determined to be eligible for listing, in the California Register of Historical Resources (CRHR), a resource included in a local register of historical resources, or any object, building, structure, site, area, place, record, or manuscript that a lead agency determines to be *historically significant* (State CEQA Guidelines, Section 15064.5[a][1-3]).

A resource shall be considered *historically significant* if it meets any of the following criteria:

- 1) Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage;
- 2) Is associated with the lives of persons important in our past;
- 3) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or

- 4) Has yielded, or may be likely to yield, information important in prehistory or history.

In addition to meeting these criteria, in order to qualify for the NRHP and the CRHR, a property must retain “historic integrity” such that it continues to convey the reasons for its historic significance. “Historic integrity” is a composite of seven different aspects or qualities that, taken together, express the significance of a historic property. According to National Register Bulletin No. 15, in order to retain integrity and qualify for the NRHP, a property must have most if not all of these seven aspects:

- 1) Location – the place where the historic property was constructed or where an event occurred;
- 2) Design – the combination of elements that create the form, plan, space, and style of a property;
- 3) Setting – the physical environment of a historic property;
- 4) Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property;
- 5) Workmanship – the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory;
- 6) Feeling – a property’s expression of the aesthetic or historic sense of a particular period of time;
- 7) Association – the direct link between an important historic event or person and a historic property.

## 2.3 Local

### 2.3.1 City of Berkeley Municipal Code

Chapter 3.24 of the City of Berkeley Municipal Code, also known as the Landmarks Preservation Ordinance, establishes the Landmarks Preservation Commission (LPC). The LPC maintains a list of structures, sites and areas, including landmarks and historic districts, having a special historical, architectural, or aesthetic interest or value. Criteria for designation are as follows.

- A. Landmarks and historic districts. General criteria which the commission shall use when considering structures, sites, and areas for landmark or historic district designation are:
  1. Architectural merit:
    - a) Property that is the first, last, only or most significant architectural property of its type in the region;
    - b) Properties that are prototypes of or outstanding examples of periods, styles, architectural movements or construction, or examples of the more notable works of the best surviving work in a region of an architect, designer or master builder;
    - c) or Architectural examples worth preserving for the exceptional values they add as part of the neighborhood fabric.
  2. Cultural value: Structures, sites and areas associated with the movement or evolution of religious, cultural, governmental, social and economic developments of the City;

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3. Educational value: Structures worth preserving for their usefulness as an educational force;
  4. Historic value: Preservation and enhancement of structures, sites and areas that embody and express the history of Berkeley/Alameda County/California/United States. History may be social, cultural, economic, political, religious or military;
  5. Any property which is listed on the National Register described in Section 470A of Title 16 of the United States Code.
- B. Structures of merit. Criteria which the commission shall use when considering a structure for structure of merit designation are as follows:
1. General criteria shall be architectural merit and/or cultural, educational, or historic interest or value. If upon assessment of a structure, the commission finds that the structure does not currently meet the criteria as set out for a landmark, but it is worthy of preservation as part of a neighborhood, a block or a street frontage, or as part of a group of buildings which includes landmarks, that structure may be designated a structure of merit.
  2. Specific criteria include, but are not limited to one or more of the following:
    - a) The age of the structure is contemporary with (1) a designated landmark within its neighborhood, block, street frontage, or group of buildings, or (2) an historic period or event of significance to the City, or to the structure's neighborhood, block, street frontage, or group of buildings.
    - b) The structure is compatible in size, scale, style, materials or design with a designated landmark structure within its neighborhood, block, street frontage, or group of buildings.
    - c) The structure is a good example of architectural design.
    - d) The structure has historical significance to the City and/or to the structure's neighborhood, block, street frontage, or group of buildings. (Ord. 5686-NS Section 1 (part), 1985: Ord. 4694-NS Section 3.1, 1974)

The LPC is also responsible for reviewing and deciding on permit applications for alterations to such structures and sites. According to Section 3.24.200, "No person shall carry out or cause to be carried out on a designated landmark, in a designated historic district or structure of merit, any construction, alteration, or demolition for which a City permit is required, without approval by the commission." To allow demolition of a landmark, the LPC must find that it "is in such condition that it is not feasible to preserve or restore it, taking into consideration the economic feasibility of alternatives to the proposal, and balancing the interest of the public in preserving the designated landmark, historic district or structure of merit or portion thereof and the interest of the owner of the landmark site, historic district, or structure of merit site in its utilization.



### 3 Site Description

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Frances Willard Park is located in the residential neighborhood of Elmwood in southeast Berkeley. The park occupies a gently sloping site and is bounded by Derby Street (north), Hillegass Avenue (east), Willard Middle School (west), and single family residences with frontage on Regent Street and Hillegass Avenue, respectively (south). The facilities span just over 118,500 square feet on a 2.7-acre site. The park address is 2730 Hillegass Avenue (Assessor's Parcel Number 54-1711-27). It is owned and operated by the Parks Division of the City of Berkeley Parks, Recreation, and Waterfront Department.

The park amenities include a large lawn area with mature trees, two lighted tennis courts, a tot play area, picnic area, paths made of historic cobblestones, and a clubhouse located in the southeastern corner of the park. The existing clubhouse consists of a 565-square-foot building, with an attached 114-square-foot restroom and 486-square-foot trellis area.

The focal point of the park is a large grass lawn and recreation area. Most of the other amenities, such as hardscaping/benches, the playground, and built environment features such as the clubhouse are located along the periphery of the central lawn. The lawn and park are framed and accented with mature trees throughout (a number of which pre-date the establishment of the park). Brick and stone hardscaping and planters also appear throughout, with a concentration of features along the northeastern entrance and eastern border of the park. Historic light standards line the western border of the park and are located throughout the park.

The principal built environment feature of the park is the clubhouse, located in the southeast corner of the park. One story in height, the clubhouse displays a series of aluminum-frame glazed doors, opening onto a patio space. The patio is sheltered beneath a simple wood trellis supported on metal pole supports. The walls display painted concrete-block and vertical wood planks. The original stone walkway and concrete stairs leading to an open rooftop area have been removed and replaced with a concrete-block restroom, fronted by a metal gate.

The northeast corner of the park features stone hardscaping and an entrance gate. Similar hardscaping features, with rough-hewn stone, are located near the entrance to the park and clubhouse, in the southeast portion of the park.

The western portion of the park is home to tennis courts and a playground area. In the northwestern corner of the park, at the sidewalk along Derby Street, is the 1978 "Potter's Wall," a low, undulating, decorative wall clad in recycled ceramics. The Potter's Wall was designed in the organic, expressive style of Spanish architect Antoni Gaudi. Planters and a bench are built into the wall.

The following photographs provide an overview of the spaces and features of Willard Park.

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Frances Willard Park, Berkeley, California

Figure 3 Eastern entrance to park and clubhouse, east perspective



Figure 4 Rear (southeast) elevation of the clubhouse; the concrete block walls house a restroom added to the building in the 1990s



Figure 5 Overview of Willard Park Clubhouse, north perspective



Figure 6 Northwest corner of Willard Park, showing light standard, stone hardscaping, and mature trees in central lawn



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Figure 7 **1978 Potter's Wall along Derby Street**, northeast perspective



Figure 8 Overview of Willard Park, west perspective along Derby Street



Figure 9 Overview of Willard Park, lawn and trees, northwest perspective



Figure 10 Overview of Willard Park, lawn, trees, and playground, north perspective



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Figure 11 Overview of Willard Park, northeastern entrance gate



Figure 12 Overview of Willard Park, detail of northeastern entrance gate hardscaping



Figure 13 Overview of Willard Park, detail of hardscaping along east boundary/sidewalk



Figure 14 Overview of Willard Park, southeast perspective



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Figure 15 Overview of Willard Park, stone planters, east entrance



Figure 16 Overview of Willard Park, east entrance detail





## 4 Neighborhood Setting and Historic Context

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### 4.1 Neighborhood History and Context

As noted above, Willard Park falls within the neighborhood of Elmwood in southeast Berkeley, located between the north-south corridors of College and Telegraph Avenues, south of the University of California, Berkeley.

During its founding years, Berkeley owed much of its initial development to its proximity to regional transportation routes, emerging commercial and industrial centers, and the establishment of the University of California, Berkeley. Originally founded in Oakland in 1855 as the “College of California,” the university relocated to Berkeley in 1866. The City of Berkeley incorporated in 1878, a year after the Southern Pacific Railroad line reached the Bay Area in 1877. Through the late nineteenth century, Berkeley remained a small town with emerging neighborhoods and commercial corridors, in particular along San Pablo and University Avenue, ringed by agricultural uses on the city periphery.

In addition, the 1906 San Francisco Earthquake and fire caused widespread displacement and an exodus out of San Francisco to East Bay towns like Berkeley and Oakland. During the opening years of the twentieth century, the Elmwood neighborhood saw a great increase in new settlement and construction as a result of these and other factors.

In addition, in terms of the stylistic character of its early architecture, Berkeley and early neighborhoods like Elmwood became centers for the Arts and Crafts movement. During the late nineteenth and early twentieth century, the City overall saw a flowering of Arts and Crafts architecture—in particular, in its “First Bay Tradition” of the Bay Area-influenced Arts and Crafts style. Early practitioners in Berkeley of the First Bay Tradition included architects such as Bernard Maybeck, Julia Morgan, John Galen Howard, Ernest and Almeric Coxhead, John Hudson Thomas, and James Placheck (many of whom not only practiced but also resided in the Berkeley Hills surrounding UC Berkeley).

The First Bay Tradition expanded on and redefined the Arts and Crafts architecture emerging on the East Coast in the work of architects such as Henry Hobson Richardson and McKim, Mead and White. One of the most significant West Coast innovations was the focus on site-specific design and creating connections between the indoors and outdoors, buildings, landscaping, and setting:

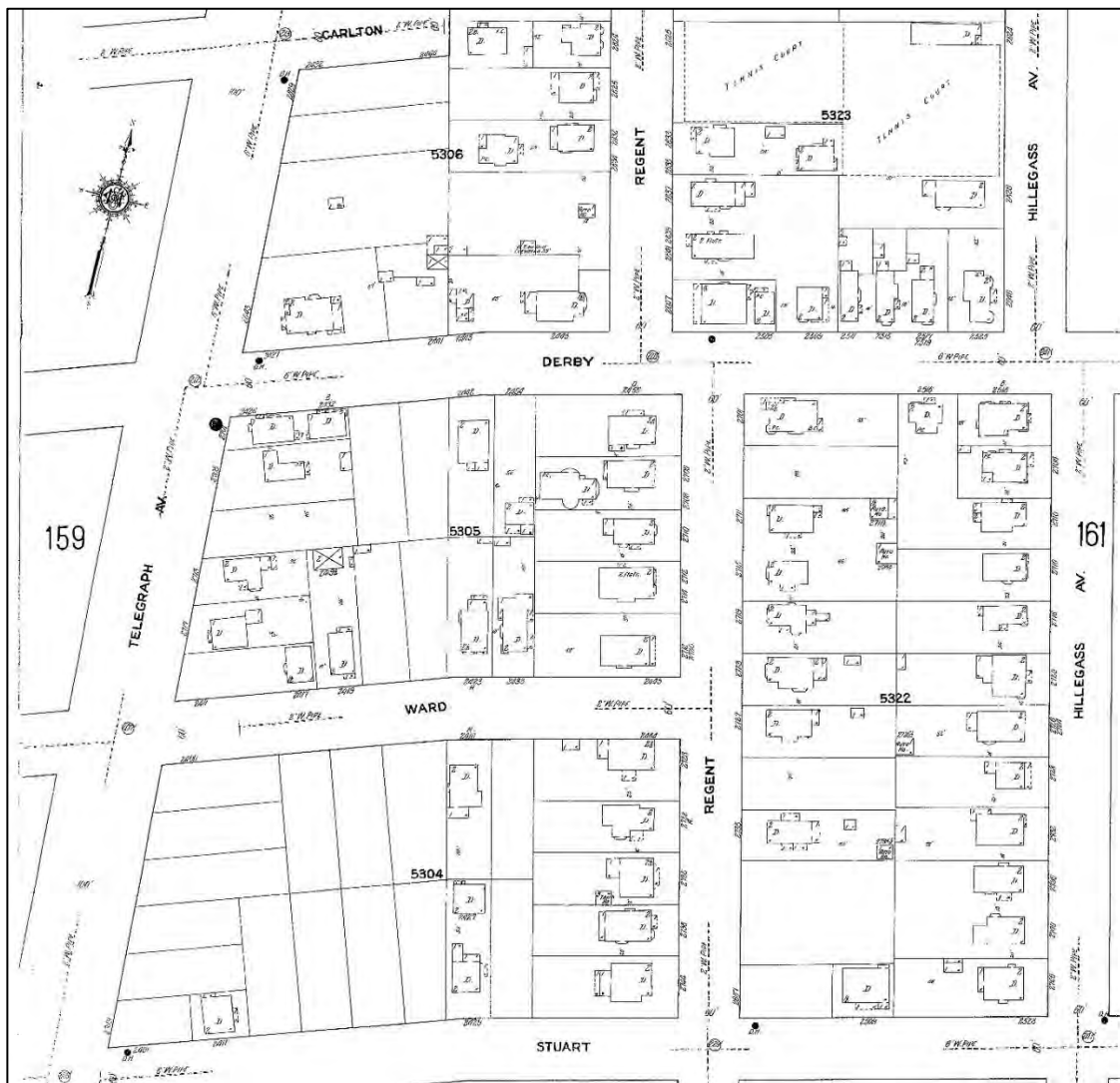
What the Bay Tradition added to the Shingle Style was environment, and in particular the generosity of and therefore, connection to outdoor space, open and cheerful western skies, hills alternating gold and green, and sculptural woodlands. In fact, it is the connections between setting, landscape and architecture where early Bay Area buildings fully succeeded the Shingle-Style of their Eastern mentors. (Preservation Architecture 2007)

In this way, Berkeley’s woodsy setting and indoor-outdoor integration became important features for the new First Bay Tradition. As William Wilson Wurster wrote, “The First Bay Tradition went beyond a strictly architectural expression; it also reflected a life style” (Stern Cerny 1990). Commentators at the time recognized this “unique quality” and cohesive, distinctive neighborhood character it created.

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With the post-1906 construction boom in Berkeley, including in Elmwood, the character of the residential neighborhood around and in Willard Park was one of Arts and Crafts-inspired Craftsman homes, clad with brown wood shingles and enveloped in landscaping. Some of the neighborhood's original landscaping, in the form of mature evergreen trees, survives in Willard Park. This general description was also reflected in the Home Owners' Loan Corporation 1937 survey of Elmwood. At the time, surveyors noted the "dignified" architectural character of the neighborhood's homes and the average date of construction of 1905 (HOLC 1937).<sup>1</sup> In terms of the neighborhood, it was deemed to have "excellent local and San Francisco transportation, convenient to schools, University of California, recreational facilities and local shopping centers" (HOLC 1937).

Figure 17 Sanborn Fire Insurance Map, showing degree of build-out, by 1911, of Elmwood and future site of Willard Park



Source: Environmental Data Resources, 2020

<sup>1</sup> It is worth noting the highly problematic nature of Home Owners Loan Corporation (HOLC) survey data. Conducted in cities throughout the United States in the 1930s, the HOLC program provided fuel for racially discriminatory housing practices. The resulting data provides a window onto 1930s-era neighborhoods that is rare and useful for its level of detail on the built environment but that generally should be not used without a caveat on the program and its negative, lasting effect on neighborhoods and communities of color.

Into the twentieth century, Berkeley expanded rapidly, through the meteoric growth of the University of California, Berkeley, the downtown commercial corridor, as well as industrial development along the city periphery. Residential expansion grew, as well, with neighborhoods into the Berkeley flats and hills showing increasing numbers of new tracts and residential settlement.

With the advent of the automobile, as well as road construction and infrastructure improvements, residential development expanded further from the city's historical center. During and immediately after World War II, the combination of in-migration to California and the postwar baby boom fueled further growth, and Berkeley approached its peak population of over 110,000 by 1950.

The City rapid population growth coincided with massive, Cold War-era investments in American public universities. A prime beneficiary of federal research grants, the University of California, Berkeley, experienced postwar surge in enrollments, which grew from 7,700 in 1944 to 21,000 in 1946. The University's growth contributed to Berkeley's emergence as intellectual center. By the 1960s, Berkeley was transformed from a small town to a cosmopolitan "republic of letters where independent newspapers, poetry, music, art, and theater proliferated" (Suri 2004).

In terms of Elmwood and the area around Willard Park, it had been largely developed for residential use by the opening decades of the twentieth century. The proximity to the north-south corridors of Telegraph Avenue to the south and College Avenue to the north made the neighborhood accessible to downtown shopping areas and the Civic Center as well as UC Berkeley to the north. As shown on the 1911 Sanborn Fire Insurance map, the neighborhood primarily consisted of axial, residential-sized lots on a rectilinear street grid. Nearly all of the lots had already been improved with two-story, single-family homes. At this time, Regent Street followed an uninterrupted course between Stuart and Derby Streets. As of 1911, Frances Willard School, which is currently located immediately west of the park, had not yet been developed, and the school site was home to several residences (ProQuest 2020).

As of 1939, the year the first available aerial photograph of the area was taken, the area was fully developed and had much the same predominantly residential character as it has today (Figure 18).

By 1946, the clearing of former residential parcels between Regent Street and Telegraph Avenue had begun in order to construct Frances Willard School. The school was expanded and its older buildings razed and replaced over the next two decades.

Aside from a modest increase in commercial and/or institutional development along Telegraph and College avenues, there were few notable changes to the subject property or its vicinity until after 1968 (EDR 2020).

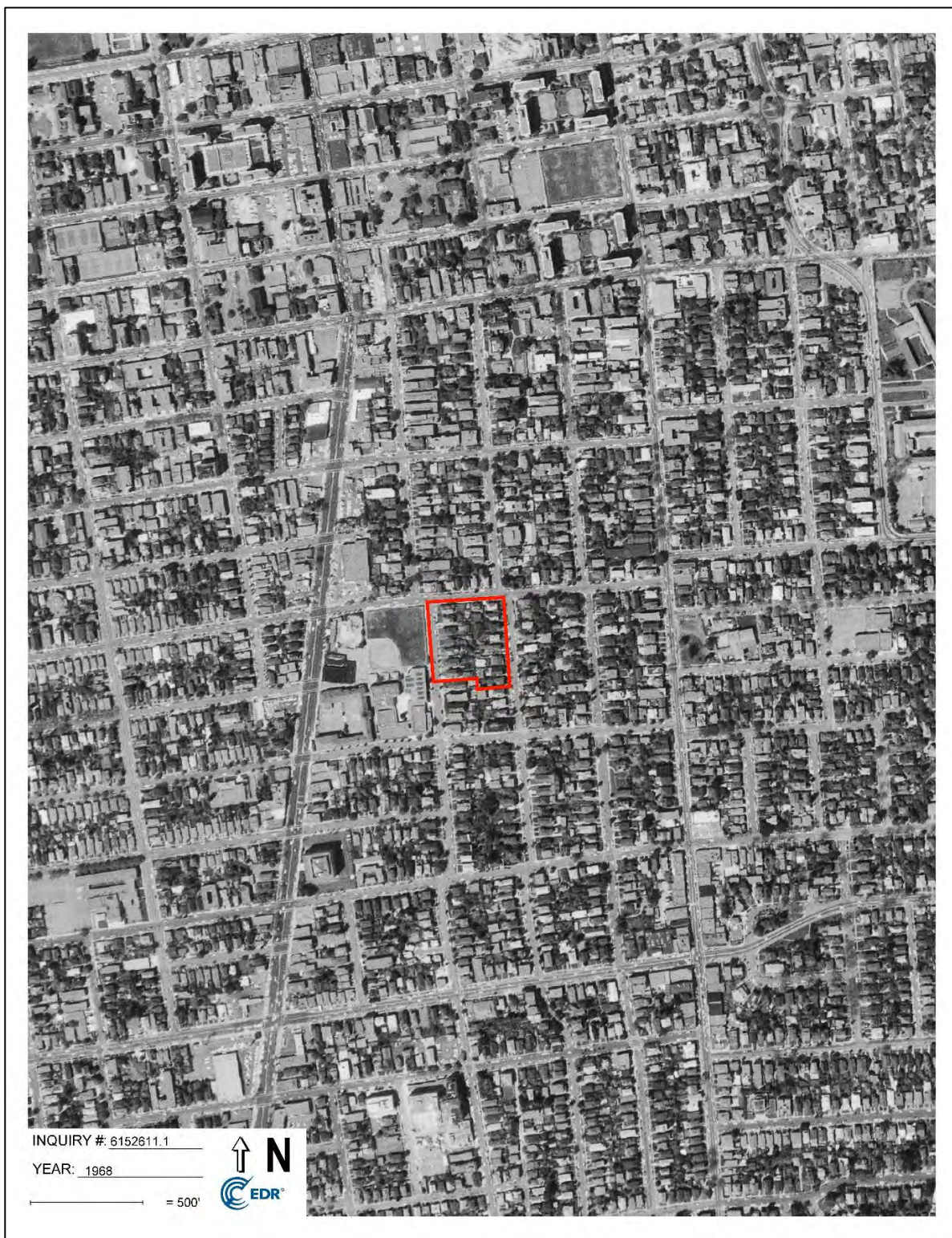
The following aerial photographs present a visual overview of the construction chronology of Willard Park and the surrounding neighborhood.

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Frances Willard Park, Berkeley, California

Figure 18 1939 aerial of Willard Park (in red) and surrounding neighborhood, which consists primarily of early twentieth-century homes on an axial street grid, with mature landscaping throughout



Figure 19 1968 aerial of Willard Park (in red) and surrounding neighborhood, a year prior to the construction of Willard Park



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Frances Willard Park, Berkeley, California

Figure 20 1974 aerial of Willard Park (in red) and surrounding neighborhood; **People's** Park appears in the third block directly to the north from Willard Park



Figure 21 Detail of the Willard Park area immediately before and after construction, in 1968 and 1974; surviving mature trees appear in the 1974 image



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 Frances Willard Park, Berkeley, California

## 4.2 Willard Park Construction Chronology and Social History

Planning for Willard Park began in 1950s, as city officials recognized the need for a recreational facility in southeast Berkeley, and ultimately chose the subject site for redevelopment as a park (Oakland Tribune 9/17/1957). The City Council began authorizing the piecemeal acquisition of residential properties in the area by 1957 (Oakland Tribune 7/24/1957). While some property owners sold their homes willingly, opposition to the park plan arose, spearheaded by Southeast Berkeley Property Owners' Association, whose officers all resided on the 2700 block of Hillegass Avenue, where the park would be constructed. According to reporting by the Oakland Tribune, the organization was established "to protect their private homes and income property in the Hillegass-Derby-Regent block against" the development of the proposed park (Oakland Tribune 9/26/1957).

By 1964, the City had purchased most of the 17 parcels earmarked by local planners, but the program stalled briefly (City of Berkeley Parks Division 2020). In 1968, land acquisitions resumed, after the U.S. Department of Housing and Urban Development awarded local authorities a series of open space land grants to cover half the cost of acquiring the six parcels the City had not yet purchased. In April 1969, after years of planning and preparation, an agreement was reached for Willard Park to move forward as a user-developed park with joint use between the City and Willard Junior High School. That same year, in 1969, the remaining buildings and homes were demolished and removed, and the interim park was constructed by the fall of 1969. Construction for the park moved forward, with amenities including a "recreation building, tot lot, play lot, turf field, tennis and basketball courts" (Oakland Tribune 1/19/1968).

Even before the park was officially inaugurated on June 20, 1971, the community utilized the park for gatherings (explored in more detail below). In 1976, the park's tot lot playground was renovated; in May 1982, the park was renamed in honor of Frances Willard, a well-known suffragette, educator, and temperance leader in Berkeley.

Figure 22 As-built drawings of Willard Park Clubhouse, east elevation, with original cobblestone wall and stairs leading to rooftop space; the cobblestone wall and stairs were removed in the 1990s

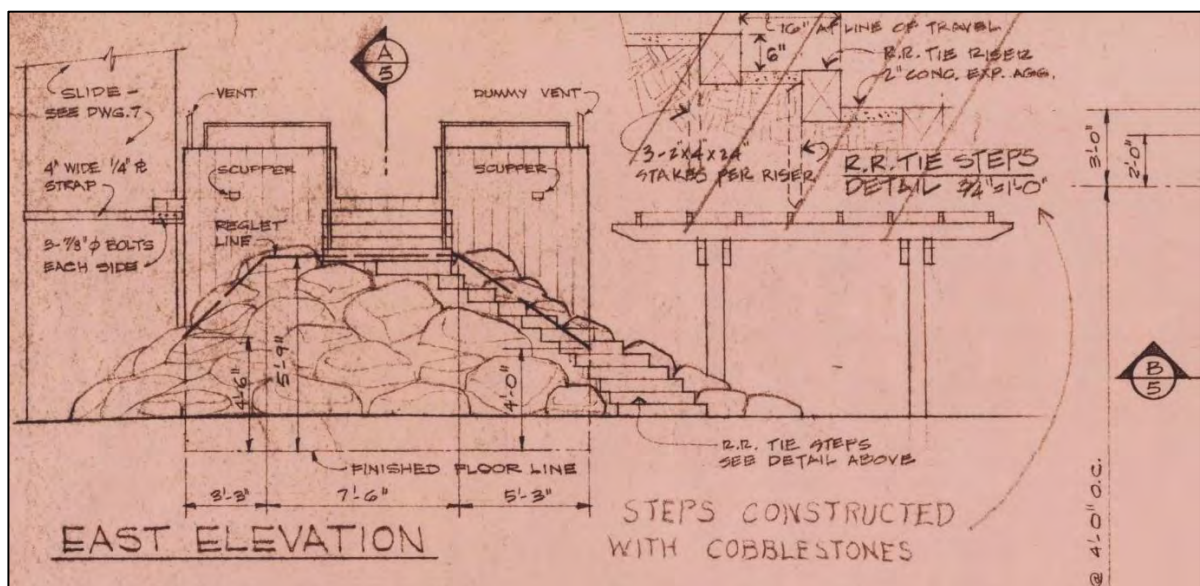
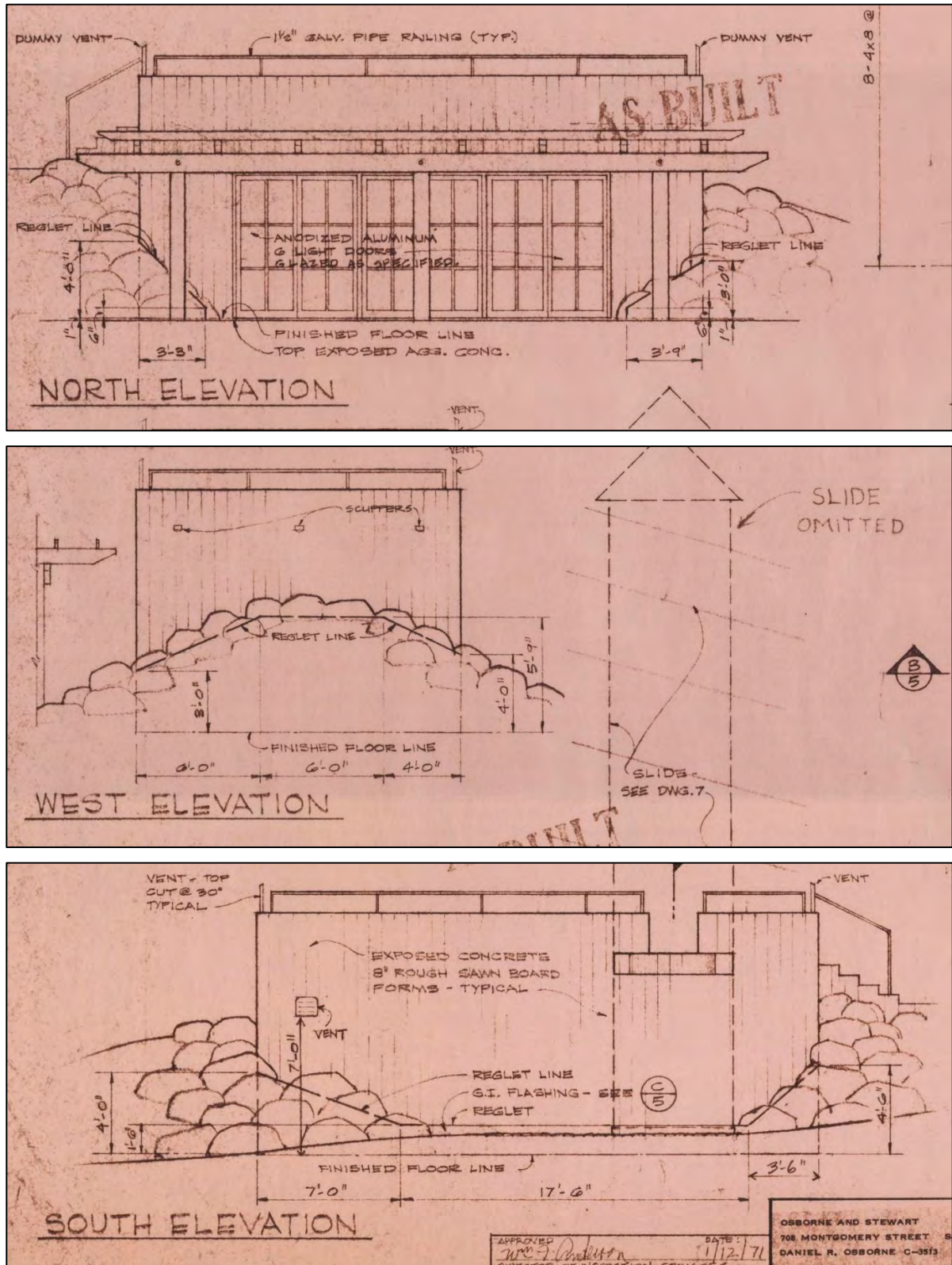




Figure 23 As-built drawings of Willard Park Clubhouse, façade (top), with original cobblestone features on east and west elevations; west elevation (center); and south elevation (bottom)



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When initial development of the park began in the 1969, the site became linked to an ongoing controversy over People's Park, located two blocks to the north. Mayor Wallace J.S. Johnson announced the City's plans to begin construction of Willard Park in May, just days into the political fight over People's Park.

At the core of the People's Park protests was the contention among some activists that restrictions imposed by the University of California, Berkeley, for on-campus political activities had created the need for an off-campus "free-speech area," as an alternative to Sproul Plaza. During Willard Park's first years of operation, People's Park site remained off-limits by University decree, and Willard Park served as a base for political demonstrations (Wittmeyer 2004).

Political pressure seems to have hastened the City's opening of Willard Park. Construction began in the fall of 1969, and the park soon opened with an interim design consisting solely of a "turfed" field. Further landscaping, buildings, other amenities were scheduled for development in the near-term (Oakland Tribune 9/19/1969).

Even before the park's official inauguration in 1971, organizers soon put the space to use as an off-campus site for demonstrations concerning People's Park, the Vietnam War, and other political issues of the day. In the spirit of the times, activists nicknamed the space Ho Chi Minh Park, a name that remained in use unofficially for many years (Branning 1970; San Francisco Examiner 1982).

On July 4, 1970, the park served as the starting point for a 300-strong march along Telegraph Avenue toward the UC Berkeley campus. Marking "Liberation Day" or alternately "Anti-Honor America Day," the demonstration culminated in violence between protesters and police. By one report, "[protesters] threw rocks and firecrackers" and "city and campus police chased them in full battle gear" (Oakland Tribune 7/5/1970; 7/6/1970 San Francisco Examiner 7/12/1970). In December 1971, the antiwar organization Bay Area Veterans Against the War received permission to host an event at Willard Park. About 150 veterans camped at the park to "make sure that 'people at Christmas don't forget there's no peace on earth'" (San Francisco Examiner 12/21/1971).

On May 8, 1972, Willard Park served as the starting point for a rally and march that was pivotal in the permanent opening of People's Park. The event began as a large non-violent demonstration against President Richard M. Nixon's authorization of the mining of Haiphong Harbor near Hanoi. However, by evening the atmosphere had turned "riotous," and protesters clashed with police in the streets. The conflict culminated in protesters' dismantling of the eight-foot chain-link fence that lined the perimeter of the People's Park site (Oakland Tribune 5/9/1972). The University subsequently acceded to the activists' demands and allowed construction of the People's Park to resume.

After 1972, the use of Willard Park for political gatherings appears to have declined. A search of the newspaper database newspapers.com shows that at least one more major political rally took place at the park following the reopening of People's Park (a November 8, 1972 demonstration over Nixon's reelection) (Oakland Tribune 11/2/1972). Search results on Independent Voices, an online database of underground and alternative periodicals, shows a similar decline after 1972 (Independent Voices 2020). However, even with waning activism against the Vietnam War, the park continued to host large events falling in a generally countercultural milieu.

Through the early 1970s, Willard Park was the site the Society for Krishna Consciousness' annual Lord Chaitanya festival, which began at Sproul Plaza with a parade and ended in a day long fete at Willard Park (San Francisco Examiner 3/14/1971; Oakland Tribune 3/3/1972; Berkeley Gazette 3/9/1973). By 1973 and until at least as recently as 1981, the park was home to the annual East Bay Gay Day (later East Bay Lesbian/Gay Day) festival, sponsored by East Bay Gay and other gay and

lesbian rights organizations (Berkeley Gazette 6/19/1973; 6/18/1974; 6/20/1975; 6/1/1976; 6/17/1978; North East Bay Independent and Gazette 5/15/1981).

In addition, in 1974, a memorial service for Angela Atwood, who was one of six Symbionese Liberation Army members killed in a Los Angeles gunfight (San Francisco Examiner (3/9/1974). Other events at the park in this period marked the Greenpeace Save the Wales campaign and Earth Day, in addition to multiple performances by the San Francisco Mime Troupe (Berkeley Gazette 9/10/1976; North East Bay Independent and Gazette 6/19/1978).

Figure 24 Lord Chaitanya Festival at Willard Park, 1974



In addition to its role as a public gathering space during the late 1960s and early 1970s, Willard Park served as a neighborhood park for area families, residents, and visitors. In 1970, in support of expanding the park's amenities, the Willard Park Citizens Committee approved designs for a second phase of development (City of Berkeley Parks Division 2020). Features of the new development included a playground, clubhouse, mural wall, tennis courts, restroom and pay phone kiosks, and new landscaping. The park centered on the Arts and Crafts-inspired clubhouse, with its distinctive cobblestone walls and open stairs, and adjacent playground, located at the northeast corner of the park.

Two notable motifs in the park's landscape design were the use of sizeable boulders, cobblestones, and similar masonry elements to mark boundaries. Removed in the 1990s, the cobblestone walls flanking the clubhouse, for example, and boulder alignments in other areas, were key features of the park's design. Original site plans depict large collections of boulders partially enclosing the playground, lining the boundary with an adjacent nursery school, and providing a barrier at the

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Frances Willard Park, Berkeley, California

Regent Street dead end (City of Berkeley Department of Public Works 1971). Historic photographs of the park show that, in some locations, boulders were stacked several feet high (WD Watson 2006).

Masonry elements in the 1971 plans included a low wall, curb strip, and edge strip. An original drinking fountain was also constructed with a rough-hewn masonry pedestal and basin (City of Berkeley Department of Public Works 1971). While there are no remnants of the boulders and some masonry features have been removed, the masonry motif remains evident in the drinking fountain base. The figures below depict features constructed in the park's second phase of development.

In May 1978, the Potter's Wall feature was constructed to the north of the tennis court. Influenced by Spanish architect Antoni Gaudi's designs for Parque Guell in Barcelona, Spain, local sculptor Andrew Werby designed the wall as structure with an irregular, organic form clad in a recycled ceramics applique. A crew of volunteers constructed the approximately 50-foot long, 3-foot high concrete form using the "stack sack" method (Wescover 2020; North East Bay Independent and Gazette 5/18/1978; 5/23/1978). Planters and a bench were built into the wall. The Alameda County Neighborhood Council, California Arts Council, and City of Berkeley funded the wall's construction with a combined \$1,600 in grants. Merchants donated materials, and local potters donated the ceramic shards worked into the face of the wall (North East Bay Independent and Gazette 5/23/1978).

Figure 25 Willard Park Clubhouse, East and North Elevations, ca. 1980; photo shows the original stonewalls and features flanking the building



Figure 26 Play Lot and Tot Lot, Facing West, ca. 1980



Figure 27 View of Willard Park from Hillegass Avenue, Facing Southwest, ca. 1980



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Figure 28 Detail of original stone walls and stairs, Willard Park Clubhouse, ca. 1980



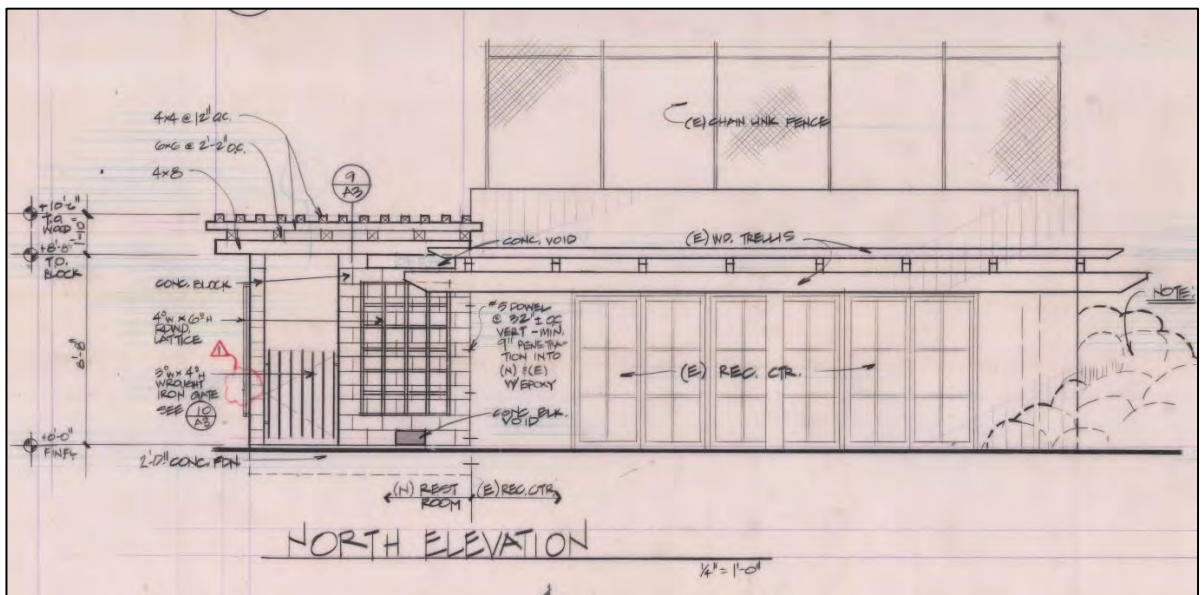
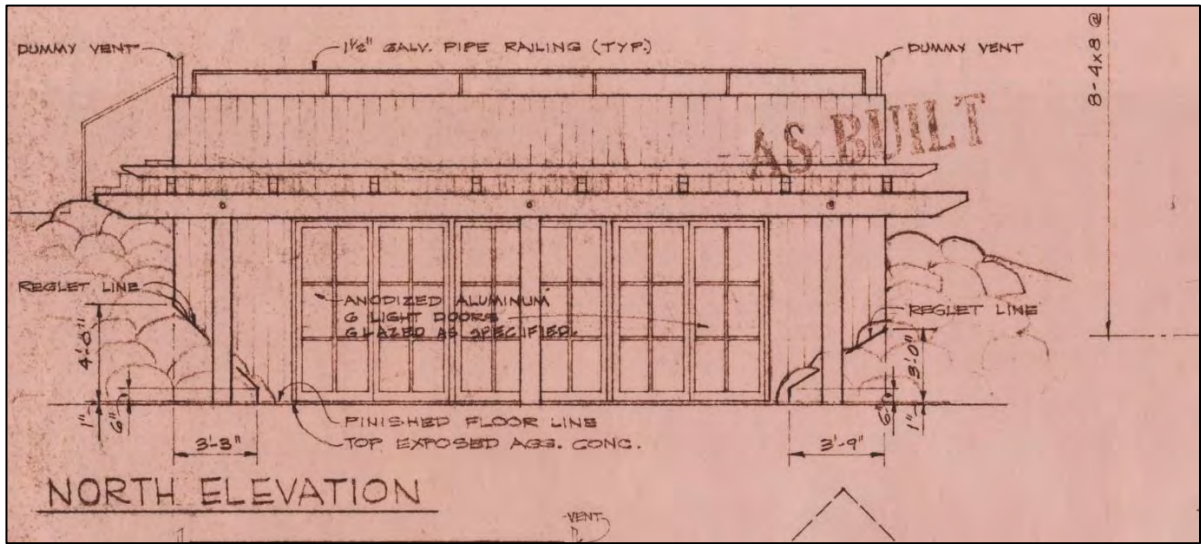
In 1982, the park was formally dedicated to Frances Willard, the noted reformer who founded the Women’s Christian Temperance Union (WTCU) in 1878. Although the site had been in use as Willard Park for over a decade, it had not been opened officially. Members of the WTCU joined local political leaders for a dedication ceremony, which also marked the completion of a \$20,000 renovation of the “tot area” funded under the 1974 Measure Y bond issue (North East Bay independent and Gazette 5/7/1982; City of Berkeley Parks Division 2020 ).

In the late 1980s and 1990s, the neighborhood advocacy organization Friends of Willard Park spearheaded several improvements to the park. These included the construction of a new “tot lot,” improved lighting, irrigation, and circulation measures; laying of a new cobblestone entry on Hillegass Avenue; and a “rose walk” near the Potter’s Wall. The latter project was designed in part to deter overnight camping in the park, which had been an issue of contention since at least as early as 1990 (FWP 1997; Guttman 1990).

In addition, the City carried out a variety of projects at the park, including the addition of restrooms to the clubhouse and removal of the stone features in 1991 and construction of new circulation paths and changes to the children’s play areas in circa 1994 (City of Berkeley Department of Public Works 1991; 1994). These projects led to the removal of several features constructed in the 1970s, including the stone walls and steps on the east elevation of the clubhouse, the restroom and pay phone kiosks, and the original playground areas.

The following drawings from the original as-built plans and 1991 alterations show the appearance of the clubhouse following the removal of stone walls and rooftop stairs and construction of concrete-block addition. According to the 1991 architectural plans, the stones removed from the clubhouse were relocated to Aquatic Park in west Berkeley.

Figure 29 North elevation, as-built design (top) and 1991 alterations (bottom), showing the removal the cobblestone framing and features on the east and west elevations



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Figure 30 East elevation, with original cobblestone wall and stairs (top) and new 1991 plans (bottom), with cobblestone wall and stairs removed

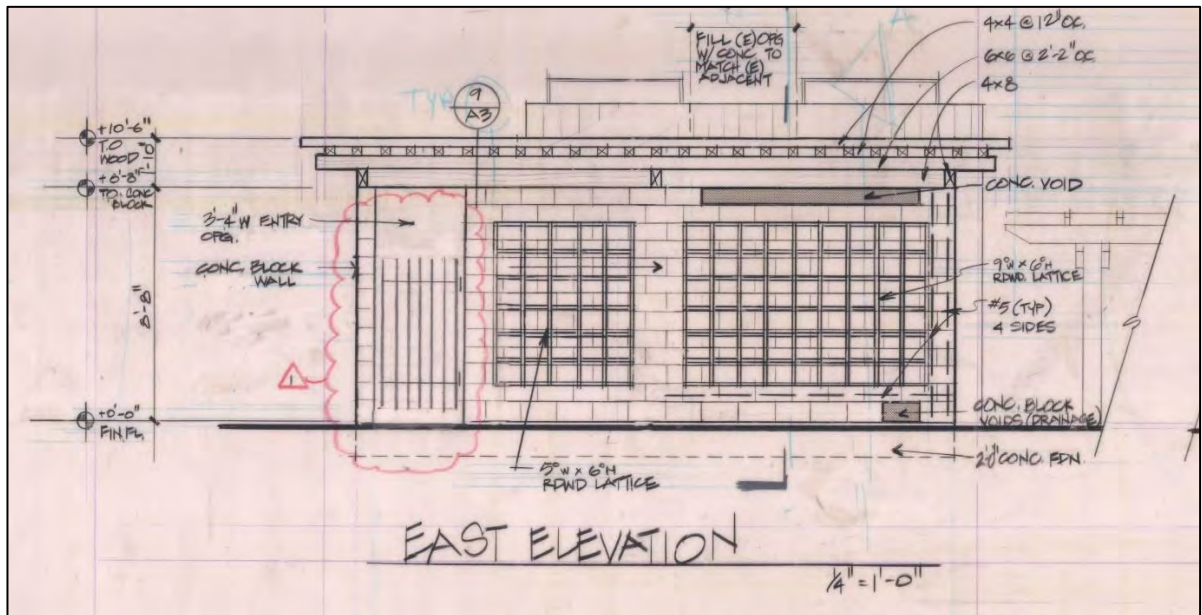
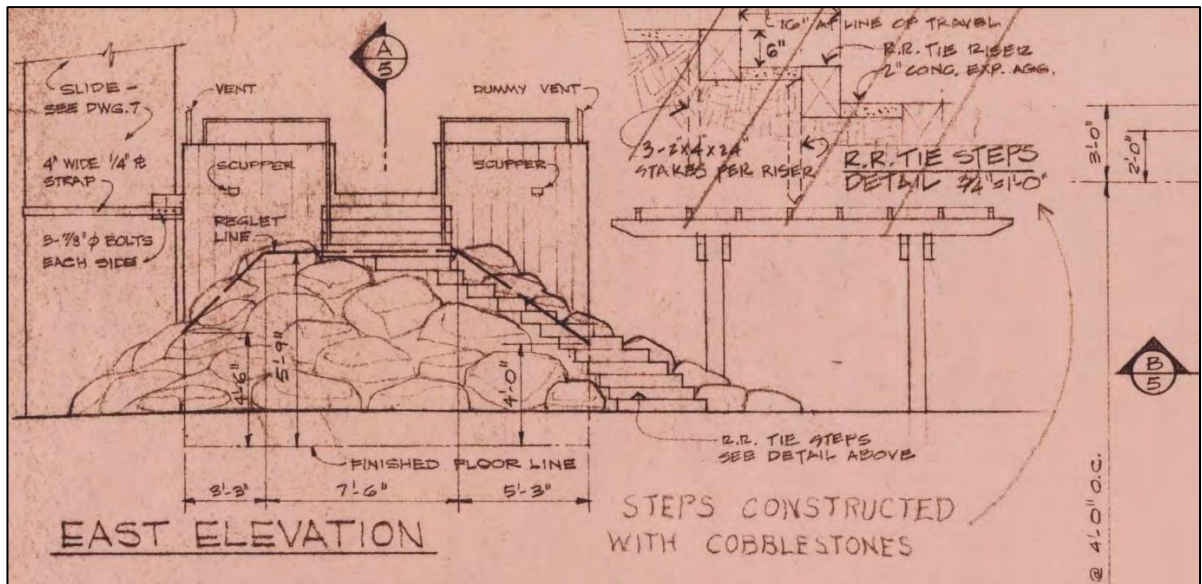
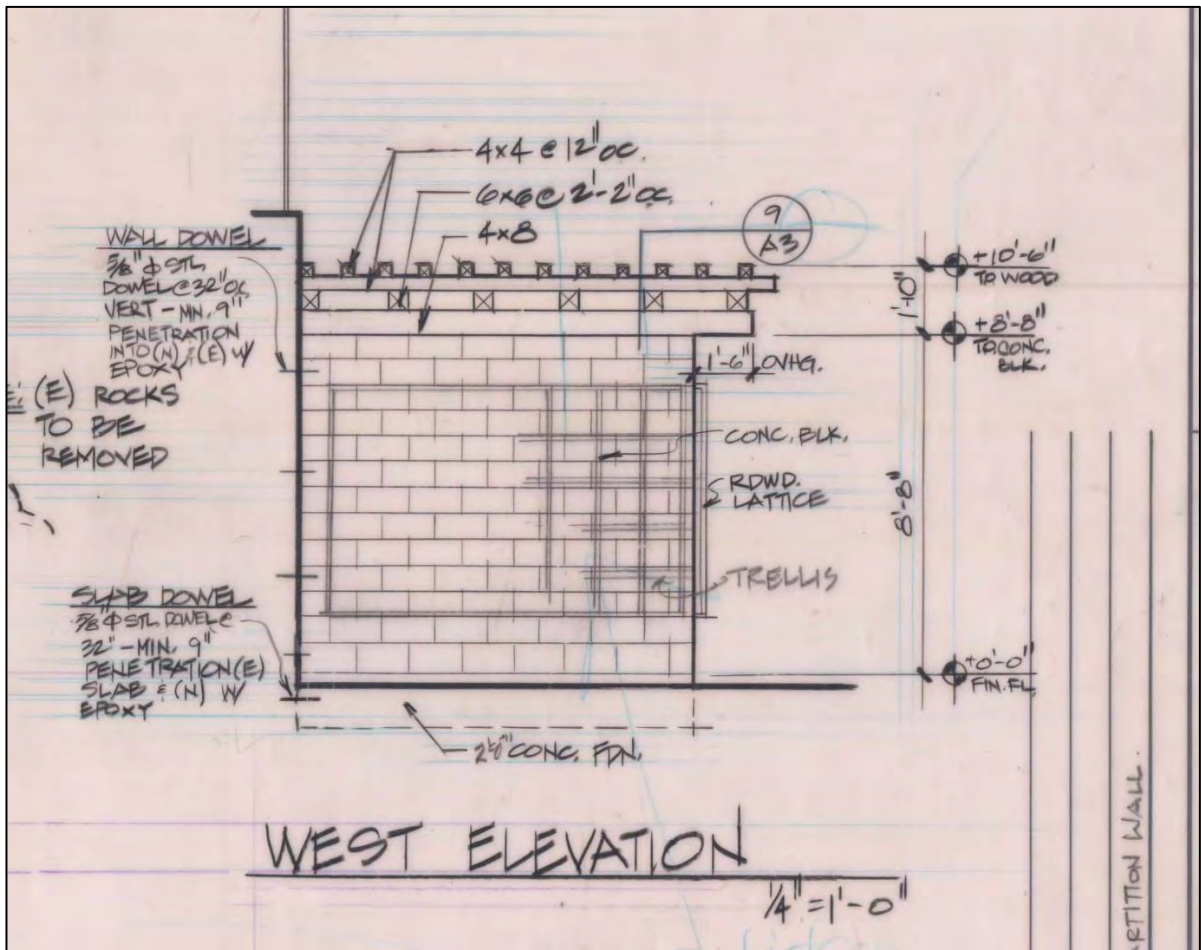
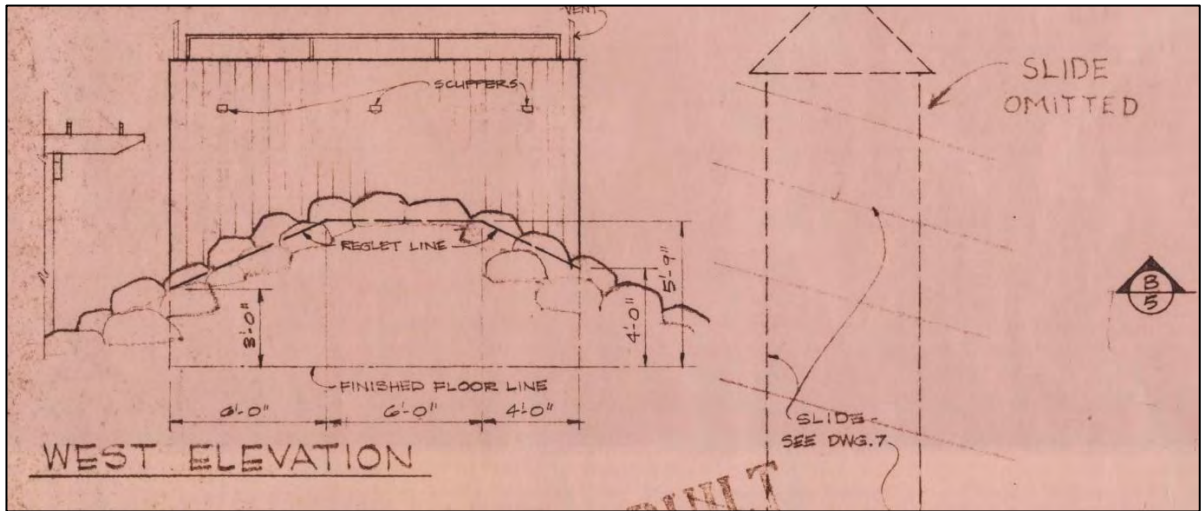


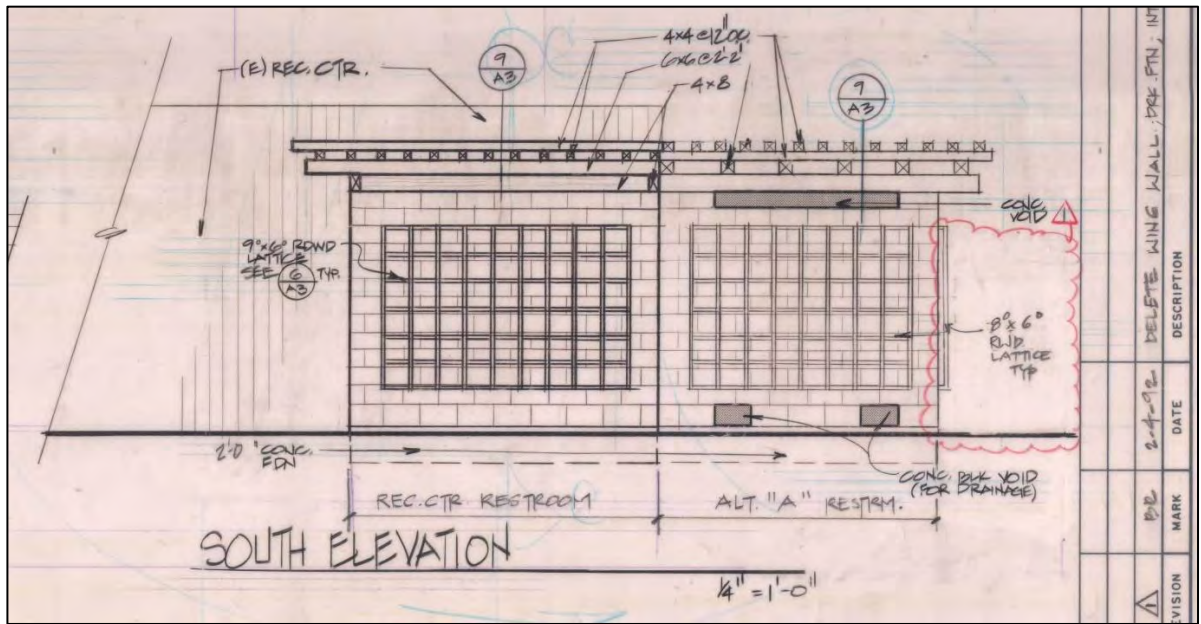
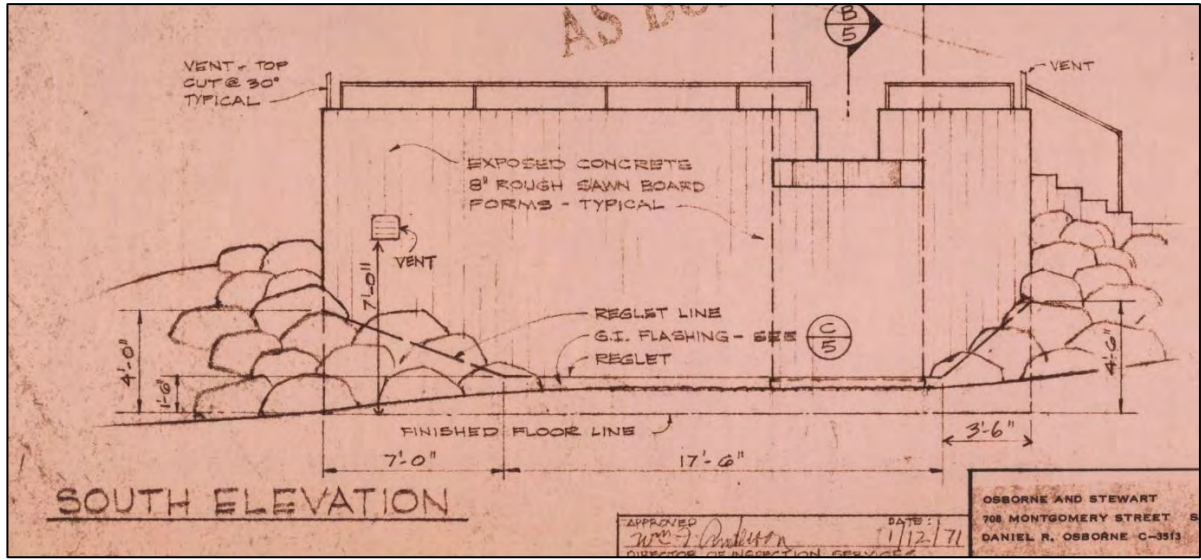


Figure 31 West elevation, with as-built original cobblestone features (top) and 1991 appearance and new concrete-block wall (bottom)



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 Frances Willard Park, Berkeley, California

Figure 32 South elevation, with original cobblestone feature flanking the building (top) and 1991 plans for removal of cobblestone features (bottom)



## 5 Evaluation

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As noted in Section 4, as a public space in Berkeley in the late 1960s/early 1970s, Willard Park had a brief association with the Antiwar Movement and other grassroots political movements. The City of Berkeley opened Willard Park as an interim park space in the fall of 1969. Before the official inauguration of the park in June 1971, prior to the opening of People's Park, Berkeley activists unofficially renamed the property Ho Chi Minh Park and began using it for socializing, entertainment, education, political organizing, and political demonstrations.

Between 1969 and 1972, the park was the site of several rallies and marches. Although use of the park for antiwar and free speech events was short-lived (those activities declined after 1972), the park remained the site of community festivals, such as the Lord Chaitanya Festival and early occurrences of East Bay Lesbian/Gay Day, and alternative arts performances, including several by the famed San Francisco Mime Troupe.

While this association with community activism and culture is noteworthy, it is relatively short when compared with the history of People's Park; for Willard Park, research identified through this study did not suggest that this association rises to the level required to confer eligibility as a landmark at the federal, state, or local level.

In addition, research did not reveal an association of the park with any individuals known to have made significant contributions to the history of the city, state, region or nation. Its design and architecture are that of a typical neighborhood park, and neither the park as a whole nor any of its embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, or possess high artistic values. Willard Park also appears ineligible under the remaining City of Berkeley Landmark designation criteria. Therefore, Willard Park is not a historical resource per CEQA.

Given the park's brief but noteworthy history as a gathering space for antiwar, counter-culture, and Free Speech movement events, Willard Park appears to warrant special consideration in local planning (6L California Historic Resources Status code). The 6L code does not confer status as a historical resource per CEQA but is used to signal that local planning may wish to extend special consideration to the resource.

(Depending on the City's plans and needs, special consideration in local planning could take the form of creating interpretive panels to document and share Willard Park's history with the public. Such interpretive information could include the pre-park history as a neighborhood of early twentieth-century wood-shingled homes, as well as the park's role in Berkeley's counter-culture movement of the late 1960s and early 1970s. This, however, is not a mitigation measure but rather an option should the City wish to recognize the park's history in this manner. The 6L CHR status code does not trigger any requirements under the LPC ordinance or CEQA.)

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 Frances Willard Park, Berkeley, California

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# Appendix A

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DPR Series 523 Forms

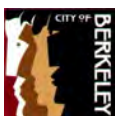


Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 4:

E. Transportation Impact Study



Parks, Recreation and  
Waterfront Department



155 Grand Avenue, Suite 505  
Oakland, CA 94612  
P.510.839.1742

# Technical Memorandum

February 25, 2022

Project# 23412.003

To: Wendy Wellbrock, Associate Civil Engineer  
City of Berkeley, Parks, Recreation, and Waterfront Department

From: Amanda Leahy, AICP; Sophia Semensky

RE: Willard Clubhouse and Restroom Replacement

## TRANSPORTATION STUDY

Kittelison & Associates, Inc. (Kittelison) prepared this technical memorandum to describe the parking and transportation conditions near the proposed project at Willard Park (proposed project) and provides off-street vehicle parking recommendations and justifications for off-street parking exemptions.

The document is structured in four parts:

- Executive Summary: Summarizes key findings and recommendations from the study.
- Project Description and Code Requirements: Describes the proposed project and parking requirements according to the Off-Street Parking and Loading Requirements section of the City of Berkeley's municipal code.
- Local Conditions: Describes the transportation and land use characteristics of the neighborhood, including the walking, biking, and public transit conditions as well as on- and off-street parking provision near the proposed project. Presents vehicular parking demand estimates for the proposed project.
- Summary of Findings and Recommendations: Presents a summary of the analysis findings and recommendations for off-street vehicle parking requirements for the proposed project.

The analysis presented herein indicates that the presence of on-street parking and the availability of walking, biking, and public transit options reduces the need for off-street vehicle parking for the local serving neighborhood clubhouse at Willard Park. It also presents evidence that the proposed project should not be required to provide vehicle parking and would be in compliance with Section 23E.64.080(H)<sup>1</sup> of the municipal code.

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## Executive Summary

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Based on the review of local conditions and census data, this analysis finds that the proposed project's provision of zero off-street vehicle parking spaces would be appropriate based on the amount of traffic generated by the use, as per the City of Berkeley Off-Street Parking and Loading Requirements, section 23.322.030, for the following reasons:

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<sup>1</sup> <https://www.codepublishing.com/CA/Berkeley/html/Berkeley23E/Berkeley23E64/Berkeley23E64080.html>

- The proposed project would meet criterion outlined in Berkeley Municipal Code Section 23.322.050 Parking Reductions, justifying a reduction or waiver of the number of off-street vehicle parking spaces required for building expansions.
- There are sufficient on-street vehicle parking spaces located nearby to accommodate long-term vehicle parking needs of staff at the clubhouse without substantially reducing the amount of parking available in the vicinity of the project site.
- Secure bicycle parking would be provided on-site to make biking to work and first- and last- mile connections to transit a convenient option.

Additionally, we have provided the following recommendations to ensure that short-term vehicle parking needs (i.e., passenger drop-off and pick-up) are met and managed appropriately:

- Designated on-street passenger loading space should be considered in order to better accommodate passenger drop-off and pick-up.
- A drop-off and pick-up plan should be developed to manage passenger loading activities.

---

## Project Description and Code Requirements

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### EXISTING CLUBHOUSE & PROPOSED REPLACEMENT PROJECT

Willard Park includes an existing one-story clubhouse, tennis courts, a children's playground, an open lawn area, and an existing public toilet. The existing clubhouse is located at the southeast corner of the site adjacent to Hillegass Avenue. The clubhouse area consists of 1,051 square feet, including an outside covered patio area. The primary use of the existing clubhouse is for afterschool and summer childcare programs and recreation programs. The afterschool program runs five days a week from 1:30 PM to 6 PM and enrolls about 45 students. The summer childcare program runs from 7:30 AM to 6 PM and enrolls 45 students. Recreation programs are currently primarily held outdoors under the covered patio area due to limitations of the building's size and configuration.

The proposed project would construct a new 4,195 square foot building at the existing site. The new building would include two community rooms, a kitchen, storage, restrooms, an office, and a lobby. Programming would largely remain the same as with the proposed project.

### PARKING REQUIREMENTS

The City of Berkeley Off-Street Parking and Loading Requirements does not provide any requirements for a clubhouse or community space. For 'Other Uses', section 23.322.030 states that "the review authority shall determine the required number of off-street parking spaces based on the amount of traffic generated by the use and the number of spaces required for other similar uses."

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## Local Conditions

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### TRANSPORTATION AND CIRCULATION

Walking. The proposed project is in an area with continuous sidewalks that provide safe and comfortable access to local amenities and public transit stops. For example, Downtown Berkeley is approximately 30-

minutes away by foot. The rating service Walk Score<sup>2</sup> finds that the area is "Very Walkable" with a score of 92 on their 0 to 100 scale.

Biking. The property is located along Hillegass Avenue, part of the City's low-stress bike boulevard network<sup>3</sup>, connecting to UC Berkeley campus and to Oakland. It is also located along Derby Street, which is a designated Bicycle Route that connects to Telegraph Avenue, which offered designated bicycle lanes. In addition, there is a Bay Wheels bike share station at the intersection of Derby Street and College Avenue approximately two blocks from the proposed project. Bay Wheels is a bike share service that serves Berkeley, Oakland, and Emeryville in the East Bay.

Transit. The proposed project is located two blocks from the nearest Line 51B bus stop, a quarter-mile to the nearest Line 6 bus stop, and 0.8 miles from the nearest Line 18 bus stop. The Line 51B provides service to Downtown Berkeley, UC Berkeley, and Rockridge. The Line 6 provides service to Downtown Berkeley, UC Berkeley, and Downtown Oakland. The Line 18 provides service to University Village, Albany, Lake Merritt BART, and Downtown Oakland. These three bus lines provide high-frequency service. During the a.m. and p.m. peak periods, the Line 51B arrives every 12 minutes, the Line 6 arrives every 12 minutes, the Line 18 arrives every 20 minutes. This site also has access to two Service to School routes (604, 605), two All Nighter lines (800, 851), and one Transbay line (F) within 1 mile. The transit options are summarized in Table 1, with the distance to the nearest station/stop and select destinations on each route.

Table 1: Available Public Transit Options

Service and Stop/Route	Distance to Stop/Station	Access To
AC Transit – 51B	0.2 mile	Rockridge BART to Berkeley Amtrak
AC Transit – 604	0.2 mile	North Berkeley BART to Oakland Hebrew Day School, Head Royce High School and Bentley School
AC Transit – 605	0.2 mile	University Ave. & Shattuck Ave., Berkeley, to Head Royce High School
AC Transit – 851	0.2 mile	Downtown Berkeley to Fruitvale BART (All Nighter)
AC Transit – 6	0.25 mile	Downtown Oakland to Downtown Berkeley
AC Transit – 18	0.8 mile	Albany to Lake Merritt BART
AC Transit – 800	0.8 mile	Richmond BART to 24th St. BART (All Nighter)
AC Transit – F	0.9 mile	UC campus to Salesforce Transit Center, San Francisco

The area around the proposed project includes continuous sidewalks that provide safe and comfortable access to public transit stops for people walking, including the closest AC Transit stops at Derby Street and College Avenue and at Telegraph Avenue and Derby Street. Telegraph Avenue is the primary route for people to access transit stops and has clearly marked crosswalks on side streets and crossing Telegraph Avenue. At the intersections immediately north and south of the project, all crosswalks have curb ramps, but are missing tactile domes. There are streetlights along Derby Street, Hillegass Avenue, and Stuart Street.

<sup>2</sup> Walk Score is a proprietary metric that measures "walkability on a scale from 0 - 100 based on walking routes to destinations such as grocery stores, schools, parks, restaurants, and retail."

<sup>3</sup> Low-stress bikeways are characterized by lower vehicle volumes and speeds or by physical separation between people biking and motor vehicles.

Vehicles. The proposed project is located within the residential preferential parking (RPP) permit zone B. On-street vehicle parking spaces are provided along both sides of all streets near the proposed project site, including the streets fronting Willard Park – Derby Street, Stuart Street, Hillegass Avenue, and Regent Street. On-street parking is generally free of charge and time-limited to 2 hours.<sup>4</sup> Off-street parking is available at 3010 Colby Street garage, which is located 0.6 miles (an approximately 10-minute walk) south of the proposed project site. SpotAngels, an online community of drivers helping each other find parking, indicates a number of long-term paid parking options within walking distance of the proposed project site.<sup>5</sup>

## CLUBHOUSE ACTIVITIES AND TRAVEL CHARACTERISTICS

During the school year, the clubhouse currently operates an after-school program for approximately 45 children from 1:30 PM to 6:00 PM with five staff. The majority of children in the afterschool program are bussed to the site from four local elementary schools, and picked up at various times. With the site expansion, the after-school program is expected to serve up to 60 students with up to seven staff. Staff work a 1:15 PM to 6:00 PM shift.

During the summer, the clubhouse currently operates a summer camp program for approximately 45 children from 7:30 AM to 6:00 PM with five staff. With the site expansion, the summer childcare program is expected to serve up to 60 students with up to seven staff. Staff work two shifts: 7:15 AM – 1:00 PM and 12:30 PM - 6:00 PM.

With the site expansion, the clubhouse may also host additional programs to accommodate various age groups, community events, and offer facility rentals when the community rooms are not used for scheduled recreation programs. These programs have yet to be developed but are not expected to add significant trips or parking demand compared to current programming and activities.

### Long-Term Parking Demand

Long-term parking demand, the demand for vehicle parking that would be generated by staff, is estimated using the City of Berkeley commute drive mode share of 38.6%<sup>6</sup>. As shown in Table 2, during the after-school program, approximately three staff are expected to drive to and from work with the expansion, resulting in a demand for three long-term vehicle parking spaces. During the summer program, approximately three staff are expected to drive to and from work for each of the morning and afternoon shifts, resulting in a maximum long-term parking demand of six spaces. This peak demand would occur between 12:15 PM and 1:15 PM during the shift change. Based on our review of available on-street and off-street vehicle parking in the area, the existing vehicle parking supply is expected to meet the demand for long-term vehicle parking during both the afterschool and summer sessions.

### Short-Term (Passenger Loading) Demand

The afterschool program operates a bus service from nearby elementary schools to transport students to the clubhouse. Based on information provided by City of Berkeley Parks, Recreation, and Waterfront Department

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<sup>4</sup> On-street metered parking is provided along Telegraph Avenue and College Avenue south of Russell Street.

<sup>5</sup> <https://www.spotangels.com/map#id=296554871&address=2721%20Hillegass%20Ave%20Berkeley>

<sup>6</sup> American Community Survey 5-year estimates, 2015-2019, Table S0801

(PRWD) staff, approximately 36 students use this bus service. The bus drops students off near the clubhouse entrance on Hillegass Avenue. All participants are received by Willard Clubhouse Staff and walked into the program. Bus arrival times are staggered by school and drop-off times are scheduled at approximately 1:50 PM, 2:20 PM, and 2:30 PM.

The remaining students walk or are dropped off in vehicles. Based on information provided by City of Berkeley PRWD staff, approximately five students are currently dropped off in a passenger vehicle. The nearest passenger loading zone is located on Telegraph Avenue south of Derby Street. Given there is no designated passenger loading zone near the clubhouse entrance, the majority of student drop-off and pick-up activity occurs in available on-street parking spaces along Hillegass Avenue between Derby Street and Stuart Street. Clubhouse staff assist students to/from their vehicles and direct traffic along Hillegass Avenue during drop-off and pick-up periods.

Table 2: Long-Term Vehicle Parking Demand Estimates – Existing and With New Clubhouse

	School Year				Summer			
	Students	Staff	Commute Driving Share	Long-Term Parking Demand	Students	Staff	Commute Driving Share	Long-Term Parking Demand
Existing	45	5	38.6%	2	45	10 (5 AM, 5 PM)	38.6%	4
New Clubhouse	60	7	38.6%	3	60	14 (7 AM, 7 PM)	38.6%	3

### Off-Street Vehicle Parking Requirements for Similar Uses

The proposed project is located within the R-2 Restricted Two-family Residential Zoning District. Off-street vehicle parking requirements and exceptions for similar project types and land uses within or outside of the R-2 Zoning District are presented in Table 3. As summarized in Table 3, based on a review of vehicle parking requirements and exemptions for similar project types (i.e., building expansions and additions) the proposed project should not be required to provide off-street vehicle parking. The proposed project would result in an expansion of more than 2,000 square feet but still would meet the requirements outlined for the Zoning Officer waiver.

Table 3: Off-Street Vehicle Parking Requirements and Exceptions

Project Type / Land Use	Requirement	Number of Off-Street Vehicle Parking Spaces Required <sup>1</sup>
Additions of up to 1,000 sq. ft. of gross floor area or up to 25% of existing gross floor area, whichever is less (C-DMU)	Exempt from Parking Requirement	0 spaces
The Zoning Officer or ZAB may reduce or waive the number of off-street parking spaces required for building expansions	(a) The reduction will not substantially reduce the availability of on-street parking in the vicinity of the use (b)ii. The use is located one-quarter of a mile or less from a public or private parking area that is accessible by the employees of the use and sufficient parking supply is available therein to mitigate the reduction in parking for the use. (c)i. The parking requirement modification will meet the purpose of the district related to improvement and support for alternative transportation, pedestrian improvements, and activity, or similar policies. (c)ii. There are other factors, such as alternative transportation strategies or policies in place, that will reduce the parking demand generated by the use.	0 spaces

Notes: sq. ft. = square feet

<sup>1</sup> Requirement calculated based on the rate for the similar land use and publicly accessible square footage of the clubhouse with proposed expansion of 4,195 sq. ft. The publicly accessible square footage includes the 2,357 sq. ft. community rooms and 670 sq. ft. lobby/circulation area and excludes the kitchen, storage room, utility room, office, and restroom. These square footages were provided by City staff via email dated February 3, 2022.

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## Summary of Findings and Recommendations

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The proposed project is estimated to generate demand for a maximum of six long-term vehicle parking spaces during the summer program, an increase of two spaces compared to the existing clubhouse activities. This long-term vehicle parking demand can be accommodated with the current supply. Given on-

street parking restrictions on streets surrounding the proposed project site, staff would need to use nearby off-street public parking or pay for private parking through a parking space matching application such as SpotAngels.

Given that there are multiple transit options and high-quality walking and biking infrastructure nearby, as well as the fact that provision of vehicle parking is demonstrated to increase vehicle trips and run counter to City goals of reducing auto mode share and vehicle miles traveled, the proposed project should not be required to provide off-street vehicle parking. To further support a shift to sustainable modes, the proposed project will include secure on-site bicycle parking spaces to make it more convenient to travel to and from the site by bicycle and to access transit without a personal vehicle. It should also be noted that provision of on-site parking would require a new curb cut. Construction of a curb cut and driveway would require removal of at least one on-street vehicle parking space, reduce the permeable open space and recreational area on-site, and introduce a conflict point between drivers turning into and out of the driveway and people walking on the sidewalk.

Furthermore, the proposed project would meet criterion outlined in Berkeley Municipal Code Section 23.322.050 Parking Reductions, justifying a reduction or waiver of the number of off-street vehicle parking spaces required for building expansions:

- (b) The reduction will not substantially reduce the availability of on-street parking in the vicinity of the use.
- (b)ii. The use is located one-quarter of a mile or less from a public or private parking area that is accessible by the employees of the use and sufficient parking supply is available therein to mitigate the reduction in parking for the use.
- (c)i. The parking requirement modification will meet the purpose of the district related to improvement and support for alternative transportation, pedestrian improvements, and activity, or similar policies.
- (c)ii. There are other factors, such as alternative transportation strategies or policies in place, that will reduce the parking demand generated by the use.

While the purpose of this study was to identify the appropriate off-street vehicle parking requirements for the proposed project, based on our analysis, we identified a need for short-term vehicle parking and a drop-off/pick-up management plan to accommodate student drop-off and pick-up. This plan should explore allocating existing on-street parking spaces to passenger loading zones during certain times of day (i.e., during drop-off and pick-up periods).

These findings support the conclusion that the proposed project's provision of zero off-street vehicle parking spaces for the clubhouse expansion would be appropriate based on the amount of traffic generated by the use, and the requirements/exceptions for similar uses, as per the City of Berkeley Off-Street Parking and Loading Requirements, section 23.322.030.

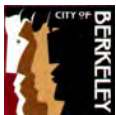


Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 4:

G. Stormwater Requirements Checklist

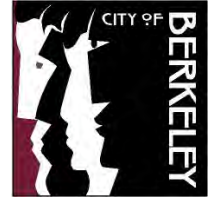


Parks, Recreation and  
Waterfront Department



**Stormwater Requirements Checklist**  
 Municipal Regional Stormwater Permit (MRP 2.0)  
 Stormwater Controls for Development Projects

**City of Berkeley**  
 Public Works Dept.  
 Engineering Division



I. C.3.i Project Information

This form applies to development projects creating and/or replacing ≥ 2500 ft<sup>2</sup> to < 10,000 ft<sup>2</sup> of impervious surface which are not Special Land Use Categories projects (auto service facilities, retail gasoline outlets, restaurants, and uncovered parking lots). This form also applies to detached single-family home projects, which create and /or replace ≥ 2500 ft<sup>2</sup> of impervious surface. Interior remodeling projects and routine maintenance or repair projects such as roof or exterior wall surface replacement and pavement resurfacing within the existing footprint are exempt from C.3.i stormwater requirement.

**I.A. Enter Project Data**

I.A.1 Project Name: Willard Park Clubhouse

I.A.2 Project Address (include cross street): 2720 Hillegas Avenue, Berkeley, CA 94705

I.A.3 Project APN: 54-1711-27 I.A.4 Project Watershed<sup>1</sup>: Potter & Derby Creeks

I.A.5 Applicant Name: Wendy Wellbrock I.A.6 Date Submitted: \_\_\_\_\_

I.A.7 Applicant Address: 1947 Center Street, 5th floor, Berkeley, CA 94704

I.A.8 Applicant Phone: 510-981-6346 I.A.9 Applicant Email Address: wwellbrock@cityofberkeley.inf

I.A.10 Development type: (check all that apply)  
 Residential  Commercial  Industrial  Mixed-Use  Streets, Roads, etc.  
 'Redevelopment' as defined by MRP: creating, adding and/or replacing exterior existing impervious surface on a site where past development has occurred<sup>2</sup>  
 'Special land use categories' as defined by MRP: (1) auto service facilities<sup>3</sup>, (2) retail gasoline outlets, (3) restaurants<sup>3</sup>, (4) uncovered parking area (stand-alone or part of a larger project)

I.A.11 Project Description<sup>4</sup>: (Also note any past or future phases of the project.)  
Replacement of Willard Park Clubhouse located at the south east corner of Willard Park in Berkeley, CA. The work includes demolition of the existing, single-story, 565 sf clubhouse plus the 486 sf trellis and 114 sf restroom and construction of a new, single-story, 4,200 sf, wood-framed multi-purpose community building and a 200 sf stand-alone restroom, including building envelope, interior partitions, casework and finishes, as well as mechanical, electrical, plumbing and fire protection systems.

I.A.12 Total Area of Site: 2.55 acres I.A.13 Slope on Site: 4 %

I.A.14 Total Area of land disturbed during construction (include clearing, grading, excavating and stockpile area): 0.3 acres.

**I.B. Enter the amount of impervious and pervious surface<sup>1</sup> created and/or replaced by the project.**

**Table of Impervious and Pervious Surfaces**

Type of Impervious Surface	a	b	C	d
	Pre-Project Impervious Surface (sq.ft.)	Existing Impervious Surface to be Replaced <sup>7</sup> (sq.ft.)	New Impervious Surface to be Created <sup>7</sup> (sq.ft.)	Post-project pervious surface (sq.ft.)
Roof area(s) – excluding any portion of the roof that is vegetated ("green roof")	679	679	3804	N/A
Impervious <sup>5</sup> sidewalks, patios, paths, driveways	4807	4529	0	
Impervious <sup>5</sup> uncovered parking <sup>6</sup>	0	0	0	
Streets (public)		0	0	
Streets (private)		0	0	
Totals:	5486	5208	3804	
Area of Existing Impervious Surface to remain in place	N/A			
Total New Impervious Surface (sum of totals for columns b and c):	9012			

<sup>1</sup> Watershed is defined by the maps from the Alameda County Flood Control District at <http://acffloodcontrol.org/resources/explore-watersheds>

Stormwater Requirements Checklist

- <sup>2</sup> Roadway projects that replace existing impervious surface are subject to C.3 requirements only if one or more lanes of travel are added.
- <sup>3</sup> Standard Industrial Classification (SIC) codes are in Section 2.3 of the C.3 Technical Guidance (download at [www.cleanwaterprogram.org](http://www.cleanwaterprogram.org))
- <sup>4</sup> Project description examples: 5-story office building, industrial warehouse, residential with five 4-story buildings for 200 condominiums, etc.
- <sup>5</sup> Per the MRP, pavement that meets the following definition of pervious pavement is NOT an impervious surface. Pervious pavement is defined as pavement that stores and infiltrates rainfall at a rate equal to immediately surrounding unpaved, landscaped areas, or that stores and infiltrates the rainfall runoff volume described in Provision C.3.d.
- <sup>6</sup> Uncovered parking includes top level of a parking structure.
- <sup>7</sup> "Replace" means to install new impervious surface where existing impervious surface is removed. "Create" means to install new impervious surface where there is currently no impervious surface.

**I.C. Identify C.6 Construction-Phase Stormwater Requirements**

	Yes	No
I.C.1 Does the project disturb 1.0 acre (43,560 sq.ft.) or more of land? (See Item I.A.14). <i>If Yes, obtain coverage under the state's Construction General Permit at <a href="https://smarts.waterboards.ca.gov/smarts/faces/SwSmartsLogin.jsp">https://smarts.waterboards.ca.gov/smarts/faces/SwSmartsLogin.jsp</a>. Submit to the municipality a copy of your Notice of Intent and Storm Water Pollution Prevention Plan (SWPPP) before a grading or building permit is issued.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I.C.2 Is the site a "High Priority Site" that disturbs less than 1.0 acre (43,560 sq.ft.) of land? (Municipal staff will make the final determination.) "High Priority Sites" are sites having any of the following criteria: <ul style="list-style-type: none"> <li>▪ that require a grading permit,</li> <li>▪ are adjacent to a creek,</li> <li>▪ or are otherwise high priority for stormwater protection during construction (see MRP 2.0 Provision C.6.e.ii.(2)(c))</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I.C.3 Is the site a "Hillside Site" that disturbs 5,000 sq.ft. or more, but less than 1.0 acre (43,560 sq.ft.) of land? (Municipal staff will make the final determination.) <ul style="list-style-type: none"> <li>▪ "Hillside Sites" are located on hillsides, as indicated on a jurisdictional map of hillside development areas or as indicated by meeting jurisdictional hillside development criteria.</li> <li>▪ If no map or criteria exist, then Hillside Sites are sites with a slope of 15% or more (see I.A.13 above and MRP 2.0 Provision C.6.e.ii.(2)(b)).</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>➤ NOTE TO APPLICANT: All projects require appropriate stormwater best management practices (BMPs) during construction. Refer to the Section II to identify appropriate construction BMPs.</p> <p>➤ NOTE TO MUNICIPAL STAFF: If the answer is "Yes" to I.E.1, I.E.2, OR I.E.3, refer this project to construction site inspection staff to be added to their list of projects that require stormwater inspections at least monthly during the wet season (October 1 through April 30) and other times of the year as appropriate.</p>		

## II. Implementation of C.3.i Stormwater Requirements

### II.A. Select Appropriate Site Design Measures

Starting December 1, 2012, projects that create and/or replace 2,500 - 10,000 sq.ft. of impervious surface, and stand-alone single family homes that create/replace 2,500 sq.ft. or more of impervious surface, **must include one or more of the following Site Design Measures a through f**, and are encouraged to implement the other Site Design Measures as practicable. See attached fact sheets for guidance on rain barrels / cisterns, vegetated areas and permeable surfaces, and attached sheets on recommended Source Control Measures and Construction BMPs.

II.A.1 Is the site design measure included in the project plans?

Yes	No	Plan Sheet No.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Direct roof runoff onto vegetated areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Construct sidewalks, walkways, and/or patios with pervious surfaces. Use the specifications in the C3 Technical Guidance (Version 4.1) or for small projects see the BASMAA Pervious Paving Factsheet. For these documents and others go to <a href="http://www.cleanwaterprogram.org">www.cleanwaterprogram.org</a> and click on "Resources."
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Construct bike lanes, driveways, and/or uncovered parking lots with pervious surfaces. Use the specifications in the C3 Technical Guidance (Version 4.1) or for small projects see the BASMAA Pervious Paving Factsheet. For these documents and others go to the program website at: <a href="http://www.cleanwaterprogram.org">www.cleanwaterprogram.org</a> and click on "Resources."
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g. Minimize land disturbance and impervious surface (especially parking lots).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	h. Maximize permeability by clustering development and preserving open space.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Use micro-detention, including distributed landscape-based detention.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Protect sensitive areas, including wetland and riparian areas, and minimize changes to the natural topography.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	k. Self-treating area (see Section 4.1 of the C.3 Technical Guidance)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	l. Self-retaining area (see Section 4.2 of the C.3 Technical Guidance)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	m. Plant or preserve interceptor trees (Section 4.5, C.3 Technical Guidance)

II.B. C.3.i projects are encouraged to implement the following Source Control Measure as practicable.

Are these features in project?		Features that require source control measures	Source control measures (Refer to Local Source Control List for detailed requirements)	Is source control measure included in project plans?		Plan Sheet No.
Yes	No			Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Storm Drain	Mark on-site inlets with the words "No Dumping! Flows to Bay" or equivalent.	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Floor Drains	Plumb interior floor drains to sanitary sewer <sup>8</sup> [or prohibit].	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking garage	Plumb interior parking garage floor drains to sanitary sewer. <sup>9</sup>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping	<ul style="list-style-type: none"> <li>▪ Retain existing vegetation as practicable.</li> <li>▪ Select diverse species appropriate to the site. Include plants that are pest- and/or disease-resistant, drought-tolerant, and/or attract beneficial insects.</li> <li>▪ Minimize use of pesticides and quick-release fertilizers.</li> <li>▪ Use efficient irrigation system; design to minimize runoff.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool/Spa/Fountain	Provide connection to the sanitary sewer to facilitate draining. <sup>9</sup>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Food Service Equipment (non-residential)	Provide sink or other area for equipment cleaning, which is: <ul style="list-style-type: none"> <li>▪ Connected to a grease interceptor prior to sanitary sewer discharge.<sup>9</sup></li> <li>▪ Large enough for the largest mat or piece of equipment to be cleaned.</li> <li>▪ Indoors or in an outdoor roofed area designed to prevent stormwater run-on and run-off, and signed to require equipment washing in this area.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Refuse Areas	<ul style="list-style-type: none"> <li>▪ Provide a roofed and enclosed area for dumpsters, recycling containers, etc., designed to prevent stormwater run-on and runoff.</li> <li>▪ Connect any drains in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities to the sanitary sewer.<sup>9</sup></li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Process Activities <sup>9</sup>	Perform process activities either indoors or in roofed outdoor area, designed to prevent stormwater run-on and runoff, and to drain to the sanitary sewer. <sup>9</sup>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Equipment/Materials Storage	<ul style="list-style-type: none"> <li>▪ Cover the area or design to avoid pollutant contact with stormwater runoff.</li> <li>▪ Locate area only on paved and contained areas.</li> <li>▪ Roof storage areas that will contain non-hazardous liquids, drain to sanitary sewer<sup>9</sup>, and contain by berms or similar.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vehicle/Equipment Cleaning	<ul style="list-style-type: none"> <li>▪ Roofed, pave and berm wash area to prevent stormwater run-on and runoff, plumb to the sanitary sewer<sup>9</sup>, and sign as a designated wash area.</li> <li>▪ Commercial car wash facilities shall discharge to the sanitary sewer.<sup>9</sup></li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vehicle/Equipment Repair and Maintenance	<ul style="list-style-type: none"> <li>▪ Designate repair/maintenance area indoors, or an outdoors area designed to prevent stormwater run-on and runoff and provide secondary containment. Do not install drains in the secondary containment areas.</li> <li>▪ No floor drains unless pretreated prior to discharge to the sanitary sewer.<sup>9</sup></li> <li>▪ Connect containers or sinks used for parts cleaning to the sanitary sewer.<sup>9</sup></li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fuel Dispensing Areas	<ul style="list-style-type: none"> <li>▪ Fueling areas shall have impermeable surface that is a) minimally graded to prevent ponding and b) separated from the rest of the site by a grade break.</li> <li>▪ Canopy shall extend at least 10 ft in each direction from each pump and drain away from fueling area.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading Docks	<ul style="list-style-type: none"> <li>▪ Cover and/or grade to minimize run-on to and runoff from the loading area.</li> <li>▪ Position downspouts to direct stormwater away from the loading area.</li> <li>▪ Drain water from loading dock areas to the sanitary sewer.<sup>9</sup></li> <li>▪ Install door skirts between the trailers and the building.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fire Sprinklers	Design for discharge of fire sprinkler test water to landscape or sanitary sewer. <sup>9</sup>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Miscellaneous Drain or Wash Water	<ul style="list-style-type: none"> <li>▪ Drain condensate of air conditioning units to landscaping. Large air conditioning units may connect to the sanitary sewer.<sup>9</sup></li> <li>▪ Roof drains shall drain to unpaved area where practicable.</li> <li>▪ Drain boiler drain lines, roof top equipment, all washwater to sanitary sewer<sup>9</sup>.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architectural Copper	Discharge rinse water to sanitary sewer <sup>9</sup> , or collect and dispose properly offsite. See flyer "Requirements for Architectural Copper."	<input type="checkbox"/>	<input type="checkbox"/>	

NOTE: SOURCE CONTROL MEASURES WILL BE SHOWN ON THE IMPROVEMENT PLANS PER FUTURE SUBMITTAL

<sup>8</sup> Any connection to the sanitary sewer system is subject to sanitary district approval.

<sup>9</sup> Businesses that may have outdoor process activities/equipment include machine shops, auto repair, industries with pretreatment facilities.

**II.C Implement Construction Best Management Practices (BMPs) where applicable.**

Yes	No	Best Management Practice (BMP)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Attach the municipality's construction BMP plan sheet to project plans and require contractor to implement the applicable BMPs on the plan sheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Temporary erosion controls to stabilize all denuded areas until permanent erosion controls are established.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Delineate with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide notes, specifications, or attachments describing the following: <ul style="list-style-type: none"> <li>▪ Construction, operation and maintenance of erosion and sediment controls, include inspection frequency;</li> <li>▪ Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material;</li> <li>▪ Specifications for vegetative cover &amp; mulch, include methods and schedules for planting and fertilization;</li> <li>▪ Provisions for temporary and/or permanent irrigation.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Perform clearing and earth moving activities only during dry weather.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Use sediment controls or filtration to remove sediment when dewatering and obtain all necessary permits.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Protect all storm drain inlets in vicinity of site using sediment controls such as berms, fiber rolls, or filters.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trap sediment on-site, using BMPs such as sediment basins or traps, earthen dikes or berms, silt fences, check dams, soil blankets or mats, covers for soil stock piles, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Divert on-site runoff around exposed areas; divert off-site runoff around the site (e.g., swales and dikes).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Limit construction access routes and stabilize designated access points.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	No cleaning, fueling, or maintaining vehicles on-site, except in a designated area where washwater is contained and treated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Contractor shall train and provide instruction to all employees/subcontractors re: construction BMPs.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, washwater or sediments, rinse water from architectural copper, and non-stormwater discharges to storm drains and watercourses.

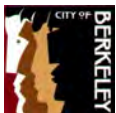
NOTE: EROSION CONTROL PLAN WILL BE SHOWN ON THE IMPROVEMENT PLANS PER FUTURE SUBMITTAL

Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 6:

- B. Natural Gas Prohibition, Berkeley Energy Code and Berkeley Green Code



Parks, Recreation and  
Waterfront Department



## **Natural Gas Prohibition & Berkeley Energy / Green Code Statement**

1. The building will not include any natural gas infrastructure in compliance with BMC Chapter 12.80.
2. The proposed roof PV system and low-carbon concrete are designed to comply with the Berkeley Energy Code (BMC Chapter 19.36) and Berkeley Green Code (BMC Chapter 19.37), adopted by City Council on December 3<sup>rd</sup>, 2019.

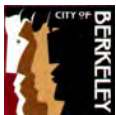


Internal

Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

Section 6:

C. Green Building Requirements



Parks, Recreation and  
Waterfront Department



**LEED v4.1 BD+C**

**Project Checklist**

Project Name: Willard Park Clubhouse  
Date: 12/6/2021

Y ? N

1		
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Credit Integrative Process

1

9	2	5	Location and Transportation	16
1			Credit LEED for Neighborhood Development Location	16
1			Credit Sensitive Land Protection	1
2			Credit High Priority Site and Equitable Development	2
3	1	1	Credit Surrounding Density and Diverse Uses	5
2	1	2	Credit Access to Quality Transit	5
		1	Credit Bicycle Facilities	1
1			Credit Reduced Parking Footprint	1
		1	Credit Electric Vehicles	1

8	1	1	Sustainable Sites	10
Y			Prereq Construction Activity Pollution Prevention	Required
1			Credit Site Assessment	1
	1	1	Credit Protect or Restore Habitat	2
1			Credit Open Space	1
3			Credit Rainwater Management	3
2			Credit Heat Island Reduction	2
1			Credit Light Pollution Reduction	1

3	6	2	Water Efficiency	11
Y			Prereq Outdoor Water Use Reduction	Required
Y			Prereq Indoor Water Use Reduction	Required
Y			Prereq Building-Level Water Metering	Required
	2		Credit Outdoor Water Use Reduction	2
2	4		Credit Indoor Water Use Reduction	6
		2	Credit Optimize Process Water Use	2
1			Credit Water Metering	1

23	4	6	Energy and Atmosphere	33
Y			Prereq Fundamental Commissioning and Verification	Required
Y			Prereq Minimum Energy Performance	Required
Y			Prereq Building-Level Energy Metering	Required
Y			Prereq Fundamental Refrigerant Management	Required
	1	5	Credit Enhanced Commissioning	6
18			Credit Optimize Energy Performance	18
1			Credit Advanced Energy Metering	1
	1	1	Credit Grid Harmonization	2
5			Credit Renewable Energy	5
	1		Credit Enhanced Refrigerant Management	1

6	5	2	Materials and Resources	13
Y			Prereq Storage and Collection of Recyclables	Required
	3	2	Credit Building Life-Cycle Impact Reduction	5
2			Credit Environmental Product Declarations	2
1	1		Credit Sourcing of Raw Materials	2
1	1		Credit Material Ingredients	2
2			Credit Construction and Demolition Waste Management	2

14	1	1	Indoor Environmental Quality	16
Y			Prereq Minimum Indoor Air Quality Performance	Required
Y			Prereq Environmental Tobacco Smoke Control	Required
1	1		Credit Enhanced Indoor Air Quality Strategies	2
3			Credit Low-Emitting Materials	3
1			Credit Construction Indoor Air Quality Management Plan	1
1		1	Credit Indoor Air Quality Assessment	2
1			Credit Thermal Comfort	1
2			Credit Interior Lighting	2
3			Credit Daylight	3
1			Credit Quality Views	1
1			Credit Acoustic Performance	1

4	2	0	Innovation	6
3	2		Credit Innovation	5
1			Credit LEED Accredited Professional	1

3	1	0	Regional Priority	4
1			Credit Regional Priority: Specific Credit	1
1			Credit Regional Priority: Specific Credit	1
1			Credit Regional Priority: Specific Credit	1
	1		Credit Regional Priority: Specific Credit	1

71	22	17	<b>TOTALS</b>	Possible Points: <b>110</b>
----	----	----	---------------	-----------------------------

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110



## Frances Willard Park, Berkeley, California

### Historic Resources Evaluation Report

*prepared for*  
**ELS Architecture + Urban Design**  
Diana Hayton AIA, Principal  
2040 Addison Street  
Berkeley, California 94704

*prepared with the assistance of*  
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Oakland, California 94612  
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**September 2020**



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# 1 Introduction

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Rincon Consultants, Inc. (Rincon) was retained by ELS Architecture + Urban Design of Berkeley, California (Client), to complete a historic resources evaluation of Frances Willard Park, in support of park upgrades and new construction; the proposed project primarily would impact the Willard Park Clubhouse. The project is subject to the California Environmental Quality Act (CEQA) with the City serving as the lead CEQA agency. This report provides the substantial evidence necessary to make a historic resources determination of Willard Park; this study does not include an impacts analysis or project review.

Frances Willard Park is located in the residential neighborhood of Elmwood in southeast Berkeley. The park occupies a gently sloping site and is bounded by Derby Street (north), Hillegass Avenue (east), Willard Middle School (west), and single-family residences with frontage on Regent Street and Hillegass Avenue, respectively (south). The facilities span just over 118,500 square feet on a 2.7-acre site. The park address is 2730 Hillegass Avenue (Assessor's Parcel Number 54-1711-27) (Figure 1 and Figure 2). It is owned and operated by the Parks Division of the City of Berkeley Parks, Recreation, and Waterfront Department.

In the preparation of this evaluation, Ms. Howell-Ardila conducted an intensive-level survey of Frances Willard Park in August 2020. Ms. Howell-Ardila photographed and documented the overall features and spaces of the park. In order to ascertain the current historic resource status of Willard Park, Rincon reviewed the listings of the California Historic Resources Inventory, California Built Environment Resource Directory, and City of Berkeley Landmark and Structure of Merit listings. As of August 2020, Willard Park has not been designated as a landmark at the federal, state, or local level nor recorded as an eligible historic resource through evaluation or survey.

Archival research was completed in August 2020. Research methodology focused on the review of a variety of primary and secondary source materials relating to the history and development of Willard Park. Sources included historic maps, aerial photographs, and written histories of the area.

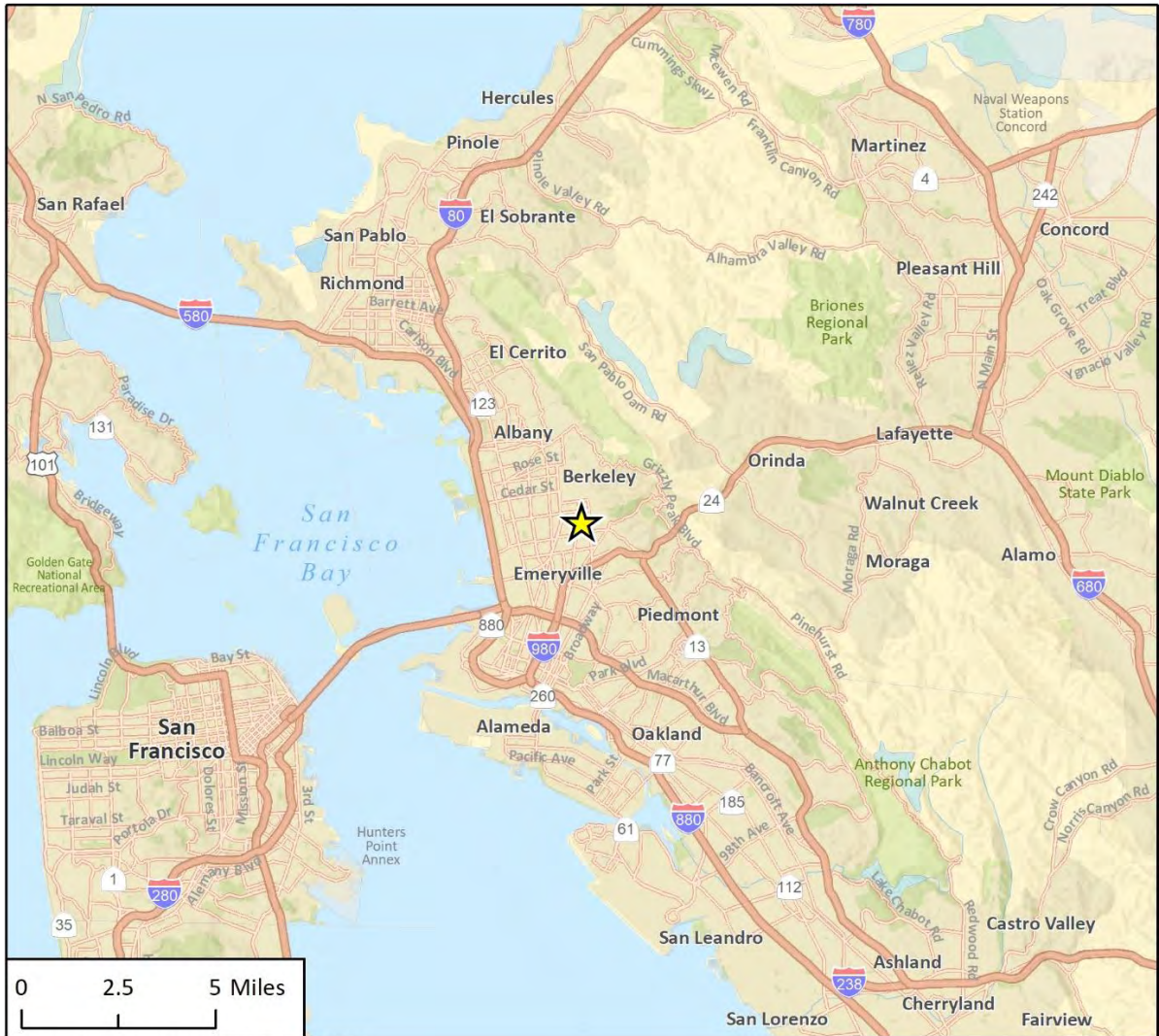
Rincon also coordinated with Anthony Bruce, the Executive Director of the Berkeley Architectural Heritage Association (BAHA) to inquire about materials and information regarding the park and its history. The online collections of the Online Archive of California and the University of California Calisphere were also searched. Other research materials consulted as part of this study included:

- Historical site plans of Willard Park;
- Historic aerial photographs, topographical maps, and Sanborn Fire Insurance Company Maps;
- Historic periodicals and newspapers, including the *Oakland Tribune*, *San Francisco Examiner*, *Berkeley Gazette*, and other historical newspapers;
- Historical photographs of Willard Park available via Flickr.com and other sources.

Rincon Senior Architectural Historian Debi Howell-Ardila, MHP, served as the principal investigator and author of this report. Rincon Architectural Historian James Williams, MA, contributed to research and coauthored sections of the report. Rincon Cultural Resources Principal Shannon Carmack and Principal Abe Leider reviewed this report for quality control.

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Figure 1 Regional Map



Imagery provided by Esri and its licensors © 2020.

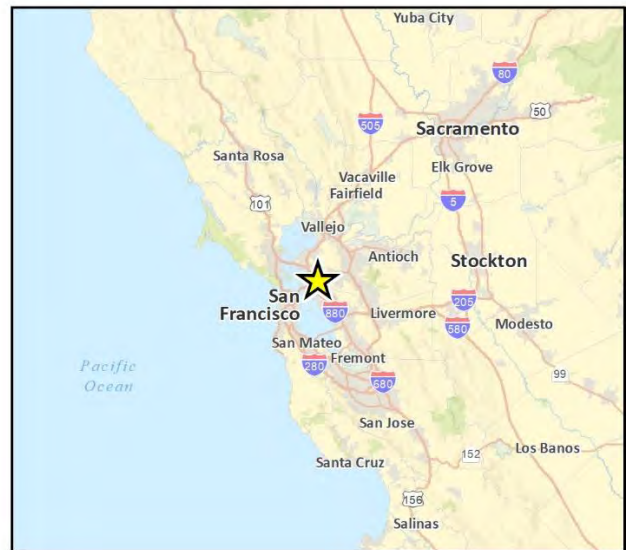




Figure 2 Project Location, Frances Willard Park, Berkeley



## 2 Regulatory Setting

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### 2.1 Federal

#### National Register of Historic Places (NRHP)

The NRHP was established by the NHPA of 1966 as “an authoritative guide to be used by Federal, State, and local governments, private groups and citizens to identify the Nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment” (CFR 36 CFR 60.2). The NRHP recognizes properties that are significant at the national, state, and local levels. A property is eligible for the NRHP if it is significant under one or more of the following criteria:

1. Criterion A: It is associated with events that have made a significant contribution to the broad patterns of our history;
2. Criterion B: It is associated with the lives of persons who are significant in our past;
3. Criterion C: It embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; and/or
4. Criterion D: It has yielded, or may be likely to yield, information important in prehistory or history. In general, a resource must be 50 years of age to be considered for the NRHP, unless it satisfies a standard of exceptional importance.

In order to retain eligibility for the NRHP, a property must meet one of these criteria and retain historic integrity (defined below).

### 2.2 State

CEQA requires a lead agency determine whether a project may have a significant effect on historical and archaeological resources (Public Resources Code [PRC], Section 21084.1) and tribal cultural resources (PRC Section 21074 [a][1][A]-[B]). A historical resource is a resource listed in, or determined to be eligible for listing, in the California Register of Historical Resources (CRHR), a resource included in a local register of historical resources, or any object, building, structure, site, area, place, record, or manuscript that a lead agency determines to be *historically significant* (State CEQA Guidelines, Section 15064.5[a][1-3]).

A resource shall be considered *historically significant* if it meets any of the following criteria:

- 1) Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage;
- 2) Is associated with the lives of persons important in our past;
- 3) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values;  
or

- 4) Has yielded, or may be likely to yield, information important in prehistory or history.

In addition to meeting these criteria, in order to qualify for the NRHP and the CRHR, a property must retain “historic integrity” such that it continues to convey the reasons for its historic significance. “Historic integrity” is a composite of seven different aspects or qualities that, taken together, express the significance of a historic property. According to National Register Bulletin No. 15, in order to retain integrity and qualify for the NRHP, a property must have most if not all of these seven aspects:

- 1) Location – the place where the historic property was constructed or where an event occurred;
- 2) Design – the combination of elements that create the form, plan, space, and style of a property;
- 3) Setting – the physical environment of a historic property;
- 4) Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property;
- 5) Workmanship – the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory;
- 6) Feeling – a property’s expression of the aesthetic or historic sense of a particular period of time;
- 7) Association – the direct link between an important historic event or person and a historic property.

## 2.3 Local

### 2.3.1 City of Berkeley Municipal Code

Chapter 3.24 of the City of Berkeley Municipal Code, also known as the Landmarks Preservation Ordinance, establishes the Landmarks Preservation Commission (LPC). The LPC maintains a list of structures, sites and areas, including landmarks and historic districts, having a special historical, architectural, or aesthetic interest or value. Criteria for designation are as follows.

- A. Landmarks and historic districts. General criteria which the commission shall use when considering structures, sites, and areas for landmark or historic district designation are:
  1. Architectural merit:
    - a) Property that is the first, last, only or most significant architectural property of its type in the region;
    - b) Properties that are prototypes of or outstanding examples of periods, styles, architectural movements or construction, or examples of the more notable works of the best surviving work in a region of an architect, designer or master builder;
    - c) or Architectural examples worth preserving for the exceptional values they add as part of the neighborhood fabric.
  2. Cultural value: Structures, sites and areas associated with the movement or evolution of religious, cultural, governmental, social and economic developments of the City;

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3. Educational value: Structures worth preserving for their usefulness as an educational force;
  4. Historic value: Preservation and enhancement of structures, sites and areas that embody and express the history of Berkeley/Alameda County/California/United States. History may be social, cultural, economic, political, religious or military;
  5. Any property which is listed on the National Register described in Section 470A of Title 16 of the United States Code.
- B. Structures of merit. Criteria which the commission shall use when considering a structure for structure of merit designation are as follows:
1. General criteria shall be architectural merit and/or cultural, educational, or historic interest or value. If upon assessment of a structure, the commission finds that the structure does not currently meet the criteria as set out for a landmark, but it is worthy of preservation as part of a neighborhood, a block or a street frontage, or as part of a group of buildings which includes landmarks, that structure may be designated a structure of merit.
  2. Specific criteria include, but are not limited to one or more of the following:
    - a) The age of the structure is contemporary with (1) a designated landmark within its neighborhood, block, street frontage, or group of buildings, or (2) an historic period or event of significance to the City, or to the structure's neighborhood, block, street frontage, or group of buildings.
    - b) The structure is compatible in size, scale, style, materials or design with a designated landmark structure within its neighborhood, block, street frontage, or group of buildings.
    - c) The structure is a good example of architectural design.
    - d) The structure has historical significance to the City and/or to the structure's neighborhood, block, street frontage, or group of buildings. (Ord. 5686-NS Section 1 (part), 1985: Ord. 4694-NS Section 3.1, 1974)

The LPC is also responsible for reviewing and deciding on permit applications for alterations to such structures and sites. According to Section 3.24.200, "No person shall carry out or cause to be carried out on a designated landmark, in a designated historic district or structure of merit, any construction, alteration, or demolition for which a City permit is required, without approval by the commission." To allow demolition of a landmark, the LPC must find that it "is in such condition that it is not feasible to preserve or restore it, taking into consideration the economic feasibility of alternatives to the proposal, and balancing the interest of the public in preserving the designated landmark, historic district or structure of merit or portion thereof and the interest of the owner of the landmark site, historic district, or structure of merit site in its utilization.

### 3 Site Description

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Frances Willard Park is located in the residential neighborhood of Elmwood in southeast Berkeley. The park occupies a gently sloping site and is bounded by Derby Street (north), Hillegass Avenue (east), Willard Middle School (west), and single family residences with frontage on Regent Street and Hillegass Avenue, respectively (south). The facilities span just over 118,500 square feet on a 2.7-acre site. The park address is 2730 Hillegass Avenue (Assessor's Parcel Number 54-1711-27). It is owned and operated by the Parks Division of the City of Berkeley Parks, Recreation, and Waterfront Department.

The park amenities include a large lawn area with mature trees, two lighted tennis courts, a tot play area, picnic area, paths made of historic cobblestones, and a clubhouse located in the southeastern corner of the park. The existing clubhouse consists of a 565-square-foot building, with an attached 114-square-foot restroom and 486-square-foot trellis area.

The focal point of the park is a large grass lawn and recreation area. Most of the other amenities, such as hardscaping/benches, the playground, and built environment features such as the clubhouse are located along the periphery of the central lawn. The lawn and park are framed and accented with mature trees throughout (a number of which pre-date the establishment of the park). Brick and stone hardscaping and planters also appear throughout, with a concentration of features along the northeastern entrance and eastern border of the park. Historic light standards line the western border of the park and are located throughout the park.

The principal built environment feature of the park is the clubhouse, located in the southeast corner of the park. One story in height, the clubhouse displays a series of aluminum-frame glazed doors, opening onto a patio space. The patio is sheltered beneath a simple wood trellis supported on metal pole supports. The walls display painted concrete-block and vertical wood planks. The original stone walkway and concrete stairs leading to an open rooftop area have been removed and replaced with a concrete-block restroom, fronted by a metal gate.

The northeast corner of the park features stone hardscaping and an entrance gate. Similar hardscaping features, with rough-hewn stone, are located near the entrance to the park and clubhouse, in the southeast portion of the park.

The western portion of the park is home to tennis courts and a playground area. In the northwestern corner of the park, at the sidewalk along Derby Street, is the 1978 "Potter's Wall," a low, undulating, decorative wall clad in recycled ceramics. The Potter's Wall was designed in the organic, expressive style of Spanish architect Antoni Gaudi. Planters and a bench are built into the wall.

The following photographs provide an overview of the spaces and features of Willard Park.

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Figure 3 Eastern entrance to park and clubhouse, east perspective



Figure 4 Rear (southeast) elevation of the clubhouse; the concrete block walls house a restroom added to the building in the 1990s



Figure 5 Overview of Willard Park Clubhouse, north perspective



Figure 6 Northwest corner of Willard Park, showing light standard, stone hardscaping, and mature trees in central lawn



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Figure 7 **1978 Potter's Wall along Derby Street**, northeast perspective



Figure 8 Overview of Willard Park, west perspective along Derby Street





Figure 9 Overview of Willard Park, lawn and trees, northwest perspective



Figure 10 Overview of Willard Park, lawn, trees, and playground, north perspective



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Figure 11 Overview of Willard Park, northeastern entrance gate



Figure 12 Overview of Willard Park, detail of northeastern entrance gate hardscaping



Figure 13 Overview of Willard Park, detail of hardscaping along east boundary/sidewalk



Figure 14 Overview of Willard Park, southeast perspective



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Figure 15 Overview of Willard Park, stone planters, east entrance



Figure 16 Overview of Willard Park, east entrance detail



## 4 Neighborhood Setting and Historic Context

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### 4.1 Neighborhood History and Context

As noted above, Willard Park falls within the neighborhood of Elmwood in southeast Berkeley, located between the north-south corridors of College and Telegraph Avenues, south of the University of California, Berkeley.

During its founding years, Berkeley owed much of its initial development to its proximity to regional transportation routes, emerging commercial and industrial centers, and the establishment of the University of California, Berkeley. Originally founded in Oakland in 1855 as the “College of California,” the university relocated to Berkeley in 1866. The City of Berkeley incorporated in 1878, a year after the Southern Pacific Railroad line reached the Bay Area in 1877. Through the late nineteenth century, Berkeley remained a small town with emerging neighborhoods and commercial corridors, in particular along San Pablo and University Avenue, ringed by agricultural uses on the city periphery.

In addition, the 1906 San Francisco Earthquake and fire caused widespread displacement and an exodus out of San Francisco to East Bay towns like Berkeley and Oakland. During the opening years of the twentieth century, the Elmwood neighborhood saw a great increase in new settlement and construction as a result of these and other factors.

In addition, in terms of the stylistic character of its early architecture, Berkeley and early neighborhoods like Elmwood became centers for the Arts and Crafts movement. During the late nineteenth and early twentieth century, the City overall saw a flowering of Arts and Crafts architecture—in particular, in its “First Bay Tradition” of the Bay Area-influenced Arts and Crafts style. Early practitioners in Berkeley of the First Bay Tradition included architects such as Bernard Maybeck, Julia Morgan, John Galen Howard, Ernest and Almeric Coxhead, John Hudson Thomas, and James Placheck (many of whom not only practiced but also resided in the Berkeley Hills surrounding UC Berkeley).

The First Bay Tradition expanded on and redefined the Arts and Crafts architecture emerging on the East Coast in the work of architects such as Henry Hobson Richardson and McKim, Mead and White. One of the most significant West Coast innovations was the focus on site-specific design and creating connections between the indoors and outdoors, buildings, landscaping, and setting:

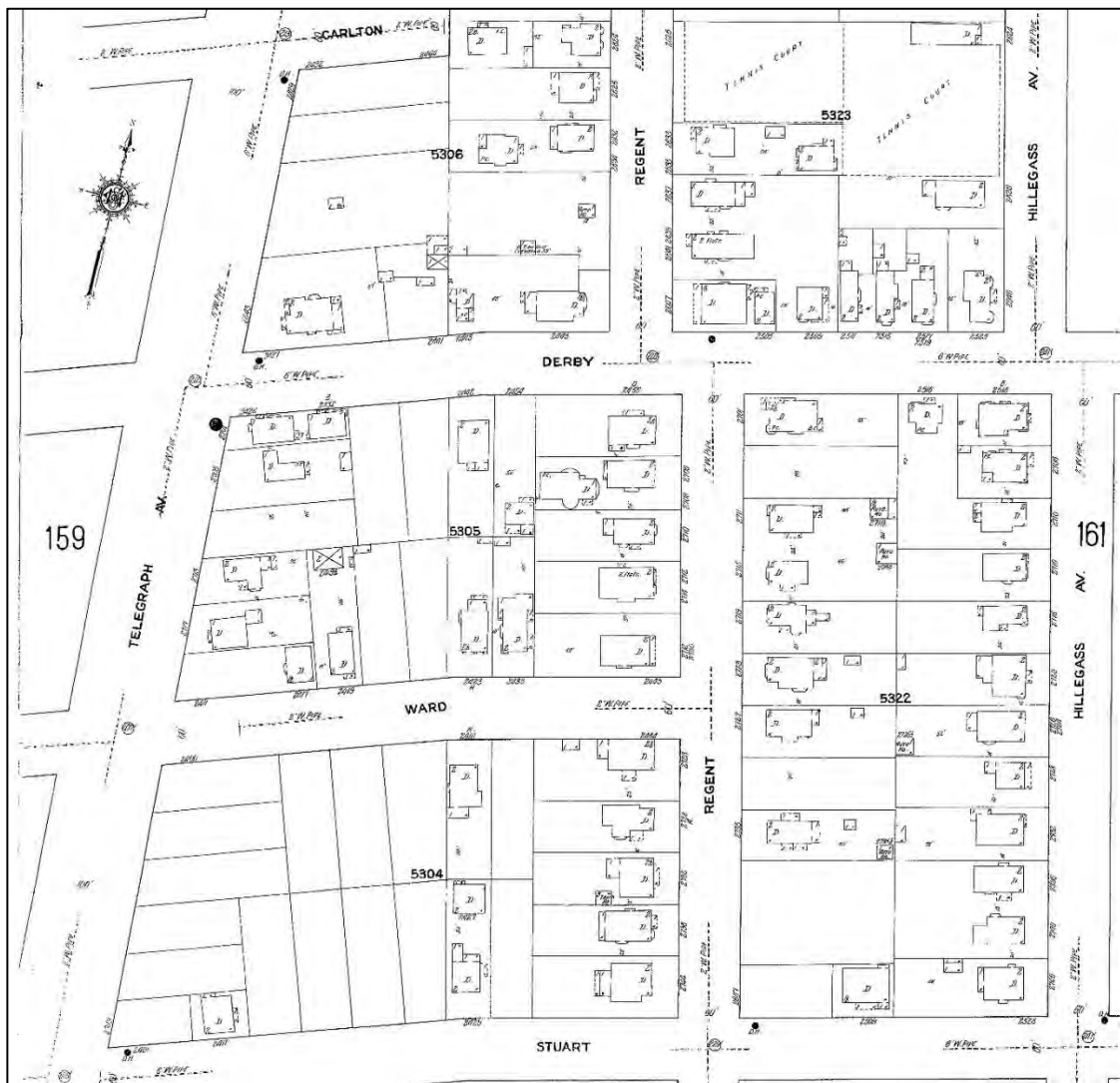
What the Bay Tradition added to the Shingle Style was environment, and in particular the generosity of and therefore, connection to outdoor space, open and cheerful western skies, hills alternating gold and green, and sculptural woodlands. In fact, it is the connections between setting, landscape and architecture where early Bay Area buildings fully succeeded the Shingle-Style of their Eastern mentors. (Preservation Architecture 2007)

In this way, Berkeley’s woodsy setting and indoor-outdoor integration became important features for the new First Bay Tradition. As William Wilson Wurster wrote, “The First Bay Tradition went beyond a strictly architectural expression; it also reflected a life style” (Stern Cerny 1990). Commentators at the time recognized this “unique quality” and cohesive, distinctive neighborhood character it created.

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With the post-1906 construction boom in Berkeley, including in Elmwood, the character of the residential neighborhood around and in Willard Park was one of Arts and Crafts-inspired Craftsman homes, clad with brown wood shingles and enveloped in landscaping. Some of the neighborhood's original landscaping, in the form of mature evergreen trees, survives in Willard Park. This general description was also reflected in the Home Owners' Loan Corporation 1937 survey of Elmwood. At the time, surveyors noted the "dignified" architectural character of the neighborhood's homes and the average date of construction of 1905 (HOLC 1937).<sup>1</sup> In terms of the neighborhood, it was deemed to have "excellent local and San Francisco transportation, convenient to schools, University of California, recreational facilities and local shopping centers" (HOLC 1937).

Figure 17 Sanborn Fire Insurance Map, showing degree of build-out, by 1911, of Elmwood and future site of Willard Park



Source: Environmental Data Resources, 2020

<sup>1</sup> It is worth noting the highly problematic nature of Home Owners Loan Corporation (HOLC) survey data. Conducted in cities throughout the United States in the 1930s, the HOLC program provided fuel for racially discriminatory housing practices. The resulting data provides a window onto 1930s-era neighborhoods that is rare and useful for its level of detail on the built environment but that generally should be not used without a caveat on the program and its negative, lasting effect on neighborhoods and communities of color.

Into the twentieth century, Berkeley expanded rapidly, through the meteoric growth of the University of California, Berkeley, the downtown commercial corridor, as well as industrial development along the city periphery. Residential expansion grew, as well, with neighborhoods into the Berkeley flats and hills showing increasing numbers of new tracts and residential settlement.

With the advent of the automobile, as well as road construction and infrastructure improvements, residential development expanded further from the city's historical center. During and immediately after World War II, the combination of in-migration to California and the postwar baby boom fueled further growth, and Berkeley approached its peak population of over 110,000 by 1950.

The City rapid population growth coincided with massive, Cold War-era investments in American public universities. A prime beneficiary of federal research grants, the University of California, Berkeley, experienced postwar surge in enrollments, which grew from 7,700 in 1944 to 21,000 in 1946. The University's growth contributed to Berkeley's emergence as intellectual center. By the 1960s, Berkeley was transformed from a small town to a cosmopolitan "republic of letters where independent newspapers, poetry, music, art, and theater proliferated" (Suri 2004).

In terms of Elmwood and the area around Willard Park, it had been largely developed for residential use by the opening decades of the twentieth century. The proximity to the north-south corridors of Telegraph Avenue to the south and College Avenue to the north made the neighborhood accessible to downtown shopping areas and the Civic Center as well as UC Berkeley to the north. As shown on the 1911 Sanborn Fire Insurance map, the neighborhood primarily consisted of axial, residential-sized lots on a rectilinear street grid. Nearly all of the lots had already been improved with two-story, single-family homes. At this time, Regent Street followed an uninterrupted course between Stuart and Derby Streets. As of 1911, Frances Willard School, which is currently located immediately west of the park, had not yet been developed, and the school site was home to several residences (ProQuest 2020).

As of 1939, the year the first available aerial photograph of the area was taken, the area was fully developed and had much the same predominantly residential character as it has today (Figure 18).

By 1946, the clearing of former residential parcels between Regent Street and Telegraph Avenue had begun in order to construct Frances Willard School. The school was expanded and its older buildings razed and replaced over the next two decades.

Aside from a modest increase in commercial and/or institutional development along Telegraph and College avenues, there were few notable changes to the subject property or its vicinity until after 1968 (EDR 2020).

The following aerial photographs present a visual overview of the construction chronology of Willard Park and the surrounding neighborhood.

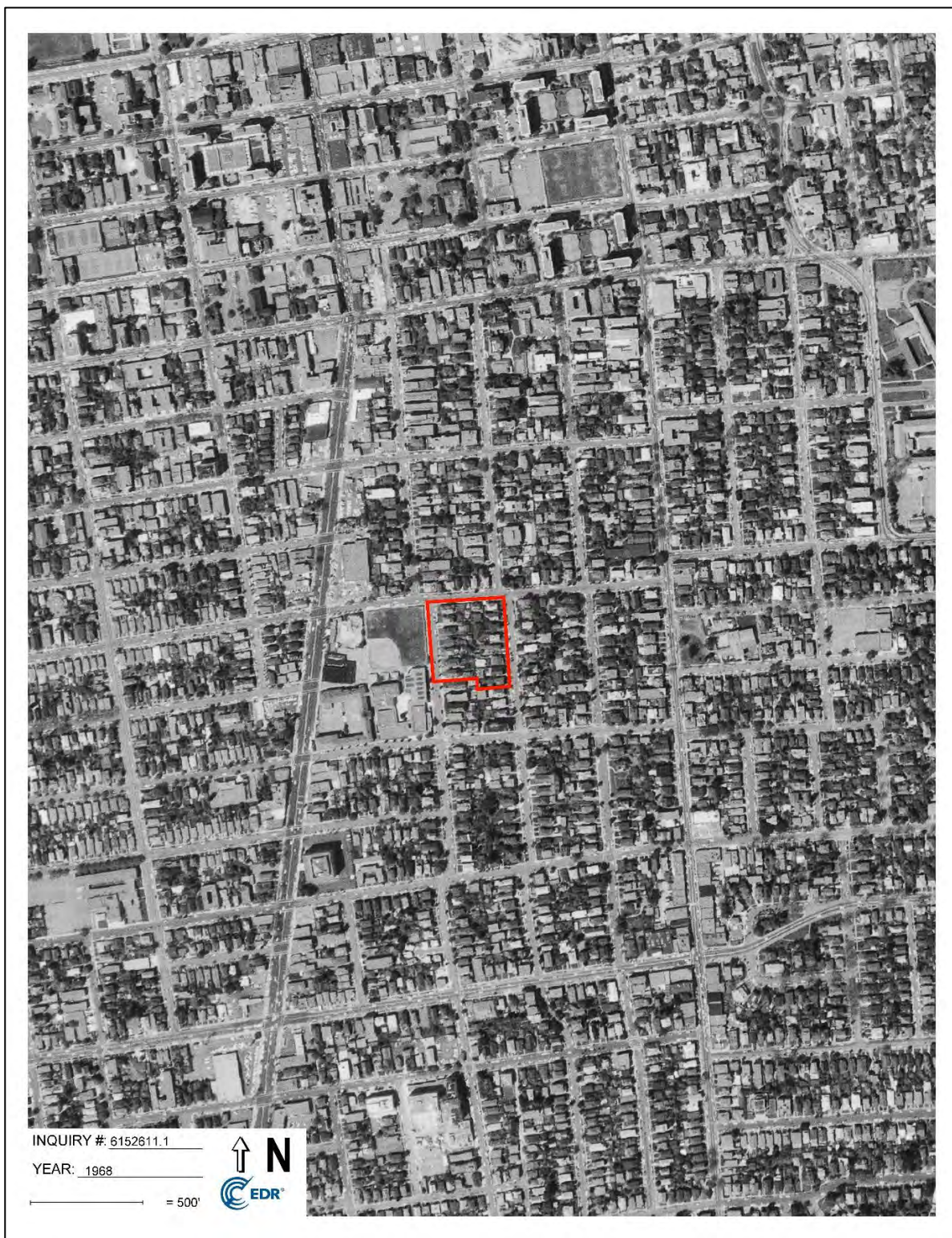
ELS Architecture + Urban Design  
Frances Willard Park, Berkeley, California

Figure 18 1939 aerial of Willard Park (in red) and surrounding neighborhood, which consists primarily of early twentieth-century homes on an axial street grid, with mature landscaping throughout





Figure 19 1968 aerial of Willard Park (in red) and surrounding neighborhood, a year prior to the construction of Willard Park



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Frances Willard Park, Berkeley, California

Figure 20 1974 aerial of Willard Park (in red) and surrounding neighborhood; **People's** Park appears in the third block directly to the north from Willard Park

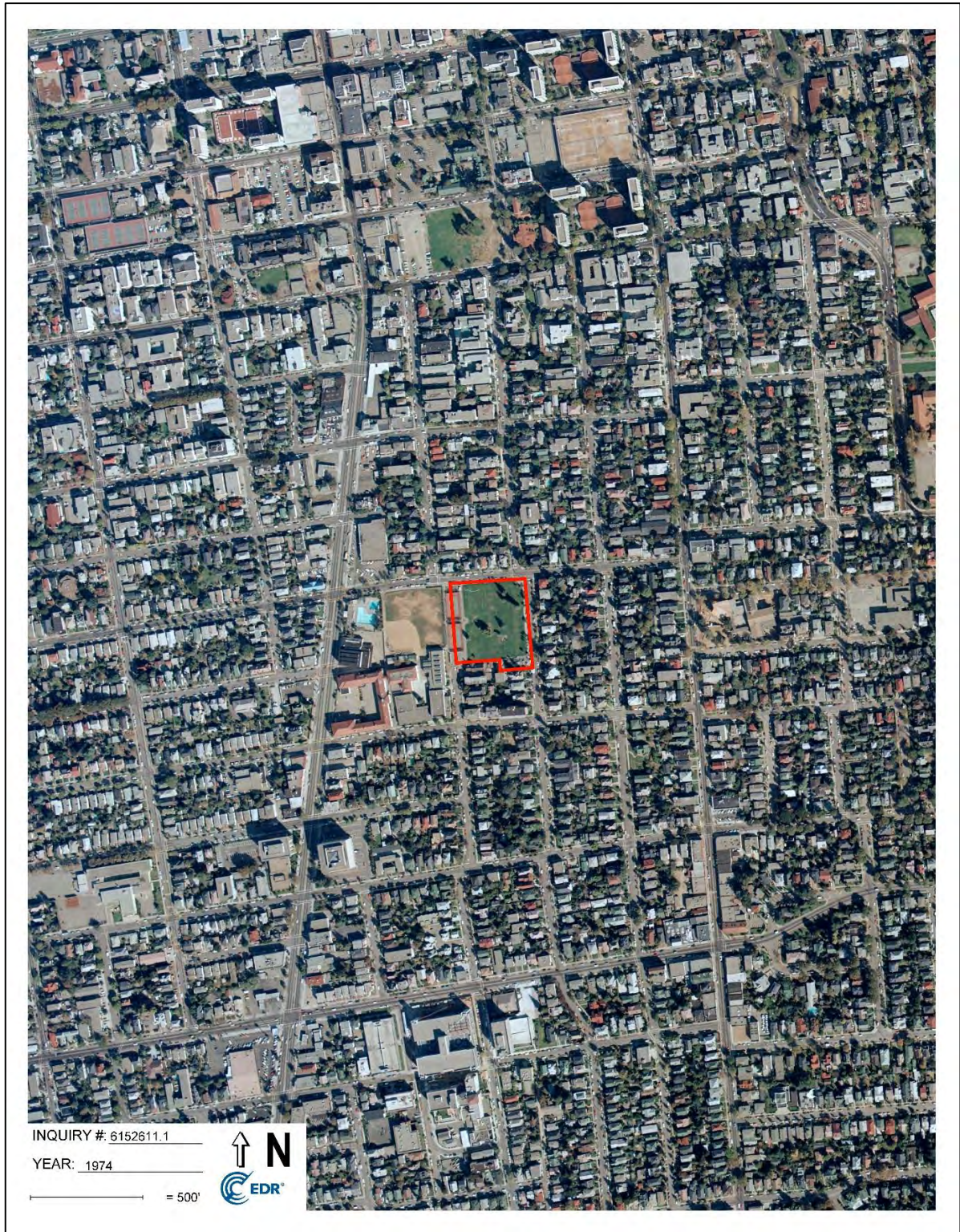


Figure 21 Detail of the Willard Park area immediately before and after construction, in 1968 and 1974; surviving mature trees appear in the 1974 image



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## 4.2 Willard Park Construction Chronology and Social History

Planning for Willard Park began in 1950s, as city officials recognized the need for a recreational facility in southeast Berkeley, and ultimately chose the subject site for redevelopment as a park (Oakland Tribune 9/17/1957). The City Council began authorizing the piecemeal acquisition of residential properties in the area by 1957 (Oakland Tribune 7/24/1957). While some property owners sold their homes willingly, opposition to the park plan arose, spearheaded by Southeast Berkeley Property Owners' Association, whose officers all resided on the 2700 block of Hillegass Avenue, where the park would be constructed. According to reporting by the Oakland Tribune, the organization was established "to protect their private homes and income property in the Hillegass-Derby-Regent block against" the development of the proposed park (Oakland Tribune 9/26/1957).

By 1964, the City had purchased most of the 17 parcels earmarked by local planners, but the program stalled briefly (City of Berkeley Parks Division 2020). In 1968, land acquisitions resumed, after the U.S. Department of Housing and Urban Development awarded local authorities a series of open space land grants to cover half the cost of acquiring the six parcels the City had not yet purchased. In April 1969, after years of planning and preparation, an agreement was reached for Willard Park to move forward as a user-developed park with joint use between the City and Willard Junior High School. That same year, in 1969, the remaining buildings and homes were demolished and removed, and the interim park was constructed by the fall of 1969. Construction for the park moved forward, with amenities including a "recreation building, tot lot, play lot, turf field, tennis and basketball courts" (Oakland Tribune 1/19/1968).

Even before the park was officially inaugurated on June 20, 1971, the community utilized the park for gatherings (explored in more detail below). In 1976, the park's tot lot playground was renovated; in May 1982, the park was renamed in honor of Frances Willard, a well-known suffragette, educator, and temperance leader in Berkeley.

Figure 22 As-built drawings of Willard Park Clubhouse, east elevation, with original cobblestone wall and stairs leading to rooftop space; the cobblestone wall and stairs were removed in the 1990s

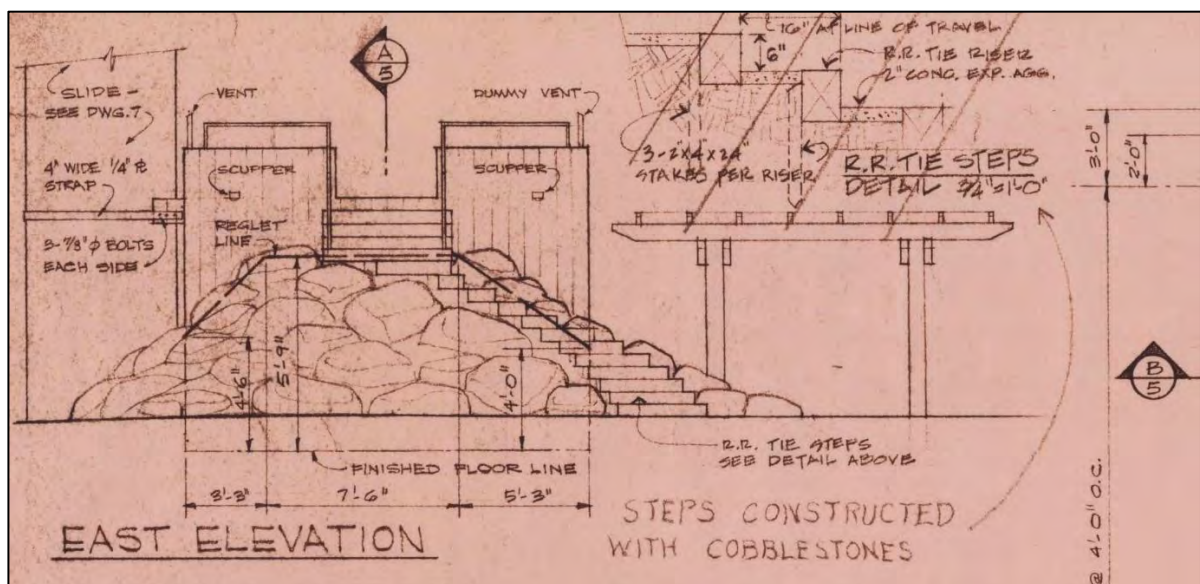
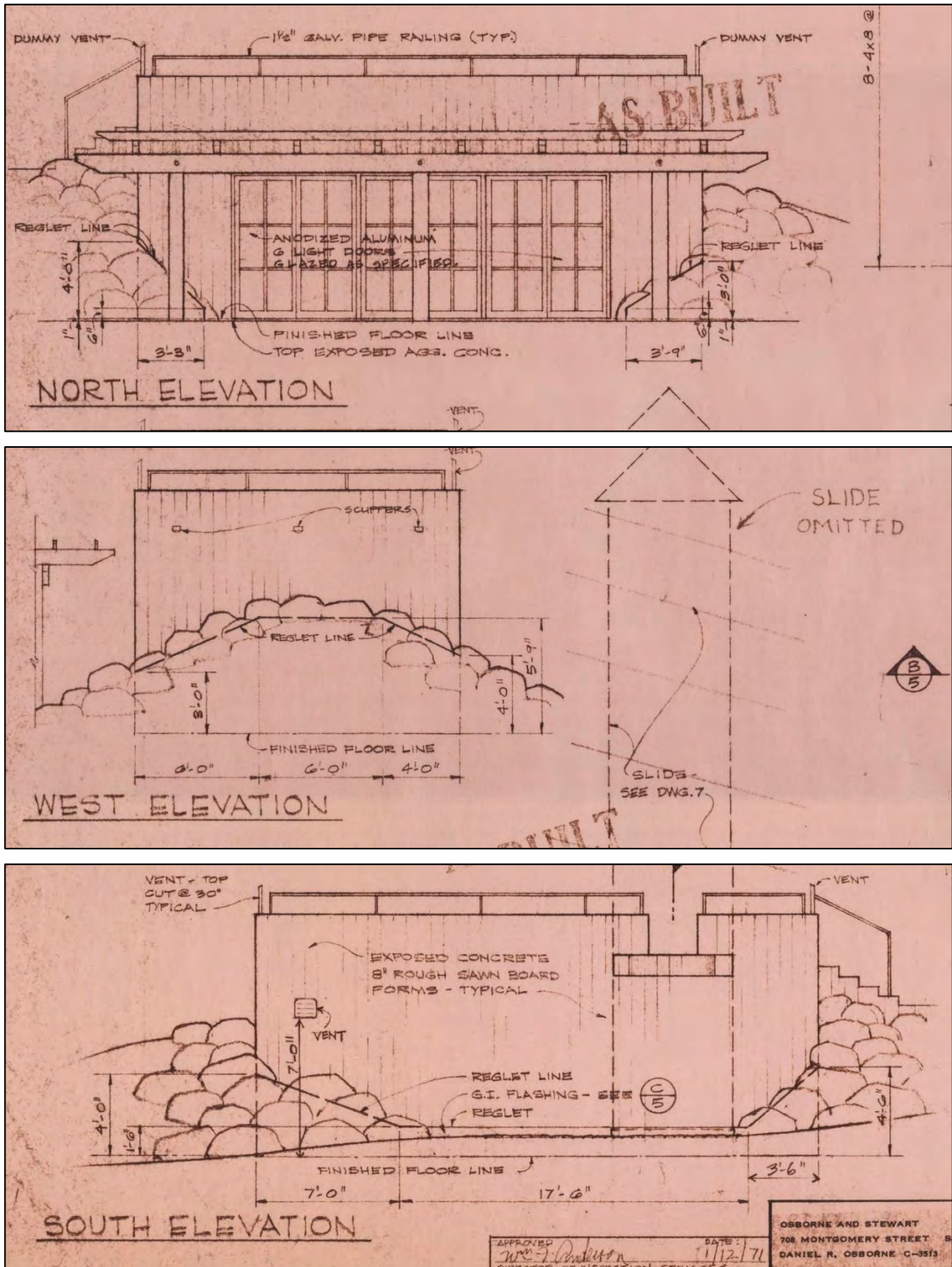


Figure 23 As-built drawings of Willard Park Clubhouse, façade (top), with original cobblestone features on east and west elevations; west elevation (center); and south elevation (bottom)



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Frances Willard Park, Berkeley, California

When initial development of the park began in the 1969, the site became linked to an ongoing controversy over People's Park, located two blocks to the north. Mayor Wallace J.S. Johnson announced the City's plans to begin construction of Willard Park in May, just days into the political fight over People's Park.

At the core of the People's Park protests was the contention among some activists that restrictions imposed by the University of California, Berkeley, for on-campus political activities had created the need for an off-campus "free-speech area," as an alternative to Sproul Plaza. During Willard Park's first years of operation, People's Park site remained off-limits by University decree, and Willard Park served as a base for political demonstrations (Wittmeyer 2004).

Political pressure seems to have hastened the City's opening of Willard Park. Construction began in the fall of 1969, and the park soon opened with an interim design consisting solely of a "turfed" field. Further landscaping, buildings, other amenities were scheduled for development in the near-term (Oakland Tribune 9/19/1969).

Even before the park's official inauguration in 1971, organizers soon put the space to use as an off-campus site for demonstrations concerning People's Park, the Vietnam War, and other political issues of the day. In the spirit of the times, activists nicknamed the space Ho Chi Minh Park, a name that remained in use unofficially for many years (Branning 1970; San Francisco Examiner 1982).

On July 4, 1970, the park served as the starting point for a 300-strong march along Telegraph Avenue toward the UC Berkeley campus. Marking "Liberation Day" or alternately "Anti-Honor America Day," the demonstration culminated in violence between protesters and police. By one report, "[protesters] threw rocks and firecrackers" and "city and campus police chased them in full battle gear" (Oakland Tribune 7/5/1970; 7/6/1970 San Francisco Examiner 7/12/1970). In December 1971, the antiwar organization Bay Area Veterans Against the War received permission to host an event at Willard Park. About 150 veterans camped at the park to "make sure that 'people at Christmas don't forget there's no peace on earth'" (San Francisco Examiner 12/21/1971).

On May 8, 1972, Willard Park served as the starting point for a rally and march that was pivotal in the permanent opening of People's Park. The event began as a large non-violent demonstration against President Richard M. Nixon's authorization of the mining of Haiphong Harbor near Hanoi. However, by evening the atmosphere had turned "riotous," and protesters clashed with police in the streets. The conflict culminated in protesters' dismantling of the eight-foot chain-link fence that lined the perimeter of the People's Park site (Oakland Tribune 5/9/1972). The University subsequently acceded to the activists' demands and allowed construction of the People's Park to resume.

After 1972, the use of Willard Park for political gatherings appears to have declined. A search of the newspaper database newspapers.com shows that at least one more major political rally took place at the park following the reopening of People's Park (a November 8, 1972 demonstration over Nixon's reelection) (Oakland Tribune 11/2/1972). Search results on Independent Voices, an online database of underground and alternative periodicals, shows a similar decline after 1972 (Independent Voices 2020). However, even with waning activism against the Vietnam War, the park continued to host large events falling in a generally countercultural milieu.

Through the early 1970s, Willard Park was the site the Society for Krishna Consciousness' annual Lord Chaitanya festival, which began at Sproul Plaza with a parade and ended in a day long fete at Willard Park (San Francisco Examiner 3/14/1971; Oakland Tribune 3/3/1972; Berkeley Gazette 3/9/1973). By 1973 and until at least as recently as 1981, the park was home to the annual East Bay Gay Day (later East Bay Lesbian/Gay Day) festival, sponsored by East Bay Gay and other gay and

lesbian rights organizations (Berkeley Gazette 6/19/1973; 6/18/1974; 6/20/1975; 6/1/1976; 6/17/1978; North East Bay Independent and Gazette 5/15/1981).

In addition, in 1974, a memorial service for Angela Atwood, who was one of six Symbionese Liberation Army members killed in a Los Angeles gunfight (San Francisco Examiner (3/9/1974). Other events at the park in this period marked the Greenpeace Save the Wales campaign and Earth Day, in addition to multiple performances by the San Francisco Mime Troupe (Berkeley Gazette 9/10/1976; North East Bay Independent and Gazette 6/19/1978).

Figure 24 Lord Chaitanya Festival at Willard Park, 1974



In addition to its role as a public gathering space during the late 1960s and early 1970s, Willard Park served as a neighborhood park for area families, residents, and visitors. In 1970, in support of expanding the park's amenities, the Willard Park Citizens Committee approved designs for a second phase of development (City of Berkeley Parks Division 2020). Features of the new development included a playground, clubhouse, mural wall, tennis courts, restroom and pay phone kiosks, and new landscaping. The park centered on the Arts and Crafts-inspired clubhouse, with its distinctive cobblestone walls and open stairs, and adjacent playground, located at the northeast corner of the park.

Two notable motifs in the park's landscape design were the use of sizeable boulders, cobblestones, and similar masonry elements to mark boundaries. Removed in the 1990s, the cobblestone walls flanking the clubhouse, for example, and boulder alignments in other areas, were key features of the park's design. Original site plans depict large collections of boulders partially enclosing the playground, lining the boundary with an adjacent nursery school, and providing a barrier at the

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Frances Willard Park, Berkeley, California

Regent Street dead end (City of Berkeley Department of Public Works 1971). Historic photographs of the park show that, in some locations, boulders were stacked several feet high (WD Watson 2006).

Masonry elements in the 1971 plans included a low wall, curb strip, and edge strip. An original drinking fountain was also constructed with a rough-hewn masonry pedestal and basin (City of Berkeley Department of Public Works 1971). While there are no remnants of the boulders and some masonry features have been removed, the masonry motif remains evident in the drinking fountain base. The figures below depict features constructed in the park's second phase of development.

In May 1978, the Potter's Wall feature was constructed to the north of the tennis court. Influenced by Spanish architect Antoni Gaudi's designs for Parque Guell in Barcelona, Spain, local sculptor Andrew Werby designed the wall as structure with an irregular, organic form clad in a recycled ceramics applique. A crew of volunteers constructed the approximately 50-foot long, 3-foot high concrete form using the "stack sack" method (Wescover 2020; North East Bay Independent and Gazette 5/18/1978; 5/23/1978). Planters and a bench were built into the wall. The Alameda County Neighborhood Council, California Arts Council, and City of Berkeley funded the wall's construction with a combined \$1,600 in grants. Merchants donated materials, and local potters donated the ceramic shards worked into the face of the wall (North East Bay Independent and Gazette 5/23/1978).

Figure 25 Willard Park Clubhouse, East and North Elevations, ca. 1980; photo shows the original stonewalls and features flanking the building





Figure 26 Play Lot and Tot Lot, Facing West, ca. 1980



Figure 27 View of Willard Park from Hillegass Avenue, Facing Southwest, ca. 1980



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Figure 28 Detail of original stone walls and stairs, Willard Park Clubhouse, ca. 1980



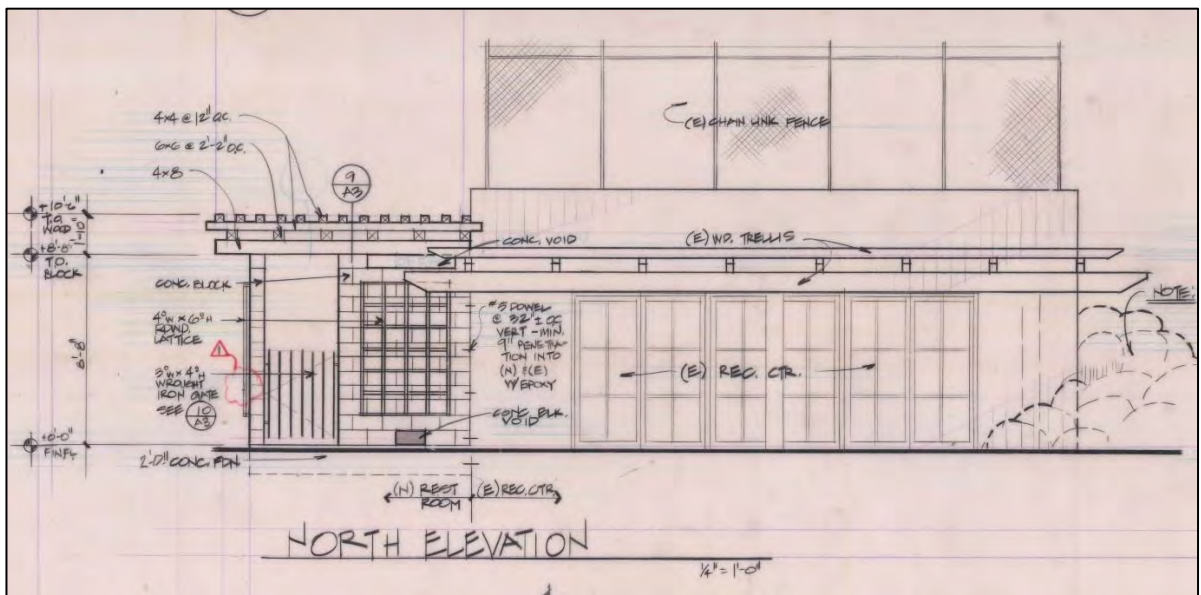
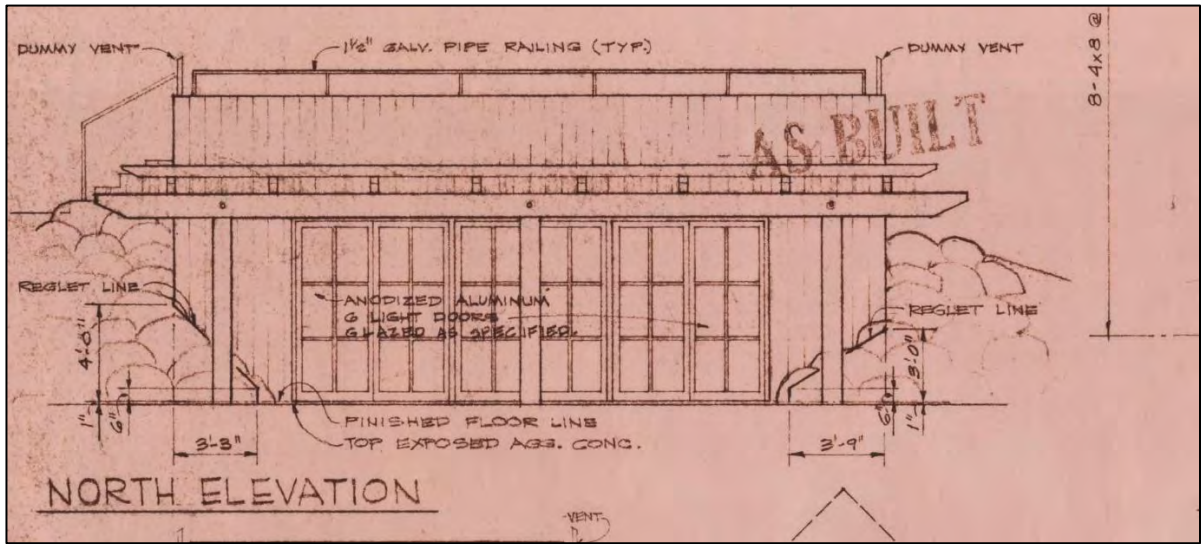
In 1982, the park was formally dedicated to Frances Willard, the noted reformer who founded the Women’s Christian Temperance Union (WTCU) in 1878. Although the site had been in use as Willard Park for over a decade, it had not been opened officially. Members of the WTCU joined local political leaders for a dedication ceremony, which also marked the completion of a \$20,000 renovation of the “tot area” funded under the 1974 Measure Y bond issue (North East Bay independent and Gazette 5/7/1982; City of Berkeley Parks Division 2020 ).

In the late 1980s and 1990s, the neighborhood advocacy organization Friends of Willard Park spearheaded several improvements to the park. These included the construction of a new “tot lot,” improved lighting, irrigation, and circulation measures; laying of a new cobblestone entry on Hillegass Avenue; and a “rose walk” near the Potter’s Wall. The latter project was designed in part to deter overnight camping in the park, which had been an issue of contention since at least as early as 1990 (FWP 1997; Guttman 1990).

In addition, the City carried out a variety of projects at the park, including the addition of restrooms to the clubhouse and removal of the stone features in 1991 and construction of new circulation paths and changes to the children’s play areas in circa 1994 (City of Berkeley Department of Public Works 1991; 1994). These projects led to the removal of several features constructed in the 1970s, including the stone walls and steps on the east elevation of the clubhouse, the restroom and pay phone kiosks, and the original playground areas.

The following drawings from the original as-built plans and 1991 alterations show the appearance of the clubhouse following the removal of stone walls and rooftop stairs and construction of concrete-block addition. According to the 1991 architectural plans, the stones removed from the clubhouse were relocated to Aquatic Park in west Berkeley.

Figure 29 North elevation, as-built design (top) and 1991 alterations (bottom), showing the removal the cobblestone framing and features on the east and west elevations



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Figure 30 East elevation, with original cobblestone wall and stairs (top) and new 1991 plans (bottom), with cobblestone wall and stairs removed

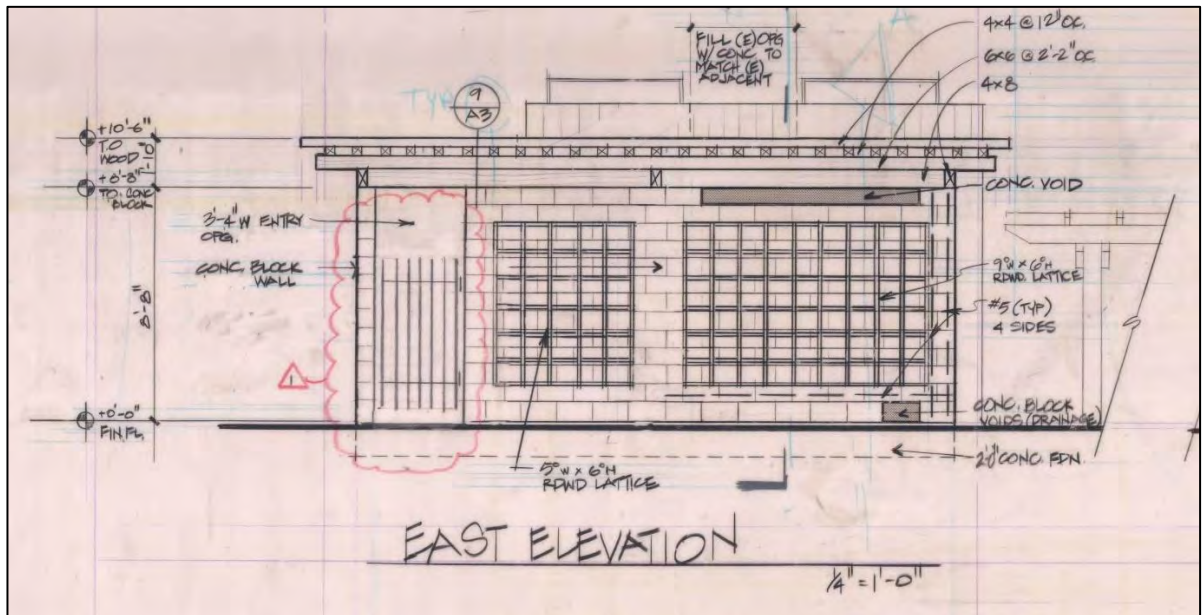
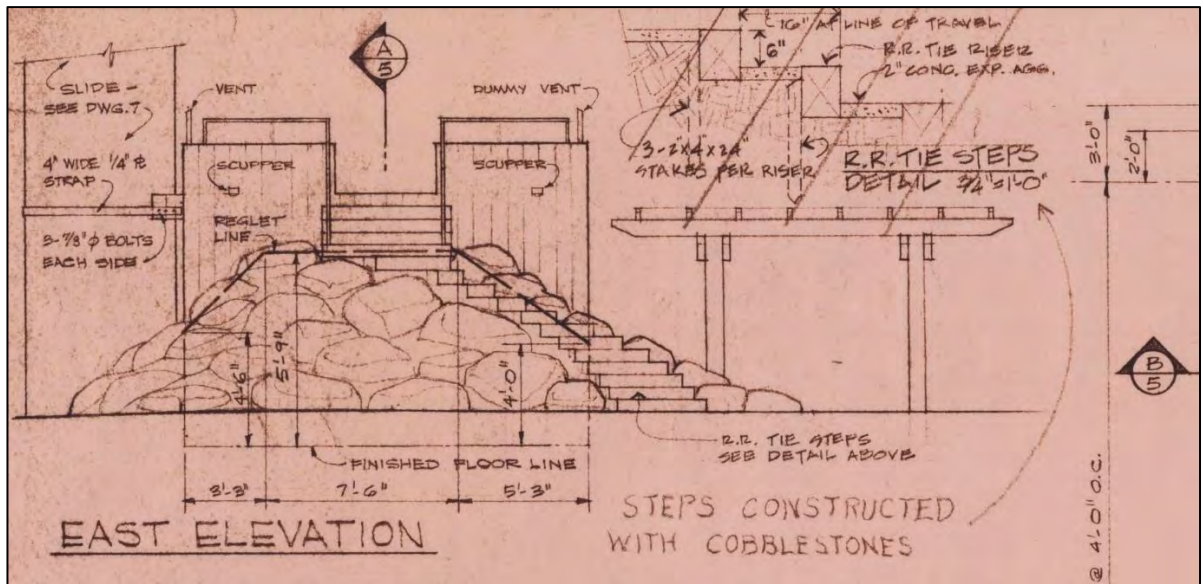
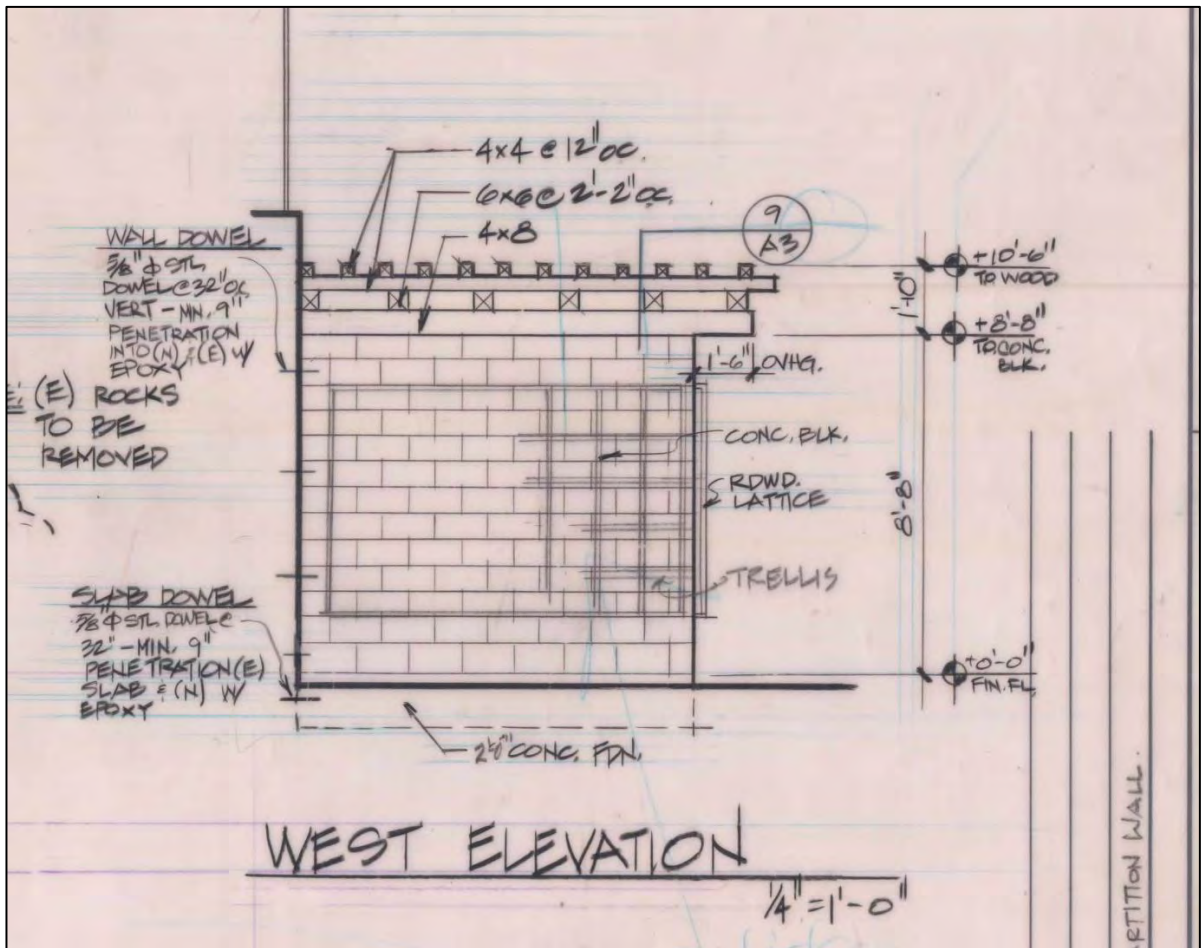
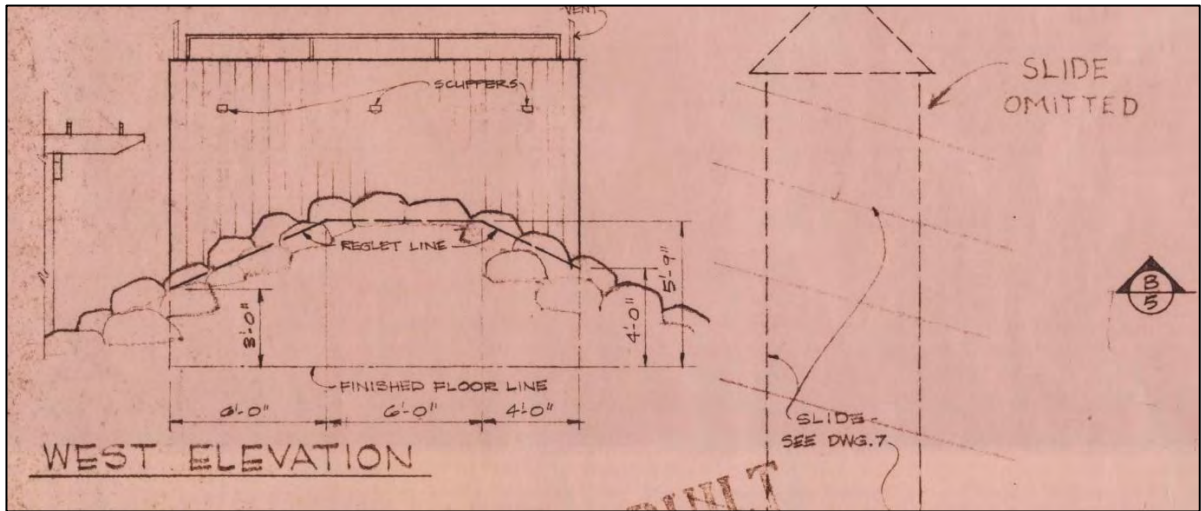
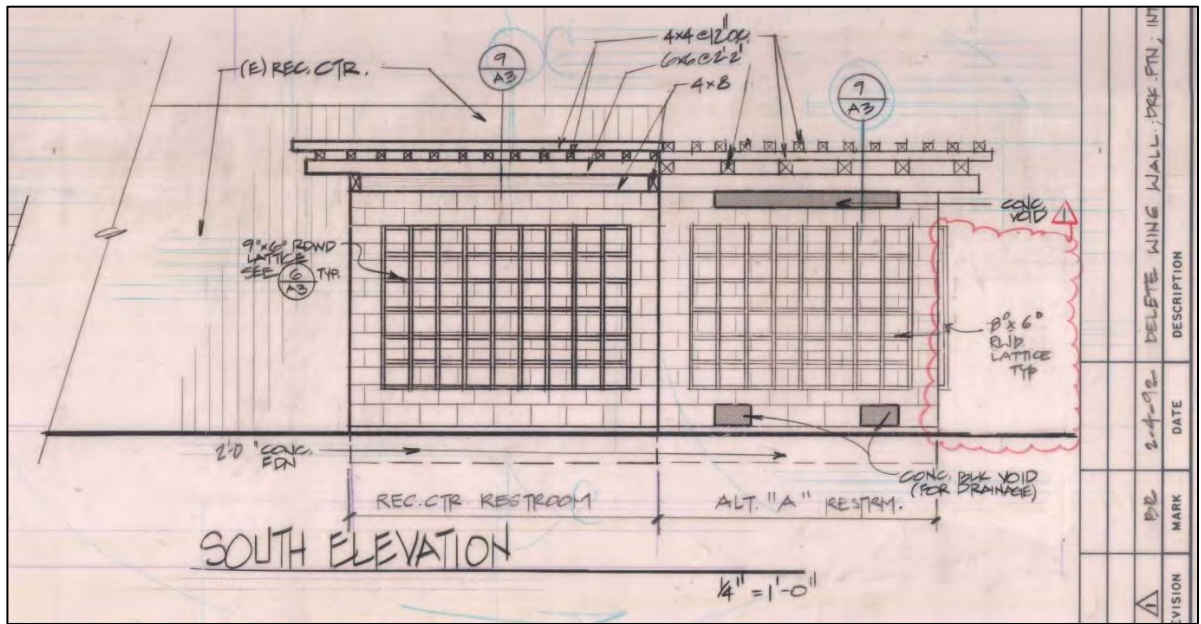
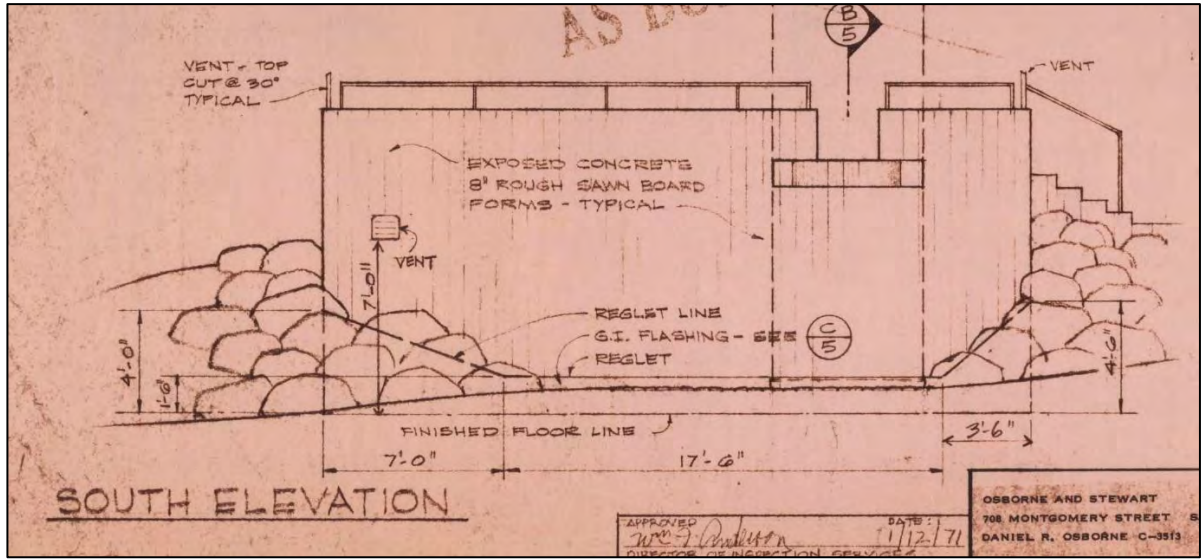


Figure 31 West elevation, with as-built original cobblestone features (top) and 1991 appearance and new concrete-block wall (bottom)



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 Frances Willard Park, Berkeley, California

Figure 32 South elevation, with original cobblestone feature flanking the building (top) and 1991 plans for removal of cobblestone features (bottom)



## 5 Evaluation

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As noted in Section 4, as a public space in Berkeley in the late 1960s/early 1970s, Willard Park had a brief association with the Antiwar Movement and other grassroots political movements. The City of Berkeley opened Willard Park as an interim park space in the fall of 1969. Before the official inauguration of the park in June 1971, prior to the opening of People's Park, Berkeley activists unofficially renamed the property Ho Chi Minh Park and began using it for socializing, entertainment, education, political organizing, and political demonstrations.

Between 1969 and 1972, the park was the site of several rallies and marches. Although use of the park for antiwar and free speech events was short-lived (those activities declined after 1972), the park remained the site of community festivals, such as the Lord Chaitanya Festival and early occurrences of East Bay Lesbian/Gay Day, and alternative arts performances, including several by the famed San Francisco Mime Troupe.

While this association with community activism and culture is noteworthy, it is relatively short when compared with the history of People's Park; for Willard Park, research identified through this study did not suggest that this association rises to the level required to confer eligibility as a landmark at the federal, state, or local level.

In addition, research did not reveal an association of the park with any individuals known to have made significant contributions to the history of the city, state, region or nation. Its design and architecture are that of a typical neighborhood park, and neither the park as a whole nor any of its embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, or possess high artistic values. Willard Park also appears ineligible under the remaining City of Berkeley Landmark designation criteria. Therefore, Willard Park is not a historical resource per CEQA.

Given the park's brief but noteworthy history as a gathering space for antiwar, counter-culture, and Free Speech movement events, Willard Park appears to warrant special consideration in local planning (6L California Historic Resources Status code). The 6L code does not confer status as a historical resource per CEQA but is used to signal that local planning may wish to extend special consideration to the resource.

(Depending on the City's plans and needs, special consideration in local planning could take the form of creating interpretive panels to document and share Willard Park's history with the public. Such interpretive information could include the pre-park history as a neighborhood of early twentieth-century wood-shingled homes, as well as the park's role in Berkeley's counter-culture movement of the late 1960s and early 1970s. This, however, is not a mitigation measure but rather an option should the City wish to recognize the park's history in this manner. The 6L CHR status code does not trigger any requirements under the LPC ordinance or CEQA.)

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 Frances Willard Park, Berkeley, California

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# Appendix A

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DPR Series 523 Forms

**From:** [Planning Dept. Mailbox](#)  
**To:** [Mark Lowe](#)  
**Cc:** [Harrison, Kate](#); [Droste, Lori](#); [Berkeley Mayor's Office](#); [Klein, Jordan](#)  
**Subject:** RE: 2720 Hillegass Avenue  
**Date:** Tuesday, June 28, 2022 1:08:00 PM

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Dear Mark Lowe,

I am guessing that you're following up on information you read on the "yellow sign" through which applicants for Zoning projects in Berkeley provide preliminary notice to neighbors of their intent to apply. These signs usually go up before a project application is actually submitted, and in this case, the Planning Department has not yet received a complete Zoning Project Application for the Willard Clubhouse project. So as yet there is no schedule for the public meetings and public input process which will be required.

Once an application is deemed complete, an assigned staff planner will commence the review and public input process, and meeting dates will be set. There will be public notice and the opportunity to comment and review application materials.

You can keep track of this or any project in Berkeley using our online Accela Citizen's Access tool at <https://aca.cityofberkeley.info/Community/Default.aspx> . Choose the "Zoning" tab, enter the property address, set the date range the include whatever scope you wish, and results will come up. For any specific project that comes up, go to the drop-down menu under "Record Info" and choose "Processing Status" to see what stage the project is in, or choose "attachments" to view publicly available documents pertaining to the project.

The City's Department of Parks, Recreation, and Waterfront will be the project applicant. They have set up a webpage for the project at <https://berkeleyca.gov/your-government/our-work/capital-projects/willard-clubhouse-project> , which includes the names and contact information for the City staff leading this project.

Sincerely,

Jim Bondi, Associate Management Analyst  
City of Berkeley, Department of Planning & Development  
1947 Center St., 5th Floor, Berkeley, CA 94704  
<https://berkeleyca.gov/>

-----Original Message-----

From: Mark Lowe <[m Lowe51@yahoo.com](mailto:m Lowe51@yahoo.com)>  
Sent: Tuesday, June 28, 2022 10:41 AM  
To: Planning Dept. Mailbox <[planning@cityofberkeley.info](mailto:planning@cityofberkeley.info)>  
Cc: Harrison, Kate <[KHarrison@cityofberkeley.info](mailto:KHarrison@cityofberkeley.info)>; Droste, Lori <[ldroste@cityofberkeley.info](mailto:ldroste@cityofberkeley.info)>; Berkeley Mayor's Office <[mayor@cityofberkeley.info](mailto:mayor@cityofberkeley.info)>  
Subject: 2720 Hillegass Avenue

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

My name is Mark Lowe, 2643 Hillegass Ave.

I am trying to get information on the STATUS of the Clubhouse Project at Willard Park.

Your phone number as posted on the Project Sign is of NO HELP.

So I am submitting this request for Dates and Times of the required Planning Department decision meetings or hearings or whatever type of process gatherings you people do for this project to proceed.

As a concerned citizen and resident of the neighborhood and TAXPAYER, I am entitled to be informed of this process and I would hope to have some input into your, the planning Dept., decision making.

This project met with considerable neighborhood concern as to the size of this expansion.

Yet the Public Record reflects NONE OF THE NEIGHBORHOOD CONCERN.

I would expect that the Planning Department would be interested in considering that neighborhood concern as it influences your decision making.

Please provide me with the schedule of processing for this project.

Time and Dates Please.

Respectfully submitted at 10:40am on Tuesday, June 28, 2022

**Riemer, Allison**

---

**From:** Riemer, Allison  
**Sent:** Friday, July 1, 2022 10:44 AM  
**To:** Riemer, Allison  
**Subject:** FW: 2720 Hillegass Avenue

Internal

---

**From:** Planning Dept. Mailbox  
**Sent:** Tuesday, June 28, 2022 4:47 PM  
**To:** mark L <[mlove51@yahoo.com](mailto:mlove51@yahoo.com)>; Panzer, Eric <[erpanzer@cityofberkeley.info](mailto:erpanzer@cityofberkeley.info)>  
**Cc:** Wellbrock, Wendy <[WWellbrock@cityofberkeley.info](mailto:WWellbrock@cityofberkeley.info)>; Chan, Evelyn <[EChan@cityofberkeley.info](mailto:EChan@cityofberkeley.info)>; Planning Dept. Mailbox <[planning@cityofberkeley.info](mailto:planning@cityofberkeley.info)>; Karimzadegan, Niloufar <[NKarimzadegan@cityofberkeley.info](mailto:NKarimzadegan@cityofberkeley.info)>  
**Subject:** RE: 2720 Hillegass Avenue

Dear Mark,

I emailed you earlier today with answers about when the public notice and comment process work begin. Perhaps it went to your spam folder? I've re-attached it here for your convenience. The short version is that Planning does not have a complete application submitted yet. Once we do, that would start a process which would later include public comment opportunities, which would be noticed in advance. Please read the full attached text for other information on how you can track this project.

Best,

**Jim Bondi**, Associate Management Analyst  
City of Berkeley, Department of Planning & Development  
1947 Center St., 5<sup>th</sup> Floor, Berkeley, CA 94704  
<https://berkeleyca.gov/>

---

**From:** mark L <[mlove51@yahoo.com](mailto:mlove51@yahoo.com)>  
**Sent:** Tuesday, June 28, 2022 4:11 PM  
**To:** Panzer, Eric <[erpanzer@cityofberkeley.info](mailto:erpanzer@cityofberkeley.info)>  
**Cc:** Wellbrock, Wendy <[WWellbrock@cityofberkeley.info](mailto:WWellbrock@cityofberkeley.info)>; Chan, Evelyn <[EChan@cityofberkeley.info](mailto:EChan@cityofberkeley.info)>; Planning Dept. Mailbox <[planning@cityofberkeley.info](mailto:planning@cityofberkeley.info)>; Karimzadegan, Niloufar <[NKarimzadegan@cityofberkeley.info](mailto:NKarimzadegan@cityofberkeley.info)>  
**Subject:** Re: 2720 Hillegass Avenue

Hello Eric, I appreciate your timely response.

I am trying to stay abreast with the approval process for the Clubhouse Expansion Project.

That has proven to be a daunting task as the Public Process has been carried out in a somewhat stealthy manner.

Nowhere in the referenced website is mention of the overwhelming concern, by local neighbors and park users, about the huge size of this proposed expansion.

For the record, every one of the ZOOM presentations by the City was attended by vocal concern about the size and the negative impact this huge expansion will have on the Park, yet there is NO MENTION in the Record.

Currently there is POSTED at the Clubhouse Entrance a Public Notice Sign (Photo Attached) The Notice references the Planning Department as a Contact for Information on this Project. I called the phone numbers but the Voice Msg just referred me to go downtown for info. Today I did in fact go down to the Planning Department and made inquiry about the Status of this Project. Staff attempted to help me but LO and BEHOLD, staff could find NO REFERENCE to this Project.

The Notice states that there is an application for a Variance, but NO RECORD downtown? And NO MENTION in the City website. I would assume that The City would keep the website UPDATED, as this Project is currently under process.

Again, a bit Stealthy.

I trust that the Planning Process requires a Public Hearing for Variances. That is the information that I am trying to secure. I would like to have access to such a Hearing.

All I am requesting is a Date and Time for the Variance discussion.

Not a Huge Ask. Just a concerned TAXPAYER seeking information on a questionable project with a Considerable Price Tag.

Any Help will be most appreciated.

Thank you.

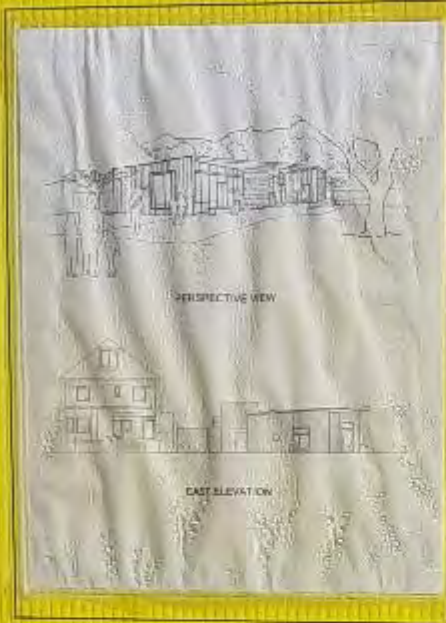
Mark Lowe

2643 Hillegass Ave

510-292-5072



# PROPOSED PROJECT



## PROJECT INFORMATION

2720 Hillegass Avenue:

Proposed replacement of existing recreation building with a new 4,195 square foot multi-purpose community recreation building, new retaining wall and fence on southern property line, variance request to reduce rear setback to 16', and a new 200 square foot stand-alone public restroom.

## APPLICANT INFORMATION

City of Berkeley  
Parks, Recreation & Waterfront Department  
2180 Milvia Street, Berkeley, CA 94702  
(510) 981-6700

For more information check the  
Planning Department Web Page:  
[www.cityofberkeley.info/planning](http://www.cityofberkeley.info/planning)  
or call 510-981-7410

### Public Notices:

Two large, empty rectangular boxes with dashed outlines, intended for public notices or comments.

On Tuesday, June 28, 2022 at 02:39:39 PM PDT, Panzer, Eric <[erpanzer@cityofberkeley.info](mailto:erpanzer@cityofberkeley.info)> wrote:

Hello Mark,

Thank you for writing in and taking such an active interest in the Willard Park clubhouse project. I know that some of the project documents/announcements have moved since the new City website came online, so I can understand your frustration on trying to find more information.

The new City webpage for the project is here: <https://berkeleyca.gov/your-government/our-work/capital-projects/willard-clubhouse-project>

On this page you can find information about the previous community meetings that took place, including some of the cat logs from the virtual meetings. There is also an FAQ available that discusses some of the questions/concerns neighbors have had.

To my knowledge there is not video of verbal comments or a complete transcript, as this is not standard practice for all City workshops/commission meetings. However, please let me know if there is anything specific you are looking for and I can see what else might be archived.

Additionally, if you would like to receive future updates, please send an email with your contact information to [T1@cityofberkeley.info](mailto:T1@cityofberkeley.info) with the subject heading "Add to Willard Park email list" to opt-in to our email list for direct notifications regarding the Willard Park Clubhouse project.

Please let me know if there is anything else I can assist with.

Best,  
Eric

**Eric Panzer**

Legislative Assistant to Councilmember Lori Droste

*Pronouns: He/Him*

Office: 510.981.7180 Cell: 510.508.7033

*(To avoid SPAM screening, please text/email to ID yourself before calling my cell for the 1<sup>st</sup> time)*

[erpanzer@cityofberkeley.info](mailto:erpanzer@cityofberkeley.info)

---

**From:** Mark Lowe <[mlope51@yahoo.com](mailto:mlope51@yahoo.com)>  
**Sent:** Tuesday, June 28, 2022 10:40:43 AM  
**To:** Planning Dept. Mailbox <[planning@cityofberkeley.info](mailto:planning@cityofberkeley.info)>  
**Cc:** Harrison, Kate <[KHarrison@cityofberkeley.info](mailto:KHarrison@cityofberkeley.info)>; Droste, Lori <[ldroste@cityofberkeley.info](mailto:ldroste@cityofberkeley.info)>; Berkeley Mayor's Office <[mayor@cityofberkeley.info](mailto:mayor@cityofberkeley.info)>  
**Subject:** 2720 Hillegass Avenue

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My name is Mark Lowe, 2643 Hillegass Ave.

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This project met with considerable neighborhood concern as to the size of this expansion.

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I would expect that the Planning Department would be interested in considering that neighborhood concern as it influences your decision making.

Please provide me with the schedule of processing for this project.

Time and Dates Please.

Respectfully submitted at 10:40am on Tuesday, June 28, 2022



Planning and Development Department  
Land Use Planning Division

July 12, 2022

Wendy Wellbrock  
City of Berkeley  
1947 Center Street, 5<sup>th</sup> Floor  
Berkeley, CA

Sent via email:  
[wwellbrock@cityofberkeley.info](mailto:wwellbrock@cityofberkeley.info)

Re: Variance #ZP2022-0095 for 2720 Hilegass

Dear Wendy Wellbrock,

On June 9, 2022 you submitted an application for a use permit to demolish the existing clubhouse and restroom, construct a 4,200 square-foot community center with a variance for a rear setback of 16 feet where 20 feet is required, and a new restroom. Based on my preliminary review, the following permits are needed for your project:

1. Variance pursuant to Berkeley Municipal Code (BMC) Section 23.406.050 to allow a rear setback of 16 feet where 20 feet is required.
2. Use Permit pursuant to BMC Section 23.326.070(A) to demolish a non-residential main building.
3. Use Permit pursuant to BMC Section 23.202.020(A) to construct a new community center.
4. Administrative Use Permit pursuant to BMC Section 23.304.080(A) to add a fence that exceeds 6 ft. in height.
5. Administrative Use Permit pursuant to BMC Section 23.304.060(C)(1) to add an accessory building (restroom).

I have reviewed your submittal package and determined that your application is incomplete and the following items are needed to complete our review of your application:

1. Applicant Statement: Please provide a response to the required findings for the following permit requests, including any technical information to support the findings:
  - Variance, BMC Section 23.406.050(F)(1)(a-f)
  - Use Permit, BMC Section 23.326.070(D)(1-2)
2. Site Plan: Dimension the setbacks for the new restroom. Additional AUPs may apply based on the location of the accessory structure (BMC Section 23.304.060(C)(2)(a)). Provide an existing site plan and dimension the setbacks, or show the existing setbacks in a copy of the proposed site plan.
3. Landscaping Plan: Provide details on the proposed trees (i.e. species/common name).
4. Fence and Retaining Wall: It's hard to see the fence and retaining wall in the site plan; please add different line weights or colors so the fence and retaining wall can be easily found. Why is the fence 8 feet tall at the end where it isn't on top of the retaining wall (the end closest to Hilegass)? Please explain in the applicant statement.
5. Tabulation Form: Lot Coverage is not needed for non-residential projects. 3.5% appears in several rows of the Proposed column, and covers the proposed lot area. If you update the average height update the Tabulation Form as well.

2720 Hillegass Avenue  
Incomplete Letter – Submittal #1

July 12, 2022  
Variance #ZP2022-0095

6. Elevations: Per the [average height instructions](#), dimension the average height from the average grade to the top of the roof.
7. Tree and Root Protection Measures: The letter from Thomas Dodge references “tree and root protection measures outlined in the plans” but I don’t see any tree and root protection measures in the plans. Please clarify how the oak tree will be protected.
8. Historic Resource Evaluation: The last page of the HRE appears to proceed DPR 523 forms, but DPR 523 forms were not provided. Please provide the forms if they were prepared by the consultant.
9. Transportation Study: The Transportation Study mentions an allowable reduction to the required parking for a building expansion, but that is not applicable to the proposed project because it is in the R-2 Residential District (BMC Section 2.322.050(A)(1)).
10. WELO Landscape Requirements: Verify the amount of new irrigated areas, and provide the required landscape documentation if applicable (page 17 of the [Submittal Requirements](#)).

#### Staff Comments

- City Traffic Engineer Review: I have routed the Transportation Study to the City's Traffic Engineer. Comments, if any, will be forwarded to you once received.
- Historic Preservation planning staff are reviewing the HRE. Comments, if any, will be forwarded to you once received. The project will be scheduled for an LPC meeting to obtain a recommendation for the demolition of the existing building, as required by BMC Section 23.326.070(C).

Please submit responses to all requested items at once, and not incrementally. In your resubmittal, include a letter stating how you have addressed the incomplete items. If you submit hardcopies of plans do not bring plans larger than 11x17 or 12x18.

Sincerely,



Allison Riemer, Associate Planner

**Riemer, Allison**

---

**From:** Riemer, Allison  
**Sent:** Monday, August 1, 2022 5:35 PM  
**To:** Mark Lowe  
**Subject:** RE: 2720 Hillegass Willard Park Community Center

Hi Mark,

The application is currently incomplete. Once it is complete it will be scheduled for a [Zoning Adjustments Board](#) meeting (maybe 12/8?). Notices will be sent out two weeks before the meeting: postcards will be sent to the owners and occupants within 300 feet of the parcel, and yellow public hearing notices will be posted nearby.

You or anyone else can email (or mail) me a letter outlining your concerns between now and the ZAB meeting, and you can also speak at the ZAB meeting (which will likely still be over Zoom).

An overview of the Use Permit process is [here](#). A variance, two Use Permits, and two Administrative Use Permits apply to the project. The process for a variance is the same as the process for a Use Permit, except specific [variance findings](#) must be met.

Please let me know if you have any questions about the process or the project.

Best,  
Allison

---

**From:** Mark Lowe <mlowe51@yahoo.com>  
**Sent:** Monday, July 25, 2022 2:49 PM  
**To:** Riemer, Allison <ARiemer@cityofberkeley.info>  
**Subject:** Re: 2720 Hillegass Willard Park Community Center

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Good afternoon Ms. Riemer.

I am seeking information about the Planning process for Variance Applications.

In particular I am interested in the Willard Park Community Center project.

I have checked the link that you provided me and have attached a pic, below, of the current status of that Zoning Permit. It claims to be incomplete.

Once that Permit is completed will there be a Public Notice?

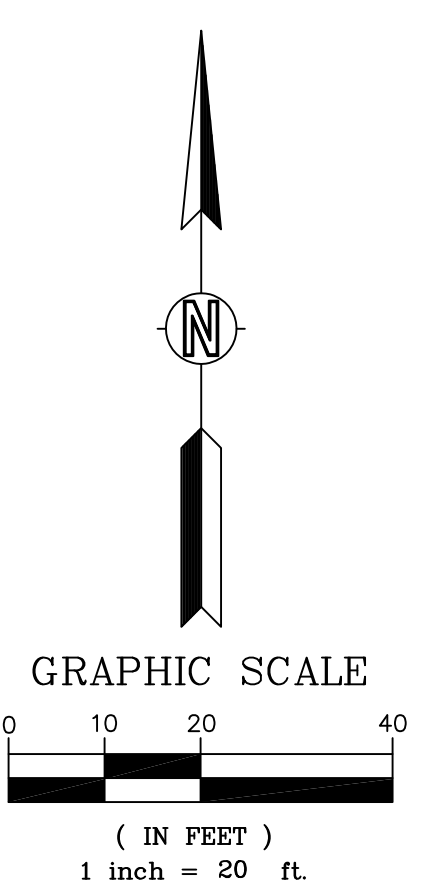
Does the Public have an opportunity to voice concerns about a Variance Application?

Is the decision process open to the Public?

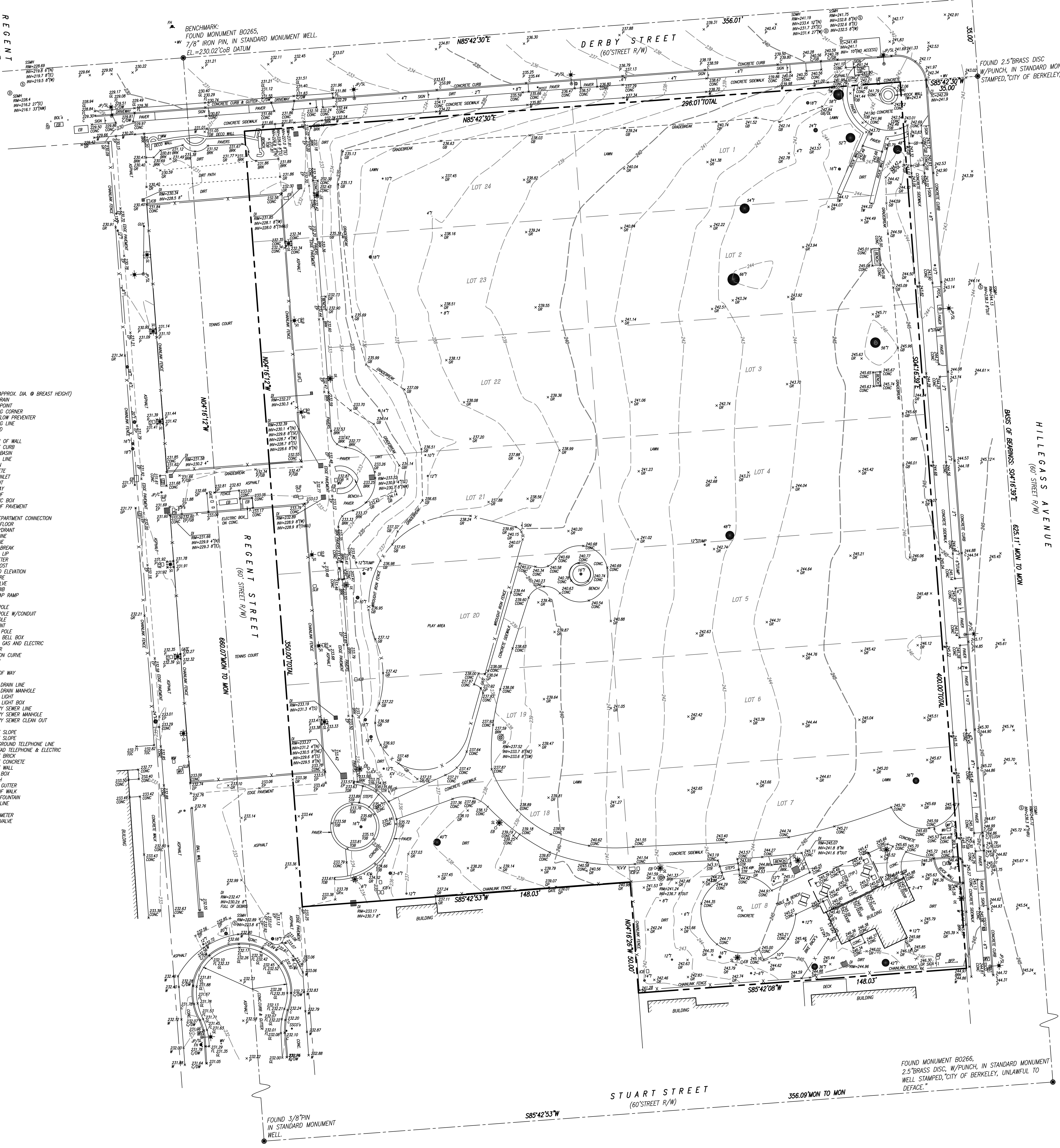
Would you be able to provide me with any information regarding my interests?

If so i will be very grateful.

Thank you much.  
Mark Lowe  
2643 Hillegass Ave 94704



- LEGEND**
- T = TREE (APPROX. DIA. @ BREAST HEIGHT)
  - AD = AREA DRAIN
  - AC = ANGLE CORNER
  - BC = BUILDING CORNER
  - BFP = BACK FLOW PREVENTER
  - BL = BUILDING LINE
  - BOX = BOLLARD
  - BRK = BRICK
  - BW = BOTTOM OF WALL
  - CT = TOP OF CURB
  - CB = CATCH BASIN
  - CL = CENTER LINE
  - COL = COLUMN
  - CONC = CONCRETE
  - DI = DRAIN INLET
  - DL = DAYLIGHT
  - DM = DRAIN MANHOLE
  - EL = ELEVATION
  - EB = ELECTRIC BOX
  - EP = EDGE OF PAVEMENT
  - F = FENCE
  - FDC = FIRE DEPARTMENT CONNECTION
  - FF = FINISH FLOOR
  - FL = FIRE HYDRANT
  - FL = FLOOR LINE
  - GL = GAS LINE
  - GB = GRADE BREAK
  - GL = GUTTER LIP
  - GM = GAS METER
  - GP = GAS POST
  - OP = ORIGIN ELEVATION
  - GUY = GUY WIRE
  - GV = GAS VALVE
  - HB = HOSE BIB
  - HR = HANDICAP RAMP
  - INV = INVERT
  - JP = JOINT POLE
  - JP/C = JOINT POLE W/CONDUIT
  - MH = MAN HOLE
  - P = PAVEMENT
  - PP = POWER POLE
  - PBB = PACIFIC BELL BOX
  - POE = PACIFIC GAS AND ELECTRIC
  - PLWTR = PLASTER
  - PSC = POINT ON CURVE
  - RET = RETURN
  - RMP = RAMP
  - R/W = RIGHT OF WAY
  - S = SIGN
  - SD = STORM DRAIN LINE
  - SDMH = STORM DRAIN MANHOLE
  - SL = STREET LIGHT
  - SLB = STREET LIGHT BOX
  - SS = SANITARY SEWER LINE
  - SSMH = SANITARY SEWER MANHOLE
  - SSCO = SANITARY SEWER CLEAN OUT
  - STR = STAIRS
  - T = TOP OF SLOPE
  - TEL = UNDERGROUND TELEPHONE LINE
  - TEL/E = OVERHEAD TELEPHONE & ELECTRIC
  - TOB = TOP OF BRICK
  - TOC = TOP OF CONCRETE
  - TM = TOP OF WALL
  - UB = UTILITY BOX
  - VD = VALVE
  - VG = VALVE/GUTTER
  - W = WALK
  - WF = WATER FOUNDATION
  - WL = WATER LINE
  - WM = WALK
  - WV = WATER VALVE



- GENERAL NOTES**
1. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND MARKINGS PROVIDED. GREATEST UTILITY LOCATORS. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
  2. CONTRACTORS AND OTHERS PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES.
  3. CONTOUR INTERVAL = 1'
  4. BASIS OF BEARINGS: THE ASSUMED BEARING S04°16'39"E BETWEEN TWO FOUND CITY OF BERKELEY MONUMENTS ON HILLCASS AVENUE.
  5. BENCHMARK: MONUMENT B0265, FOUND 7/8" IRON PIN IN MONUMENT WELL. ELEVATION = 230.02' Cgd.



Patrick M. Rei  
LAND SURVEYOR  
LS # 8178  
DATE 12/9/19

<p>REFERENCES</p> <p>FIELD BOOK NO.</p> <p>FILE MAP</p> <p>TITLE CSD</p> <p>POLICY NO.</p> <p>DATUM, C.O.B.</p> <p>W.S.C. REF.</p>	<p>KISTER, SAVIO &amp; REI, INC. LAND SURVEYORS - CIVIL ENGINEERS</p> <p>825 SAN PABLO AVE PINOLE, CALIFORNIA 94564 PHONE: (510) 222-4020 FAX: (510) 222-3718 E-MAIL: info@ksrinc.net</p>
<p>REVISIONS</p>	<p>DESCRIPTION</p> <p><b>TOPOGRAPHIC SURVEY</b></p> <p>WILLARD PARK</p>
<p>BERKELEY, CALIFORNIA</p> <p>FOR: CITY OF BERKELEY</p> <p>SCALE: 1" = 20'</p> <p>DATE: 12/09/19</p>	<p>JOB No. 19653-19-07</p> <p>DATE: 12/09/19</p> <p>ENG No. 0-1431 TOPO</p>



## Frances Willard Park, Berkeley, California

### Historic Resources Evaluation Report

*prepared for*

**ELS Architecture + Urban Design**

Diana Hayton AIA, Principal

2040 Addison Street

Berkeley, California 94704

*prepared with the assistance of*

**Rincon Consultants, Inc.**

449 15<sup>th</sup> Street, Suite 103

Oakland, California 94612

Contact: Debi Howell-Ardila, MHP

**September 2021**



**RINCON CONSULTANTS, INC.**

Environmental Scientists | Planners | Engineers

[rinconconsultants.com](http://rinconconsultants.com)



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ELS Architecture + Urban Design  
 Frances Willard Park, Berkeley, California

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# 1 Introduction

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Rincon Consultants, Inc. (Rincon) was retained by ELS Architecture + Urban Design of Berkeley, California (Client), to complete a historic resources evaluation of Frances Willard Park, in support of park upgrades and new construction; the proposed project primarily would impact the Willard Park Clubhouse. The project is subject to the California Environmental Quality Act (CEQA) with the City serving as the lead CEQA agency. This report provides the substantial evidence necessary to make a historic resources determination of Willard Park; this study does not include an impacts analysis or project review.

Frances Willard Park is located in the residential neighborhood of Elmwood in southeast Berkeley. The park occupies a gently sloping site and is bounded by Derby Street (north), Hillegass Avenue (east), Willard Middle School (west), and single-family residences with frontage on Regent Street and Hillegass Avenue, respectively (south). The facilities span just over 118,500 square feet on a 2.7-acre site. The park address is 2730 Hillegass Avenue (Assessor's Parcel Number 54-1711-27) (Figure 1 and Figure 2). It is owned and operated by the Parks Division of the City of Berkeley Parks, Recreation, and Waterfront Department.

In the preparation of this evaluation, Ms. Howell-Ardila conducted an intensive-level survey of Frances Willard Park in August 2020. Ms. Howell-Ardila photographed and documented the overall features and spaces of the park. In order to ascertain the current historic resource status of Willard Park, Rincon reviewed the listings of the California Historic Resources Inventory, California Built Environment Resource Directory, and City of Berkeley Landmark and Structure of Merit listings. As of August 2020, Willard Park has not been designated as a landmark at the federal, state, or local level nor recorded as an eligible historic resource through evaluation or survey.

Archival research was completed in August 2020. Research methodology focused on the review of a variety of primary and secondary source materials relating to the history and development of Willard Park. Sources included historic maps, aerial photographs, and written histories of the area.

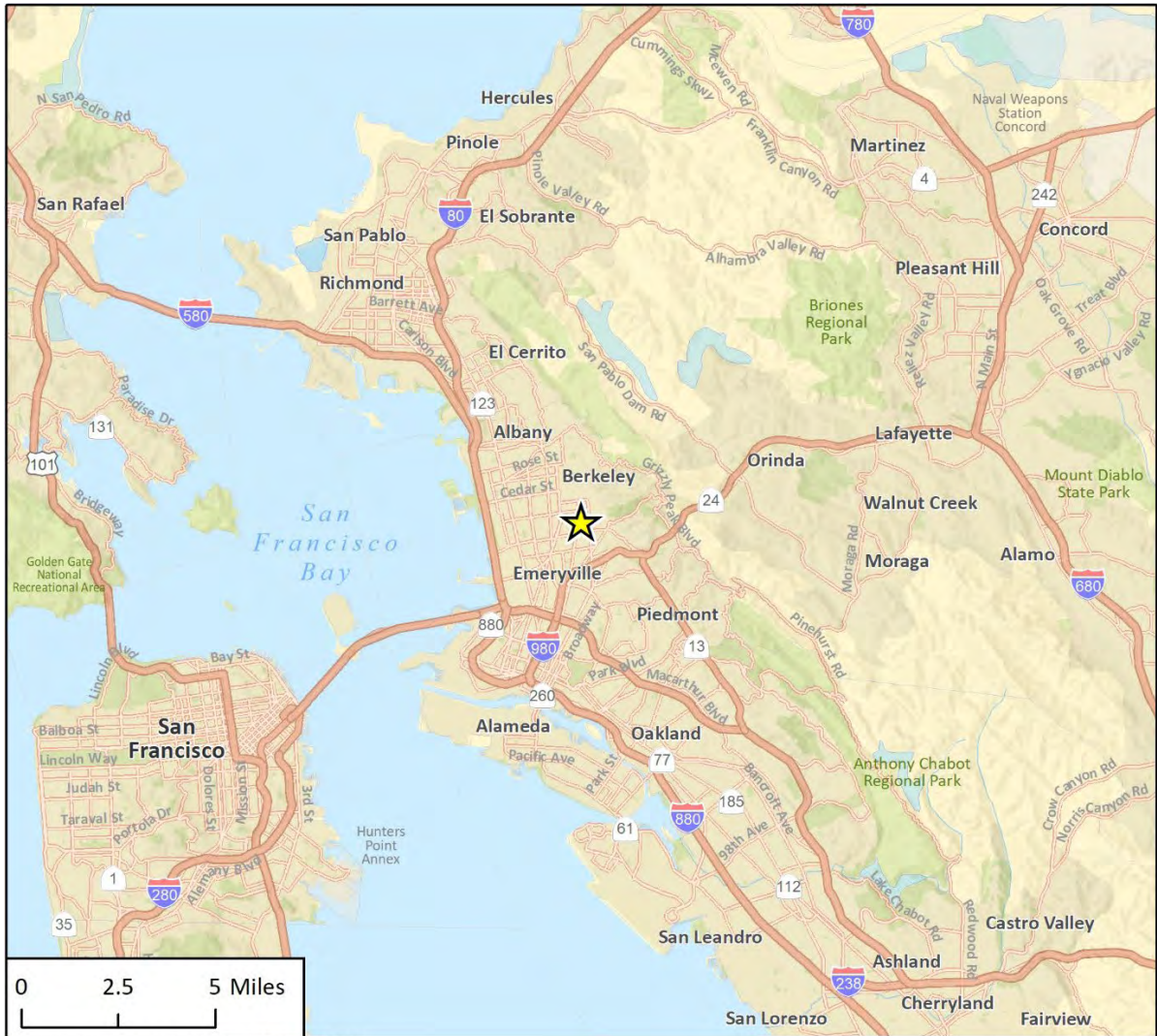
Rincon also coordinated with Anthony Bruce, the Executive Director of the Berkeley Architectural Heritage Association (BAHA) to inquire about materials and information regarding the park and its history. The online collections of the Online Archive of California and the University of California Calisphere were also searched. Other research materials consulted as part of this study included:

- Historical site plans of Willard Park;
- Historic aerial photographs, topographical maps, and Sanborn Fire Insurance Company Maps;
- Historic periodicals and newspapers, including the Oakland Tribune, San Francisco Examiner, Berkeley Gazette, and other historical newspapers;
- Historical photographs of Willard Park available via Flickr.com and other sources.

Rincon Senior Architectural Historian Debi Howell-Ardila, MHP, served as the principal investigator and author of this report. Rincon Architectural Historian James Williams, MA, contributed to research and coauthored sections of the report. Rincon Cultural Resources Principal Shannon Carmack and Principal Abe Leider reviewed this report for quality control.

ELS Architecture + Urban Design  
Frances Willard Park, Berkeley, California

Figure 1 Regional Map



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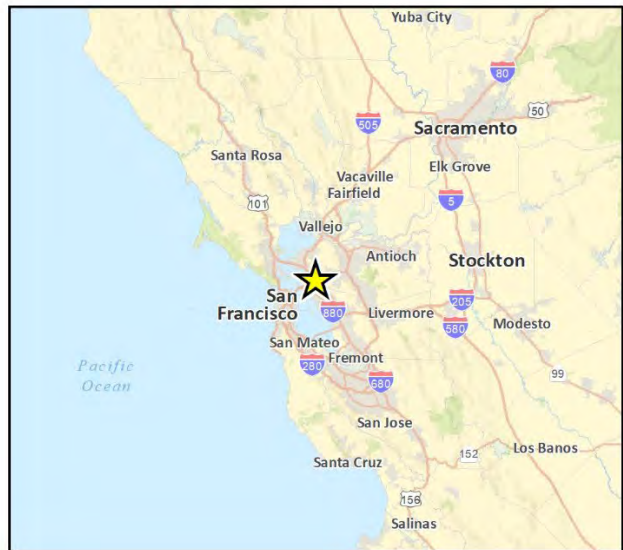


Figure 2 Project Location, Frances Willard Park, Berkeley



## 2 Regulatory Setting

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### 2.1 Federal

#### National Register of Historic Places (NRHP)

The NRHP was established by the NHPA of 1966 as “an authoritative guide to be used by Federal, State, and local governments, private groups and citizens to identify the Nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment” (CFR 36 CFR 60.2). The NRHP recognizes properties that are significant at the national, state, and local levels. A property is eligible for the NRHP if it is significant under one or more of the following criteria:

1. Criterion A: It is associated with events that have made a significant contribution to the broad patterns of our history;
2. Criterion B: It is associated with the lives of persons who are significant in our past;
3. Criterion C: It embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; and/or
4. Criterion D: It has yielded, or may be likely to yield, information important in prehistory or history. In general, a resource must be 50 years of age to be considered for the NRHP, unless it satisfies a standard of exceptional importance.

In order to retain eligibility for the NRHP, a property must meet one of these criteria and retain historic integrity (defined below).

### 2.2 State

CEQA requires a lead agency determine whether a project may have a significant effect on historical and archaeological resources (Public Resources Code [PRC], Section 21084.1) and tribal cultural resources (PRC Section 21074 [a][1][A]-[B]). A historical resource is a resource listed in, or determined to be eligible for listing, in the California Register of Historical Resources (CRHR), a resource included in a local register of historical resources, or any object, building, structure, site, area, place, record, or manuscript that a lead agency determines to be *historically significant* (State CEQA Guidelines, Section 15064.5[a][1-3]).

A resource shall be considered *historically significant* if it meets any of the following criteria:

- 1) Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage;
- 2) Is associated with the lives of persons important in our past;
- 3) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- 4) Has yielded, or may be likely to yield, information important in prehistory or history.

In addition to meeting these criteria, in order to qualify for the NRHP and the CRHR, a property must retain “historic integrity” such that it continues to convey the reasons for its historic significance. “Historic integrity” is a composite of seven different aspects or qualities that, taken together, express the significance of a historic property. According to National Register Bulletin No. 15, in order to retain integrity and qualify for the NRHP, a property must have most if not all of these seven aspects:

- 1) Location – the place where the historic property was constructed or where an event occurred;
- 2) Design – the combination of elements that create the form, plan, space, and style of a property;
- 3) Setting – the physical environment of a historic property;
- 4) Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property;
- 5) Workmanship – the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory;
- 6) Feeling – a property’s expression of the aesthetic or historic sense of a particular period of time;
- 7) Association – the direct link between an important historic event or person and a historic property.

## 2.3 Local

### 2.3.1 City of Berkeley Municipal Code

Chapter 3.24 of the City of Berkeley Municipal Code, also known as the Landmarks Preservation Ordinance, establishes the Landmarks Preservation Commission (LPC). The LPC maintains a list of structures, sites and areas, including landmarks and historic districts, having a special historical, architectural, or aesthetic interest or value. Criteria for designation are as follows.

- A. Landmarks and historic districts. General criteria which the commission shall use when considering structures, sites, and areas for landmark or historic district designation are:
  1. Architectural merit:
    - a) Property that is the first, last, only or most significant architectural property of its type in the region;
    - b) Properties that are prototypes of or outstanding examples of periods, styles, architectural movements or construction, or examples of the more notable works of the best surviving work in a region of an architect, designer or master builder;
    - c) or Architectural examples worth preserving for the exceptional values they add as part of the neighborhood fabric.
  2. Cultural value: Structures, sites and areas associated with the movement or evolution of religious, cultural, governmental, social and economic developments of the City;
  3. Educational value: Structures worth preserving for their usefulness as an educational force;

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4. Historic value: Preservation and enhancement of structures, sites and areas that embody and express the history of Berkeley/Alameda County/California/United States. History may be social, cultural, economic, political, religious or military;
  5. Any property which is listed on the National Register described in Section 470A of Title 16 of the United States Code.
- B. Structures of merit. Criteria which the commission shall use when considering a structure for structure of merit designation are as follows:
1. General criteria shall be architectural merit and/or cultural, educational, or historic interest or value. If upon assessment of a structure, the commission finds that the structure does not currently meet the criteria as set out for a landmark, but it is worthy of preservation as part of a neighborhood, a block or a street frontage, or as part of a group of buildings which includes landmarks, that structure may be designated a structure of merit.
  2. Specific criteria include, but are not limited to one or more of the following:
    - a) The age of the structure is contemporary with (1) a designated landmark within its neighborhood, block, street frontage, or group of buildings, or (2) an historic period or event of significance to the City, or to the structure's neighborhood, block, street frontage, or group of buildings.
    - b) The structure is compatible in size, scale, style, materials or design with a designated landmark structure within its neighborhood, block, street frontage, or group of buildings.
    - c) The structure is a good example of architectural design.
    - d) The structure has historical significance to the City and/or to the structure's neighborhood, block, street frontage, or group of buildings. (Ord. 5686-NS Section 1 (part), 1985: Ord. 4694-NS Section 3.1, 1974)

The LPC is also responsible for reviewing and deciding on permit applications for alterations to such structures and sites. According to Section 3.24.200, "No person shall carry out or cause to be carried out on a designated landmark, in a designated historic district or structure of merit, any construction, alteration, or demolition for which a City permit is required, without approval by the commission." To allow demolition of a landmark, the LPC must find that it "is in such condition that it is not feasible to preserve or restore it, taking into consideration the economic feasibility of alternatives to the proposal, and balancing the interest of the public in preserving the designated landmark, historic district or structure of merit or portion thereof and the interest of the owner of the landmark site, historic district, or structure of merit site in its utilization.



### 3 Site Description

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Frances Willard Park is located in the residential neighborhood of Elmwood in southeast Berkeley. The park occupies a gently sloping site and is bounded by Derby Street (north), Hillegass Avenue (east), Willard Middle School (west), and single family residences with frontage on Regent Street and Hillegass Avenue, respectively (south). The facilities span just over 118,500 square feet on a 2.7-acre site. The park address is 2730 Hillegass Avenue (Assessor's Parcel Number 54-1711-27). It is owned and operated by the Parks Division of the City of Berkeley Parks, Recreation, and Waterfront Department.

The park amenities include a large lawn area with mature trees, two lighted tennis courts, a tot play area, picnic area, paths made of historic cobblestones, and a clubhouse located in the southeastern corner of the park. The existing clubhouse consists of a 565-square-foot building, with an attached 114-square-foot restroom and 486-square-foot trellis area.

The focal point of the park is a large grass lawn and recreation area. Most of the other amenities, such as hardscaping/benches, the playground, and built environment features such as the clubhouse are located along the periphery of the central lawn. The lawn and park are framed and accented with mature trees throughout (a number of which pre-date the establishment of the park). Brick and stone hardscaping and planters also appear throughout, with a concentration of features along the northeastern entrance and eastern border of the park. Historic light standards line the western border of the park and are located throughout the park.

The principal built environment feature of the park is the clubhouse, located in the southeast corner of the park. One story in height, the clubhouse displays a series of aluminum-frame glazed doors, opening onto a patio space. The patio is sheltered beneath a simple wood trellis supported on metal pole supports. The walls display painted concrete-block and vertical wood planks. The original stone walkway and concrete stairs leading to an open rooftop area have been removed and replaced with a concrete-block restroom, fronted by a metal gate.

The northeast corner of the park features stone hardscaping and an entrance gate. Similar hardscaping features, with rough-hewn stone, are located near the entrance to the park and clubhouse, in the southeast portion of the park.

The western portion of the park is home to tennis courts and a playground area. In the northwestern corner of the park, at the sidewalk along Derby Street, is the 1978 "Potter's Wall," a low, undulating, decorative wall clad in recycled ceramics. The Potter's Wall was designed in the organic, expressive style of Spanish architect Antoni Gaudi. Planters and a bench are built into the wall.

The following photographs provide an overview of the spaces and features of Willard Park.

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Figure 3 Eastern entrance to park and clubhouse, east perspective



Figure 4 Rear (southeast) elevation of the clubhouse; the concrete block walls house a restroom added to the building in the 1990s



Figure 5 Overview of Willard Park Clubhouse, north perspective



Figure 6 Northwest corner of Willard Park, showing light standard, stone hardscaping, and mature trees in central lawn



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Figure 7 1978 Potter's Wall along Derby Street, northeast perspective



Figure 8 Overview of Willard Park, west perspective along Derby Street



Figure 9 Overview of Willard Park, lawn and trees, northwest perspective



Figure 10 Overview of Willard Park, lawn, trees, and playground, north perspective



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Figure 11 Overview of Willard Park, northeastern entrance gate



Figure 12 Overview of Willard Park, detail of northeastern entrance gate hardscaping



Figure 13 Overview of Willard Park, detail of hardscaping along east boundary/sidewalk



Figure 14 Overview of Willard Park, southeast perspective



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Figure 15 Overview of Willard Park, stone planters, east entrance



Figure 16 Overview of Willard Park, east entrance detail





## 4 Neighborhood Setting and Historic Context

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### 4.1 Neighborhood History and Context

As noted above, Willard Park falls within the neighborhood of Elmwood in southeast Berkeley, located between the north-south corridors of College and Telegraph Avenues, south of the University of California, Berkeley.

During its founding years, Berkeley owed much of its initial development to its proximity to regional transportation routes, emerging commercial and industrial centers, and the establishment of the University of California, Berkeley. Originally founded in Oakland in 1855 as the “College of California,” the university relocated to Berkeley in 1866. The City of Berkeley incorporated in 1878, a year after the Southern Pacific Railroad line reached the Bay Area in 1877. Through the late nineteenth century, Berkeley remained a small town with emerging neighborhoods and commercial corridors, in particular along San Pablo and University Avenue, ringed by agricultural uses on the city periphery.

In addition, the 1906 San Francisco Earthquake and fire caused widespread displacement and an exodus out of San Francisco to East Bay towns like Berkeley and Oakland. During the opening years of the twentieth century, the Elmwood neighborhood saw a great increase in new settlement and construction as a result of these and other factors.

In addition, in terms of the stylistic character of its early architecture, Berkeley and early neighborhoods like Elmwood became centers for the Arts and Crafts movement. During the late nineteenth and early twentieth century, the City overall saw a flowering of Arts and Crafts architecture—in particular, in its “First Bay Tradition” of the Bay Area-influenced Arts and Crafts style. Early practitioners in Berkeley of the First Bay Tradition included architects such as Bernard Maybeck, Julia Morgan, John Galen Howard, Ernest and Almeric Coxhead, John Hudson Thomas, and James Placheck (many of whom not only practiced but also resided in the Berkeley Hills surrounding UC Berkeley).

The First Bay Tradition expanded on and redefined the Arts and Crafts architecture emerging on the East Coast in the work of architects such as Henry Hobson Richardson and McKim, Mead and White. One of the most significant West Coast innovations was the focus on site-specific design and creating connections between the indoors and outdoors, buildings, landscaping, and setting:

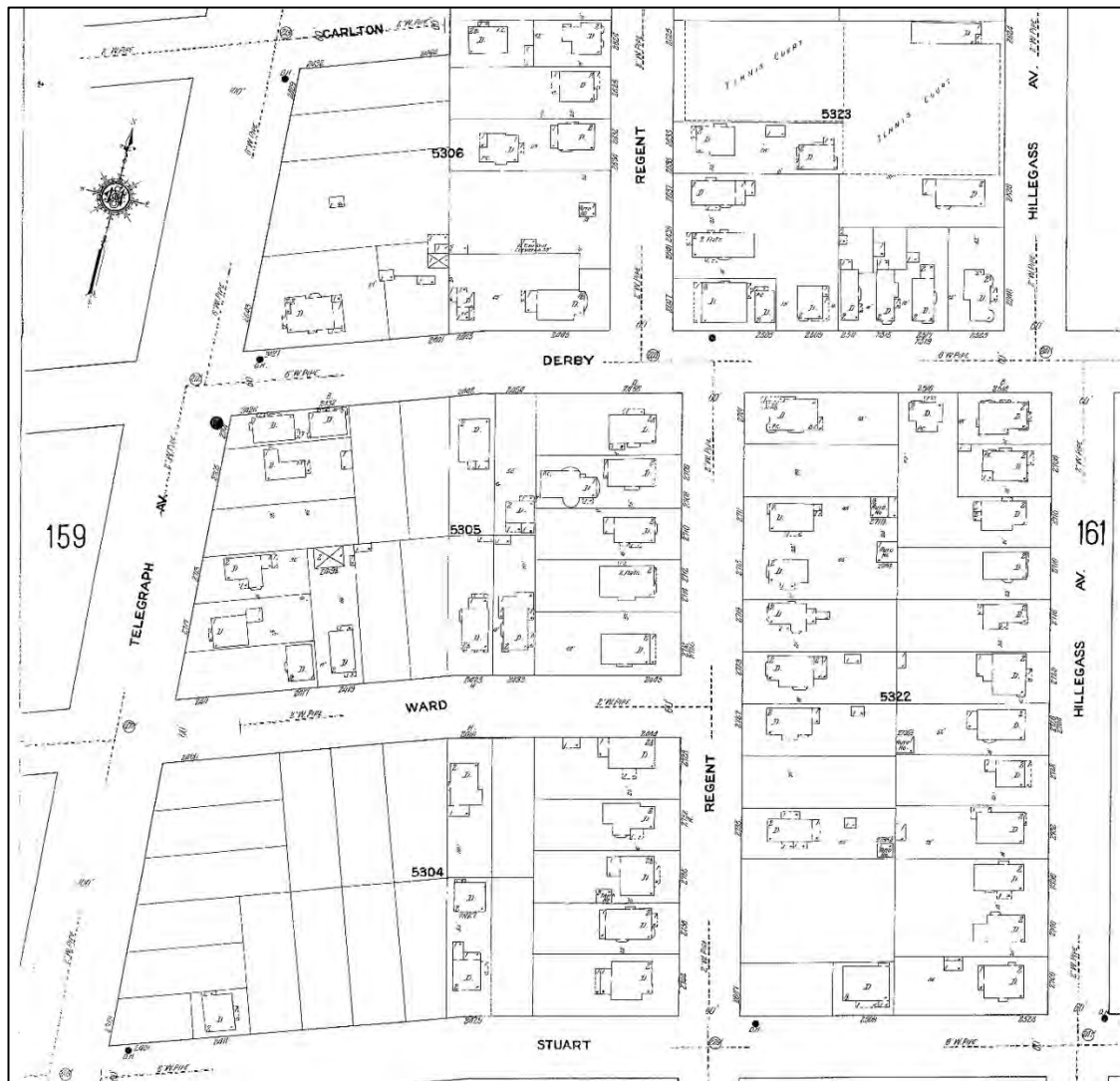
What the Bay Tradition added to the Shingle Style was environment, and in particular the generosity of and therefore, connection to outdoor space, open and cheerful western skies, hills alternating gold and green, and sculptural woodlands. In fact, it is the connections between setting, landscape and architecture where early Bay Area buildings fully succeeded the Shingle-Style of their Eastern mentors. (Preservation Architecture 2007)

In this way, Berkeley’s woodsy setting and indoor-outdoor integration became important features for the new First Bay Tradition. As William Wilson Wurster wrote, “The First Bay Tradition went beyond a strictly architectural expression; it also reflected a life style” (Stern Cerny 1990). Commentators at the time recognized this “unique quality” and cohesive, distinctive neighborhood character it created.

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With the post-1906 construction boom in Berkeley, including in Elmwood, the character of the residential neighborhood around and in Willard Park was one of Arts and Crafts-inspired Craftsman homes, clad with brown wood shingles and enveloped in landscaping. Some of the neighborhood's original landscaping, in the form of mature evergreen trees, survives in Willard Park. This general description was also reflected in the Home Owners' Loan Corporation 1937 survey of Elmwood. At the time, surveyors noted the "dignified" architectural character of the neighborhood's homes and the average date of construction of 1905 (HOLC 1937).<sup>1</sup> In terms of the neighborhood, it was deemed to have "excellent local and San Francisco transportation, convenient to schools, University of California, recreational facilities and local shopping centers" (HOLC 1937).

Figure 17 Sanborn Fire Insurance Map, showing degree of build-out, by 1911, of Elmwood and future site of Willard Park



Source: Environmental Data Resources, 2020

<sup>1</sup> It is worth noting the highly problematic nature of Home Owners Loan Corporation (HOLC) survey data. Conducted in cities throughout the United States in the 1930s, the HOLC program provided fuel for racially discriminatory housing practices. The resulting data provides a window onto 1930s-era neighborhoods that is rare and useful for its level of detail on the built environment but that generally should be not used without a caveat on the program and its negative, lasting effect on neighborhoods and communities of color.

Into the twentieth century, Berkeley expanded rapidly, through the meteoric growth of the University of California, Berkeley, the downtown commercial corridor, as well as industrial development along the city periphery. Residential expansion grew, as well, with neighborhoods into the Berkeley flats and hills showing increasing numbers of new tracts and residential settlement.

With the advent of the automobile, as well as road construction and infrastructure improvements, residential development expanded further from the city's historical center. During and immediately after World War II, the combination of in-migration to California and the postwar baby boom fueled further growth, and Berkeley approached its peak population of over 110,000 by 1950.

The City rapid population growth coincided with massive, Cold War-era investments in American public universities. A prime beneficiary of federal research grants, the University of California, Berkeley, experienced postwar surge in enrollments, which grew from 7,700 in 1944 to 21,000 in 1946. The University's growth contributed to Berkeley's emergence as intellectual center. By the 1960s, Berkeley was transformed from a small town to a cosmopolitan "republic of letters where independent newspapers, poetry, music, art, and theater proliferated" (Suri 2004).

In terms of Elmwood and the area around Willard Park, it had been largely developed for residential use by the opening decades of the twentieth century. The proximity to the north-south corridors of Telegraph Avenue to the south and College Avenue to the north made the neighborhood accessible to downtown shopping areas and the Civic Center as well as UC Berkeley to the north. As shown on the 1911 Sanborn Fire Insurance map, the neighborhood primarily consisted of axial, residential-sized lots on a rectilinear street grid. Nearly all of the lots had already been improved with two-story, single-family homes. At this time, Regent Street followed an uninterrupted course between Stuart and Derby Streets. As of 1911, Frances Willard School, which is currently located immediately west of the park, had not yet been developed, and the school site was home to several residences (ProQuest 2020).

As of 1939, the year the first available aerial photograph of the area was taken, the area was fully developed and had much the same predominantly residential character as it has today (Figure 18).

By 1946, the clearing of former residential parcels between Regent Street and Telegraph Avenue had begun in order to construct Frances Willard School. The school was expanded and its older buildings razed and replaced over the next two decades.

Aside from a modest increase in commercial and/or institutional development along Telegraph and College avenues, there were few notable changes to the subject property or its vicinity until after 1968 (EDR 2020).

The following aerial photographs present a visual overview of the construction chronology of Willard Park and the surrounding neighborhood.

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Figure 18 1939 aerial of Willard Park (in red) and surrounding neighborhood, which consists primarily of early twentieth-century homes on an axial street grid, with mature landscaping throughout



Figure 19 1968 aerial of Willard Park (in red) and surrounding neighborhood, a year prior to the construction of Willard Park



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Figure 20 1974 aerial of Willard Park (in red) and surrounding neighborhood; People's Park appears in the third block directly to the north from Willard Park



Figure 21 Detail of the Willard Park area immediately before and after construction, in 1968 and 1974; surviving mature trees appear in the 1974 image



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## 4.2 Willard Park Construction Chronology and Social History

Planning for Willard Park began in 1950s, as city officials recognized the need for a recreational facility in southeast Berkeley, and ultimately chose the subject site for redevelopment as a park (Oakland Tribune 9/17/1957). The City Council began authorizing the piecemeal acquisition of residential properties in the area by 1957 (Oakland Tribune 7/24/1957). While some property owners sold their homes willingly, opposition to the park plan arose, spearheaded by Southeast Berkeley Property Owners' Association, whose officers all resided on the 2700 block of Hillegass Avenue, where the park would be constructed. According to reporting by the Oakland Tribune, the organization was established "to protect their private homes and income property in the Hillegass-Derby-Regent block against" the development of the proposed park (Oakland Tribune 9/26/1957).

By 1964, the City had purchased most of the 17 parcels earmarked by local planners, but the program stalled briefly (City of Berkeley Parks Division 2020). In 1968, land acquisitions resumed, after the U.S. Department of Housing and Urban Development awarded local authorities a series of open space land grants to cover half the cost of acquiring the six parcels the City had not yet purchased. In April 1969, after years of planning and preparation, an agreement was reached for Willard Park to move forward as a user-developed park with joint use between the City and Willard Junior High School. That same year, in 1969, the remaining buildings and homes were demolished and removed, and the interim park was constructed by the fall of 1969. Construction for the park moved forward, with amenities including a "recreation building, tot lot, play lot, turf field, tennis and basketball courts" (Oakland Tribune 1/19/1968).

According to the original drawings, the clubhouse was designed by the San Francisco-based firm of Daniel R. Osborne and Zach R. Stewart (available drawings do not specify a landscape architect). Both architects attended the architecture program at Stanford University, and after working on for separate firms in the 1950s and early 1960s, the two started their firm in the mid-1960s (Online Archive of California 2021). The firm was extremely well-known in the Berkeley architecture scene as well as the cultural and social developments of 1960s San Francisco. The firm designed the staging for the Trips Festival at Longshoreman's Hall in 1966, the America Needs Indians and Sensorium series, and the 4,000 Years concerts at Grace Cathedral (Online Archive of California 2021). Their works include elementary schools in Nevada County, the Ahwahnee pool and the dining hall at Sunrise High Sierra Camp at Yosemite National Park, the Plumas County Museum, and poet Gary Snyder's private residence on San Juan Ridge in the foothills of the Sierra Nevada.

Before the park was officially inaugurated on June 20, 1971, the community utilized the park for gatherings (explored in more detail below). In 1976, the park's tot lot playground was renovated; in May 1982, the park was renamed for Frances Willard, a suffragette and temperance leader.



Figure 22 As-built drawings of Willard Park Clubhouse, east elevation, with original cobblestone wall and stairs leading to rooftop space; the cobblestone wall and stairs were removed in the 1990s

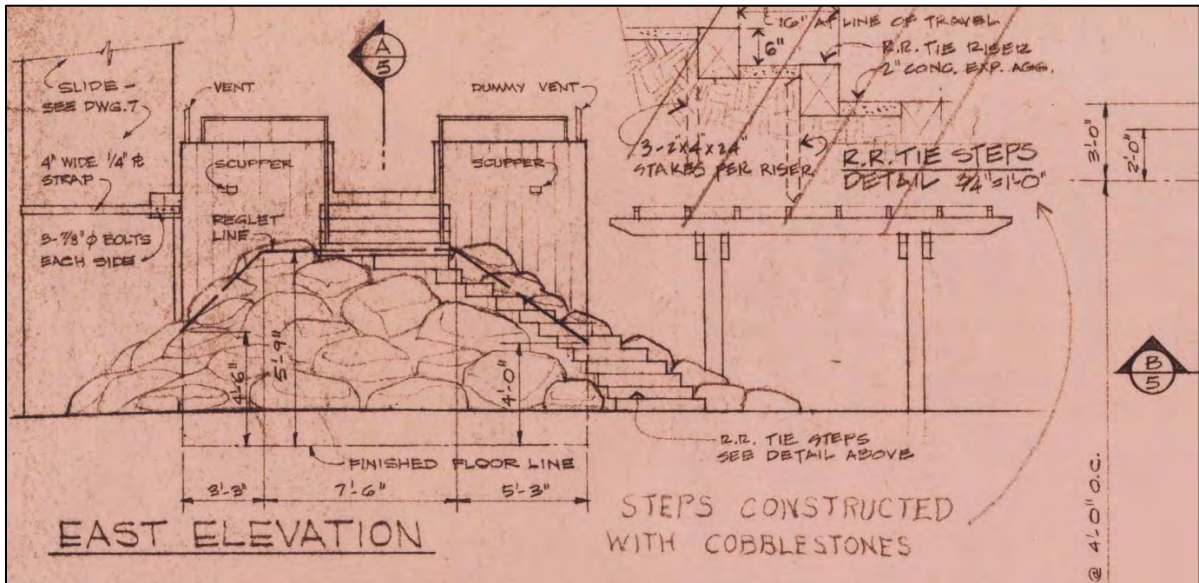
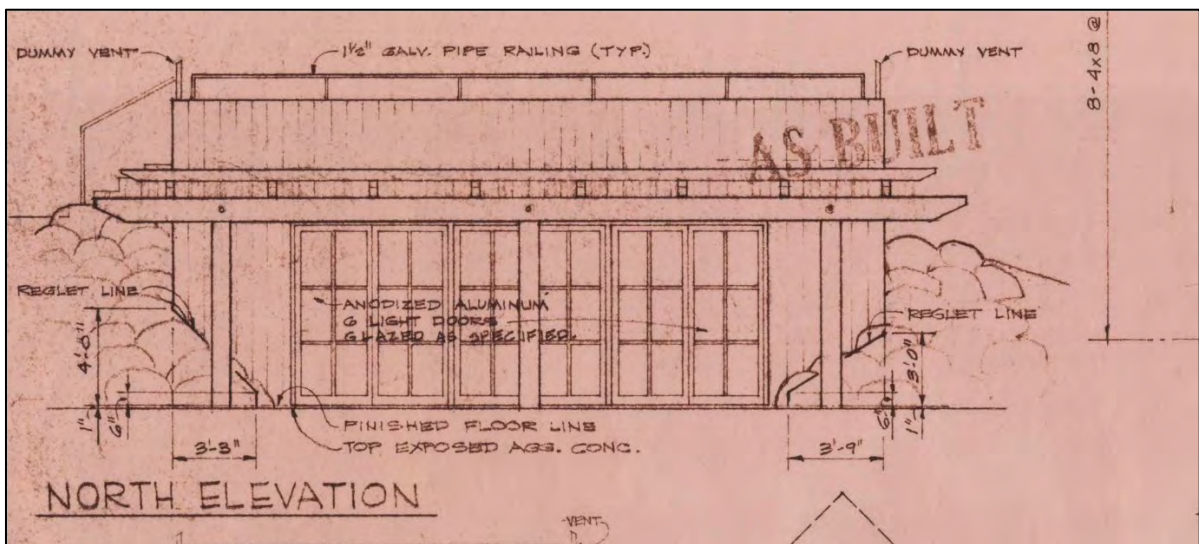
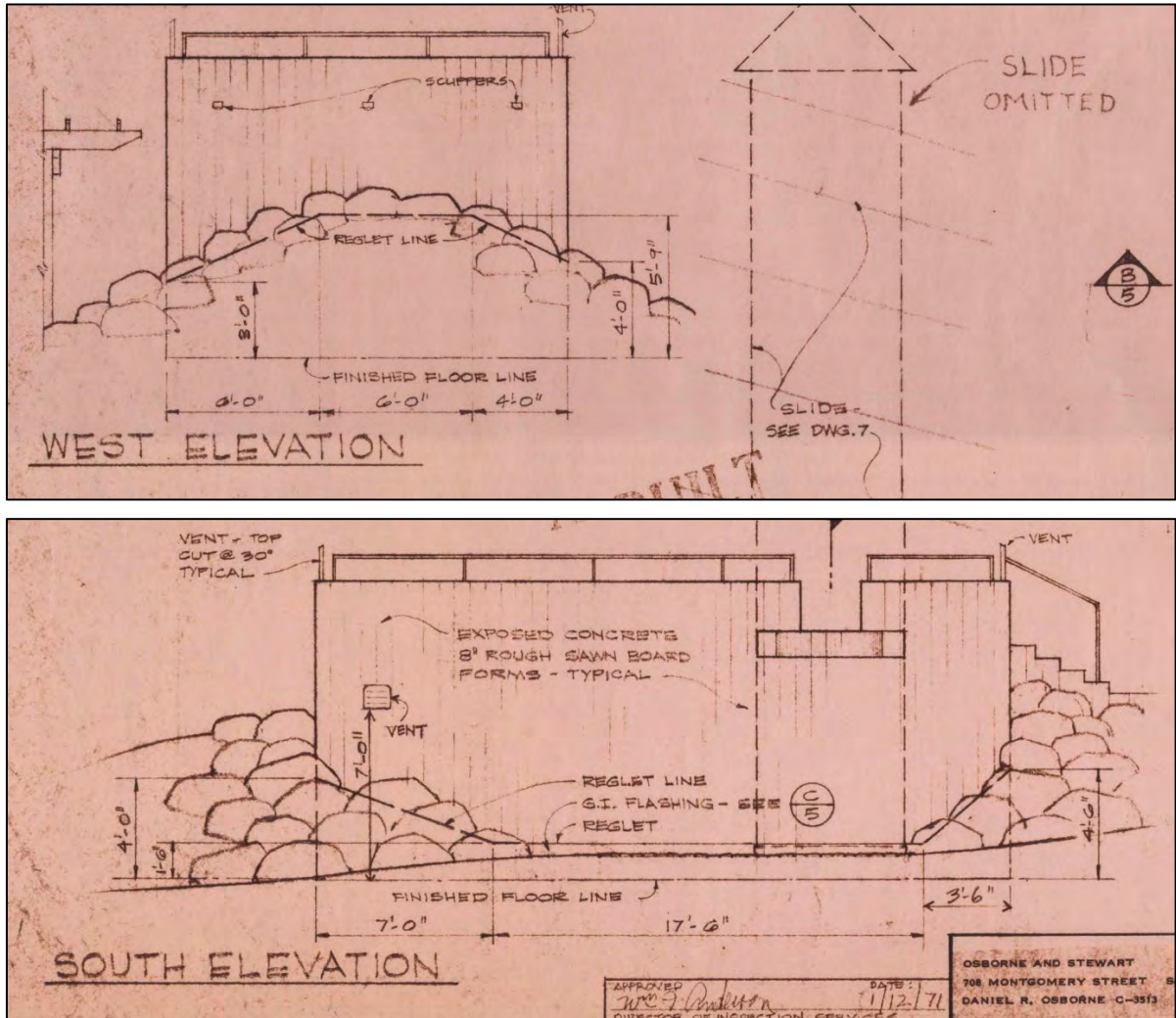


Figure 23 As-built drawings of Willard Park Clubhouse, façade (top), with original cobblestone features on east and west elevations; west elevation (center); and south elevation (bottom)



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When initial development of the park began in the 1969, the site became linked to an ongoing controversy over People’s Park, located two blocks to the north. Mayor Wallace J.S. Johnson announced the City’s plans to begin construction of Willard Park in May, just days into the political fight over People’s Park.

At the core of the People’s Park protests was the contention among some activists that restrictions imposed by the University of California, Berkeley, for on-campus political activities had created the need for an off-campus “free-speech area,” as an alternative to Sproul Plaza. During Willard Park’s first years of operation, People’s Park site remained off-limits by University decree, and Willard Park served as a base for political demonstrations (Wittmeyer 2004).

Political pressure seems to have hastened the City’s opening of Willard Park. Construction began in the fall of 1969, and the park soon opened with an interim design consisting solely of a “turfed” field. Further landscaping, buildings, other amenities were scheduled for development in the near-term (Oakland Tribune 9/19/1969).

Even before the park’s official inauguration in 1971, organizers soon put the space to use as an off-campus site for demonstrations concerning People’s Park, the Vietnam War, and other political

issues of the day. In the spirit of the times, activists nicknamed the space Ho Chi Minh Park, a name that remained in use unofficially for many years (Branning 1970; San Francisco Examiner 1982).

On July 4, 1970, the park served as the starting point for a 300-strong march along Telegraph Avenue toward the UC Berkeley campus. Marking “Liberation Day” or alternately “Anti-Honor America Day,” the demonstration culminated in violence between protesters and police. By one report, “[protesters] threw rocks and firecrackers” and “city and campus police chased them in full battle gear” (Oakland Tribune 7/5/1970; 7/6/1970 San Francisco Examiner 7/12/1970). In December 1971, the antiwar organization Bay Area Veterans Against the War received permission to host an event at Willard Park. About 150 veterans camped at the park to “make sure that ‘people at Christmas don’t forget there’s no peace on earth’” (San Francisco Examiner 12/21/1971).

On May 8, 1972, Willard Park served as the starting point for a rally and march that was pivotal in the permanent opening of People’s Park. The event began as a large non-violent demonstration against President Richard M. Nixon’s authorization of the mining of Haiphong Harbor near Hanoi. However, by evening the atmosphere had turned “riotous,” and protesters clashed with police in the streets. The conflict culminated in protesters’ dismantling of the eight-foot chain-link fence that lined the perimeter of the People’s Park site (Oakland Tribune 5/9/1972). The University subsequently acceded to the activists’ demands and allowed construction of the People’s Park to resume.

After 1972, the use of Willard Park for political gatherings appears to have declined. A search of the newspaper database newspapers.com shows that at least one more major political rally took place at the park following the reopening of People’s Park (a November 8, 1972 demonstration over Nixon’s reelection) (Oakland Tribune 11/2/1972). Search results on Independent Voices, an online database of underground and alternative periodicals, shows a similar decline after 1972 (Independent Voices 2020). However, even with waning activism against the Vietnam War, the park continued to host large events falling in a generally countercultural milieu.

Through the early 1970s, Willard Park was the site the Society for Krishna Consciousness’ annual Lord Chaitanya festival, which began at Sproul Plaza with a parade and ended in a day long fete at Willard Park (San Francisco Examiner 3/14/1971; Oakland Tribune 3/3/1972; Berkeley Gazette 3/9/1973). By 1973 and until at least as recently as 1981, the park was home to the annual East Bay Gay Day (later East Bay Lesbian/Gay Day) festival, sponsored by East Bay Gay and other gay and lesbian rights organizations (Berkeley Gazette 6/19/1973; 6/18/1974; 6/20/1975; 6/1/1976; 6/17/1978; North East Bay Independent and Gazette 5/15/1981).

In addition, in 1974, a memorial service for Angela Atwood, who was one of six Symbionese Liberation Army members killed in a Los Angeles gunfight (San Francisco Examiner (3/9/1974). Other events at the park in this period marked the Greenpeace Save the Wales campaign and Earth Day, in addition to multiple performances by the San Francisco Mime Troupe (Berkeley Gazette 9/10/1976; North East Bay Independent and Gazette 6/19/1978).

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Figure 24 Lord Chaitanya Festival at Willard Park, 1974



In addition to its role as a public gathering space during the late 1960s and early 1970s, Willard Park served as a neighborhood park for area families, residents, and visitors. In 1970, in support of expanding the park's amenities, the Willard Park Citizens Committee approved designs for a second phase of development (City of Berkeley Parks Division 2020). Features of the new development included a playground, clubhouse, mural wall, tennis courts, restroom and pay phone kiosks, and new landscaping. The park centered on the Arts and Crafts-inspired clubhouse, with its distinctive cobblestone walls and open stairs, and adjacent playground, located at the northeast corner of the park.

Two notable motifs in the park's landscape design were the use of sizeable boulders, cobblestones, and similar masonry elements to mark boundaries. Removed in the 1990s, the cobblestone walls flanking the clubhouse, for example, and boulder alignments in other areas, were key features of the park's design. Original site plans depict large collections of boulders partially enclosing the playground, lining the boundary with an adjacent nursery school, and providing a barrier at the Regent Street dead end (City of Berkeley Department of Public Works 1971). Historic photographs of the park show that, in some locations, boulders were stacked several feet high (WD Watson 2006).

Masonry elements in the 1971 plans included a low wall, curb strip, and edge strip. An original drinking fountain was also constructed with a rough-hewn masonry pedestal and basin (City of Berkeley Department of Public Works 1971). While there are no remnants of the boulders and some masonry features have been removed, the masonry motif remains evident in the drinking fountain base. The figures below depict features constructed in the park's second phase of development.

In May 1978, the Potter's Wall feature was constructed to the north of the tennis court. Influenced by Spanish architect Antoni Gaudi's designs for Parque Guell in Barcelona, Spain, local sculptor Andrew Werby designed the wall as structure with an irregular, organic form clad in a recycled ceramics applique. A crew of volunteers constructed the approximately 50-foot long, 3-foot high concrete form using the "stack sack" method (Wescover 2020; North East Bay Independent and Gazette 5/18/1978; 5/23/1978). Planters and a bench were built into the wall. The Alameda County Neighborhood Council, California Arts Council, and City of Berkeley funded the wall's construction with a combined \$1,600 in grants. Merchants donated materials, and local potters donated the ceramic shards worked into the face of the wall (North East Bay Independent and Gazette 5/23/1978).

Figure 25 Willard Park Clubhouse, East and North Elevations, ca. 1980; photo shows the original stonewalls and features flanking the building



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Figure 26 Play Lot and Tot Lot, Facing West, ca. 1980



Figure 27 View of Willard Park from Hillegass Avenue, Facing Southwest, ca. 1980



Figure 28 Detail of original stone walls and stairs, Willard Park Clubhouse, ca. 1980



In 1982, the park was formally dedicated to Frances Willard, a reformer who founded the Women's Christian Temperance Union (WTCU) in 1878. Although the site had been in use as Willard Park for over a decade, it had not been opened officially. Members of the WTCU joined local political leaders for a dedication ceremony, which also marked the completion of a \$20,000 renovation of the "tot area" funded under the 1974 Measure Y bond issue (North East Bay independent and Gazette 5/7/1982; City of Berkeley Parks Division 2020 ).

In the late 1980s and 1990s, the neighborhood advocacy organization Friends of Willard Park spearheaded several improvements to the park. These included the construction of a new "tot lot;" improved lighting, irrigation, and circulation measures; laying of a new cobblestone entry on Hillegass Avenue; and a "rose walk" near the Potter's Wall. The latter project was designed in part to deter overnight camping in the park, which had been an issue of contention since at least as early as 1990 (FWP 1997; Guttman 1990).

In addition, the City carried out a variety of projects at the park, including the addition of restrooms to the clubhouse and removal of the stone features in 1991 and construction of new circulation paths and changes to the children's play areas in circa 1994 (City of Berkeley Department of Public Works 1991; 1994). These projects led to the removal of several features constructed in the 1970s, including the stone walls and steps on the east elevation of the clubhouse, the restroom and pay phone kiosks, and the original playground areas.

The following drawings from the original as-built plans and 1991 alterations show the appearance of the clubhouse following the removal of stone walls and rooftop stairs and construction of concrete-block addition. According to the 1991 architectural plans, the stones removed from the clubhouse were relocated to Aquatic Park in west Berkeley.

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Figure 29 North elevation, as-built design (top) and 1991 alterations (bottom), showing the removal the cobblestone framing and features on the east and west elevations

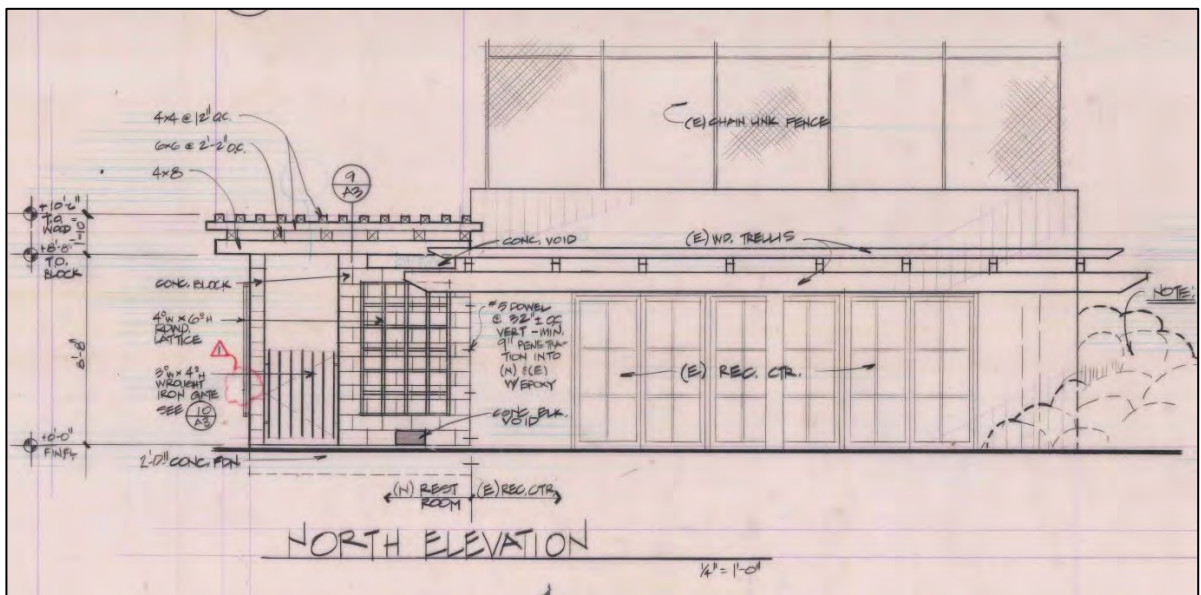
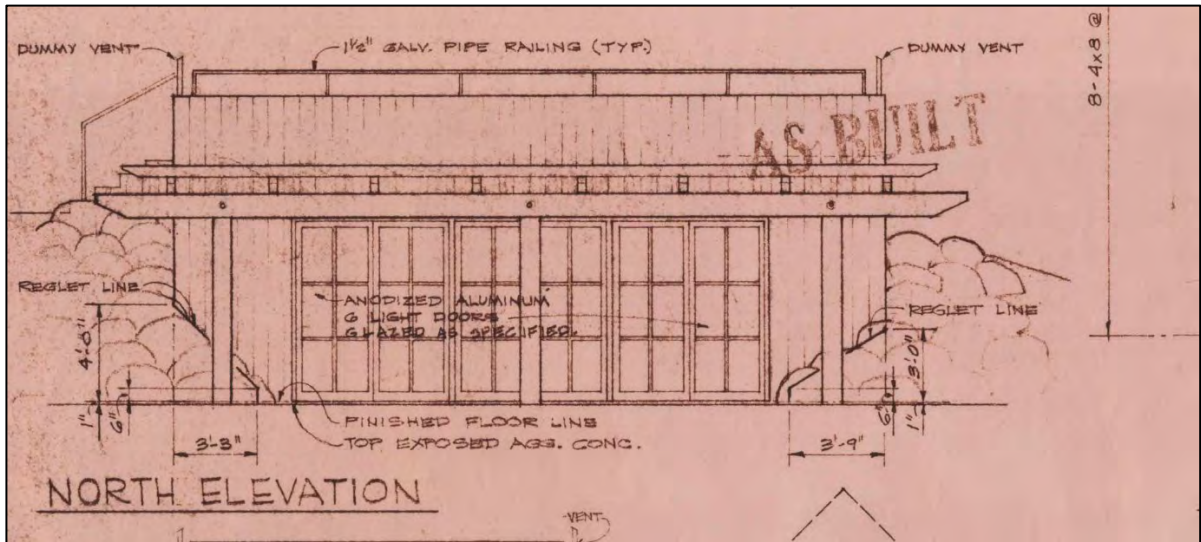
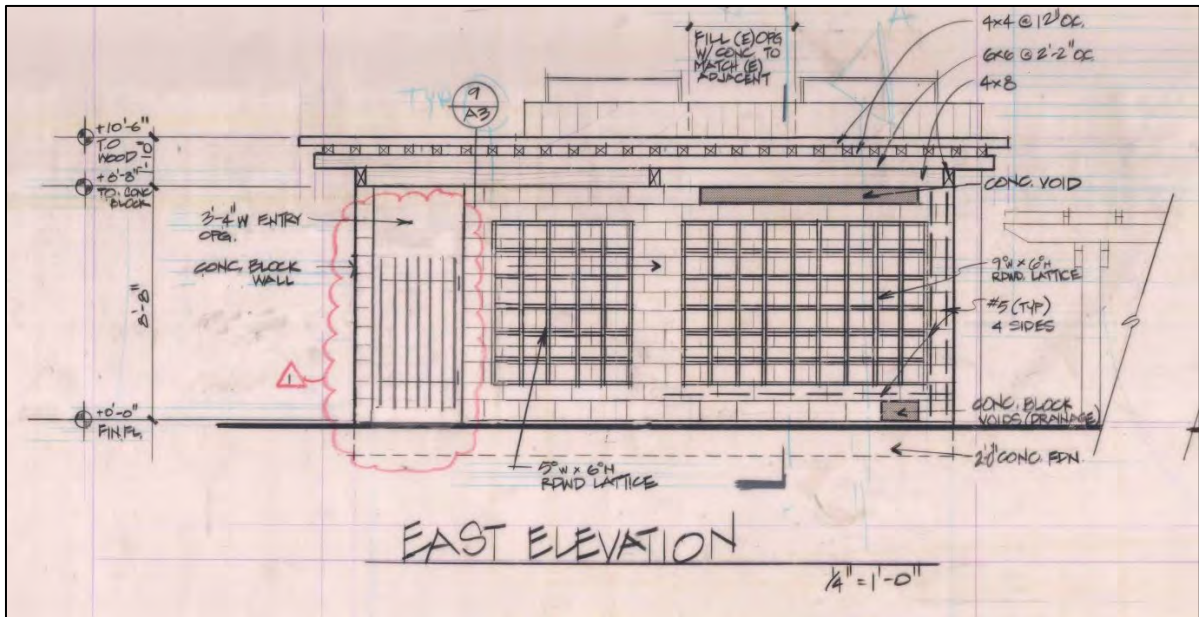
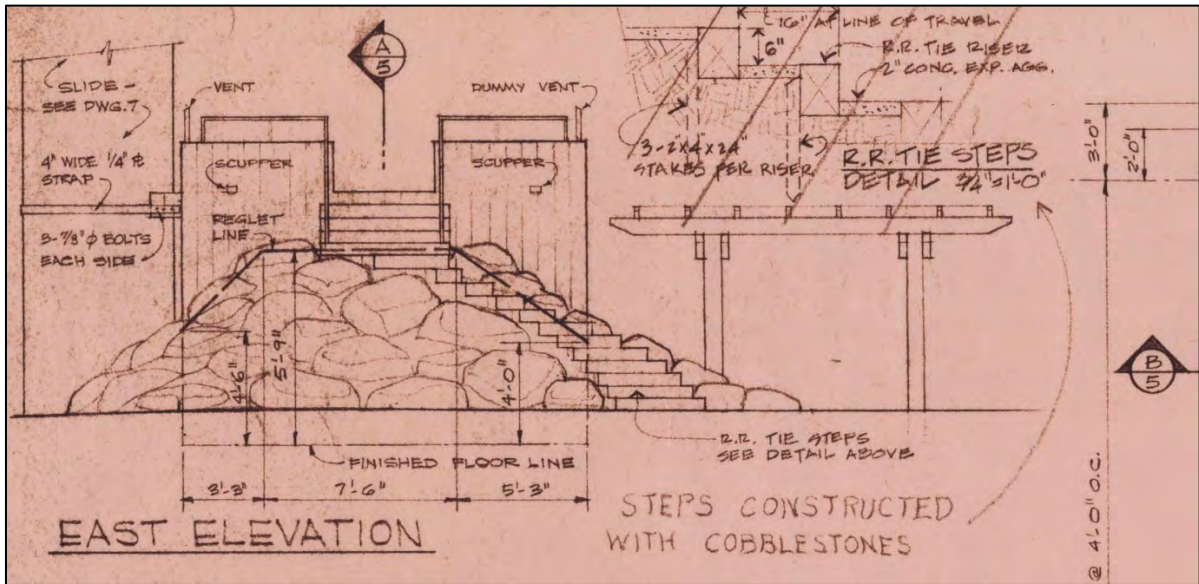




Figure 30 East elevation, with original cobblestone wall and stairs (top) and new 1991 plans (bottom), with cobblestone wall and stairs removed



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Frances Willard Park, Berkeley, California

Figure 31 West elevation, with as-built original cobblestone features (top) and 1991 appearance and new concrete-block wall (bottom)

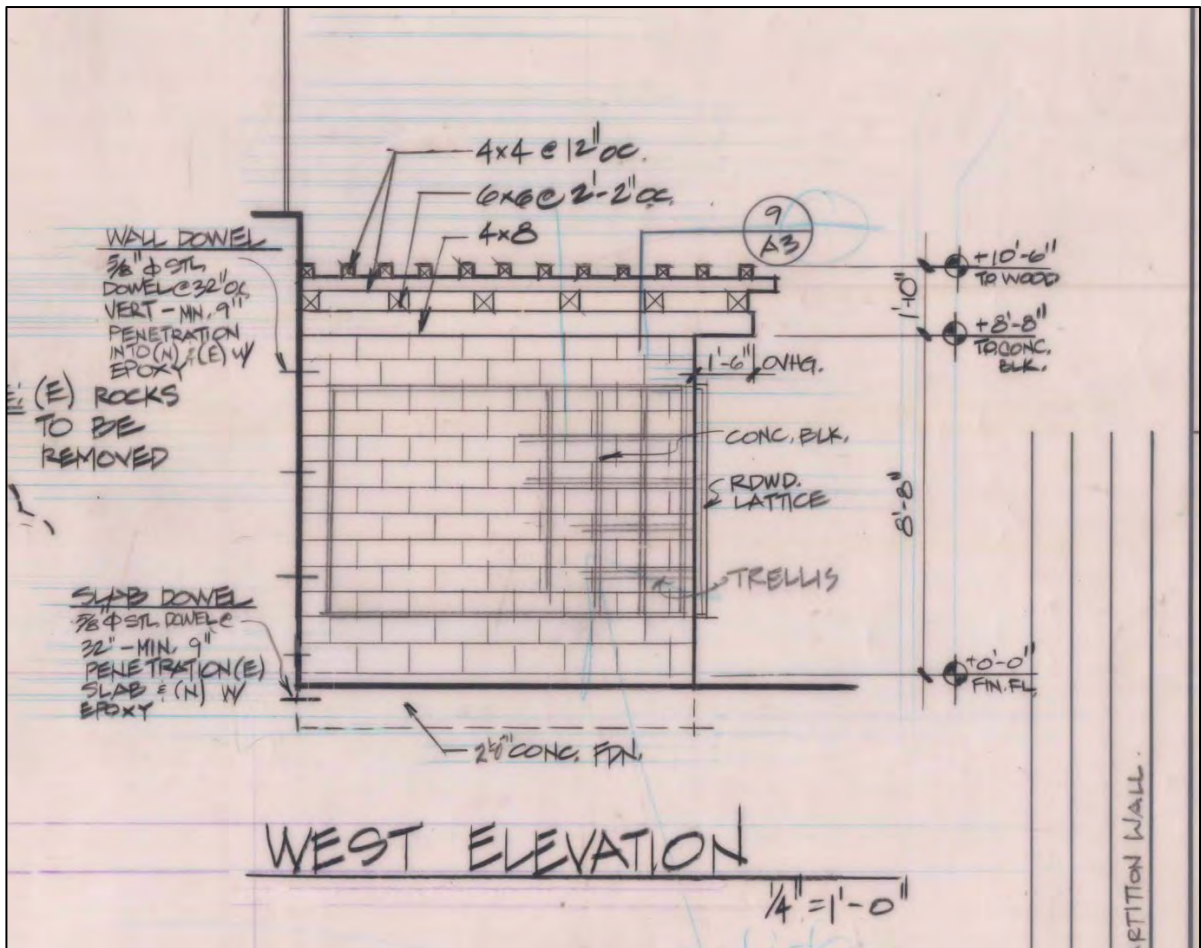
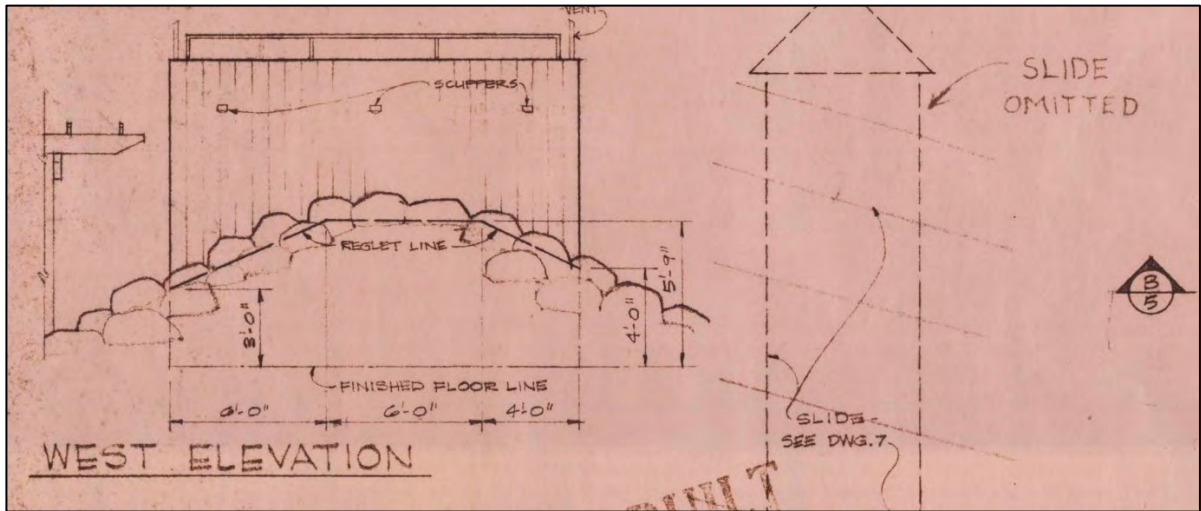
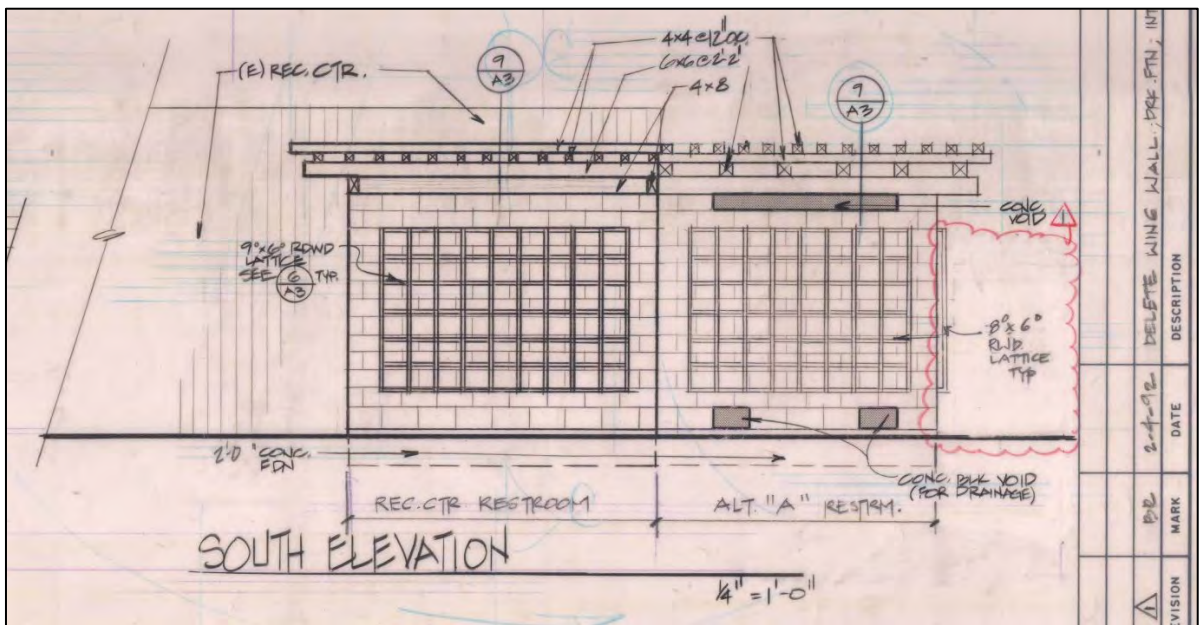
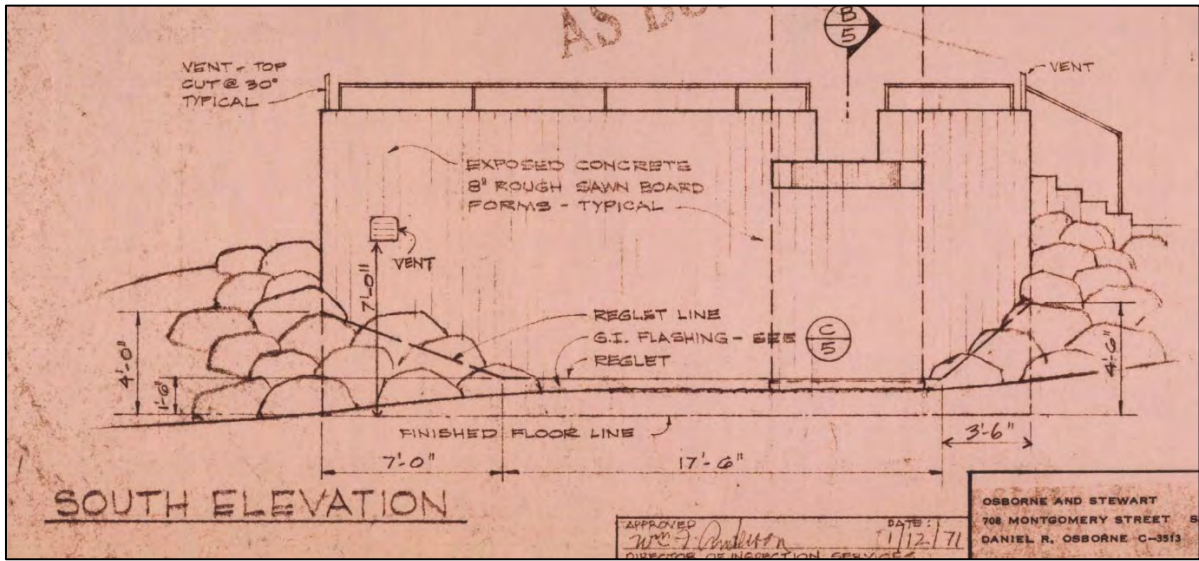


Figure 32 South elevation, with original cobblestone feature flanking the building (top) and 1991 plans for removal of cobblestone features (bottom)



## 5 Evaluation

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Willard Park and its components—including the clubhouse and other built features—do not appear to meet the criteria for landmark listing at the federal, state, or local level, either as individual resources, a historic district, or a cultural landscape. The park and its components do not meet the criteria associated with significant events, patterns of development, or people who were significant in the history of the city, region, state, or nation. The park and its components, including the clubhouse, do not represent a distinctive example of an architectural type or style, or the work of a master. Because Willard Park and its features do not qualify for federal, state, or local list, neither the park nor any of its components qualify as historical resources pursuant to CEQA.

As noted in Section 4, as a public space in Berkeley in the late 1960s/early 1970s, Willard Park had a brief association with the Antiwar Movement and other grassroots political movements. The City of Berkeley opened Willard Park as an interim park space in the fall of 1969. Before the official inauguration of the park in June 1971, prior to the opening of People's Park, Berkeley activists unofficially renamed the property Ho Chi Minh Park and began using it for socializing, entertainment, education, political organizing, and political demonstrations.

Between 1969 and 1972, the park was the site of several rallies and marches. Although use of the park for antiwar and free speech events was short-lived (those activities declined after 1972), the park remained the site of community festivals, such as the Lord Chaitanya Festival and early occurrences of East Bay Lesbian/Gay Day, and alternative arts performances, including several by the famed San Francisco Mime Troupe.

While this association with community activism and culture is noteworthy, it is relatively short when compared with the history of People's Park; for Willard Park, research identified through this study did not suggest that this association rises to the level required to confer eligibility as a landmark at the federal, state, or local level.

In addition, research did not reveal an association of the park with any individuals known to have made significant contributions to the history of the city, state, region or nation. Its design and architecture are that of a typical neighborhood park, and neither the park as a whole nor any of its components embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, or possess high artistic values. Willard Park also appears ineligible under the remaining City of Berkeley Landmark designation criteria.

Given the park's brief but noteworthy history as a gathering space for antiwar, counter-culture, and Free Speech movement events, Willard Park appears to warrant special consideration in local planning (6L California Historic Resources Status code). The 6L code does not confer status as a historical resource per CEQA but is used to signal that local planning may wish to extend special consideration to the resource.

(Depending on the City's plans and needs, special consideration in local planning could take the form of creating interpretive panels to document and share Willard Park's history with the public. Such interpretive information could include the pre-park history as a neighborhood of early twentieth-century wood-shingled homes, as well as the park's role in Berkeley's counter-culture movement of the late 1960s and early 1970s. This, however, is not a mitigation measure but rather an option should the City wish to recognize the park's history in this manner. The 6L CHR status code does not trigger any requirements under the LPC ordinance or CEQA.)

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# Appendix A

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DPR Series 523 Forms

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION <b>PRIMARY RECORD</b>	Primary # HRI # Trinomial NRHP Status Code 6Z
Other Listings Review Code	Reviewer
Page 1 of 10	Date

\*Resource Name or #: Frances Willard Park

**P1. Other Identifier:** Willard Park, 2730 Hillegass Avenue

**\*P2. Location:**  Not for Publication  Unrestricted **\*a. County:** Alameda

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

**\*b. USGS 7.5' Quad:** Oakland West **Date:** 1993 T 01S; R 04W; ¼ of ¼ of Sec 12 ; S.B. B.M.  
 c. Address: 2730 Hillegass Avenue City: Berkeley Zip: 94705  
 d. UTM: Zone: ; mE/ mN (G.P.S.)  
 e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)  
 Assessor's Parcel Number 54-1711-27

**\*P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Frances Willard Park is located in the residential neighborhood of Elmwood in southeast Berkeley. The park occupies a gently sloping site and is bounded by Derby Street (north), Hillegass Avenue (east), Willard Middle School (west), and single family residences with frontage on Regent Street and Hillegass Avenue, respectively (south). The facilities span just over 118,500 square feet on a 2.7-acre site. The park address is 2730 Hillegass Avenue (Assessor's Parcel Number 54-1711-27). It is owned and operated by the Parks Division of the City of Berkeley Parks, Recreation, and Waterfront Department. Description continued on page 4 of the Continuation Sheet.

**\*P3b. Resource Attributes:** HP29. Landscape Architecture. HP31. Urban Open Space.

**\*P4. Resources Present:**  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #)  
View southwest of the clubhouse.

**\*P6. Date Constructed/Age and Sources:**  Historic  Prehistoric  Both  
1969, Original As-built drawings

**\*P7. Owner and Address:**  
Parks Division of the City of Berkeley  
Parks, Recreation, and Waterfront  
Department  
2180 Milvia Street  
Berkeley, CA 94704

**\*P8. Recorded by:** (Name, affiliation, and address)  
Rincon Consultants, Inc.  
180 N. Ashwood  
Ventura, CA 93003

**\*P9. Date Recorded:** 9/16/2021

**\*P10. Survey Type:** (Describe) Intensive

**\*P11. Report Citation:** (Cite survey report and other sources, or enter "none.")

Howell-Ardila, Debi. 2021. *Frances Willard Park, Berkeley, California Historic Resources Evaluation Report*. Rincon Consultants Project No. 20-09331.

**\*Attachments:**  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List):

DPR 523A (1/95)

**\*Required information**

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION <b>BUILDING, STRUCTURE, AND OBJECT RECORD</b>	Primary # HRI#
---	-------------------

Page 2 of 10

\*NRHP Status Code 6L

\*Resource Name or # (Assigned by recorder) Frances Willard Park

- B1. Historic Name: Frances Willard Park
- B2. Common Name: Willard Park, 2730 Hillegass Avenue
- B3. Original Use: Public Park
- B4. Present Use: Public Park

\*B5. Architectural Style: N/A

\*B6. Construction History: (Construction date, alterations, and date of alterations)

Planning for Willard Park began in 1950s, as city officials recognized the need for a recreational facility in southeast Berkeley, and ultimately chose the subject site for redevelopment as a park (Oakland Tribune 9/17/1957). The City Council began authorizing the piecemeal acquisition of residential properties in the area by 1957 (Oakland Tribune 7/24/1957). While some property owners sold their homes willingly, opposition to the park plan arose, spearheaded by Southeast Berkeley Property Owners' Association, whose officers all resided on the 2700 block of Hillegass Avenue, where the park would be constructed. According to reporting by the Oakland Tribune, the organization was established "to protect their private homes and income property in the Hillegass-Derby-Regent block against" the development of the proposed park (Oakland Tribune 9/26/1957). See Continuation Sheet page 4.

\*B7. Moved? No Yes Unknown Date: Original Location:

\*B8. Related Features:

B9a. Architect: Daniel R. Osborne and Zach R. Stewart

b. Builder: Not Identified

\*B10. Significance: Theme: N/A

Area: N/A

Period of Significance: N/A

Property Type: N/A

Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Willard Park and its components – including the clubhouse and other built features – do not appear to meet the criteria for landmark listing at the federal, state, or local level, either as individual resources, a historic district, or a cultural landscape. The park and its components are not associated with significant events, patterns of development, or people who were significant in the history of the city, region, state, or nation (Criteria A/1 and B/2). The park and its components, including the clubhouse, do not represent a distinctive example of an architectural type or style, or the work of a master (Criteria C/3). The cultural resources records search and archival research did not identify any evidence to suggest the property has potential to yield important information. The property is not eligible under Criterion D/4. Because Willard Park and its features do not qualify for federal, state, or local list, neither the park nor any of its components qualify as historical resources pursuant to CEQA. See Continuation Sheet page 4.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References:

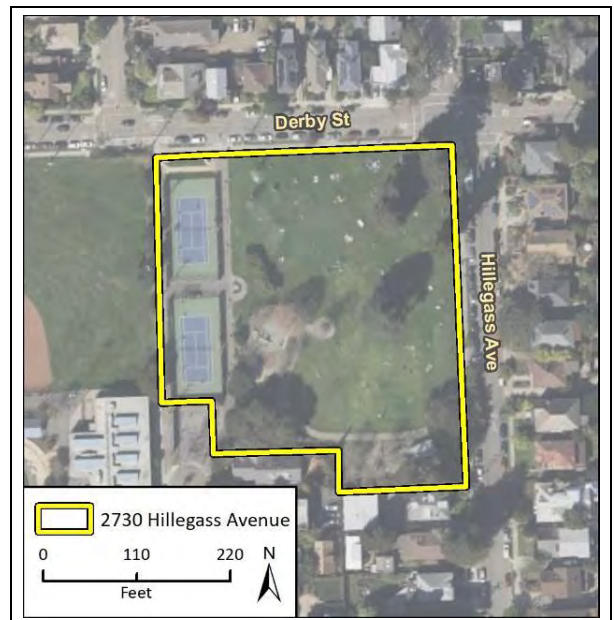
See Continuation Sheet page 4.

B13. Remarks:

\*B14. Evaluator: Ashley Losco, Rincon Consultants, Inc.

\*Date of Evaluation: September 16, 2021

(This space reserved for official comments.)



State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**LOCATION MAP**

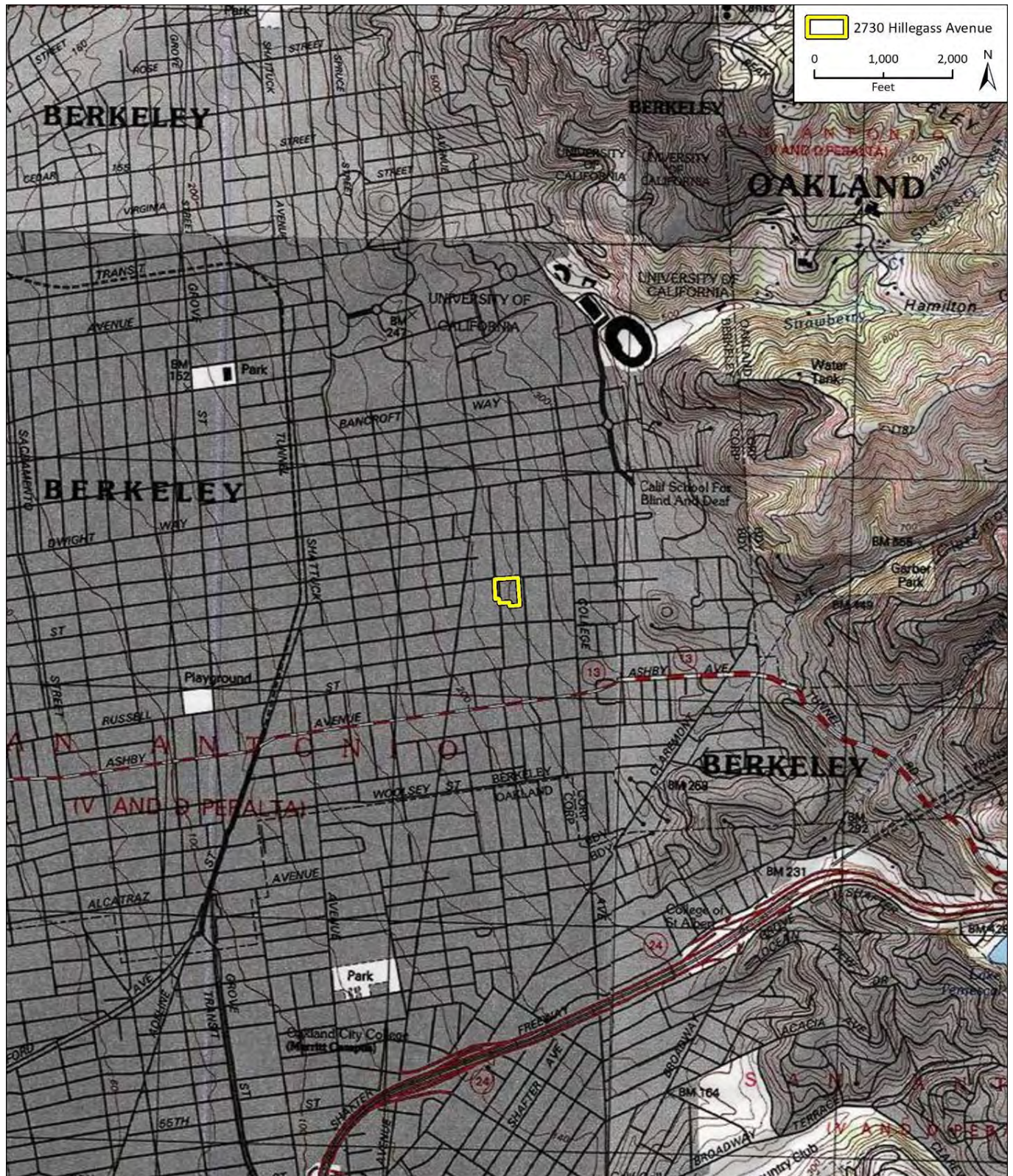
Primary #  
HRI#  
Trinomial

Page 3 of 10

\*Resource Name or #: Frances Willard Park

\*Map Name: USGS Oakland West Quadrangle

\*Scale: 1:24,000 \*Date of Map: 1993



State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary #  
HRI#  
Trinomial

Page 4 of 10

\*Resource Name or # Frances Willard Park

\*Recorded by: Rincon Consultants, Inc.

\*Date: 9/16/2021

■ Continuation  Update

**\*P3a. Description (Continued from Page 1):**

The park amenities include a large lawn area with mature trees, two lighted tennis courts, a tot play area, picnic area, paths made of historic cobblestones, and a clubhouse located in the southeastern corner of the park. The existing clubhouse consists of a 565-square-foot building, with an attached 114-square-foot restroom and 486-square-foot trellis area.

The focal point of the park is a large grass lawn and recreation area. Most of the other amenities, such as hardscaping/benches, the playground, and built environment features such as the clubhouse are located along the periphery of the central lawn. The lawn and park are framed and accented with mature trees throughout (a number of which pre-date the establishment of the park). Brick and stone hardscaping and planters also appear throughout, with a concentration of features along the northeastern entrance and eastern border of the park. Historic light standards line the western border of the park and are located throughout the park.

The principal built environment feature of the park is the clubhouse, located in the southeast corner of the park. One story in height, the clubhouse displays a series of aluminum-frame glazed doors, opening onto a patio space. The patio is sheltered beneath a simple wood trellis supported on metal pole supports. The walls display painted concrete-block and vertical wood planks. The original stone walkway and concrete stairs leading to an open rooftop area have been removed and replaced with a concrete-block restroom, fronted by a metal gate.

The northeast corner of the park features stone hardscaping and an entrance gate. Similar hardscaping features, with rough-hewn stone, are located near the entrance to the park and clubhouse, in the southeast portion of the park.

The western portion of the park is home to tennis courts and a playground area. In the northwestern corner of the park, at the sidewalk along Derby Street, is the 1978 "Potter's Wall," a low, undulating, decorative wall clad in recycled ceramics. The Potter's Wall was designed in the organic, expressive style of Spanish architect Antoni Gaudi. Planters and a bench are built into the wall.

**\*B6. Construction History (Continued from Page 2):**

By 1964, the City had purchased most of the 17 parcels earmarked by local planners, but the program stalled briefly (City of Berkeley Parks Division 2020). In 1968, land acquisitions resumed, after the U.S. Department of Housing and Urban Development awarded local authorities a series of open space land grants to cover half the cost of acquiring the six parcels the City had not yet purchased. In April 1969, after years of planning and preparation, an agreement was reached for Willard Park to move forward as a user-developed park with joint use between the City and Willard Junior High School. That same year, in 1969, the remaining buildings and homes were demolished and removed, and the interim park was constructed by the fall of 1969. Construction for the park moved forward, with amenities including a "recreation building, tot lot, play lot, turf field, tennis and basketball courts" (Oakland Tribune 1/19/1968).

According to the original drawings, the clubhouse was designed by the San Francisco-based firm of Daniel R. Osborne and Zach R. Stewart (available drawings do not specify a landscape architect). Both architects attended the architecture program at Stanford University, and after working on for separate firms in the 1950s and early 1960s, the two started their firm in the mid-1960s (Online Archive of California). The firm was extremely well-known in the Berkeley architecture scene as well as the cultural and social developments of 1960s San Francisco. The firm designed the staging for the Trips Festival at Longshoreman's Hall in 1966, the America Needs Indians and Sensorium series, and the 4,000 Years concerts at Grace Cathedral (Online Archive of California and SFGate). Their works include elementary schools in Nevada County, the Ahwahnee pool and the dining hall at Sunrise High Sierra Camp at Yosemite National Park, the Plumas County Museum, and poet Gary Snyder's private residence on San Juan Ridge in the foothills of the Sierra Nevada.

Before the park was officially inaugurated on June 20, 1971, the community utilized the park for gatherings (explored in more detail below). In 1976, the park's tot lot playground was renovated; in May 1982, the park was renamed for Frances Willard, a suffragette and temperance leader.

When initial development of the park began in the 1969, the site became linked to an ongoing controversy over People's Park, located two blocks to the north. Mayor Wallace J.S. Johnson announced the City's plans to begin construction of Willard Park in May, just days into the political fight over People's Park. At the core of the People's Park protests was the contention among some activists that restrictions imposed by the University of California, Berkeley, for on-campus political activities had created the need for an off-campus "free-speech area," as an alternative to Sproul Plaza. During Willard Park's first years of operation, People's Park site remained off-limits by University decree, and Willard Park served as a base for political demonstrations (Wittmeyer 2004).

**State of California — The Resources Agency**  
**DEPARTMENT OF PARKS AND RECREATION**  
**CONTINUATION SHEET**

**Primary #**  
**HRI#**  
**Trinomial**

Page 5 of 10

\*Resource Name or # Frances Willard Park

\*Recorded by: Rincon Consultants, Inc.

\*Date: 9/16/2021

■ Continuation □ Update

Political pressure seems to have hastened the City's opening of Willard Park. Construction began in the fall of 1969, and the park soon opened with an interim design consisting solely of a "turfed" field. Further landscaping, buildings, other amenities were scheduled for development in the near-term (Oakland Tribune 9/19/1969).

Even before the park's official inauguration in 1971, organizers soon put the space to use as an off-campus site for demonstrations concerning People's Park, the Vietnam War, and other political issues of the day. In the spirit of the times, activists nicknamed the space Ho Chi Minh Park, a name that remained in use unofficially for many years (Branning 1970; San Francisco Examiner 1982).

On July 4, 1970, the park served as the starting point for a 300-strong march along Telegraph Avenue toward the UC Berkeley campus. Marking "Liberation Day" or alternately "Anti-Honor America Day," the demonstration culminated in violence between protesters and police. By one report, "[protesters] threw rocks and firecrackers" and "city and campus police chased them in full battle gear" (Oakland Tribune 7/5/1970; 7/6/1970 San Francisco Examiner 7/12/1970). In December 1971, the antiwar organization Bay Area Veterans Against the War received permission to host an event at Willard Park. About 150 veterans camped at the park to "make sure that 'people at Christmas don't forget there's no peace on earth'" (San Francisco Examiner 12/21/1971).

On May 8, 1972, Willard Park served as the starting point for a rally and march that was pivotal in the permanent opening of People's Park. The event began as a large non-violent demonstration against President Richard M. Nixon's authorization of the mining of Haiphong Harbor near Hanoi. However, by evening the atmosphere had turned "riotous," and protesters clashed with police in the streets. The conflict culminated in protesters' dismantling of the eight-foot chain-link fence that lined the perimeter of the People's Park site (Oakland Tribune 5/9/1972). The University subsequently acceded to the activists' demands and allowed construction of the People's Park to resume.

After 1972, the use of Willard Park for political gatherings appears to have declined. A search of the newspaper database newspapers.com shows that at least one more major political rally took place at the park following the reopening of People's Park (a November 8, 1972 demonstration over Nixon's reelection) (Oakland Tribune 11/2/1972). Search results on Independent Voices, an online database of underground and alternative periodicals, shows a similar decline after 1972 (Independent Voices 2020). However, even with waning activism against the Vietnam War, the park continued to host large events falling in a generally countercultural milieu.

Through the early 1970s, Willard Park was the site the Society for Krishna Consciousness' annual Lord Chaitanya festival, which began at Sproul Plaza with a parade and ended in a day long fete at Willard Park (San Francisco Examiner 3/14/1971; Oakland Tribune 3/3/1972; Berkeley Gazette 3/9/1973). By 1973 and until at least as recently as 1981, the park was home to the annual East Bay Gay Day (later East Bay Lesbian/Gay Day) festival, sponsored by East Bay Gay and other gay and lesbian rights organizations (Berkeley Gazette 6/19/1973; 6/18/1974; 6/20/1975; 6/1/1976; 6/17/1978; North East Bay Independent and Gazette 5/15/1981). In addition, in 1974, a memorial service for Angela Atwood, who was one of six Symbionese Liberation Army members killed in a Los Angeles gunfight (San Francisco Examiner (3/9/1974). Other events at the park in this period marked the Greenpeace Save the Wales campaign and Earth Day, in addition to multiple performances by the San Francisco Mime Troupe (Berkeley Gazette 9/10/1976; North East Bay Independent and Gazette 6/19/1978).

In addition to its role as a public gathering space during the late 1960s and early 1970s, Willard Park served as a neighborhood park for area families, residents, and visitors. In 1970, in support of expanding the park's amenities, the Willard Park Citizens Committee approved designs for a second phase of development (City of Berkeley Parks Division 2020). Features of the new development included a playground, clubhouse, mural wall, tennis courts, restroom and pay phone kiosks, and new landscaping. The park centered on the Arts and Crafts-inspired clubhouse, with its distinctive cobblestone walls and open stairs, and adjacent playground, located at the northeast corner of the park.

Two notable motifs in the park's landscape design were the use of sizeable boulders, cobblestones, and similar masonry elements to mark boundaries. Removed in the 1990s, the cobblestone walls flanking the clubhouse, for example, and boulder alignments in other areas, were key features of the park's design. Original site plans depict large collections of boulders partially enclosing the playground, lining the boundary with an adjacent nursery school, and providing a barrier at the Regent Street dead end (City of Berkeley Department of Public Works 1971). Historic photographs of the park show that, in some locations, boulders were stacked several feet high (WD Watson 2006).

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Masonry elements in the 1971 plans included a low wall, curb strip, and edge strip. An original drinking fountain was also constructed with a rough-hewn masonry pedestal and basin (City of Berkeley Department of Public Works 1971). While there are no remnants of the boulders and some masonry features have been removed, the masonry motif remains evident in the drinking fountain base.

In May 1978, the Potter's Wall feature was constructed to the north of the tennis court. Influenced by Spanish architect Antoni Gaudi's designs for Parque Guell in Barcelona, Spain, local sculptor Andrew Werby designed the wall as structure with an irregular, organic form clad in a recycled ceramics applique. A crew of volunteers constructed the approximately 50-foot long, 3-foot high concrete form using the "stack sack" method (Wescover 2020; North East Bay Independent and Gazette 5/18/1978; 5/23/1978). Planters and a bench were built into the wall. The Alameda County Neighborhood Council, California Arts Council, and City of Berkeley funded the wall's construction with a combined \$1,600 in grants. Merchants donated materials, and local potters donated the ceramic shards worked into the face of the wall (North East Bay Independent and Gazette 5/23/1978).

In 1982, the park was formally dedicated to Frances Willard, a reformer who founded the Women's Christian Temperance Union (WTCU) in 1878. Although the site had been in use as Willard Park for over a decade, it had not been opened officially. Members of the WTCU joined local political leaders for a dedication ceremony, which also marked the completion of a \$20,000 renovation of the "tot area" funded under the 1974 Measure Y bond issue (North East Bay independent and Gazette 5/7/1982; City of Berkeley Parks Division 2020 ).

In the late 1980s and 1990s, the neighborhood advocacy organization Friends of Willard Park spearheaded several improvements to the park. These included the construction of a new "tot lot," improved lighting, irrigation, and circulation measures; laying of a new cobblestone entry on Hillegass Avenue; and a "rose walk" near the Potter's Wall. The latter project was designed in part to deter overnight camping in the park, which had been an issue of contention since at least as early as 1990 (FWP 1997; Guttman 1990).

In addition, the City carried out a variety of projects at the park, including the addition of restrooms to the clubhouse and removal of the stone features in 1991 and construction of new circulation paths and changes to the children's play areas in circa 1994 (City of Berkley Department of Public Works 1991; 1994). These projects led to the removal of several features constructed in the 1970s, including the stone walls and steps on the east elevation of the clubhouse, the restroom and pay phone kiosks, and the original playground areas.

**\*B10. Significance (Continued from Page 2):**

Willard Park falls within the neighborhood of Elmwood in southeast Berkeley, located between the north-south corridors of College and Telegraph Avenues, south of the University of California, Berkeley. During its founding years, Berkeley owed much of its initial development to its proximity to regional transportation routes, emerging commercial and industrial centers, and the establishment of the University of California, Berkeley. Originally founded in Oakland in 1855 as the "College of California," the university relocated to Berkeley in 1866. The City of Berkeley incorporated in 1878, a year after the Southern Pacific Railroad line reached the Bay Area in 1877. Through the late nineteenth century, Berkeley remained a small town with emerging neighborhoods and commercial corridors, in particular along San Pablo and University Avenue, ringed by agricultural uses on the city periphery.

In addition, the 1906 San Francisco Earthquake and fire caused widespread displacement and an exodus out of San Francisco to East Bay towns like Berkeley and Oakland. During the opening years of the twentieth century, the Elmwood neighborhood saw a great increase in new settlement and construction as a result of these and other factors.

In addition, in terms of the stylistic character of its early architecture, Berkeley and early neighborhoods like Elmwood became centers for the Arts and Crafts movement. During the late nineteenth and early twentieth century, the City overall saw a flowering of Arts and Crafts architecture – in particular, in its "First Bay Tradition" of the Bay Area-influenced Arts and Crafts style. Early practitioners in Berkeley of the First Bay Tradition included architects such as Bernard Maybeck, Julia Morgan, John Galen Howard, Ernest and Almeric Coxhead, John Hudson Thomas, and James Placheck (many of whom not only practiced but also resided in the Berkeley Hills surrounding UC Berkeley).

The First Bay Tradition expanded on and redefined the Arts and Crafts architecture emerging on the East Coast in the work of architects such as Henry Hobson Richardson and McKim, Mead and White. One of the most significant West Coast innovations was the focus on site-specific design and creating connections between the indoors and outdoors, buildings, landscaping, and setting:

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“What the Bay Tradition added to the Shingle Style was environment, and in particular the generosity of and therefore, connection to outdoor space, open and cheerful western skies, hills alternating gold and green, and sculptural woodlands. In fact, it is the connections between setting, landscape and architecture where early Bay Area buildings fully succeeded the Shingle-Style of their Eastern mentors.” (Preservation Architecture 2007)

In this way, Berkeley’s woodsy setting and indoor-outdoor integration became important features for the new First Bay Tradition. As William Wilson Wurster wrote, “The First Bay Tradition went beyond a strictly architectural expression; it also reflected a life style” (Stern Cerny 1990). Commentators at the time recognized this “unique quality” and cohesive, distinctive neighborhood character it created. With the post-1906 construction boom in Berkeley, including in Elmwood, the character of the residential neighborhood around and in Willard Park was one of Arts and Crafts-inspired Craftsman homes, clad with brown wood shingles and enveloped in landscaping. Some of the neighborhood’s original landscaping, in the form of mature evergreen trees, survives in Willard Park.

This general description was also reflected in the Home Owners’ Loan Corporation 1937 survey of Elmwood. At the time, surveyors noted the “dignified” architectural character of the neighborhood’s homes and the average date of construction of 1905 (HOLC 1937). In terms of the neighborhood, it was deemed to have “excellent local and San Francisco transportation, convenient to schools, University of California, recreational facilities and local shopping centers” (HOLC 1937).

Into the twentieth century, Berkeley expanded rapidly, through the meteoric growth of the University of California, Berkeley, the downtown commercial corridor, as well as industrial development along the city periphery. Residential expansion grew, as well, with neighborhoods into the Berkeley flats and hills showing increasing numbers of new tracts and residential settlement. With the advent of the automobile, as well as road construction and infrastructure improvements, residential development expanded further from the city’s historical center. During and immediately after World War II, the combination of in-migration to California and the postwar baby boom fueled further growth, and Berkeley approached its peak population of over 110,000 by 1950.

The City rapid population growth coincided with massive, Cold War-era investments in American public universities. A prime beneficiary of federal research grants, the University of California, Berkeley, experienced postwar surge in enrollments, which grew from 7,700 in 1944 to 21,000 in 1946. The University’s growth contributed to Berkeley’s emergence as intellectual center. By the 1960s, Berkeley was transformed from a small town to a cosmopolitan “republic of letters where independent newspapers, poetry, music, art, and theater proliferated” (Suri 2004).

In terms of Elmwood and the area around Willard Park, it had been largely developed for residential use by the opening decades of the twentieth century. The proximity to the north-south corridors of Telegraph Avenue to the south and College Avenue to the north made the neighborhood accessible to downtown shopping areas and the Civic Center as well as UC Berkeley to the north. As shown on the 1911 Sanborn Fire Insurance map, the neighborhood primarily consisted of axial, residential-sized lots on a rectilinear street grid. Nearly all of the lots had already been improved with two-story, single-family homes. At this time, Regent Street followed an uninterrupted course between Stuart and Derby Streets. As of 1911, Frances Willard School, which is currently located immediately west of the park, had not yet been developed, and the school site was home to several residences (ProQuest 2020).

As of 1939, the year the first available aerial photograph of the area was taken, the area was fully developed and had much the same predominantly residential character as it has today. By 1946, the clearing of former residential parcels between Regent Street and Telegraph Avenue had begun in order to construct Frances Willard School. The school was expanded and its older buildings razed and replaced over the next two decades. Aside from a modest increase in commercial and/or institutional development along Telegraph and College avenues, there were few notable changes to the subject property or its vicinity until after 1968 (EDR 2020).

#### Evaluation

Willard Park and its components—including the clubhouse and other built features—do not appear to meet the criteria for landmark listing at the federal, state, or local level, either as individual resources, a historic district, or a cultural landscape. The park and its components do not meet the criteria associated with significant events, patterns of development, or people who were significant in the history of the city, region, state, or nation. The park and its components, including the clubhouse, do not represent a distinctive example of an architectural type or style, or the work of a master. Because Willard Park and its features do not qualify for federal, state, or local list, neither the park nor any of its components qualify as historical resources pursuant to CEQA.



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As a public space in Berkeley in the late 1960s/early 1970s, Willard Park had a brief association with the Antiwar Movement and other grassroots political movements. The City of Berkeley opened Willard Park as an interim park space in the fall of 1969. Before the official inauguration of the park in June 1971, prior to the opening of People's Park, Berkeley activists unofficially renamed the property Ho Chi Minh Park and began using it for socializing, entertainment, education, political organizing, and political demonstrations.

Between 1969 and 1972, the park was the site of several rallies and marches. Although use of the park for antiwar and free speech events was short-lived (those activities declined after 1972), the park remained the site of community festivals, such as the Lord Chaitanya Festival and early occurrences of East Bay Lesbian/Gay Day, and alternative arts performances, including several by the famed San Francisco Mime Troupe. While this association with community activism and culture is noteworthy, it is relatively short when compared with the history of People's Park; for Willard Park, research identified through this study did not suggest that this association rises to the level required to confer eligibility as a landmark at the federal, state, or local level.

In addition, research did not reveal an association of the park with any individuals known to have made significant contributions to the history of the city, state, region or nation. Its design and architecture are that of a typical neighborhood park, and neither the park as a whole nor any of its components embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, or possess high artistic values. Willard Park also appears ineligible under the remaining City of Berkeley Landmark designation criteria.

As a potential Structure of Merit, the park, inclusive of the clubhouse, does not appear to be worthy of preservation as part of a neighborhood, a block, or a street frontage, or a group of buildings which include City Landmarks because it is: Neither a contemporary of the nearest City Landmarks and Structures of Merit, nor is it compatible with their style or design. It is not a good example of architectural design, and it does not possess historically significant connections to its neighborhood, block, frontage or group of resources.

Given the park's brief but noteworthy history as a gathering space for antiwar, counter-culture, and Free Speech movement events, Willard Park appears to warrant special consideration in local planning (6L California Historic Resources Status code). The 6L code does not confer status as a historical resource per CEQA but is used to signal that local planning may wish to extend special consideration to the resource.

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Internal



Parks, Recreation &amp; Waterfront Department

October 4, 2022

Allison Riemer  
City of Berkeley  
1947 Center Street, 2<sup>nd</sup> Floor  
Berkeley, CA

Subject: Responses to Review Comments – Submittal #1  
Variance #ZP2022-0095 for 2720 Hillegass

Dear Allison Riemer:

Please find below responses to the Initial Review Letter, dated July 12<sup>th</sup>, 2022.

1. Applicant Statement: Please provide a response to the required findings for the following permit requests, including any technical information to support the findings:

- Variance, BMC Section 23.406.050(F)(1)(a-f)
- Use Permit, BMC Section 23.326.070(D)(1-2)

Response: The applicant statement has been revised to support findings for a use permit, variance to reduce the rear yard setback from 20' to 16', and variance to allow the new community center to be constructed without the addition of any new off-street parking spaces.

2. Site Plan: Dimension the setbacks for the new restroom. Additional AUPs may apply based on the location of the accessory structure (BMC Section 23.304.060(C)(2)(a)). Provide an existing site plan and dimension the setbacks, or show the existing setbacks in a copy of the proposed site plan.

Response: Setback dimensions for the new restroom have been added on sheet Z2-A1. There is no existing structure present on the proposed site location.

3. Landscaping Plan: Provide details on the proposed trees (i.e. species/common name).

Response: Please refer to sheet L1.2 and L1.3 for proposed plant species.

4. Fence and Retaining Wall: It's hard to see the fence and retaining wall in the site plan; please add different line weights or colors so the fence and retaining wall can be easily found. Why is the fence 8 feet tall at the end where it isn't on top of the retaining wall (the end closest to Hillegass)? Please explain in the applicant statement.

Response: There is no longer a retaining wall at the fence in the updated design. The fence height has been modified to be 6' high along its entire length at the property line.

5. Tabulation Form: Lot Coverage is not needed for non-residential projects. 3.5% appears in several rows of the Proposed column, and covers the proposed lot area. If you update the average height update the Tabulation Form as well.

Internal



Parks, Recreation &amp; Waterfront Department

Response: The Tabulation Form has been updated. The lot coverage has been removed and the average/maximum heights have been updated.

6. Elevations: Per the [average height instructions](#), dimension the average height from the average grade to the top of the roof.

Response: The average height has been updated in the elevations.

7. Tree and Root Protection Measures: The letter from Thomas Dodge references “tree and root protection measures outlined in the plans” but I don’t see any tree and root protection measures in the plans. Please clarify how the oak tree will be protected.

Response: Sheet L0.02 – Tree Protection Plan is included.

8. Historic Resource Evaluation: The last page of the HRE appears to proceed DPR 523 forms, but DPR 523 forms were not provided. Please provide the forms if they were prepared by the consultant.

Response: The updated HRE with attached DPR forms were sent via email on 9/29/2022.

9. Transportation Study: The Transportation Study mentions an allowable reduction to the required parking for a building expansion, but that is not applicable to the proposed project because it is in the R-2 Residential District (BMC Section 2.322.050(A)(1)).

Response: The Transportation Study has been revised.

10. WELO Landscape Requirements: Verify the amount of new irrigated areas, and provide the required landscape documentation if applicable (page 17 of the [Submittal Requirements](#)).

Response: The renovated irrigated area will be above 2,500 SF, and the irrigation design will comply with WELO landscape requirements as a deferred submittal during building permit.

**Staff Comments**

- City Traffic Engineer Review: I have routed the Transportation Study to the City’s Traffic Engineer. Comments, if any, will be forwarded to you once received.
- Historic Preservation planning staff are reviewing the HRE. Comments, if any, will be forwarded to you once received. The project will be scheduled for an LPC meeting to obtain a recommendation for

Sincerely,

---

Wendy Wellbrock



Parks, Recreation and  
Waterfront Department

# Application for Administrative Use Permit And Use Permits/Variance

## Willard Clubhouse and Restroom Replacement Project Zoning Project Submittal Requirements

Original Submittal:

Variance #ZP2022-0095 for 2720 Hillegass Avenue  
June 9, 2022

Re-Submittal Date:

October 4, 2022

Applicant:

City of Berkeley, Parks, Recreation and Waterfront Department  
1947 Center Street, Fifth Floor, Berkeley, CA 94704

Contact:

Wendy Wellbrock, Associate Civil Engineer  
wwellbrock@cityofberkeley.info; 510.981.6346



Parks, Recreation and  
Waterfront Department

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

Section 1:

- A. Zoning Project Application Form



Parks, Recreation and  
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Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

Section 1:

B. Applicant Statement



Parks, Recreation and  
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Parks, Recreation and  
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## Applicant Statement

### Application for Use Permit, Administrative Use Permit, and Variance Willard Clubhouse and Restroom Replacement Project

#### **Project Overview and Intent**

The Willard Clubhouse in its current condition is difficult to maintain and needs various upgrades and facility improvements to be able to meet current building codes and the City's sustainability and resiliency goals. The community has expressed that the Willard Clubhouse is long overdue for an update to meet the evolving needs of the entire community.

The size and condition of the current building limits the type of programming that can be offered at the site. The Department of Parks, Recreation & Waterfront could provide more stable and reliable childcare options for participating and waitlisted families and a larger, flexible facility will support a multitude of programming options for the Berkeley community and foster positive community engagements.

The Use Permit specifically applies to the following project elements: demolition of an existing non-residential building, and construction of a new community center.

Willard Clubhouse is located on a 111,015 square feet parcel, or just over 2.5 acres and is located in the R-2 Restricted Two-Family Residential District. The proposed Willard Clubhouse and Restroom Replacement Project would demolish the existing Clubhouse building (approximately 565 SF in size), and an existing public restroom (approximately 114 SF in size) to allow room for a new 3,285 SF community center and outdoor patio adjacent to the building.

The Administrative Use Permit specifically applies to the following project element: construction of an accessory public restroom structure.

The community and City recreation staff have strongly expressed that the public restrooms be relocated to a different area of the park. To promote safety and sanitation for family and park users, the proposed restrooms will be fully accessible with two gender neutral stalls and doors that can automatically lock during off-hours.

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

The proposed location of the new 197 SF public restroom is tucked between the tennis courts and a gently sloping lawn where it is visible to the general public, centrally located within the park, and easily accessible for cleaning and maintenance. The existing public restroom is located to the east of the Clubhouse along Hillegass Avenue. It is a single-stall restroom with an open roof. It does not have a door, but a chain that people can use for privacy and to indicate that the restroom is in use. Additionally, there is a gate to lock the restroom during non-park hours.

A variance is requested to construct the new community center 16 feet from the rear property line where a minimum setback of 20 feet is required, and a variance is requested to not provide off-street parking. The proposed findings for both variances are located later in this statement.

### **Project Update**

Since our previous submittal for entitlements on June 9, 2022, we have made several changes to the design of the proposed project. These were in response to the escalation of construction costs that resulted from the COVID pandemic, other world events, and the resulting supply chain issues.

Since the time of the initial conceptual estimate, construction costs have increased at an annual rate of approximately 15% per year, and this is anticipated to continue to increase by approximately 10%, from now until the proposed time of construction for the project.

In response to the unanticipated cost increase, the proposed Clubhouse has been reduced in size and scope. The revised design reduces the building area from 4,200 SF to 3,285 SF. In lieu of three community rooms, comprising approximately 2,360 SF of activity space, the new community building will include one, divisible community room comprising approximately 1,700 SF. All other features will remain.

The revised design provides an opportunity to create a multi-purpose outdoor plaza to the east of the building, similar in size to the existing outdoor plaza that is currently to the west of the building. In order to increase visibility of the new outdoor plaza from the park and Hillegass Avenue, the building has been rotated 180 degrees, placing the large community room adjacent outdoor plaza to the east. The new building configuration and design also maintains adequate separation and stays clear from the dripline of the existing coast live oak and redwood trees.

The transitional area between the main entry into the building and the park pathway has been slightly modified. A code compliant slope parallels the front of the building from the east to the entrance into the building, and stairs will connect the lower path to the entry area. Terraced planters will make up the grade transition on both sides of the stairs, creating a gentle transition from the park to the building.

To summarize, the three main changes to the Clubhouse design are as follows:

1. Approximately 25% reduction in the area of the building

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

2. Rotation of the building configuration by 180 degrees
3. Addition of a new accessible outdoor patio on the east end of the building, fully visible from the park and Hillegass Ave.

### **23.406.050(F) Findings for Variance Approval**

#### **Setback Variance**

The City is requesting a variance to reduce the rear yard setback for the new community center from the minimum required 20' to 16'.

*(a) There are exceptional circumstances applying to the property which do not apply generally in the same district.*

*(b) The Variance is necessary to preserve a substantial property right.*

Willard Park is the only City park in District 7 and Willard Clubhouse is the only community center serving Districts 7 and 8. The park has the largest public open space area in Districts 7 and 8. It has long been a staple of Berkeley's after-school and summer day camp programs. Each program serves a maximum of 45 elementary school aged children, and enrollment for programs quickly reaches the maximum capacity every year with a typical waitlist of approximately 25 children. Occupancy of the existing clubhouse is limited, therefore in order to accommodate 45 children, staff makes use of the adjacent patio, as well as the expansive open space area. A new community center will meet the needs of the current programs and allow the City to expand opportunities to accommodate families who need affordable and quality childcare and recreation programs.

The variance is requested to preserve public open space at the park. The most widely expressed concern from the community is losing any substantial amount of the large open lawn area in the park. The current location of the Clubhouse is the optimal location on the parcel for the new community center. Utilizing the current location and the existing adjacent outdoor patio minimizes impacts to all other areas and uses on the parcel including and most importantly the open space. The open lawn area is located directly to the north, and the coast live oak and redwood trees have large canopies located to the south and east. The variance would preserve the maximum amount of open space while maintaining adequate spacing between the new building, adjacent properties and existing heritage trees.

A means of egress will be provided in the rear yard for the new community center, however the rear yard is not currently or proposed to be used for programmatic purposes. The site slopes down to the southwest, and creation of any usable area would require extensive retaining walls. The remainder of the rear and side yard space to the south and west property lines will be landscaped.

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

*(c) The Variance will not adversely affect the health or safety of persons residing or working near the property.*

The variance will not impact either the health or safety of persons residing or working near the property. Its principal impact is to minimize the intrusion of the new walkways that front the new community center to the north and into the open space area.

*(d) The Variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements.*

The variance will not impinge on the neighboring properties. The proposed building is one-story, set at a level several feet lower than the adjacent 2-story buildings to the south, so the occupants of the new building would not look into the neighboring windows. Furthermore, the proposed building is located directly north of the adjacent properties, so shadows will be cast in directions going away from the adjacent properties and will not increase shading.

*(e) The Variance will promote the municipal health, welfare, and safety and benefit the city as a whole.*

*(f) Any other Variance findings required by Zoning Ordinance can be made.*

The proposed variance will promote the municipal health and welfare opportunities more equitably around the City and benefit the City and its residents as a whole. The City's affordable afterschool and summer childcare programs offered at this site are open to residents from throughout the City. However, enrollment capacity is constrained by the limited availability of indoor activity space in the existing Clubhouse. A new, larger community center in the current location will maintain the integrity of Willard Park and allow the City to expand programming and also offer a wide range of programs for residents of all ages and abilities.

Willard Park is home to a large number of heritage trees which are both tall and widespread, and these have become the foreground views of the existing homes. The sunset views from Willard Park are to the northwest and best viewed from the center of the open lawn area, which will not be impacted by the variance.

### **Parking Variance**

The City is requesting a variance to allow the new community center to be constructed without the addition of any new off-street parking spaces.

*(a) There are exceptional circumstances applying to the property which do not apply generally in the same district.*

*(b) The Variance is necessary to preserve a substantial property right.*

The existing Willard Clubhouse is not provided with any off-site parking, and the proposed new design does not include the provision of any new spaces. There is on-street parking available on the Derby Street which borders the park to the north and Hillegass Avenue which borders

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

the park to the east. There is a designated drop-off zone and accessible parking space provided directly to the east of the building on Hillegass Ave.

The parcel consists primarily of a large open lawn area with clusters of heritage trees, and the site for the proposed Willard Clubhouse is in the southeast corner of the existing Willard Park. With the closure of People's Park, this is the only park serving District 7. It is located within walking distance of many residents who frequently use the park. Many children are bused from BUSD elementary schools to the afterschool program at the site. The BUSD bus drop off times are staggered, and the children are later picked up by parents and caregivers, some of whom do drive to the site, at staggered times.

*(c) The Variance will not adversely affect the health or safety of persons residing or working near the property.*

*(d) The Variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements.*

*(e) The Variance will promote the municipal health, welfare, and safety and benefit the city as a whole.*

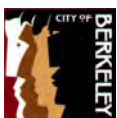
*(f) Any other Variance findings required by Zoning Ordinance can be made.*

The proposed variance will not adversely affect the health or safety of people living or working near the parcel, or cause detriment to the public welfare. Rather, the variance would be beneficial to the community because in order to add parking spaces, the public open space will have to be reduced. Adding parking spaces would in fact have a detrimental impact on all who use the park for any purposes.

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

Section 1:

E. Tabulation Form



Parks, Recreation and  
Waterfront Department



# PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704  
 Tel: 510.981.7410 TDD: 510.981.6903 Email: Planning@CityofBerkeley.info

## TABULATION FORM

Project Address: \_\_\_\_\_ Date: \_\_\_\_\_

Applicant's Name: \_\_\_\_\_

Zoning District: \_\_\_\_\_

Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required<sup>1</sup></i>
<b>Units, Parking Spaces &amp; Bedrooms</b>			
Number of Dwelling Units (#)			
Number of Parking Spaces (#)			
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)			
<b>Yards and Height</b>			
Front Yard Setback (Feet)			
Side Yard Setbacks: (facing property)			
Left: (Feet)			
Right: (Feet)			
Rear Yard Setback (Feet)			
Building Height* (# Stories)			
Average* (Feet)			
Maximum* (Feet)			
<b>Areas</b>			
Lot Area (Square-Feet)		118,500	
Gross Floor Area* (Square-Feet)			
Total Area Covered by All Floors			
Building Footprint* (Square-Feet)			
Total of All Structures			
Lot Coverage* (%) Residential only (Building Footprint/Lot Area)			
Useable Open Space* (Square-Feet)			
Floor Area Ratio* Non-Residential only (Except ES-R)			

\*See Definitions – Zoning Ordinance Title 23F.

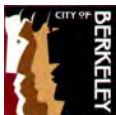
Revised: 11/19

<sup>1</sup> See development standards for your Zoning District, per the Berkeley Municipal Code, Sub-Titles 23D and 23E  
 g:\landuse\forms & instructions\land use planning forms\word files\forms\_zoning project application\zoning project application\_tabulation form.docx

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

Section 1:

F. Pre-Application Yellow Poster





Section 1:

F. Pre-Application Yellow Poster

Hillegass Avenue



Application for Use Permit  
Willard Clubhouse and Restroom Replacement Project

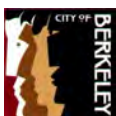
Derby Street



Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

Section 2:

- A. Site Plan
- B. Landscape, Usable Open Space Plan, Material and Planting Plan
- C. Lot Coverage Diagram
- D. Floor Plans
- E. Building Elevations
- F. Street Strip Elevation



KEYNOTE LEGEND - ZONING

2.04	(E) DECORATIVE "POTTERS" WALL
32.10	PLANTING, S.L.D.
32.23	PROVIDE PAVING

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2040 Addison St, Berkeley, CA 94704  
510.549.2929 | elsarch.com

PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

CLIENT:  
CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

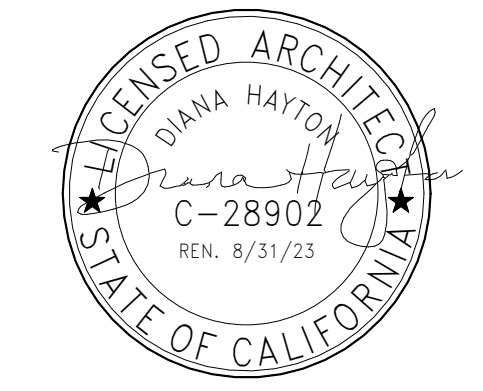
PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
ZONING SUBMITTAL

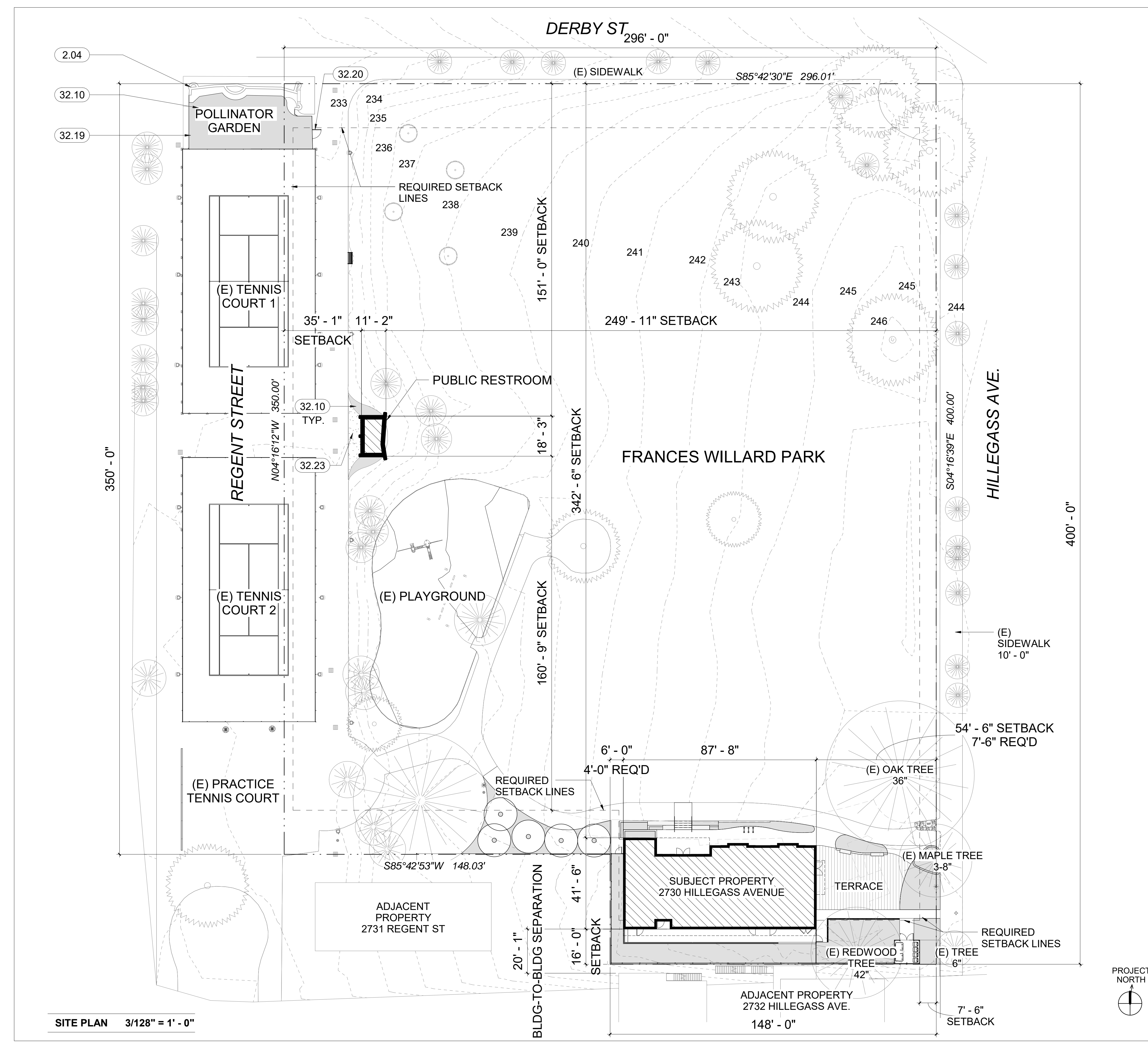
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09/30/2022

STAMP:



SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**Z2-A1**



SITE PLAN 3/128" = 1' - 0"



KEYNOTE LEGEND - ZONING

3.03	SANDBLASTED CONCRETE STEPS W/ INTEGRAL COLOR
5.06	STEEL GUARDRAIL, PAINTED
32.01	PREFINISHED METAL FRAME FENCE WITH WOOD INFILL
32.07	BICYCLE RACKS
32.08	CONCRETE PAVING TYPE 1, COLOR & FINISH TO MATCH (E) PARK PATH PAVING. 6" DEPTH W/ REBAR 16" O.C.
32.09	CONCRETE PAVING TYPE 2, W/ INTEGRAL COLOR & CUSTOM RAKED JOINTS. 4" DEPTH W/ REBAR 16" O.C.
32.10	PLANTING, S.L.D.
32.11	RECLAIMED WOOD BENCH O/ BOARD FORMED CONCRETE WALL
32.14	BOARD FORMED CONCRETE SEATWALL W/ RECLAIMED BENCH TOP
32.15	CONCRETE CURB ALONG EGRESS PATH
32.18	PROPOSED TREE, S.L.D.
32.21	PROVIDE EXTERIOR LIGHT FIXTURE OR LIGHT POLE, LOCATION TBD
32.22	CONCRETE PAD AT TRASH ENCLOSURE
32.23	PROVIDE PAVING
32.24	PERMEABLE PAVERS, S.L.D.
33.01	FIRE HYDRANT, S.C.D..

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
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REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

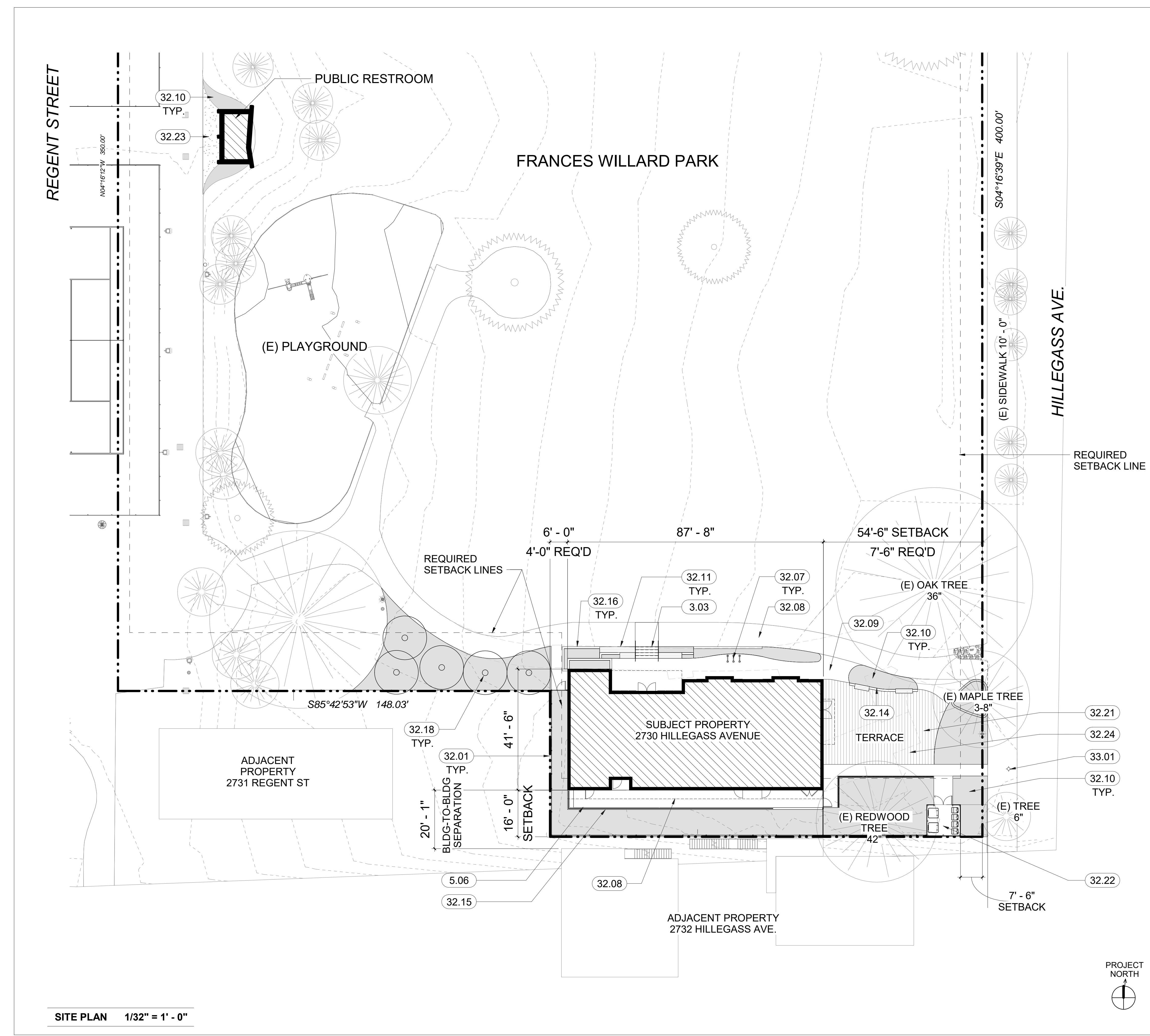
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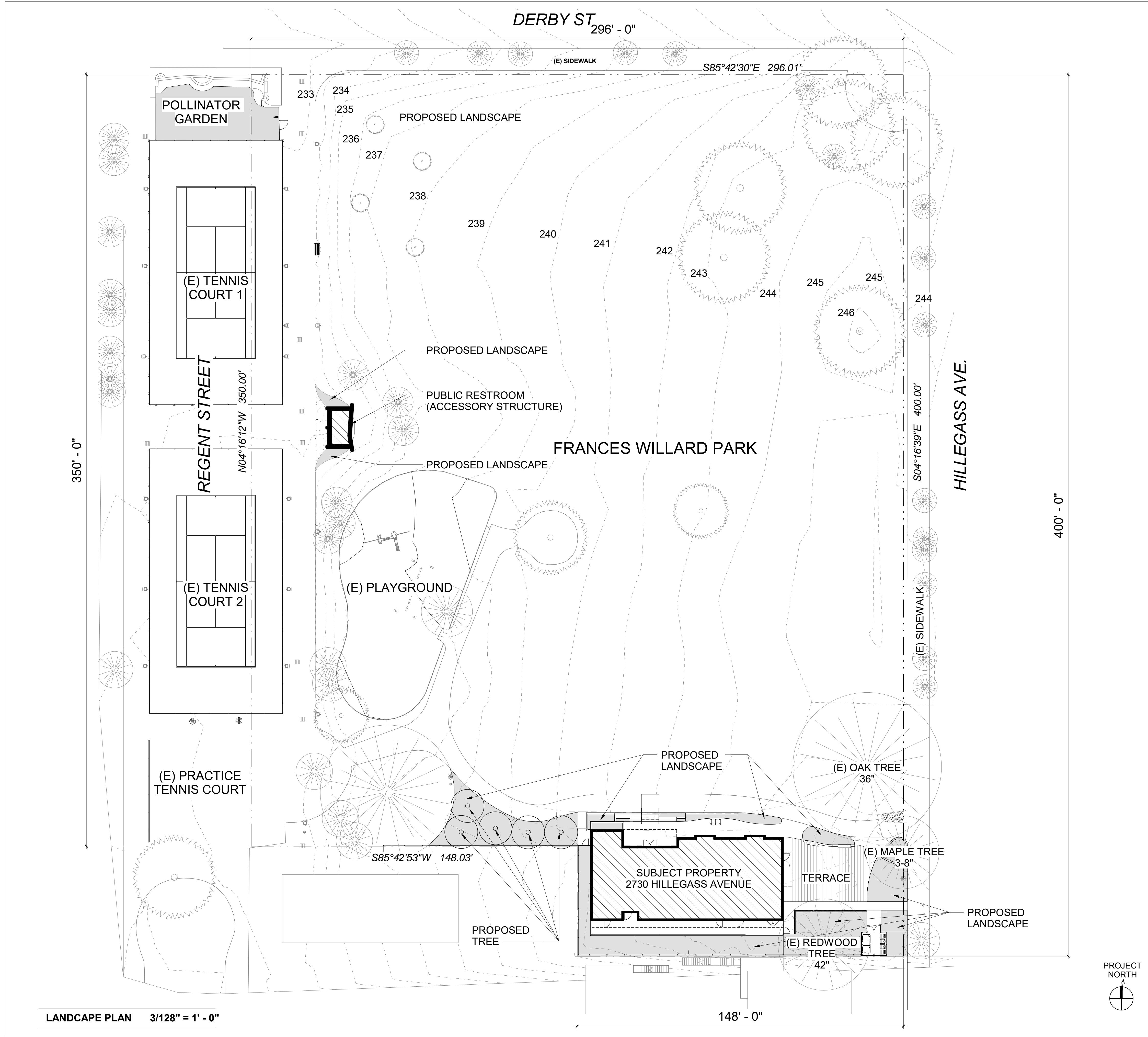


SHEET TITLE:  
**ENLARGED SITE PLAN**

SHEET NUMBER:  
**Z2-A2**



SITE PLAN 1/32" = 1' - 0"



LANDSCAPE PLAN 3/128" = 1' - 0"

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
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APN: 54-1711-27  
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201320.27

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CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

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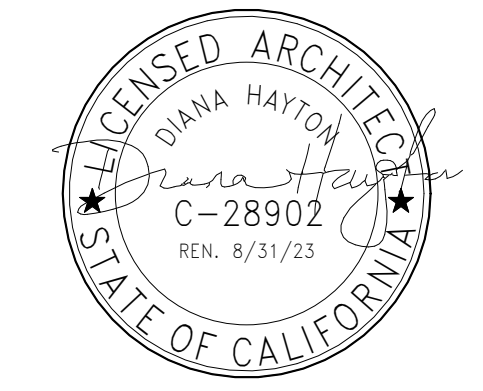
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- · · — PROPERTY LINE
- - - - - EXISTING TOPOGRAPHY LINE
- — — — — PROPOSED TOPOGRAPHY LINE
- — — — — EXISTING ITEM TO REMAIN AND BE PROTECTED
- — — — — PROPOSED ITEM
- ⊙ EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE
- PROPOSED LANDSCAPE

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**09/30/2022**

STAMP:



SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**Z2-B**

PAVING



**COMMUNITY CENTER PAVING**  
 - CONCRETE PAVING  
 - FINISH: TOPCAST 01 WITH CUSTOM RAKED JOINTS  
 - COLOR: SCOEFIELD CHROMIX INTEGRAL COLOR, COLOR TBD  
 - 4" DEPTH WITH REBAR 18" OCEW

FURNISHINGS



**STEPPING STUMPS**  
 - MFR: WWW.DUNCANANDGROVE.COM  
 - MODEL: TT.201  
 - QUANTITY: PER PLANS



**WOOD BENCH INSERT**  
 - MFR: WWW.EQUIPARC.COM  
 - MODEL: 1901 BENCH TOP WITHOUT BACKREST  
 - WOOD: FSC IPE  
 - FINISH: BRONZE  
 - QUANTITY: 4



**TRENCH DRAIN WITH GRATE**  
 - MFR: WWW.IRONAGEGRATES.COM  
 - MODE: LOCUST  
 - FINISH: ALUMINUM  
 - WIDTH: 4"  
 - NOTE RADIAL GRATE AT COMMUNITY ROOM COURTYARD  
 - CHANNEL: CIP CONCRETE, SLOPED TO DRAIN



**PICNIC TABLE**  
 -MFR: WWW.VESTRE.COM  
 -MODEL: 322 BERG, HOT DIPPED GALVANIZED AND POWDER COATED STEEL, COLOR: TBD  
 -WOOD: KEBONY  
 -QUANTITY: 2



**LOG BENCH**  
 - CREATED USING WOOD FROM FALLEN REDWOOD TREE FROM SITE

SMALL TREES AT COMMUNITY CENTER



CERCIS OCCIDENTALIS



CEANOTHUS 'RAY HARTMAN'



RHAMNUS CALIFORNICA



RIBES SANGUINEUM

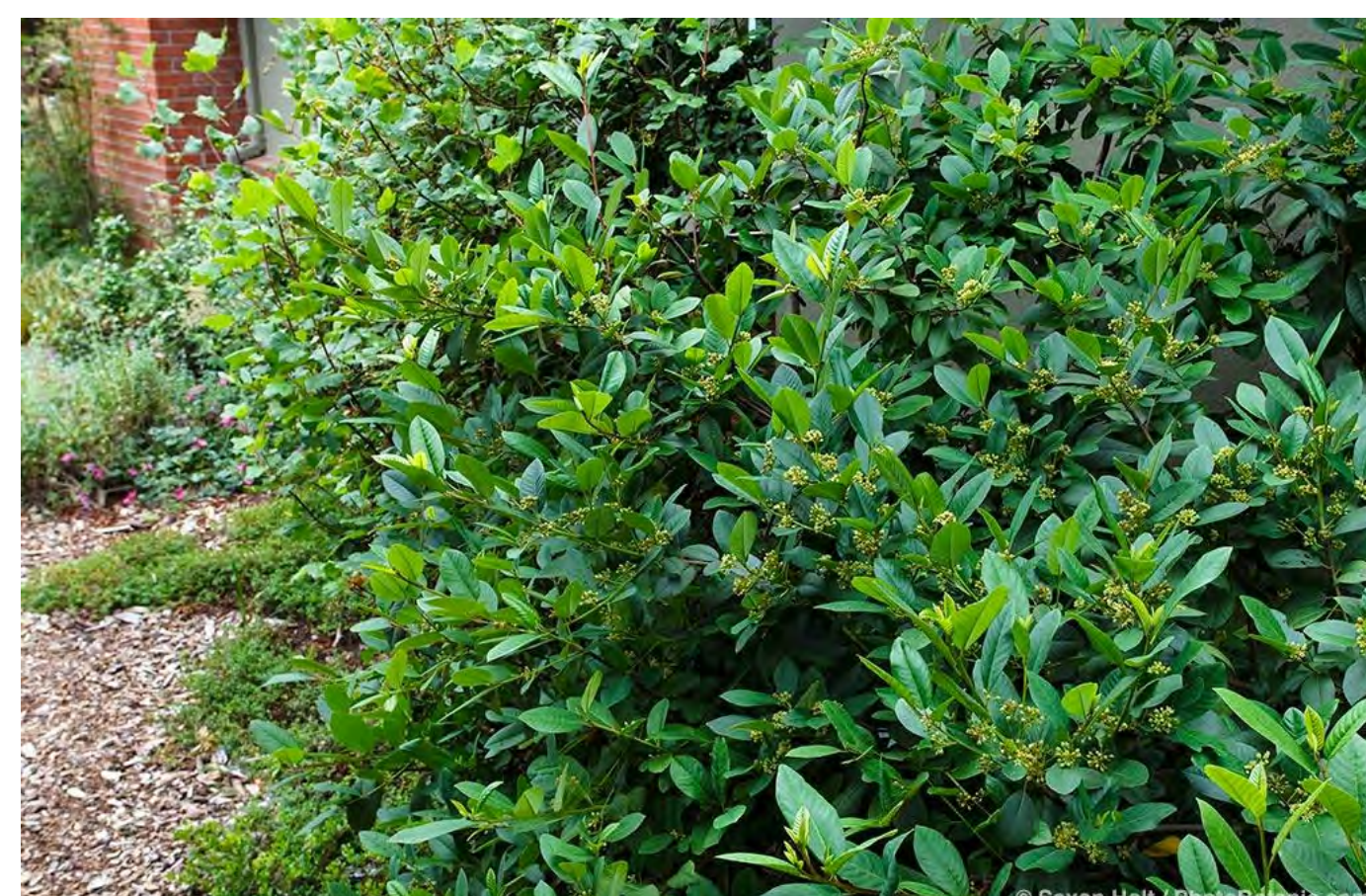


CEANOTHUS 'DARK STAR'



CEANOTHUS 'FROSTY BLUE'

COMMUNITY CENTER PLANTING



FRANGULA CALIFORNICA 'MOUND SAN BRUNO'



MAHONIA AQUIFOLIUM



POLYSTICHUM MUNITUM



HEUCHERA SPP.

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PROJECT:

**WILLARD PARK  
CLUBHOUSE**

CITY SPECIFICATION NUMBER:

201730.27

ELS PROJECT NUMBER:

CLIENT:

CITY OF BERKELEY, CA

PROJECT TEAM:

**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

**CIVIL ENGINEER:**  
BKF ENGINEERS  
1646 N. California Blvd, Suite 400  
Walnut Creek, CA 94596  
925.940.2200

**LANDSCAPE ARCHITECT:**  
PGAdesign LANDSCAPE ARCHITECTS  
444 17th Street  
Oakland, CA 94612  
510.465.1284

**STRUCTURAL ENGINEER:**  
IDA STRUCTURAL ENGINEERS, INC.  
1629 Telegraph Avenue, Suite 300  
Oakland, CA 94612  
510.834.1629

**MECHANICAL AND PLUMBING ENGINEER:**  
ALTER CONSULTING ENGINEERS  
1624 Franklin St. #1300  
Oakland, CA 94612  
510.474.0379

**ELECTRICAL ENGINEER:**  
RLA INC.  
5515 Doyle Street, #7  
Emeryville, CA 94608  
415.730.7994

**ACOUSTICAL ENGINEER:**  
SALTER ENGINEER  
130 Sutter Street, Floor 5  
San Francisco, CA 94104  
415.397.0442

REVISION

NUMBER	DATE	DESCRIPTION

ISSUE:

DATE:

STAMP:

**NOT FOR  
CONSTRUCTION**

SHEET TITLE:

**MATERIALS AND  
PLANTING  
IMAGERY**

SHEET NUMBER:

**L1.2**

POLLINATOR GARDEN PLANTING



EPILOBIUM CANUM 'BOWMAN'S HYBRID'



ASCLEPIAS FASCICULARIS



ZAUSCHNERIA SEPTENTRIONALIS 'WAYNE'S SILVER'



SALVIA X JAMENSIS 'NACHTVLINDER'



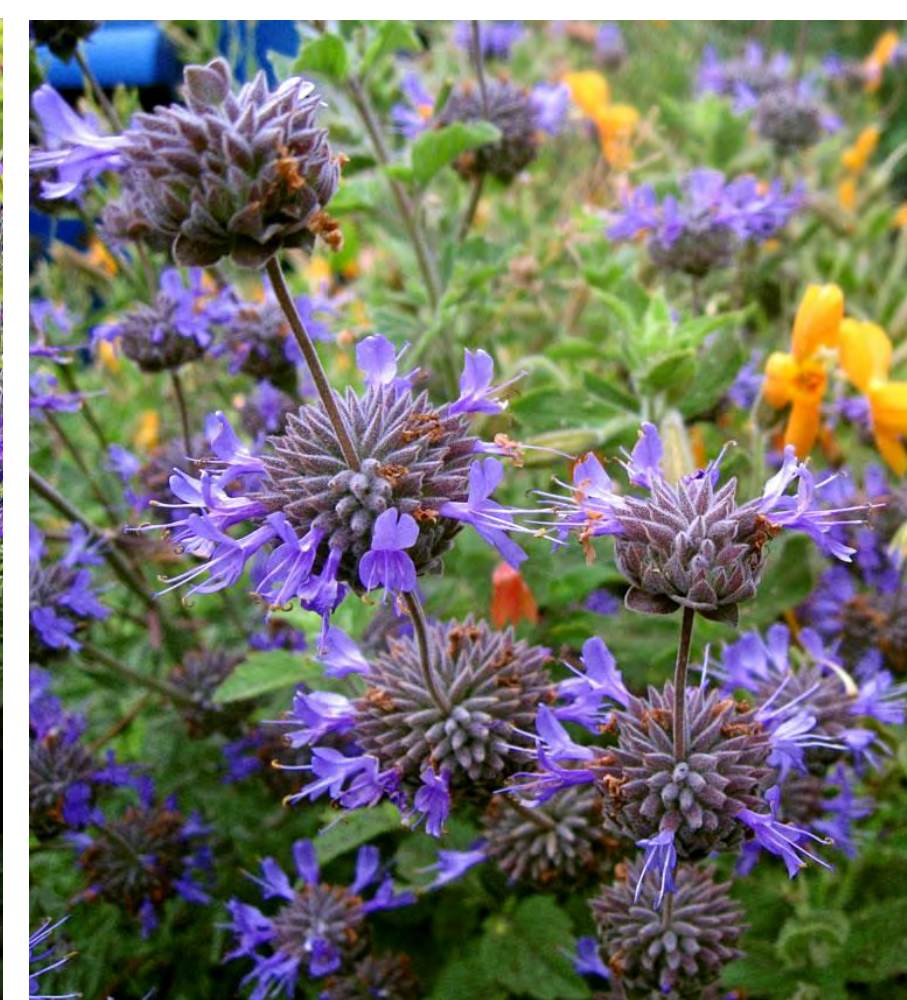
SALVIA GREGGII 'MIRAGE SOFT PINK'



SALVIA SPATHACEA



SALVIA 'ELK BLUE NOTE'



SALVIA CLEVELANDII 'WINIFRED GILMAN'



CEANOTHUS GLORIOSUS VAR. GLORIOSUS 'ANCHOR BAY'



ARCTOSTAPHYLOS 'HOWARD MCMINN'



STIPA (NASSELLA) CERNUA



BOUTELOUA GRACILIS 'BLONDE AMBITION'



MUHLENBERGIA DUBIA



TEUCRIUM FRUTICANS 'AZUREUM'



LEONOTIS LEONURUS

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PROJECT:

**WILLARD PARK  
CLUBHOUSE**

CITY SPECIFICATION NUMBER:  
**201730.27**

ELS PROJECT NUMBER:

CLIENT:  
**CITY OF BERKELEY, CA**

PROJECT TEAM:

**ARCHITECT:**  
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2040 Addison Street  
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510.474.0379

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RLIA INC.  
5515 Doyle Street, #7  
Emeryville, CA 94608  
415.730.7994

**ACOUSTICAL ENGINEER:**  
SALTER ENGINEER  
130 Sutter Street, Floor 5  
San Francisco, CA 94104  
415.397.0442

REVISION

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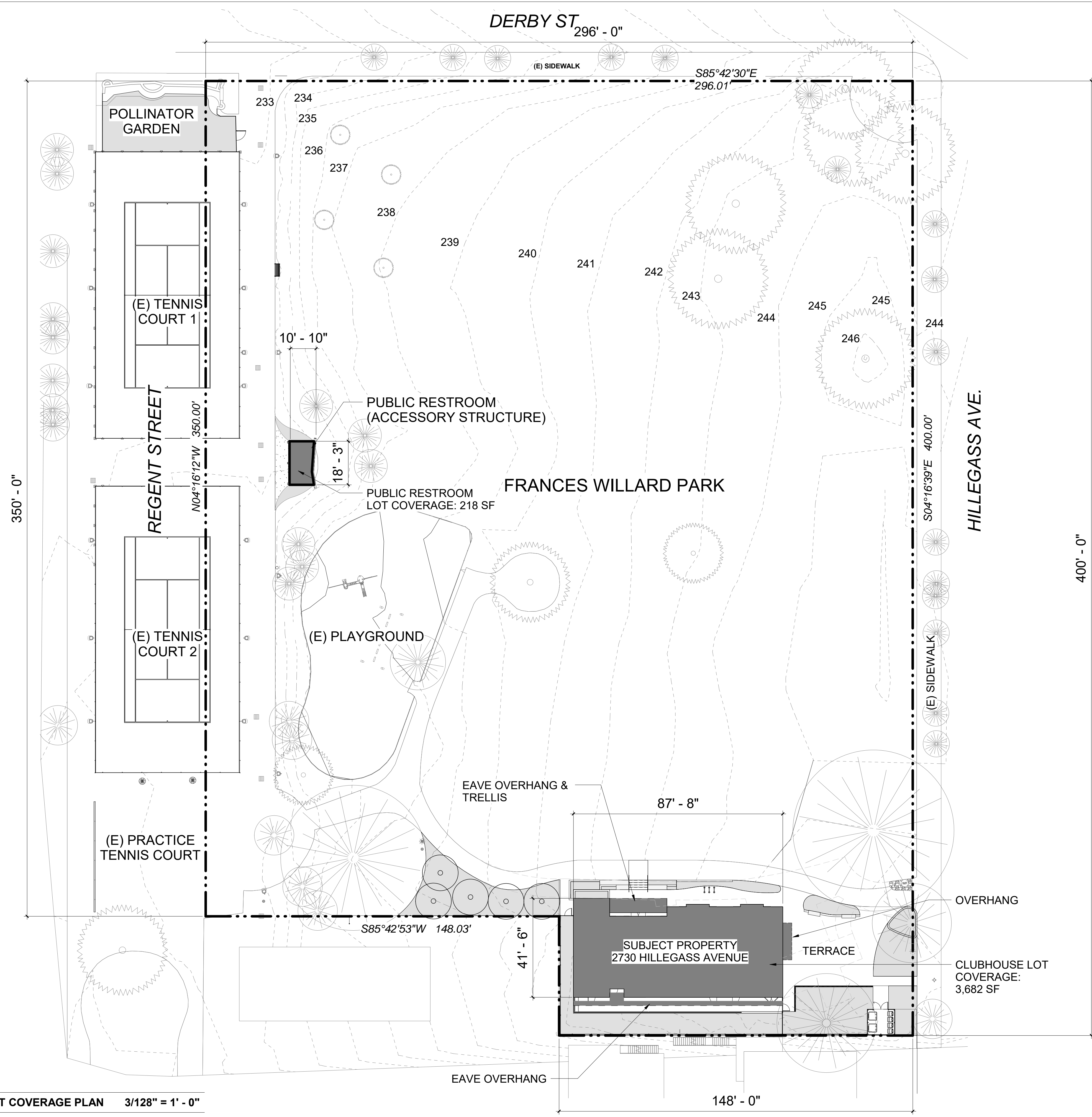
**NOT FOR  
CONSTRUCTION**

SHEET TITLE:  
**MATERIALS AND  
PLANTING  
IMAGERY**

SHEET NUMBER:

**L1.3**





LOT COVERAGE PLAN 3/128" = 1' - 0"

**LOT COVERAGE:**

CLUBHOUSE:	3,682 SF
PUBLIC RESTROOM:	218 SF
<b>TOTAL:</b>	<b>3,900 SF</b>

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510.549.2929 | elsarch.com

**PROJECT:**  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

**PROJECT INFO:**  
**ZONING: R2**  
**APN: 54-1711-27**  
**CONSTRUCTION: V-B**  
**OCCUPANCY: A-3, B, S-2**

**ELS PROJECT NUMBER:**  
201320.27

**CLIENT:**  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

**PROJECT TEAM:**  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
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REVISION		
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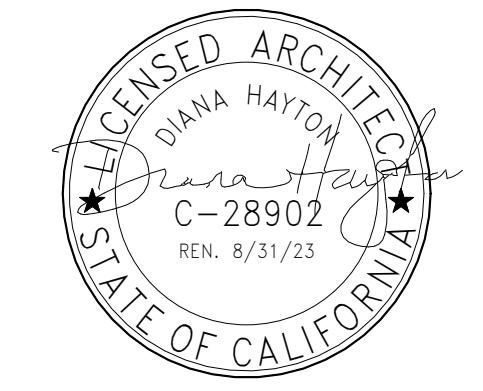
**LEGEND**

- PROPERTY LINE
- EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REMAIN AND BE PROTECTED
- PROPOSED ITEM
- EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE
- AREA COUNTING AS LOT COVERAGE - UP TO 18" OF EAVE OVERHANG IS EXCLUDED FROM LOT COVERAGE

**ISSUE:**  
**ZONING SUBMITTAL**

**DATE:**  
09/30/2022

**STAMP:**



**SHEET TITLE:**  
**LOT COVERAGE**

**SHEET NUMBER:**  
**Z2-C**



KEYNOTE LEGEND - ZONING

6.05	QUARTZ COUNTERTOP
10.01	FOLDING PANEL PARTITION, MOTORIZED
22.01	DUAL HEIGHT DRINKING FOUNTAIN WITH BOTTLE FILLER, S.P.D.

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

CLIENT:  
CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

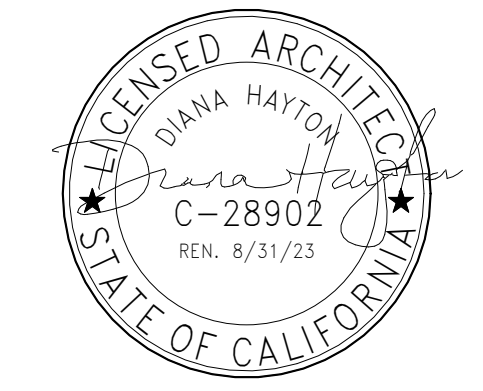
PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
ZONING SUBMITTAL

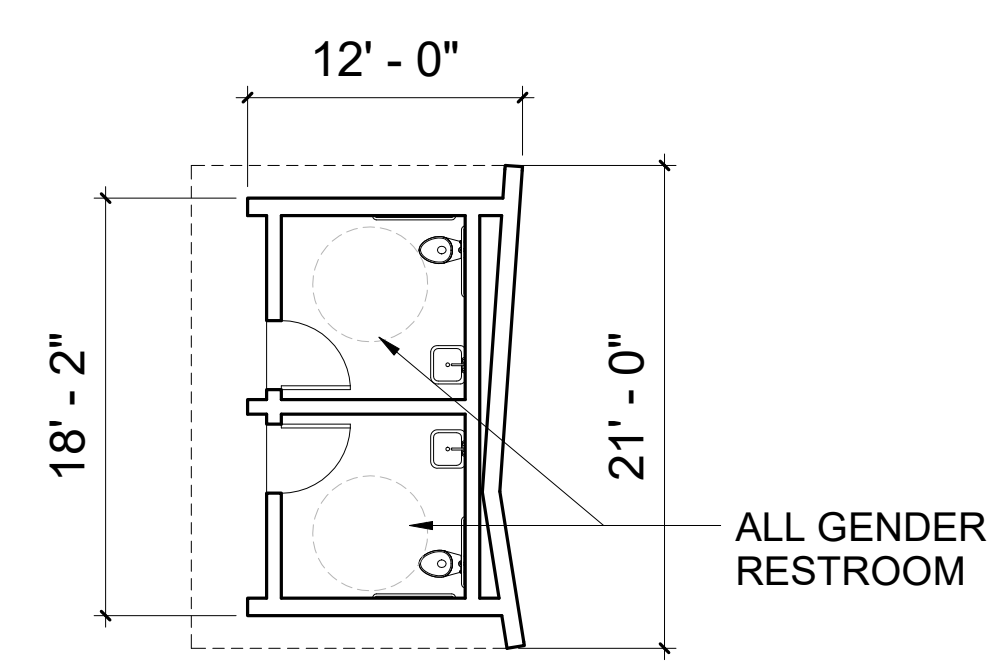
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09/30/2022

STAMP:

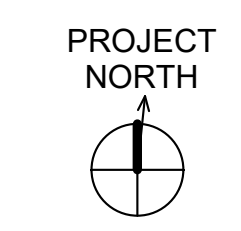


SHEET TITLE:  
**FLOOR PLANS**

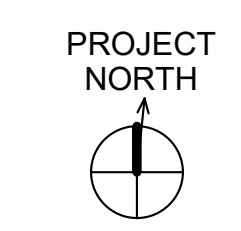
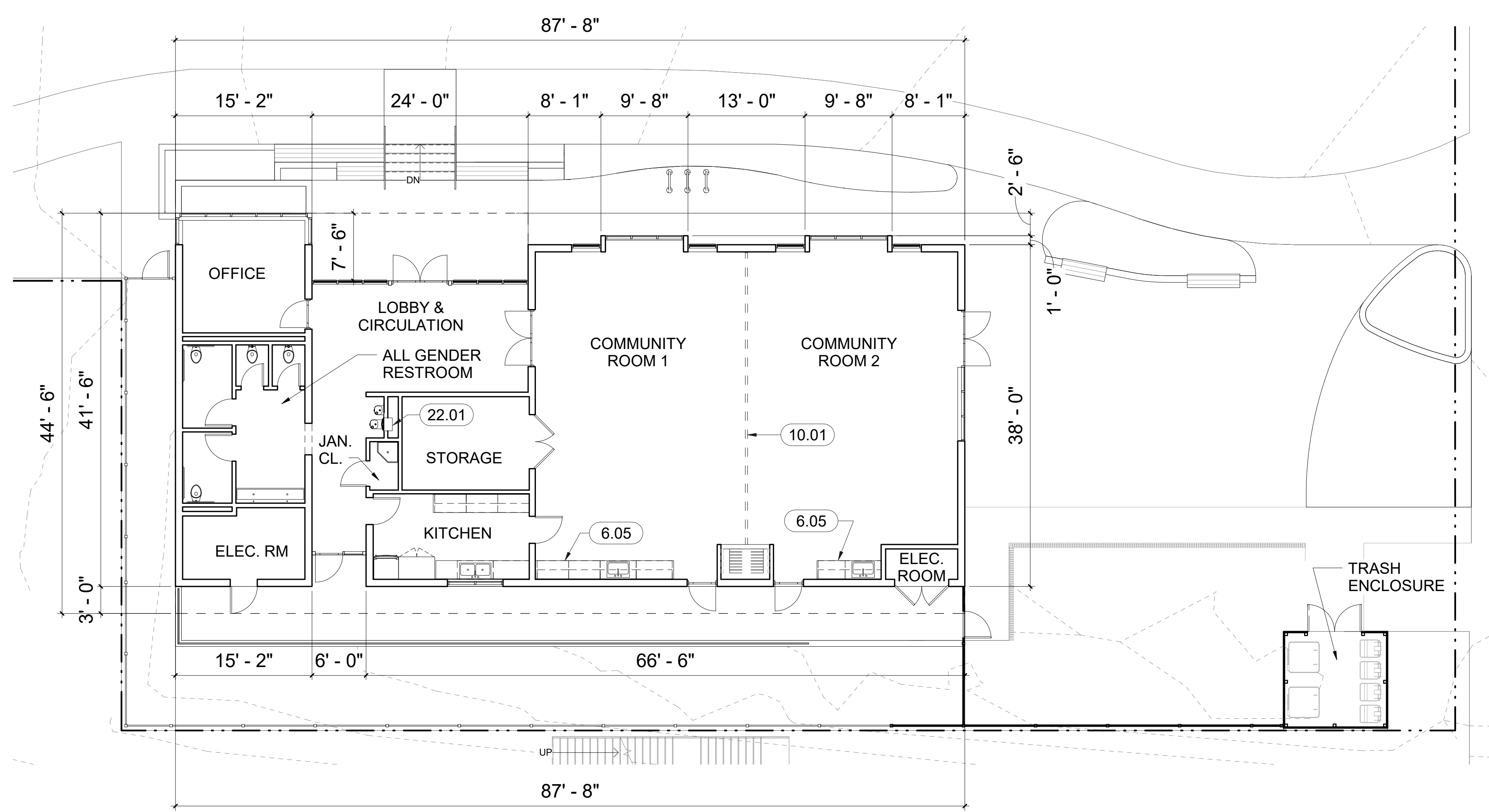
SHEET NUMBER:  
**Z2-D**



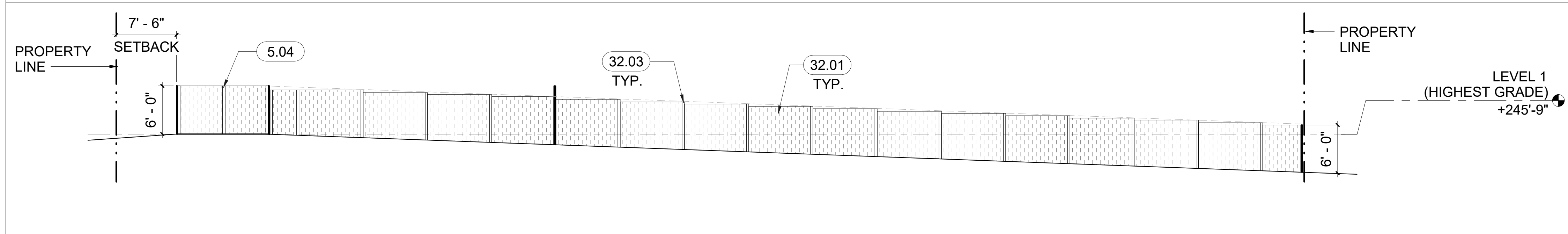
ALL GENDER RESTROOM



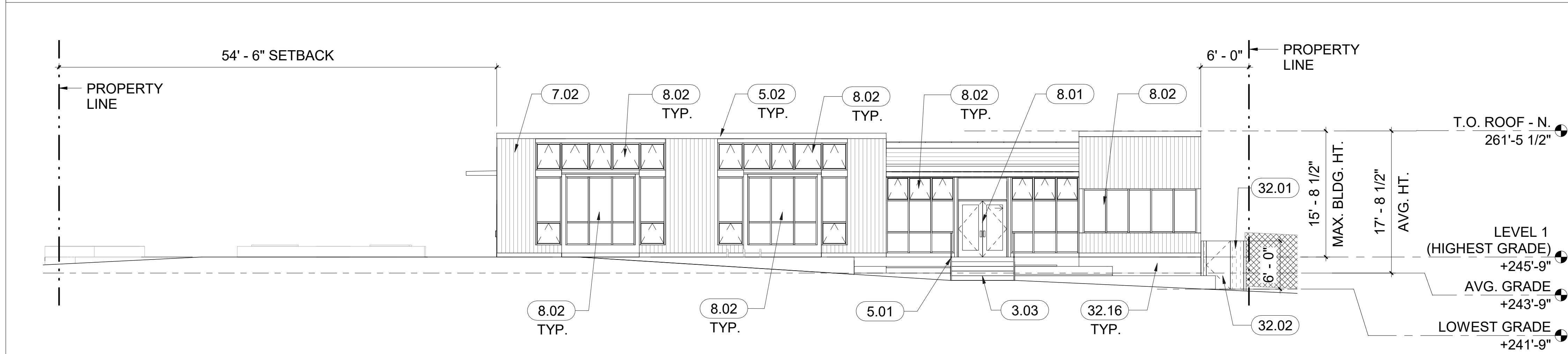
PUBLIC RESTROOM FLOOR PLAN 1/16" = 1' - 0"



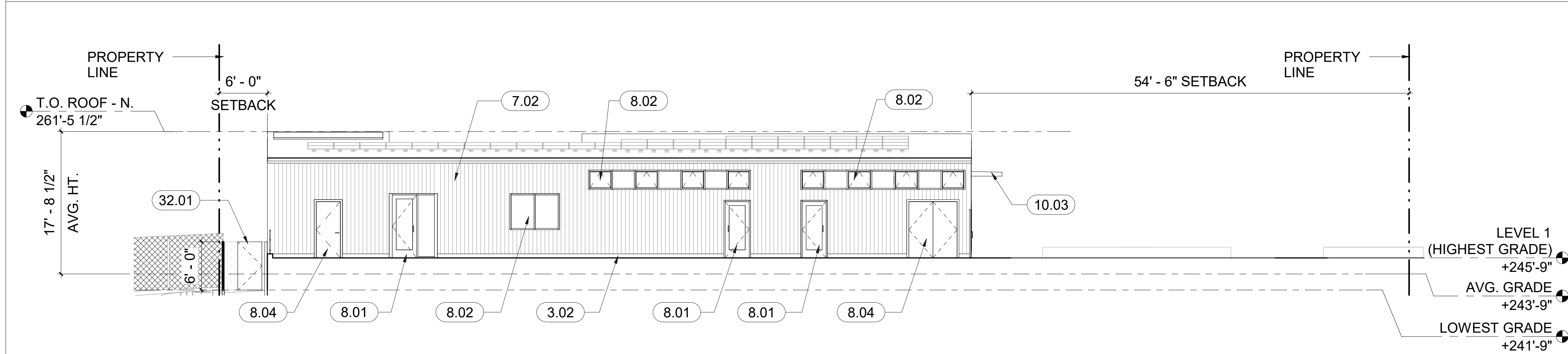
CLUBHOUSE FLOOR PLAN 1/16" = 1' - 0"



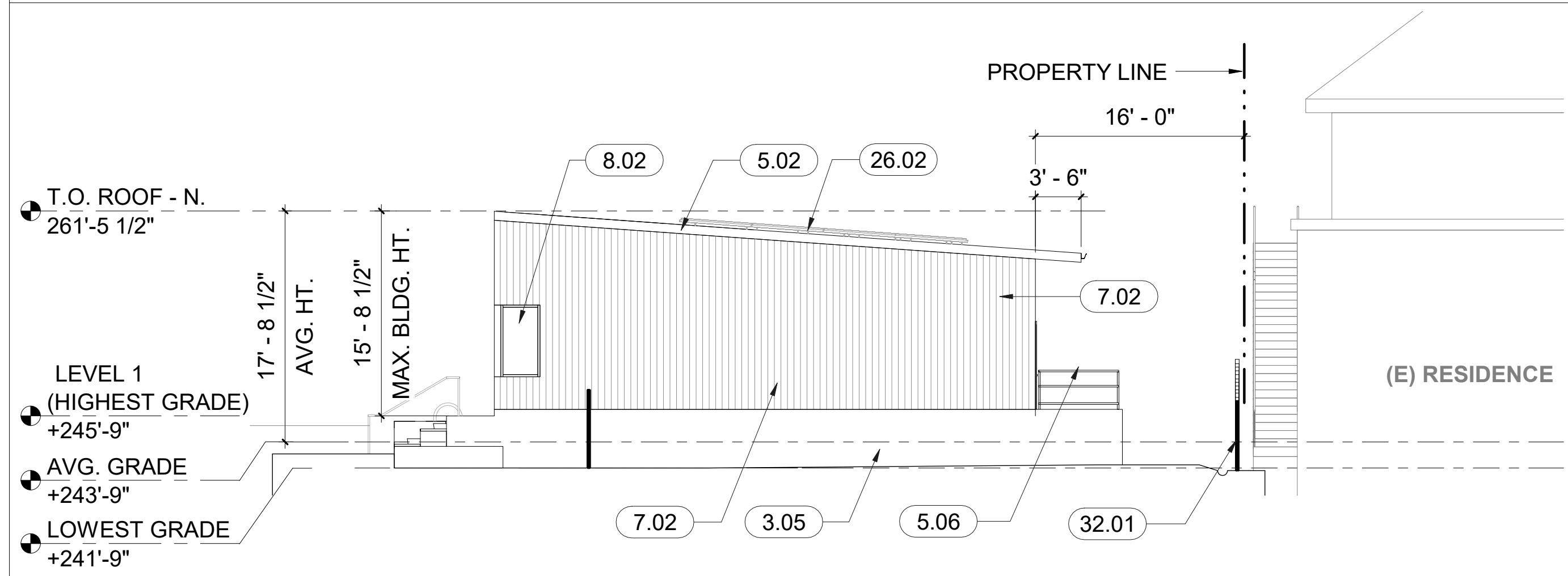
FENCE - NORTH ELEVATION 1/16" = 1' - 0"



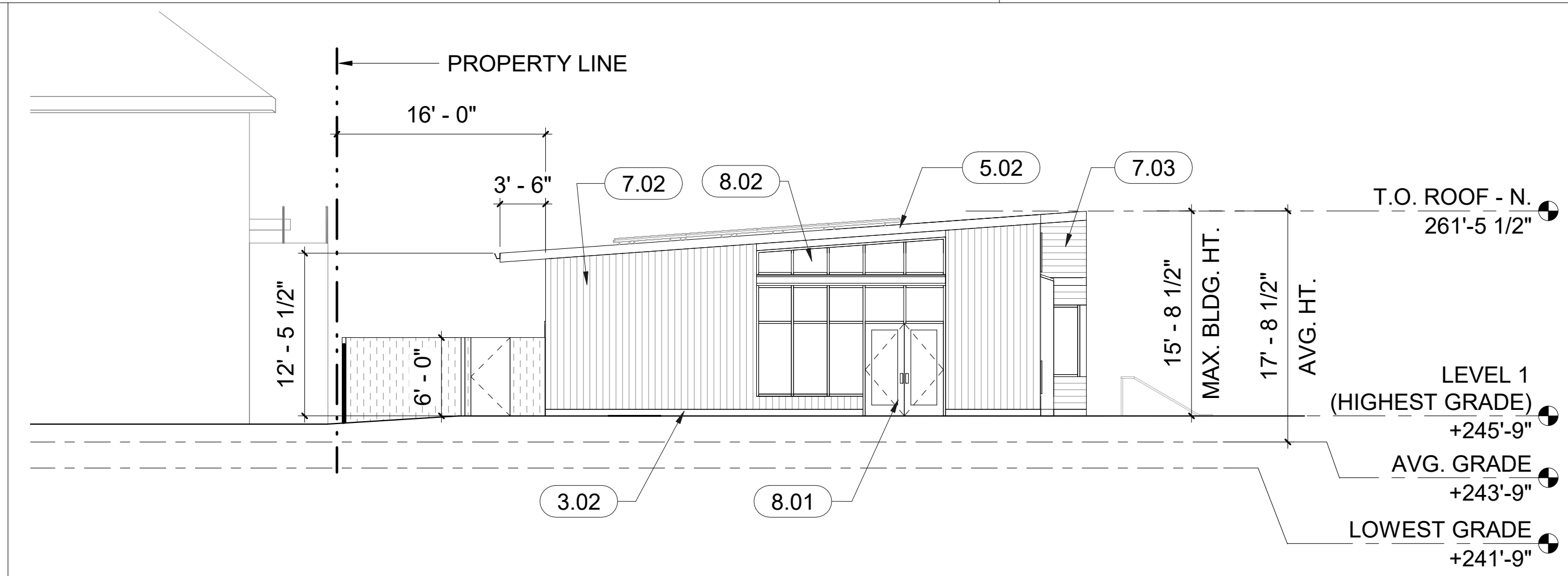
NORTH ELEVATION 1/16" = 1' - 0"



SOUTH ELEVATION 1/16" = 1' - 0"



WEST ELEVATION 1/16" = 1' - 0"



EAST ELEVATION 1/16" = 1' - 0"

KEYNOTE LEGEND - ZONING

3.02	CONCRETE CURB, S.S.D.
3.03	SANDBLASTED CONCRETE STEPS W/ INTEGRAL COLOR
3.05	BOARD-FORMED CONCRETE W/ INTEGRAL COLOR
5.01	ORNAMENTAL GALV. METAL HANDRAIL, PAINTED
5.02	METAL COPING, PAINTED
5.04	PRE-PRIMED STEEL POSTS WITH TNEPEC PAINT
5.06	STEEL GUARDRAIL, PAINTED
7.02	VERTICAL WOOD SIDING, T&G, 1X6, SOLID STAINED; OVER WEATHER BARRIER, 1/2" PLYWOOD SHEATHING, 8" WOOD STUDS WITH BATT INSULATION, AND GYPSUM SHEATHING INTERIOR FINISH
7.03	HORIZONTAL WOOD SHIPLAP SIDING, 1X6, PAINTED; OVER WEATHER BARRIER, 1/2" PLYWOOD SHEATHING, 8" WOOD STUDS WITH BATT INSULATION, AND GYPSUM SHEATHING INTERIOR FINISH
8.01	EXTERIOR WOOD DOORS, STAINED, WITH GLASS PANELS
8.02	ALUMINUM FRAMED FIXED, CASEMENT, AWNING AND COMBINATION GLASS WINDOWS WITH INTEGRAL INSULATED GLASS UNITS. BASIS OF DESIGN - SERIES 5000 WINDOWS BY ALL WEATHER ARCHITECTURAL ALUMINUM. WHERE SHOWN ABOVE 7 FEET, OPERABLE WINDOWS TO BE MOTORIZED AND CONNECTED TO BUILDING MANAGEMENT SYSTEM.
8.04	HOLLOW METAL DOOR, PAINTED
10.03	EXTERIOR ENTRY CANOPY W/ WOOD SOFFIT
26.02	PHOTOVOLTAIC SYSTEM, S.E.D.
32.01	PREFINISHED METAL FRAME FENCE WITH WOOD INFILL
32.02	PREFINISHED METAL FRAME GATE WITH WOOD INFILL
32.03	STAINED WOOD FENCE POSTS
32.16	BOARD FORMED CONCRETE PLANTER WALL W/ INTEGRAL COLOR

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PROJECT:  
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2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

CLIENT:  
CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
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Berkeley, CA 94704  
P: 510.549.2929

REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
ZONING SUBMITTAL

DATE:  
09/30/2022

STAMP:

SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E1**

KEYNOTE LEGEND - ZONING

3.02	CONCRETE CURB, S.S.D.
4.01	CONCRETE MASONRY UNIT, GROUND FACE, PAINTED
5.03	BRAKE METAL FASCIA, PAINTED
6.07	DOUGLAS FIR, T&G, 1X, CLEAR COAT FINISH
7.07	VERTICAL WOOD SIDING, T&G, 1X6, SOLID STAINED; OVER WEATHER BARRIER, 1/2" PLYWOOD SHEATHING ON 8" CMU
7.08	HORIZONTAL WOOD SHIPLAP SIDING, 1X6, PAINTED; OVER WEATHER BARRIER, 1/2" PLYWOOD SHEATHING ON 8" CMU
8.02	ALUMINUM FRAMED FIXED, CASEMENT, AWNING AND COMBINATION WINDOWS WITH INTEGRAL INSULATED GLASS UNITS. BASIS OF DESIGN - SERIES 5000 WINDOWS BY ALL WEATHER ARCHITECTURAL ALUMINUM. WHERE SHOWN ABOVE 7 FEET, OPERABLE WINDOWS TO BE MOTORIZED AND CONNECTED TO BUILDING MANAGEMENT SYSTEM.
8.04	HOLLOW METAL DOOR, PAINTED

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**ZONING: R2**  
**APN: 54-1711-27**  
**CONSTRUCTION: V-B**  
**OCCUPANCY: A-3, B, S-2**

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

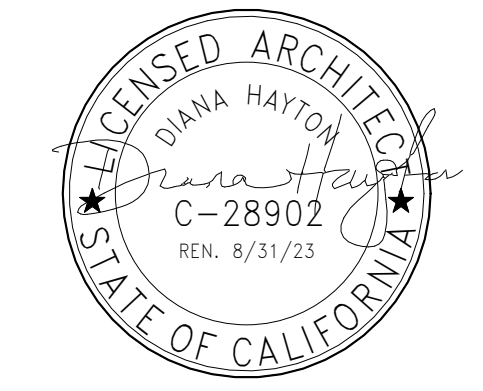
PROJECT TEAM:  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
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Berkeley, CA 94704  
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REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

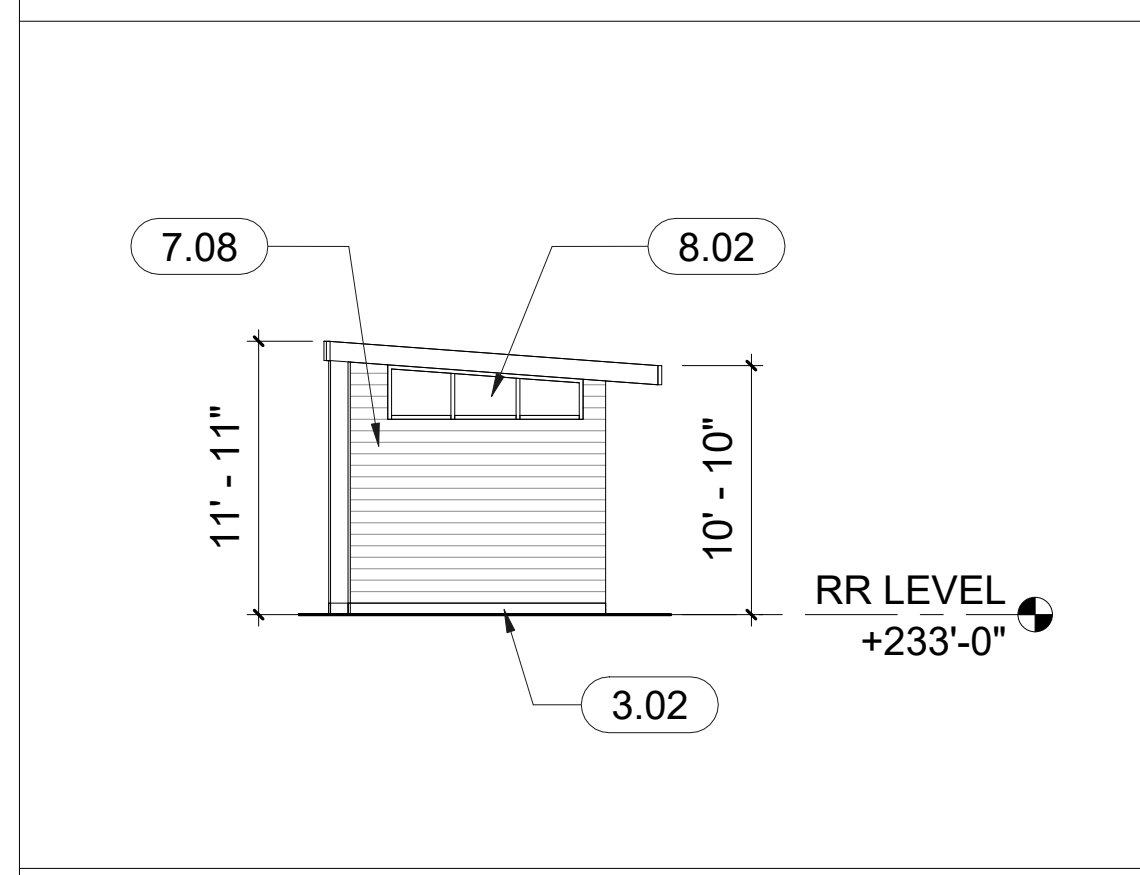
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**09/30/2022**

STAMP:

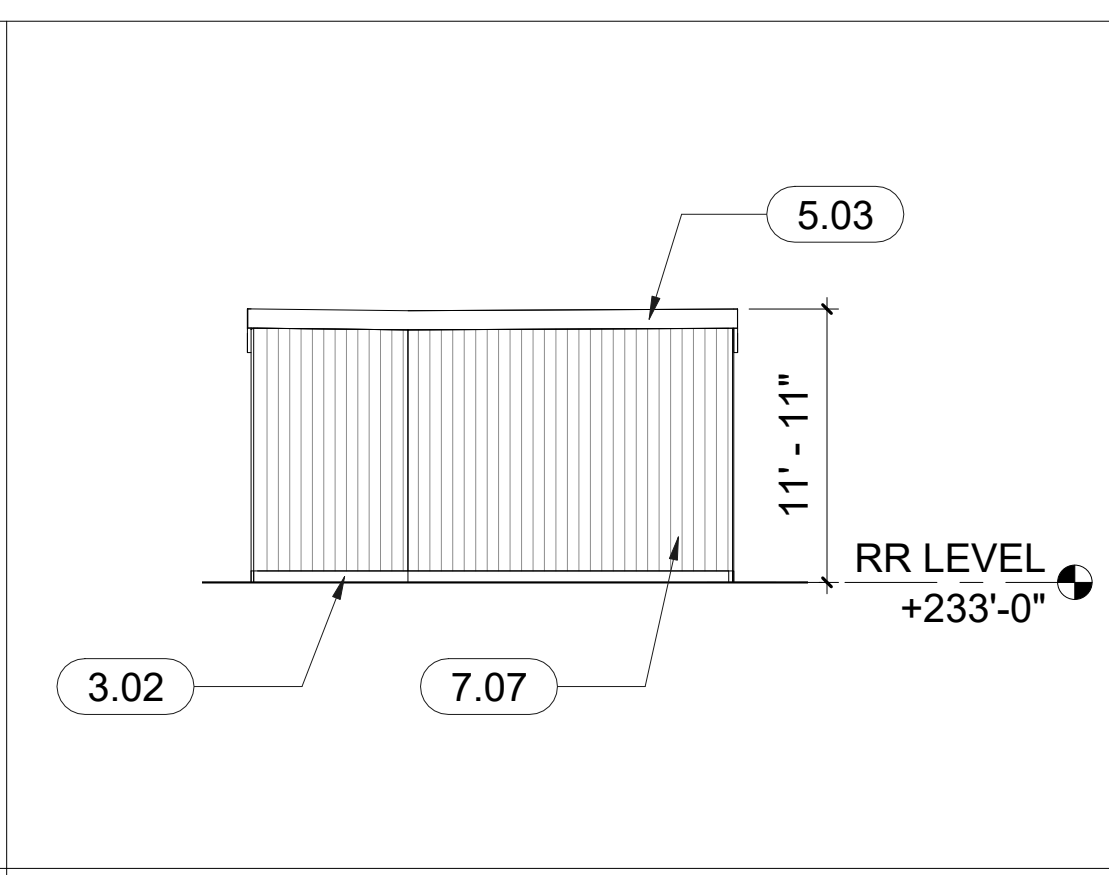


SHEET TITLE:  
**BUILDING ELEVATIONS**

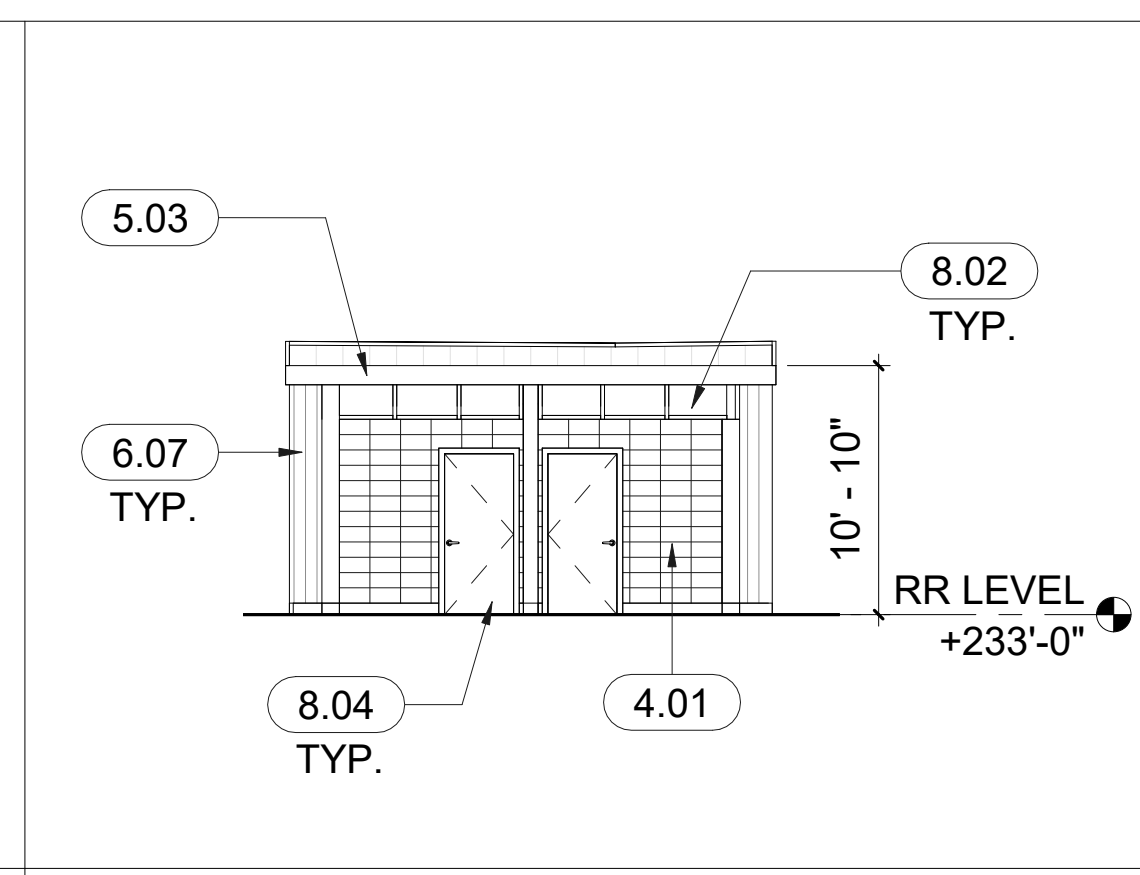
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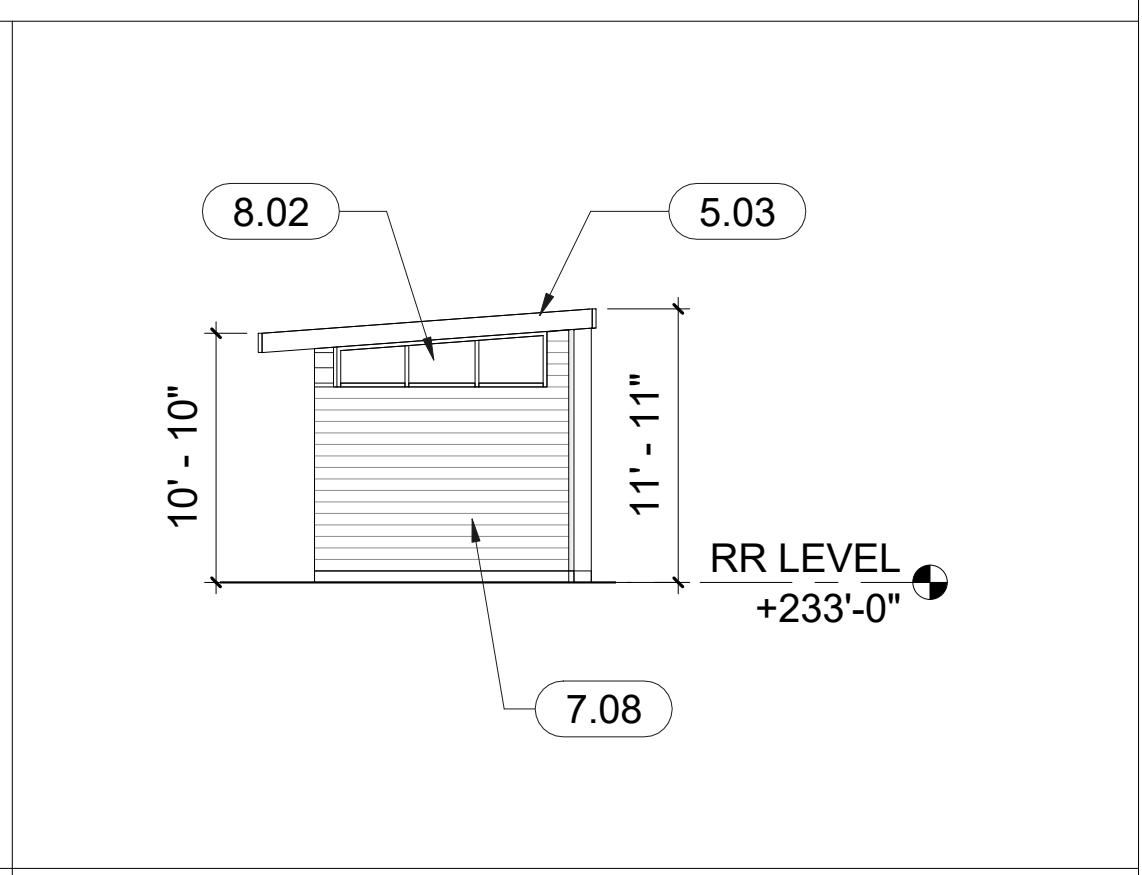
PUBLIC RESTROOM - NORTH ELEVATION 1/16" = 1' - 0"



PUBLIC RESTROOM - EAST ELEVATION 1/16" = 1' - 0"



PUBLIC RESTROOM - WEST ELEVATION 1/16" = 1' - 0"



PUBLIC RESTROOM - SOUTH ELEVATION 1/16" = 1' - 0"



2734 HILLEGASS AVE

2732 HILLEGASS AVE

EXISTING CLUBHOUSE

WILLARD PARK

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APN: 54-1711-27  
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OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

CLIENT:  
CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

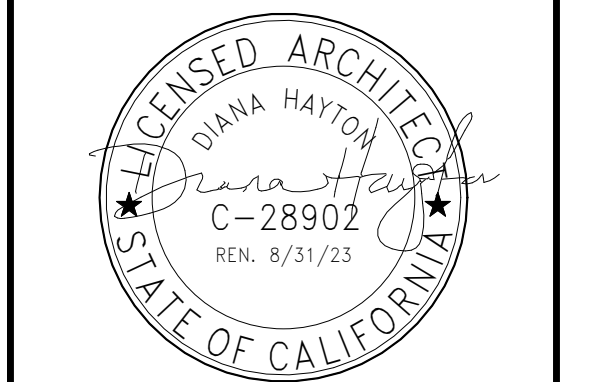
PROJECT TEAM:  
ARCHITECT:  
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REVISION		
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ISSUE:  
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DATE:  
09/30/2022

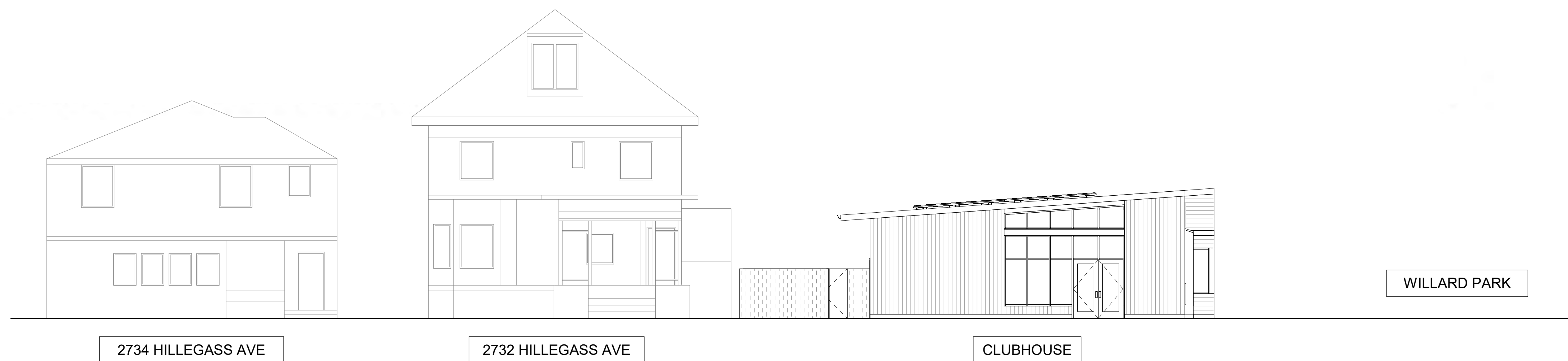
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SHEET TITLE:  
**STREET STRIP ELEVATION**

SHEET NUMBER:  
**Z2-F1**

EXISTING CONDITION: STREET STRIP ELEVATION - EAST



2734 HILLEGASS AVE

2732 HILLEGASS AVE

CLUBHOUSE

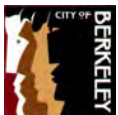
WILLARD PARK

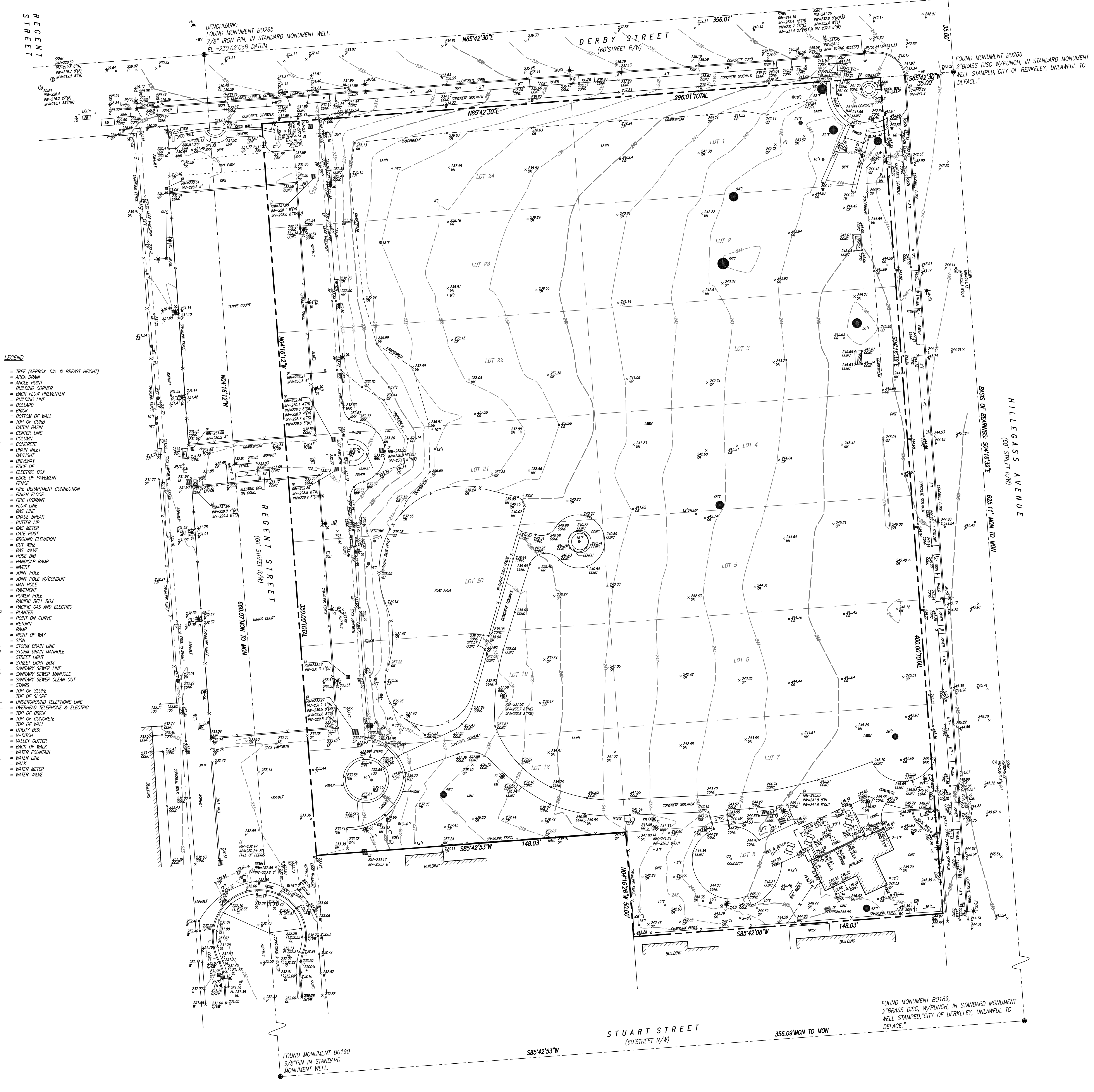
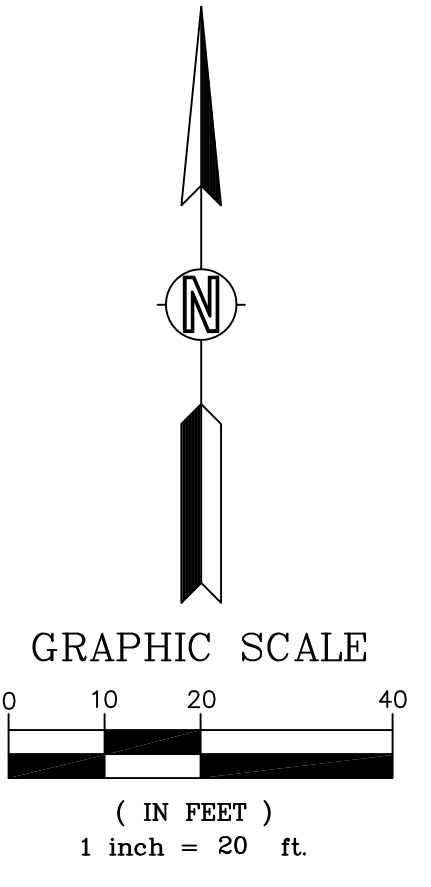
PROPOSED DESIGN: STREET STRIP ELEVATION - EAST 1/16" = 1' - 0"

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

Section 2:

H. Boundary and Topographic Survey





- LEGEND**
- T = TREE (APPROX. DIA. @ BREAST HEIGHT)
  - AD = AREA DRAIN
  - AF = ANGLE POINT
  - BC = BUILDING CORNER
  - BFP = BACKFLOW PREVENTER
  - BL = BUILDING LINE
  - BOX = BOLLARD
  - BRK = BRICK
  - BW = BOTTOM OF WALL
  - CP = TOP OF CURB
  - CB = CATCH BASIN
  - CL = CENTER LINE
  - COL = COLUMN
  - CONC = CONCRETE
  - DI = DRAIN INLET
  - DL = DAYLIGHT
  - DM = DRIVEWAY
  - ED = EDGE OF
  - EB = ELECTRIC BOX
  - EP = EDGE OF PAVEMENT
  - F = FENCE
  - FDC = FIRE DEPARTMENT CONNECTION
  - FF = FINISH FLOOR
  - FL = FLOOR LINE
  - GL = GAS LINE
  - GB = GRADE BREAK
  - GL = GUTTER LIP
  - GM = GAS METER
  - GP = GAS POST
  - OP = OROUND ELEVATION
  - GW = GUY WIRE
  - GV = GAS VALVE
  - HB = HOSE BIB
  - HR = HANDICAP RAMP
  - INV = INVERT
  - JP = JOINT POLE W/CONDUIT
  - MH = MAN HOLE
  - P = PAVEMENT
  - PP = POWER POLE
  - PBB = PACIFIC BELL BOX
  - PGC = PACIFIC GAS AND ELECTRIC
  - PLWTR = PLASTER
  - PSC = POINT ON CURVE
  - RET = RETURN
  - RMP = RAMP
  - R/W = RIGHT OF WAY
  - S = SIGN
  - SD = STORM DRAIN LINE
  - SDMH = STORM DRAIN MANHOLE
  - SL = STREET LIGHT
  - SLB = STREET LIGHT BOX
  - SSL = SANITARY SEWER LINE
  - SSMH = SANITARY SEWER MANHOLE
  - SSCO = SANITARY SEWER CLEAN OUT
  - STR = STAIRS
  - T = TOP OF SLOPE
  - TEL = UNDERGROUND TELEPHONE LINE
  - TEL = OVERHEAD TELEPHONE & ELECTRIC
  - TOB = TOP OF BRICK
  - TOC = TOP OF CONCRETE
  - TM = TOP OF WALL
  - UB = UTILITY BOX
  - VD = VALVE
  - VG = VALVE/GUTTER
  - W = WALK
  - WF = WATER FOUNDATION
  - WL = WATER LINE
  - WLF = WALK
  - WM = WATER METER
  - WV = WATER VALVE

- GENERAL NOTES**
1. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND MARKINGS PROVIDED. GREATEST UTILITY LOCATORS. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
  2. CONTRACTORS AND OTHERS PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES.
  3. CONTOUR INTERVAL = 1'
  4. BASIS OF BEARINGS: THE ASSUMED BEARING S04°16'39"E BETWEEN TWO FOUND CITY OF BERKELEY MONUMENTS ON HILLCASS AVENUE.
  5. BENCHMARK: MONUMENT B0265, FOUND 7/8" IRON PIN IN MONUMENT WELL. ELEVATION = 230.02' Cgd.



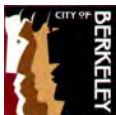
*Patrick M. Rei*  
 PATRICK M. REI  
 L.S. # 8178  
 DATE 12/9/19

REFERENCES FIELD BOOK NO. FILE MAP TITLE COG. POLICY NO. DATUM, C.O.B. WSC. REF.	KISTER, SAVIO & REI, INC. LAND SURVEYORS - CIVIL ENGINEERS 825 SAN PABLO AVE PINOLE, CALIFORNIA 94564 PHONE: (510) 222-4020 FAX: (510) 222-3718 E-MAIL: info@ksrinc.net
REVISIONS 09/30/2022 REMOVED 36" TREE, PER EMAIL FROM CITY OF BERKELEY, SEPTEMBER 28, 2022.	BERKELEY, CALIFORNIA FOR: CITY OF BERKELEY SCALE: 1" = 20' DATE: 12/09/19
JOB NO. 19653-19-07 DWG NO. 0-1431 TOPO	

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

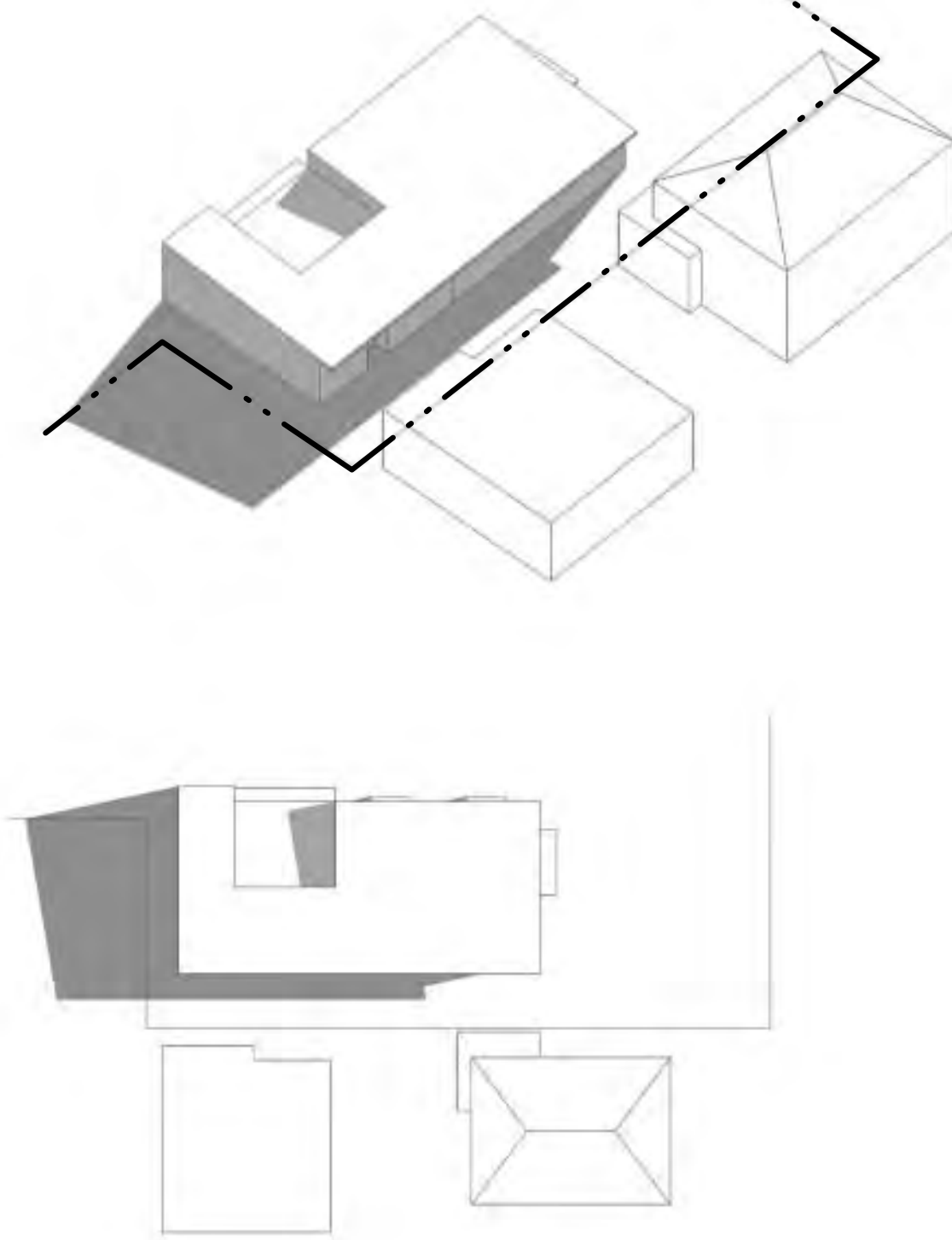
Section 3:

B. Shadow Study

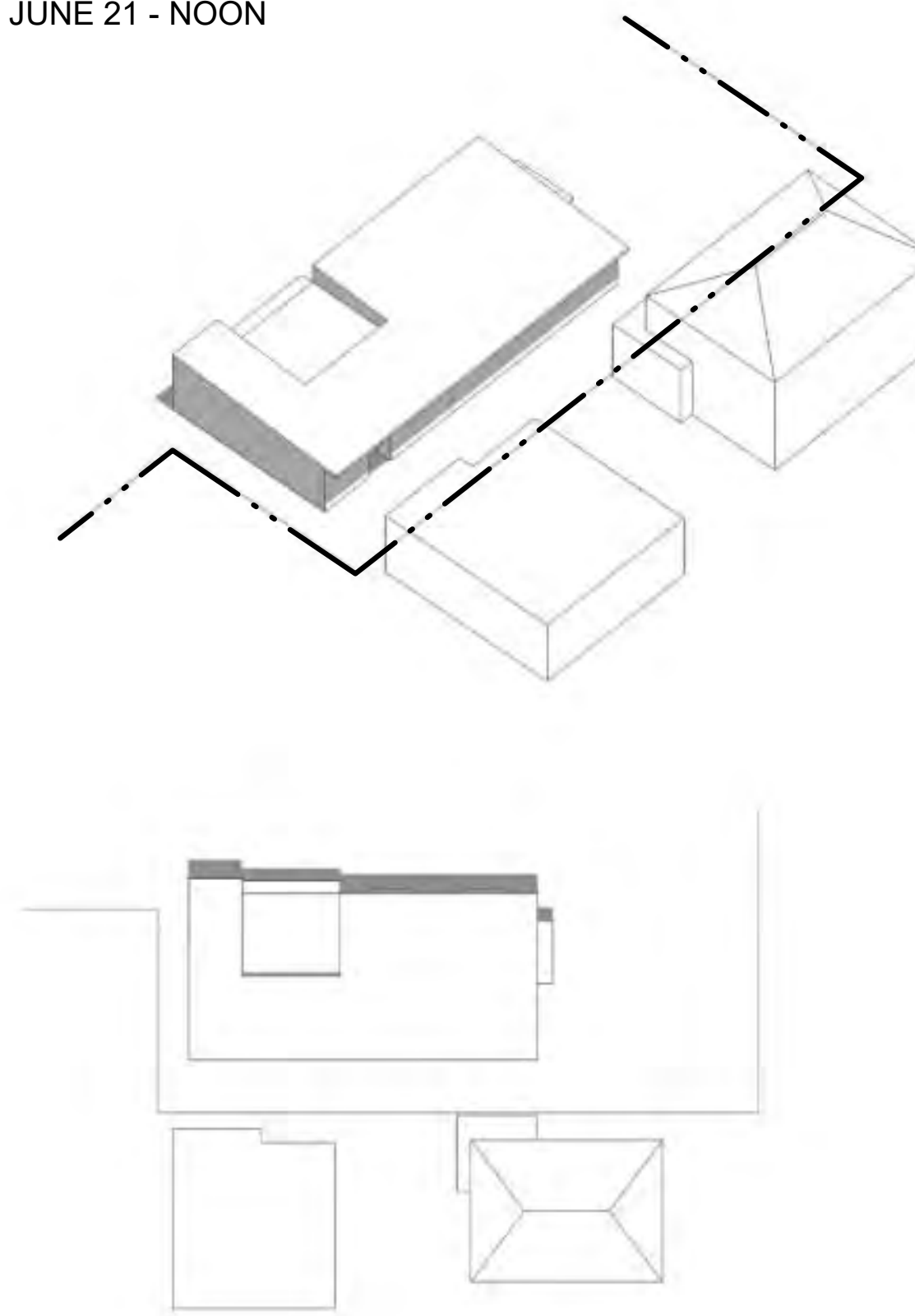




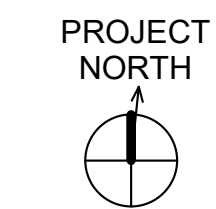
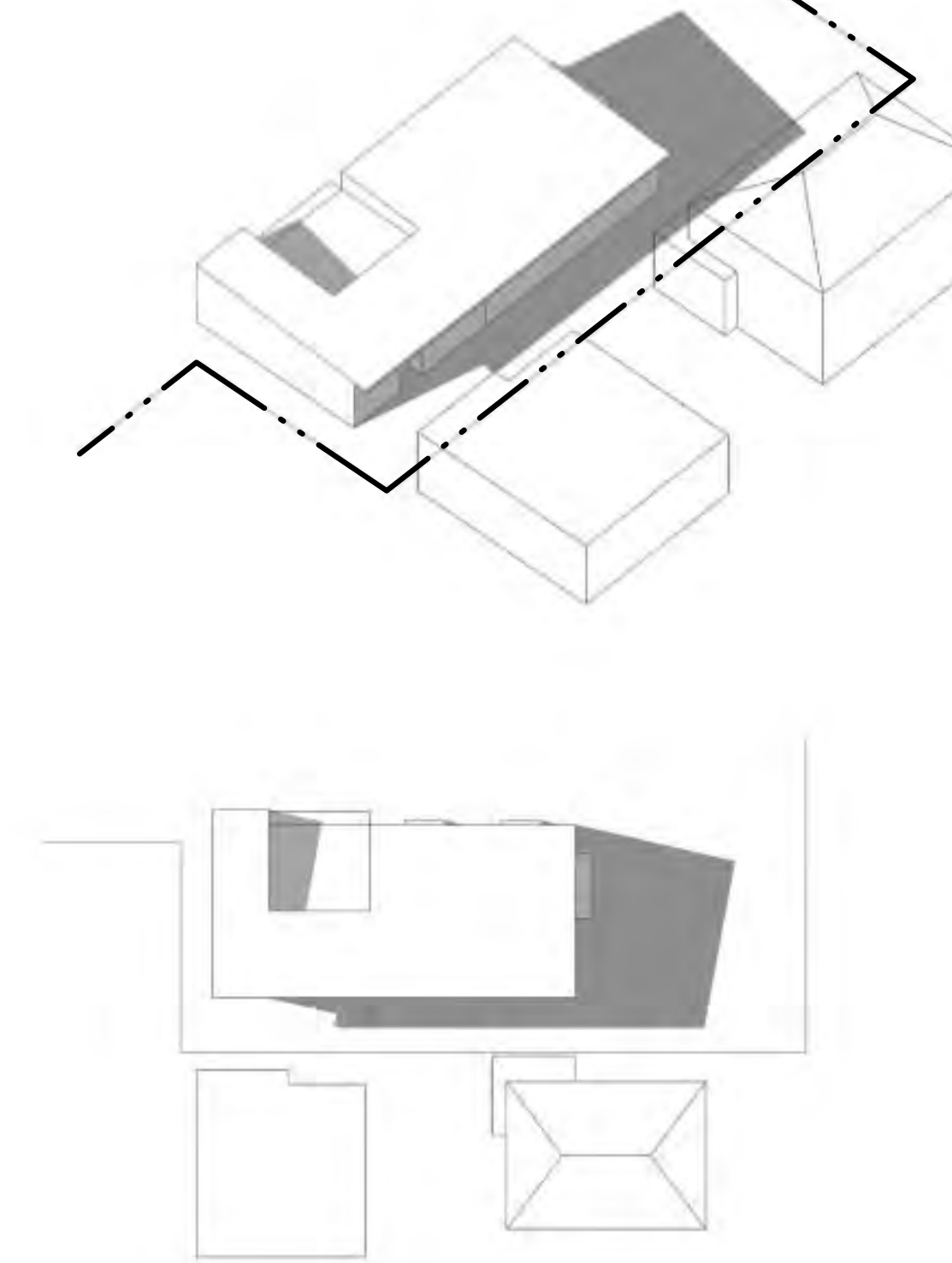
JUNE 21 - 2 HRS AFTER SUNRISE



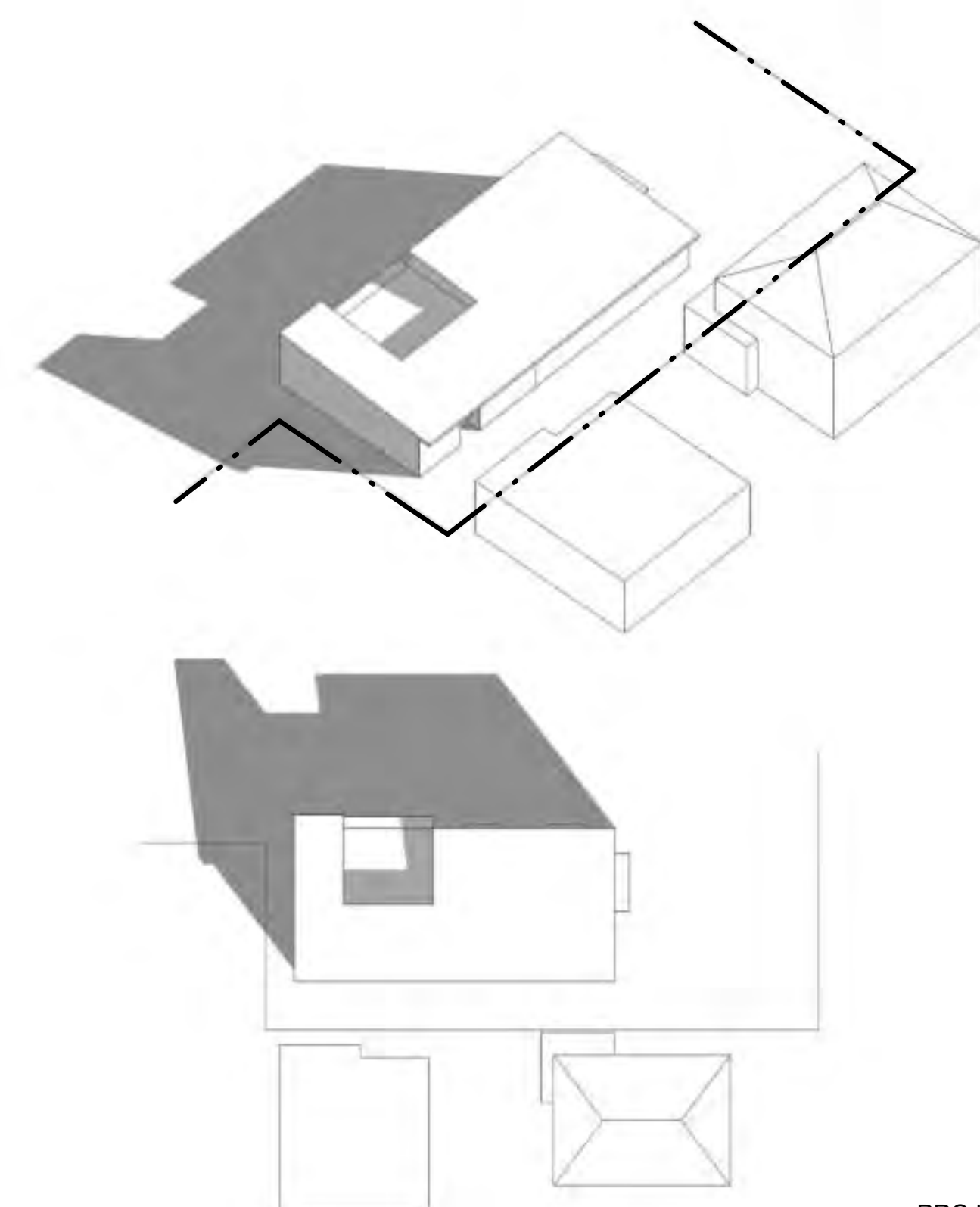
JUNE 21 - NOON



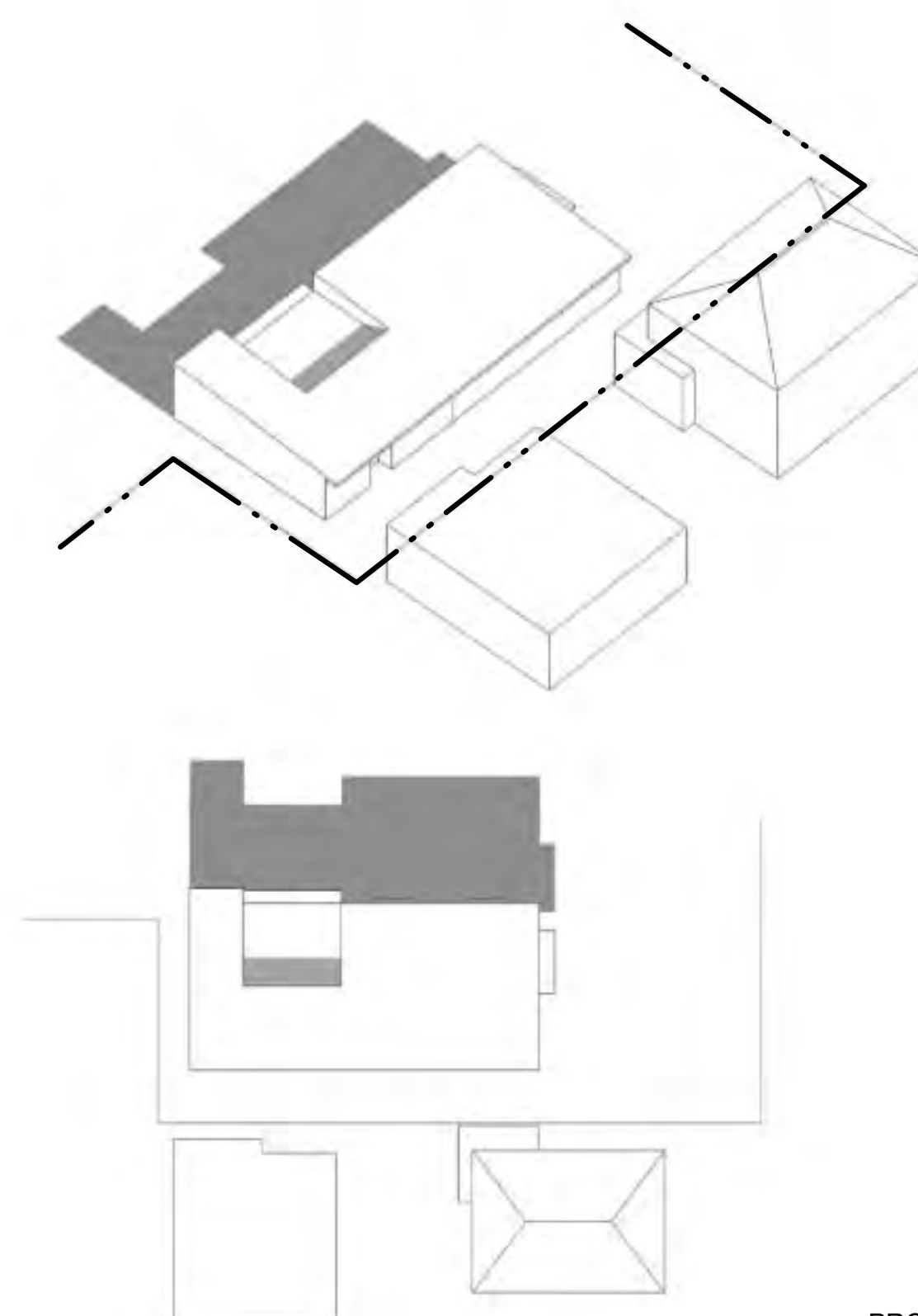
JUNE 21 - 2 HRS BEFORE SUNSET



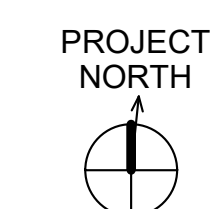
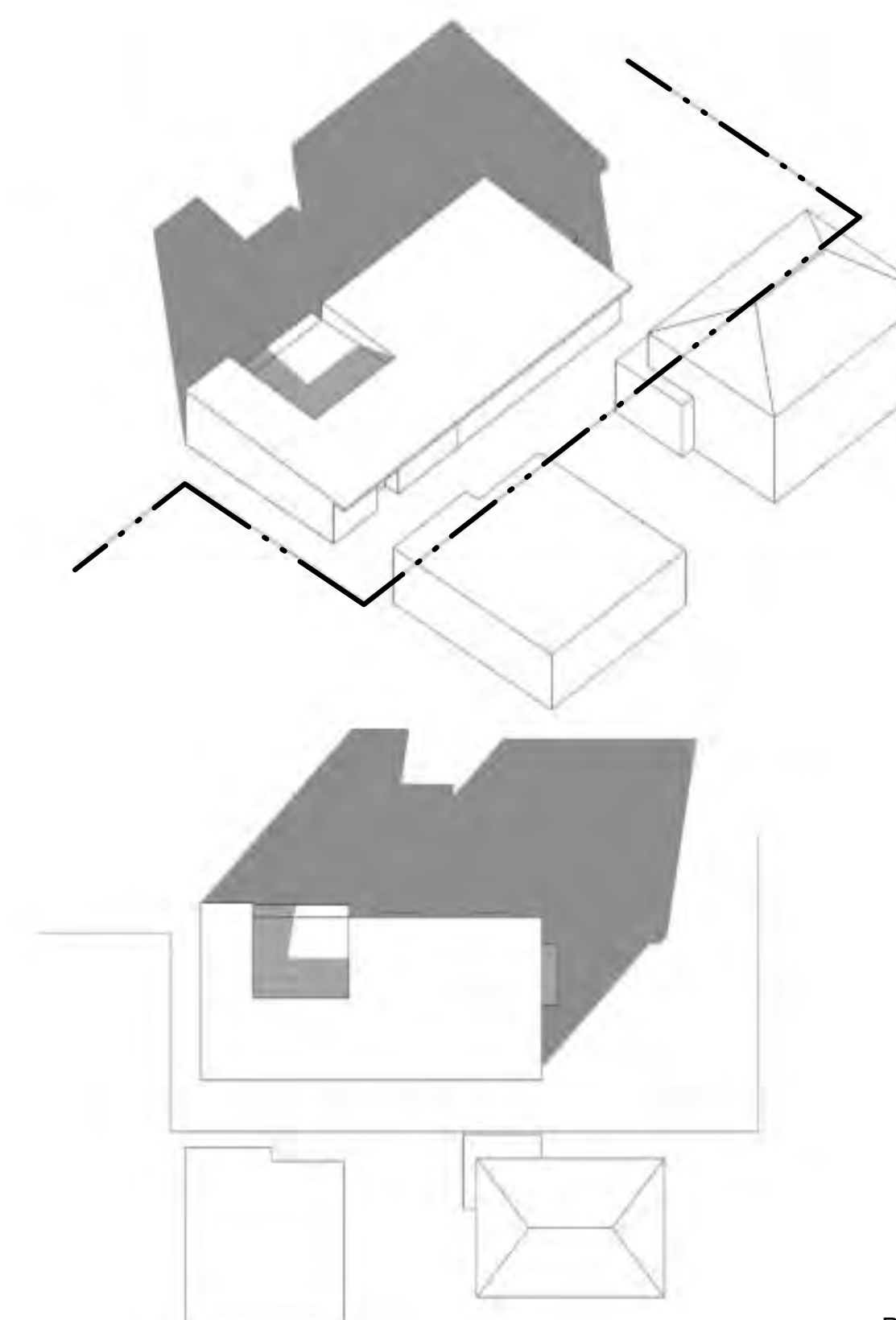
DEC 21 - 2 HRS AFTER SUNRISE



DEC 21 - NOON



DEC 21 - 2 HRS BEFORE SUNSET



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PROJECT:  
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PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

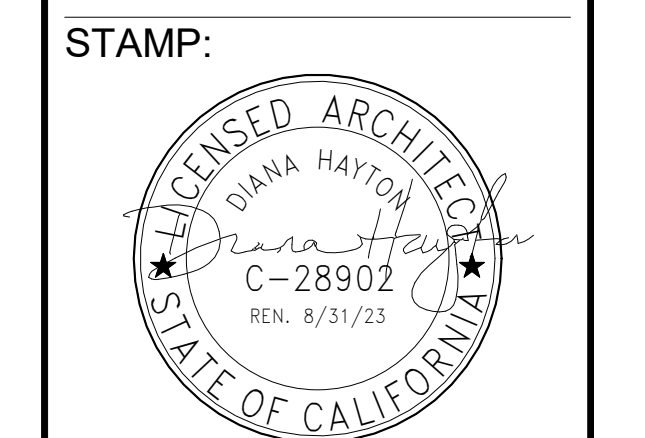
CLIENT:  
CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
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P: 510.549.2929

REVISION		
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ISSUE:  
ZONING SUBMITTAL

DATE:  
09/30/2022



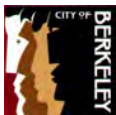
SHEET TITLE:  
**SHADOW STUDY**

SHEET NUMBER:  
**Z3-B**

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

Section 3:

D. Arborist Report





Parks Recreation & Waterfront  
Parks Division – Forestry Unit

**March 28, 2022**

**Re: Tree and Root Protection at Willard Park**

Ms. Wellbrock,

I have reviewed the plans for the new clubhouse and additional renovations at Willard Park. All of the tree and root protection measures outlined in the plans are consistent with industry standards and are acceptable as designed.

The fencing will keep all activity beyond the drip line of the coast live oak except where there is existing hardscape and will protect the critical root zone of the other trees that are being retained. Any roots four inches in diameter or less that are encountered during the excavation may be pruned as necessary. If any roots greater than four inches are encountered, contact the Urban Forestry Unit for review prior to pruning. Root pruning shall be performed using a stump/root cutting machine, saw, axe, or any other sharp blade tool; resulting in a flat surface with the adjacent bark firmly attached. No roots shall be torn or pulled using any other tools or machinery unless already severed on each end by one of the approved pruning tools.

Thank you,

Thomas Dodge

Urban Forestry Technician,

City of Berkeley, PR&W

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE., BERKELEY, CA 94705  
CITY SPECIFICATION NUMBER:  
**201730.27**  
ELS PROJECT NUMBER:

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL.,  
BERKELEY, CA 94704

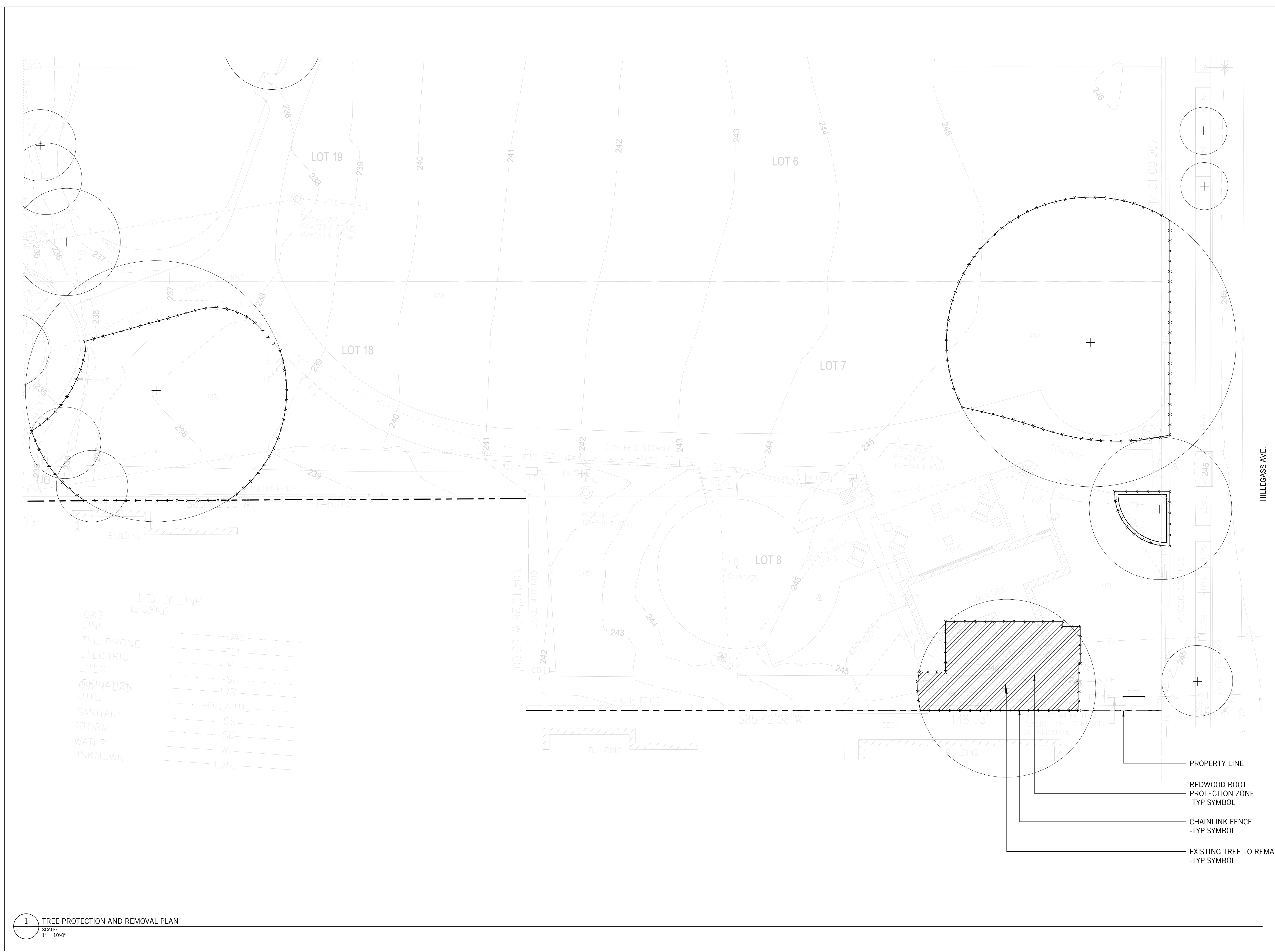
REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
DATE:  
STAMP:

**NOT FOR CONSTRUCTION**

SHEET TITLE:  
**TREE PROTECTION AND REMOVAL**

SHEET NUMBER:  
**L0.02**

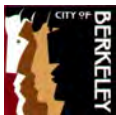


1 TREE PROTECTION AND REMOVAL PLAN  
SCALE:  
1" = 10'-0"

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

Section 4:

B. Historic Resource Evaluation



Parks, Recreation and  
Waterfront Department



## Frances Willard Park, Berkeley, California

### Historic Resources Evaluation Report

*prepared for*

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# 1 Introduction

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Rincon Consultants, Inc. (Rincon) was retained by ELS Architecture + Urban Design of Berkeley, California (Client), to complete a historic resources evaluation of Frances Willard Park, in support of park upgrades and new construction; the proposed project primarily would impact the Willard Park Clubhouse. The project is subject to the California Environmental Quality Act (CEQA) with the City serving as the lead CEQA agency. This report provides the substantial evidence necessary to make a historic resources determination of Willard Park; this study does not include an impacts analysis or project review.

Frances Willard Park is located in the residential neighborhood of Elmwood in southeast Berkeley. The park occupies a gently sloping site and is bounded by Derby Street (north), Hillegass Avenue (east), Willard Middle School (west), and single-family residences with frontage on Regent Street and Hillegass Avenue, respectively (south). The facilities span just over 118,500 square feet on a 2.7-acre site. The park address is 2730 Hillegass Avenue (Assessor's Parcel Number 54-1711-27) (Figure 1 and Figure 2). It is owned and operated by the Parks Division of the City of Berkeley Parks, Recreation, and Waterfront Department.

In the preparation of this evaluation, Ms. Howell-Ardila conducted an intensive-level survey of Frances Willard Park in August 2020. Ms. Howell-Ardila photographed and documented the overall features and spaces of the park. In order to ascertain the current historic resource status of Willard Park, Rincon reviewed the listings of the California Historic Resources Inventory, California Built Environment Resource Directory, and City of Berkeley Landmark and Structure of Merit listings. As of August 2020, Willard Park has not been designated as a landmark at the federal, state, or local level nor recorded as an eligible historic resource through evaluation or survey.

Archival research was completed in August 2020. Research methodology focused on the review of a variety of primary and secondary source materials relating to the history and development of Willard Park. Sources included historic maps, aerial photographs, and written histories of the area.

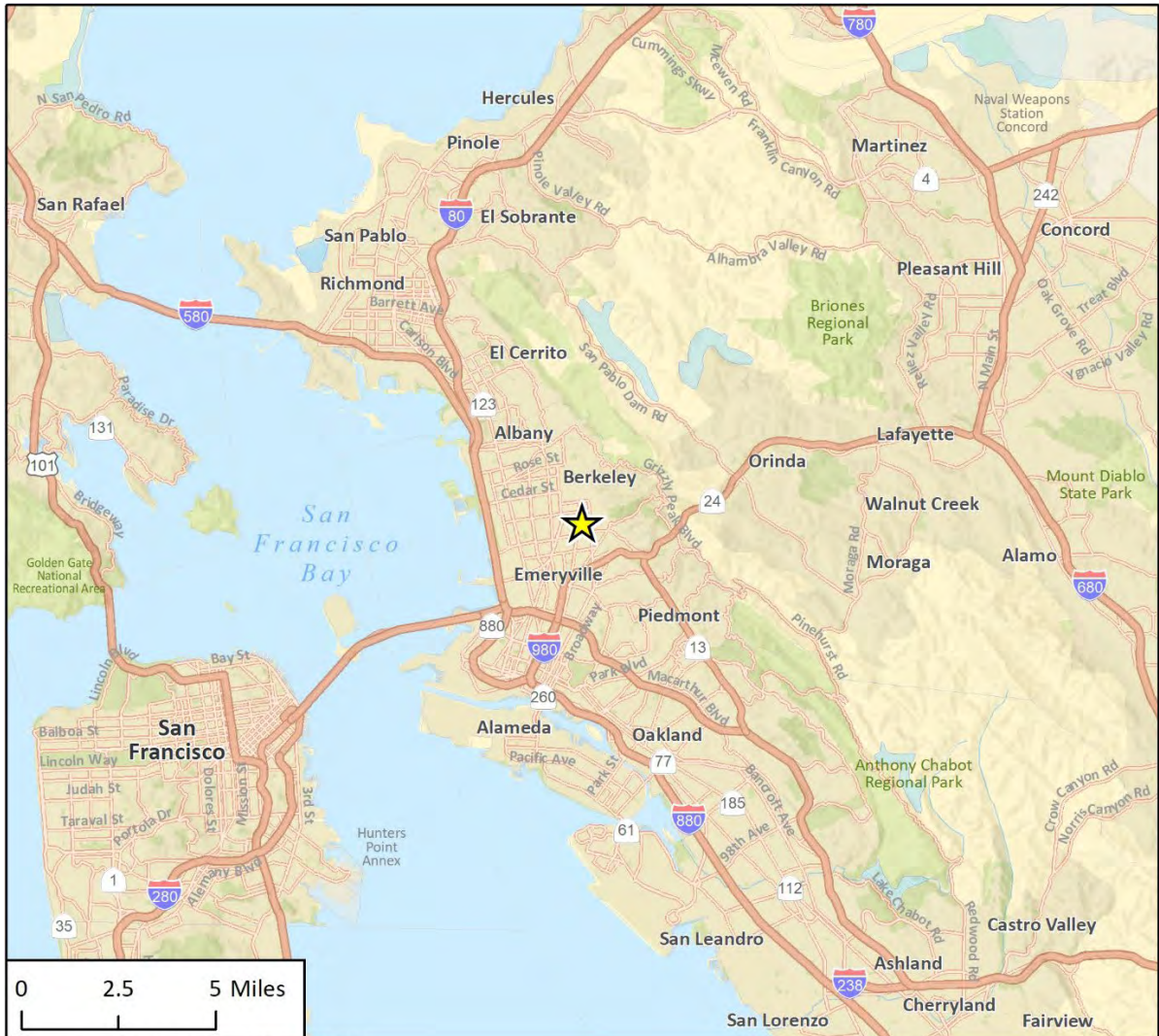
Rincon also coordinated with Anthony Bruce, the Executive Director of the Berkeley Architectural Heritage Association (BAHA) to inquire about materials and information regarding the park and its history. The online collections of the Online Archive of California and the University of California Calisphere were also searched. Other research materials consulted as part of this study included:

- Historical site plans of Willard Park;
- Historic aerial photographs, topographical maps, and Sanborn Fire Insurance Company Maps;
- Historic periodicals and newspapers, including the Oakland Tribune, San Francisco Examiner, Berkeley Gazette, and other historical newspapers;
- Historical photographs of Willard Park available via Flickr.com and other sources.

Rincon Senior Architectural Historian Debi Howell-Ardila, MHP, served as the principal investigator and author of this report. Rincon Architectural Historian James Williams, MA, contributed to research and coauthored sections of the report. Rincon Cultural Resources Principal Shannon Carmack and Principal Abe Leider reviewed this report for quality control.

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Figure 1 Regional Map



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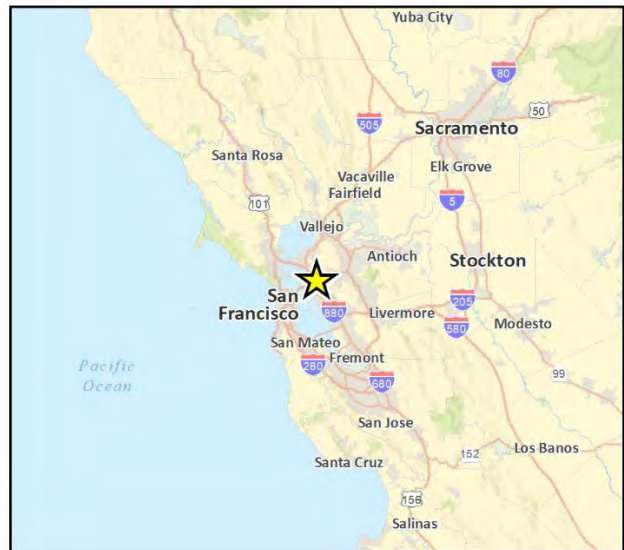


Figure 2 Project Location, Frances Willard Park, Berkeley



## 2 Regulatory Setting

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### 2.1 Federal

#### National Register of Historic Places (NRHP)

The NRHP was established by the NHPA of 1966 as “an authoritative guide to be used by Federal, State, and local governments, private groups and citizens to identify the Nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment” (CFR 36 CFR 60.2). The NRHP recognizes properties that are significant at the national, state, and local levels. A property is eligible for the NRHP if it is significant under one or more of the following criteria:

1. Criterion A: It is associated with events that have made a significant contribution to the broad patterns of our history;
2. Criterion B: It is associated with the lives of persons who are significant in our past;
3. Criterion C: It embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; and/or
4. Criterion D: It has yielded, or may be likely to yield, information important in prehistory or history. In general, a resource must be 50 years of age to be considered for the NRHP, unless it satisfies a standard of exceptional importance.

In order to retain eligibility for the NRHP, a property must meet one of these criteria and retain historic integrity (defined below).

### 2.2 State

CEQA requires a lead agency determine whether a project may have a significant effect on historical and archaeological resources (Public Resources Code [PRC], Section 21084.1) and tribal cultural resources (PRC Section 21074 [a][1][A]-[B]). A historical resource is a resource listed in, or determined to be eligible for listing, in the California Register of Historical Resources (CRHR), a resource included in a local register of historical resources, or any object, building, structure, site, area, place, record, or manuscript that a lead agency determines to be *historically significant* (State CEQA Guidelines, Section 15064.5[a][1-3]).

A resource shall be considered *historically significant* if it meets any of the following criteria:

- 1) Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage;
- 2) Is associated with the lives of persons important in our past;
- 3) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- 4) Has yielded, or may be likely to yield, information important in prehistory or history.

In addition to meeting these criteria, in order to qualify for the NRHP and the CRHR, a property must retain “historic integrity” such that it continues to convey the reasons for its historic significance. “Historic integrity” is a composite of seven different aspects or qualities that, taken together, express the significance of a historic property. According to National Register Bulletin No. 15, in order to retain integrity and qualify for the NRHP, a property must have most if not all of these seven aspects:

- 1) Location – the place where the historic property was constructed or where an event occurred;
- 2) Design – the combination of elements that create the form, plan, space, and style of a property;
- 3) Setting – the physical environment of a historic property;
- 4) Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property;
- 5) Workmanship – the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory;
- 6) Feeling – a property’s expression of the aesthetic or historic sense of a particular period of time;
- 7) Association – the direct link between an important historic event or person and a historic property.

## 2.3 Local

### 2.3.1 City of Berkeley Municipal Code

Chapter 3.24 of the City of Berkeley Municipal Code, also known as the Landmarks Preservation Ordinance, establishes the Landmarks Preservation Commission (LPC). The LPC maintains a list of structures, sites and areas, including landmarks and historic districts, having a special historical, architectural, or aesthetic interest or value. Criteria for designation are as follows.

- A. Landmarks and historic districts. General criteria which the commission shall use when considering structures, sites, and areas for landmark or historic district designation are:
  1. Architectural merit:
    - a) Property that is the first, last, only or most significant architectural property of its type in the region;
    - b) Properties that are prototypes of or outstanding examples of periods, styles, architectural movements or construction, or examples of the more notable works of the best surviving work in a region of an architect, designer or master builder;
    - c) or Architectural examples worth preserving for the exceptional values they add as part of the neighborhood fabric.
  2. Cultural value: Structures, sites and areas associated with the movement or evolution of religious, cultural, governmental, social and economic developments of the City;
  3. Educational value: Structures worth preserving for their usefulness as an educational force;

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4. Historic value: Preservation and enhancement of structures, sites and areas that embody and express the history of Berkeley/Alameda County/California/United States. History may be social, cultural, economic, political, religious or military;
  5. Any property which is listed on the National Register described in Section 470A of Title 16 of the United States Code.
- B. Structures of merit. Criteria which the commission shall use when considering a structure for structure of merit designation are as follows:
1. General criteria shall be architectural merit and/or cultural, educational, or historic interest or value. If upon assessment of a structure, the commission finds that the structure does not currently meet the criteria as set out for a landmark, but it is worthy of preservation as part of a neighborhood, a block or a street frontage, or as part of a group of buildings which includes landmarks, that structure may be designated a structure of merit.
  2. Specific criteria include, but are not limited to one or more of the following:
    - a) The age of the structure is contemporary with (1) a designated landmark within its neighborhood, block, street frontage, or group of buildings, or (2) an historic period or event of significance to the City, or to the structure's neighborhood, block, street frontage, or group of buildings.
    - b) The structure is compatible in size, scale, style, materials or design with a designated landmark structure within its neighborhood, block, street frontage, or group of buildings.
    - c) The structure is a good example of architectural design.
    - d) The structure has historical significance to the City and/or to the structure's neighborhood, block, street frontage, or group of buildings. (Ord. 5686-NS Section 1 (part), 1985: Ord. 4694-NS Section 3.1, 1974)

The LPC is also responsible for reviewing and deciding on permit applications for alterations to such structures and sites. According to Section 3.24.200, "No person shall carry out or cause to be carried out on a designated landmark, in a designated historic district or structure of merit, any construction, alteration, or demolition for which a City permit is required, without approval by the commission." To allow demolition of a landmark, the LPC must find that it "is in such condition that it is not feasible to preserve or restore it, taking into consideration the economic feasibility of alternatives to the proposal, and balancing the interest of the public in preserving the designated landmark, historic district or structure of merit or portion thereof and the interest of the owner of the landmark site, historic district, or structure of merit site in its utilization.

### 3 Site Description

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Frances Willard Park is located in the residential neighborhood of Elmwood in southeast Berkeley. The park occupies a gently sloping site and is bounded by Derby Street (north), Hillegass Avenue (east), Willard Middle School (west), and single family residences with frontage on Regent Street and Hillegass Avenue, respectively (south). The facilities span just over 118,500 square feet on a 2.7-acre site. The park address is 2730 Hillegass Avenue (Assessor's Parcel Number 54-1711-27). It is owned and operated by the Parks Division of the City of Berkeley Parks, Recreation, and Waterfront Department.

The park amenities include a large lawn area with mature trees, two lighted tennis courts, a tot play area, picnic area, paths made of historic cobblestones, and a clubhouse located in the southeastern corner of the park. The existing clubhouse consists of a 565-square-foot building, with an attached 114-square-foot restroom and 486-square-foot trellis area.

The focal point of the park is a large grass lawn and recreation area. Most of the other amenities, such as hardscaping/benches, the playground, and built environment features such as the clubhouse are located along the periphery of the central lawn. The lawn and park are framed and accented with mature trees throughout (a number of which pre-date the establishment of the park). Brick and stone hardscaping and planters also appear throughout, with a concentration of features along the northeastern entrance and eastern border of the park. Historic light standards line the western border of the park and are located throughout the park.

The principal built environment feature of the park is the clubhouse, located in the southeast corner of the park. One story in height, the clubhouse displays a series of aluminum-frame glazed doors, opening onto a patio space. The patio is sheltered beneath a simple wood trellis supported on metal pole supports. The walls display painted concrete-block and vertical wood planks. The original stone walkway and concrete stairs leading to an open rooftop area have been removed and replaced with a concrete-block restroom, fronted by a metal gate.

The northeast corner of the park features stone hardscaping and an entrance gate. Similar hardscaping features, with rough-hewn stone, are located near the entrance to the park and clubhouse, in the southeast portion of the park.

The western portion of the park is home to tennis courts and a playground area. In the northwestern corner of the park, at the sidewalk along Derby Street, is the 1978 "Potter's Wall," a low, undulating, decorative wall clad in recycled ceramics. The Potter's Wall was designed in the organic, expressive style of Spanish architect Antoni Gaudi. Planters and a bench are built into the wall.

The following photographs provide an overview of the spaces and features of Willard Park.

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Figure 3 Eastern entrance to park and clubhouse, east perspective



Figure 4 Rear (southeast) elevation of the clubhouse; the concrete block walls house a restroom added to the building in the 1990s





Figure 5 Overview of Willard Park Clubhouse, north perspective



Figure 6 Northwest corner of Willard Park, showing light standard, stone hardscaping, and mature trees in central lawn



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Figure 7 1978 Potter's Wall along Derby Street, northeast perspective



Figure 8 Overview of Willard Park, west perspective along Derby Street



Figure 9 Overview of Willard Park, lawn and trees, northwest perspective



Figure 10 Overview of Willard Park, lawn, trees, and playground, north perspective



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Figure 11 Overview of Willard Park, northeastern entrance gate



Figure 12 Overview of Willard Park, detail of northeastern entrance gate hardscaping



Figure 13 Overview of Willard Park, detail of hardscaping along east boundary/sidewalk



Figure 14 Overview of Willard Park, southeast perspective



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Figure 15 Overview of Willard Park, stone planters, east entrance



Figure 16 Overview of Willard Park, east entrance detail



## 4 Neighborhood Setting and Historic Context

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### 4.1 Neighborhood History and Context

As noted above, Willard Park falls within the neighborhood of Elmwood in southeast Berkeley, located between the north-south corridors of College and Telegraph Avenues, south of the University of California, Berkeley.

During its founding years, Berkeley owed much of its initial development to its proximity to regional transportation routes, emerging commercial and industrial centers, and the establishment of the University of California, Berkeley. Originally founded in Oakland in 1855 as the “College of California,” the university relocated to Berkeley in 1866. The City of Berkeley incorporated in 1878, a year after the Southern Pacific Railroad line reached the Bay Area in 1877. Through the late nineteenth century, Berkeley remained a small town with emerging neighborhoods and commercial corridors, in particular along San Pablo and University Avenue, ringed by agricultural uses on the city periphery.

In addition, the 1906 San Francisco Earthquake and fire caused widespread displacement and an exodus out of San Francisco to East Bay towns like Berkeley and Oakland. During the opening years of the twentieth century, the Elmwood neighborhood saw a great increase in new settlement and construction as a result of these and other factors.

In addition, in terms of the stylistic character of its early architecture, Berkeley and early neighborhoods like Elmwood became centers for the Arts and Crafts movement. During the late nineteenth and early twentieth century, the City overall saw a flowering of Arts and Crafts architecture—in particular, in its “First Bay Tradition” of the Bay Area-influenced Arts and Crafts style. Early practitioners in Berkeley of the First Bay Tradition included architects such as Bernard Maybeck, Julia Morgan, John Galen Howard, Ernest and Almeric Coxhead, John Hudson Thomas, and James Placheck (many of whom not only practiced but also resided in the Berkeley Hills surrounding UC Berkeley).

The First Bay Tradition expanded on and redefined the Arts and Crafts architecture emerging on the East Coast in the work of architects such as Henry Hobson Richardson and McKim, Mead and White. One of the most significant West Coast innovations was the focus on site-specific design and creating connections between the indoors and outdoors, buildings, landscaping, and setting:

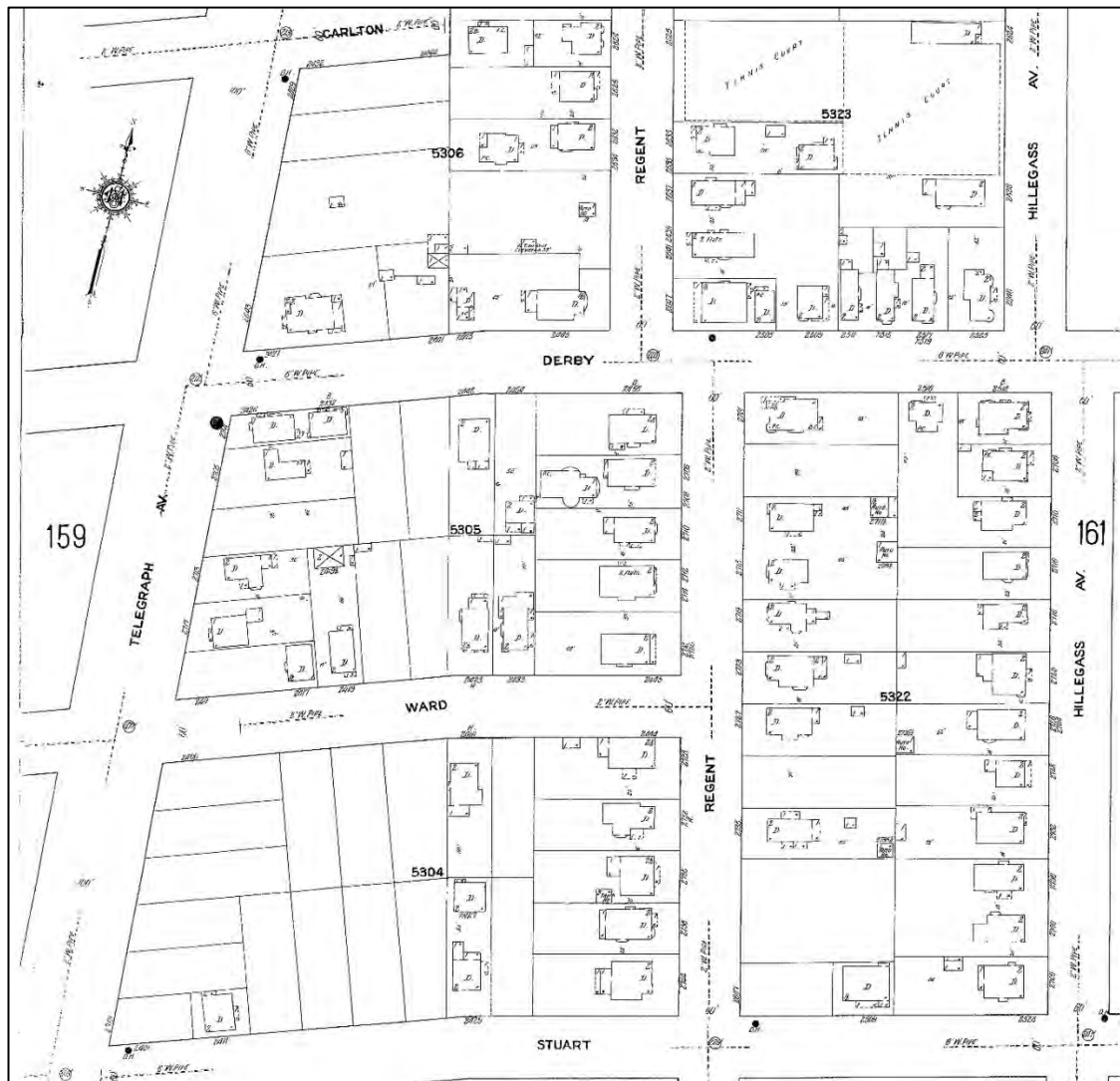
What the Bay Tradition added to the Shingle Style was environment, and in particular the generosity of and therefore, connection to outdoor space, open and cheerful western skies, hills alternating gold and green, and sculptural woodlands. In fact, it is the connections between setting, landscape and architecture where early Bay Area buildings fully succeeded the Shingle-Style of their Eastern mentors. (Preservation Architecture 2007)

In this way, Berkeley’s woodsy setting and indoor-outdoor integration became important features for the new First Bay Tradition. As William Wilson Wurster wrote, “The First Bay Tradition went beyond a strictly architectural expression; it also reflected a life style” (Stern Cerny 1990). Commentators at the time recognized this “unique quality” and cohesive, distinctive neighborhood character it created.

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With the post-1906 construction boom in Berkeley, including in Elmwood, the character of the residential neighborhood around and in Willard Park was one of Arts and Crafts-inspired Craftsman homes, clad with brown wood shingles and enveloped in landscaping. Some of the neighborhood's original landscaping, in the form of mature evergreen trees, survives in Willard Park. This general description was also reflected in the Home Owners' Loan Corporation 1937 survey of Elmwood. At the time, surveyors noted the "dignified" architectural character of the neighborhood's homes and the average date of construction of 1905 (HOLC 1937).<sup>1</sup> In terms of the neighborhood, it was deemed to have "excellent local and San Francisco transportation, convenient to schools, University of California, recreational facilities and local shopping centers" (HOLC 1937).

Figure 17 Sanborn Fire Insurance Map, showing degree of build-out, by 1911, of Elmwood and future site of Willard Park



Source: Environmental Data Resources, 2020

<sup>1</sup> It is worth noting the highly problematic nature of Home Owners Loan Corporation (HOLC) survey data. Conducted in cities throughout the United States in the 1930s, the HOLC program provided fuel for racially discriminatory housing practices. The resulting data provides a window onto 1930s-era neighborhoods that is rare and useful for its level of detail on the built environment but that generally should be not used without a caveat on the program and its negative, lasting effect on neighborhoods and communities of color.



Into the twentieth century, Berkeley expanded rapidly, through the meteoric growth of the University of California, Berkeley, the downtown commercial corridor, as well as industrial development along the city periphery. Residential expansion grew, as well, with neighborhoods into the Berkeley flats and hills showing increasing numbers of new tracts and residential settlement.

With the advent of the automobile, as well as road construction and infrastructure improvements, residential development expanded further from the city's historical center. During and immediately after World War II, the combination of in-migration to California and the postwar baby boom fueled further growth, and Berkeley approached its peak population of over 110,000 by 1950.

The City rapid population growth coincided with massive, Cold War-era investments in American public universities. A prime beneficiary of federal research grants, the University of California, Berkeley, experienced postwar surge in enrollments, which grew from 7,700 in 1944 to 21,000 in 1946. The University's growth contributed to Berkeley's emergence as intellectual center. By the 1960s, Berkeley was transformed from a small town to a cosmopolitan "republic of letters where independent newspapers, poetry, music, art, and theater proliferated" (Suri 2004).

In terms of Elmwood and the area around Willard Park, it had been largely developed for residential use by the opening decades of the twentieth century. The proximity to the north-south corridors of Telegraph Avenue to the south and College Avenue to the north made the neighborhood accessible to downtown shopping areas and the Civic Center as well as UC Berkeley to the north. As shown on the 1911 Sanborn Fire Insurance map, the neighborhood primarily consisted of axial, residential-sized lots on a rectilinear street grid. Nearly all of the lots had already been improved with two-story, single-family homes. At this time, Regent Street followed an uninterrupted course between Stuart and Derby Streets. As of 1911, Frances Willard School, which is currently located immediately west of the park, had not yet been developed, and the school site was home to several residences (ProQuest 2020).

As of 1939, the year the first available aerial photograph of the area was taken, the area was fully developed and had much the same predominantly residential character as it has today (Figure 18).

By 1946, the clearing of former residential parcels between Regent Street and Telegraph Avenue had begun in order to construct Frances Willard School. The school was expanded and its older buildings razed and replaced over the next two decades.

Aside from a modest increase in commercial and/or institutional development along Telegraph and College avenues, there were few notable changes to the subject property or its vicinity until after 1968 (EDR 2020).

The following aerial photographs present a visual overview of the construction chronology of Willard Park and the surrounding neighborhood.

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Figure 18 1939 aerial of Willard Park (in red) and surrounding neighborhood, which consists primarily of early twentieth-century homes on an axial street grid, with mature landscaping throughout



Figure 19 1968 aerial of Willard Park (in red) and surrounding neighborhood, a year prior to the construction of Willard Park



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Figure 20 1974 aerial of Willard Park (in red) and surrounding neighborhood; People's Park appears in the third block directly to the north from Willard Park



Figure 21 Detail of the Willard Park area immediately before and after construction, in 1968 and 1974; surviving mature trees appear in the 1974 image



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## 4.2 Willard Park Construction Chronology and Social History

Planning for Willard Park began in 1950s, as city officials recognized the need for a recreational facility in southeast Berkeley, and ultimately chose the subject site for redevelopment as a park (Oakland Tribune 9/17/1957). The City Council began authorizing the piecemeal acquisition of residential properties in the area by 1957 (Oakland Tribune 7/24/1957). While some property owners sold their homes willingly, opposition to the park plan arose, spearheaded by Southeast Berkeley Property Owners' Association, whose officers all resided on the 2700 block of Hillegass Avenue, where the park would be constructed. According to reporting by the Oakland Tribune, the organization was established "to protect their private homes and income property in the Hillegass-Derby-Regent block against" the development of the proposed park (Oakland Tribune 9/26/1957).

By 1964, the City had purchased most of the 17 parcels earmarked by local planners, but the program stalled briefly (City of Berkeley Parks Division 2020). In 1968, land acquisitions resumed, after the U.S. Department of Housing and Urban Development awarded local authorities a series of open space land grants to cover half the cost of acquiring the six parcels the City had not yet purchased. In April 1969, after years of planning and preparation, an agreement was reached for Willard Park to move forward as a user-developed park with joint use between the City and Willard Junior High School. That same year, in 1969, the remaining buildings and homes were demolished and removed, and the interim park was constructed by the fall of 1969. Construction for the park moved forward, with amenities including a "recreation building, tot lot, play lot, turf field, tennis and basketball courts" (Oakland Tribune 1/19/1968).

According to the original drawings, the clubhouse was designed by the San Francisco-based firm of Daniel R. Osborne and Zach R. Stewart (available drawings do not specify a landscape architect). Both architects attended the architecture program at Stanford University, and after working on for separate firms in the 1950s and early 1960s, the two started their firm in the mid-1960s (Online Archive of California 2021). The firm was extremely well-known in the Berkeley architecture scene as well as the cultural and social developments of 1960s San Francisco. The firm designed the staging for the Trips Festival at Longshoreman's Hall in 1966, the America Needs Indians and Sensorium series, and the 4,000 Years concerts at Grace Cathedral (Online Archive of California 2021). Their works include elementary schools in Nevada County, the Ahwahnee pool and the dining hall at Sunrise High Sierra Camp at Yosemite National Park, the Plumas County Museum, and poet Gary Snyder's private residence on San Juan Ridge in the foothills of the Sierra Nevada.

Before the park was officially inaugurated on June 20, 1971, the community utilized the park for gatherings (explored in more detail below). In 1976, the park's tot lot playground was renovated; in May 1982, the park was renamed for Frances Willard, a suffragette and temperance leader.

Figure 22 As-built drawings of Willard Park Clubhouse, east elevation, with original cobblestone wall and stairs leading to rooftop space; the cobblestone wall and stairs were removed in the 1990s

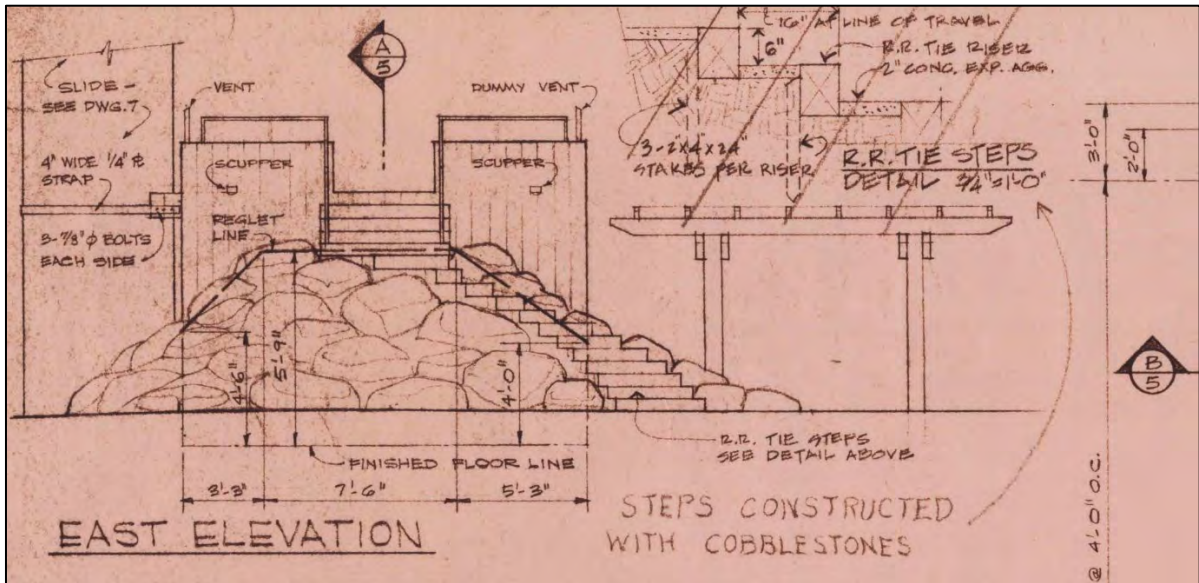
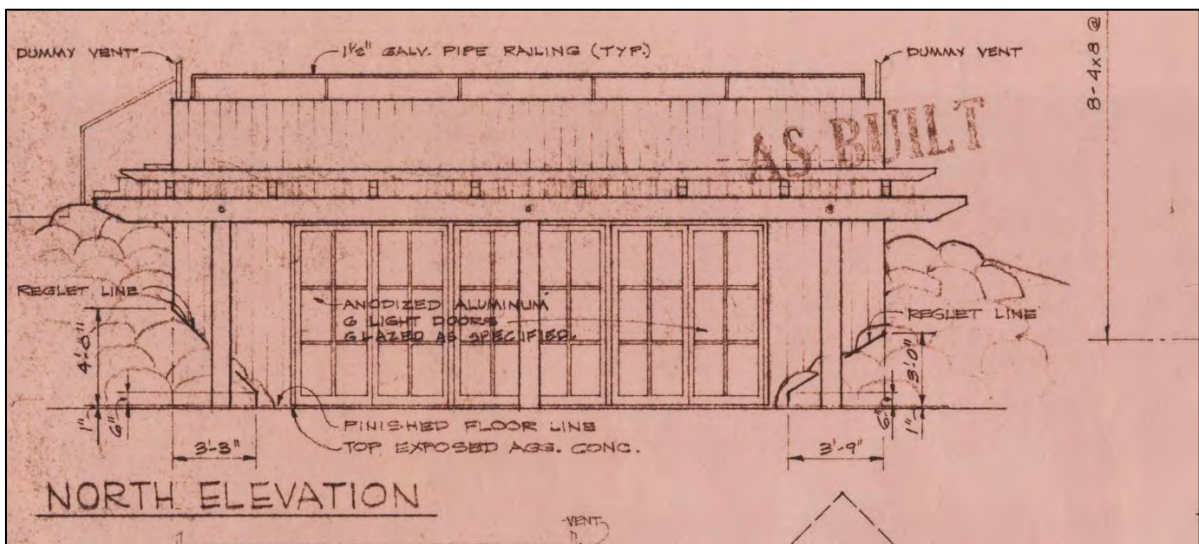
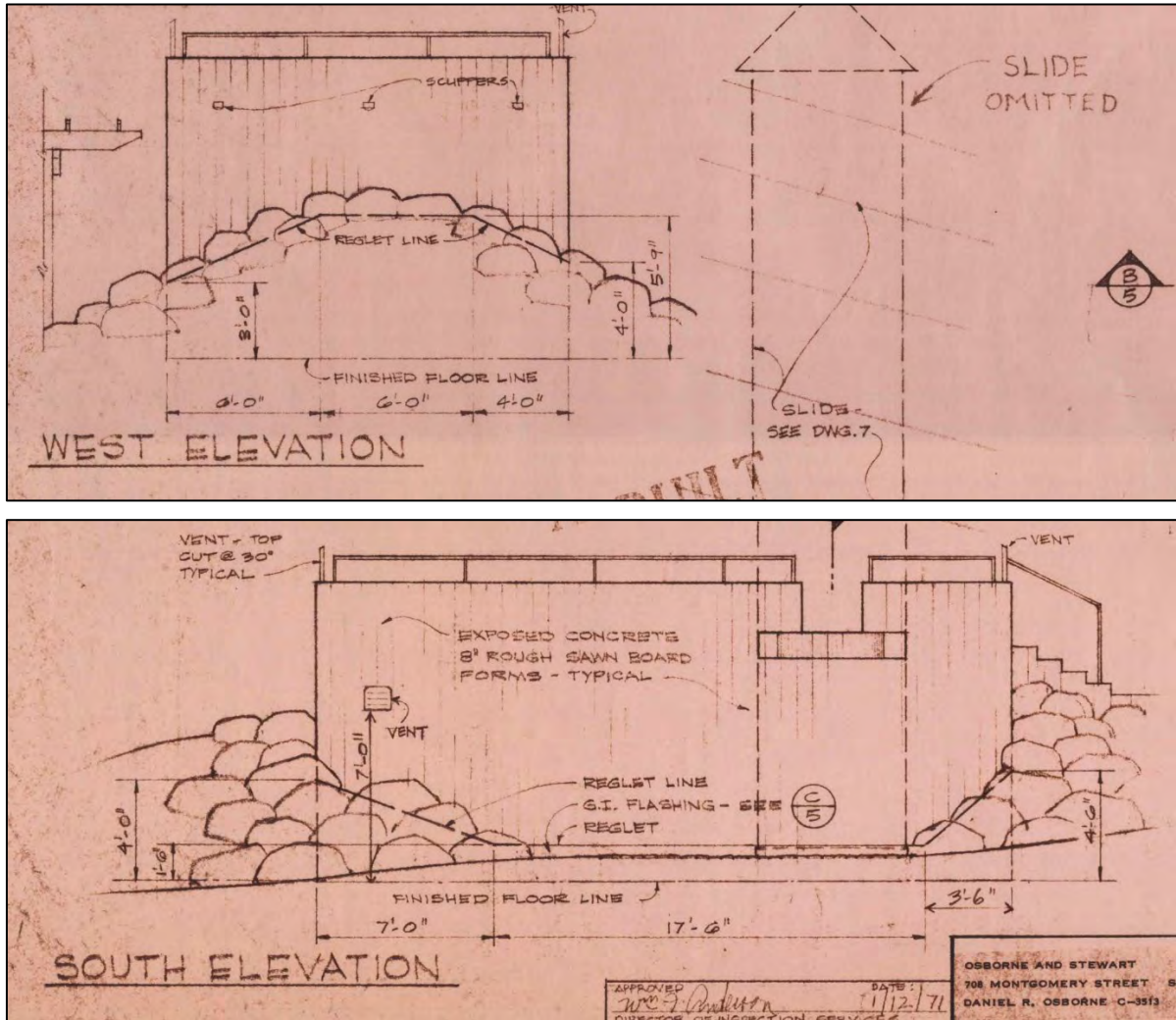


Figure 23 As-built drawings of Willard Park Clubhouse, façade (top), with original cobblestone features on east and west elevations; west elevation (center); and south elevation (bottom)



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When initial development of the park began in the 1969, the site became linked to an ongoing controversy over People's Park, located two blocks to the north. Mayor Wallace J.S. Johnson announced the City's plans to begin construction of Willard Park in May, just days into the political fight over People's Park.

At the core of the People's Park protests was the contention among some activists that restrictions imposed by the University of California, Berkeley, for on-campus political activities had created the need for an off-campus "free-speech area," as an alternative to Sproul Plaza. During Willard Park's first years of operation, People's Park site remained off-limits by University decree, and Willard Park served as a base for political demonstrations (Wittmeyer 2004).

Political pressure seems to have hastened the City's opening of Willard Park. Construction began in the fall of 1969, and the park soon opened with an interim design consisting solely of a "turfed" field. Further landscaping, buildings, other amenities were scheduled for development in the near-term (Oakland Tribune 9/19/1969).

Even before the park's official inauguration in 1971, organizers soon put the space to use as an off-campus site for demonstrations concerning People's Park, the Vietnam War, and other political



issues of the day. In the spirit of the times, activists nicknamed the space Ho Chi Minh Park, a name that remained in use unofficially for many years (Branning 1970; San Francisco Examiner 1982).

On July 4, 1970, the park served as the starting point for a 300-strong march along Telegraph Avenue toward the UC Berkeley campus. Marking “Liberation Day” or alternately “Anti-Honor America Day,” the demonstration culminated in violence between protesters and police. By one report, “[protesters] threw rocks and firecrackers” and “city and campus police chased them in full battle gear” (Oakland Tribune 7/5/1970; 7/6/1970 San Francisco Examiner 7/12/1970). In December 1971, the antiwar organization Bay Area Veterans Against the War received permission to host an event at Willard Park. About 150 veterans camped at the park to “make sure that ‘people at Christmas don’t forget there’s no peace on earth’” (San Francisco Examiner 12/21/1971).

On May 8, 1972, Willard Park served as the starting point for a rally and march that was pivotal in the permanent opening of People’s Park. The event began as a large non-violent demonstration against President Richard M. Nixon’s authorization of the mining of Haiphong Harbor near Hanoi. However, by evening the atmosphere had turned “riotous,” and protesters clashed with police in the streets. The conflict culminated in protesters’ dismantling of the eight-foot chain-link fence that lined the perimeter of the People’s Park site (Oakland Tribune 5/9/1972). The University subsequently acceded to the activists’ demands and allowed construction of the People’s Park to resume.

After 1972, the use of Willard Park for political gatherings appears to have declined. A search of the newspaper database newspapers.com shows that at least one more major political rally took place at the park following the reopening of People’s Park (a November 8, 1972 demonstration over Nixon’s reelection) (Oakland Tribune 11/2/1972). Search results on Independent Voices, an online database of underground and alternative periodicals, shows a similar decline after 1972 (Independent Voices 2020). However, even with waning activism against the Vietnam War, the park continued to host large events falling in a generally countercultural milieu.

Through the early 1970s, Willard Park was the site the Society for Krishna Consciousness’ annual Lord Chaitanya festival, which began at Sproul Plaza with a parade and ended in a day long fete at Willard Park (San Francisco Examiner 3/14/1971; Oakland Tribune 3/3/1972; Berkeley Gazette 3/9/1973). By 1973 and until at least as recently as 1981, the park was home to the annual East Bay Gay Day (later East Bay Lesbian/Gay Day) festival, sponsored by East Bay Gay and other gay and lesbian rights organizations (Berkeley Gazette 6/19/1973; 6/18/1974; 6/20/1975; 6/1/1976; 6/17/1978; North East Bay Independent and Gazette 5/15/1981).

In addition, in 1974, a memorial service for Angela Atwood, who was one of six Symbionese Liberation Army members killed in a Los Angeles gunfight (San Francisco Examiner (3/9/1974). Other events at the park in this period marked the Greenpeace Save the Wales campaign and Earth Day, in addition to multiple performances by the San Francisco Mime Troupe (Berkeley Gazette 9/10/1976; North East Bay Independent and Gazette 6/19/1978).

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 Frances Willard Park, Berkeley, California

Figure 24 Lord Chaitanya Festival at Willard Park, 1974



In addition to its role as a public gathering space during the late 1960s and early 1970s, Willard Park served as a neighborhood park for area families, residents, and visitors. In 1970, in support of expanding the park's amenities, the Willard Park Citizens Committee approved designs for a second phase of development (City of Berkeley Parks Division 2020). Features of the new development included a playground, clubhouse, mural wall, tennis courts, restroom and pay phone kiosks, and new landscaping. The park centered on the Arts and Crafts-inspired clubhouse, with its distinctive cobblestone walls and open stairs, and adjacent playground, located at the northeast corner of the park.

Two notable motifs in the park's landscape design were the use of sizeable boulders, cobblestones, and similar masonry elements to mark boundaries. Removed in the 1990s, the cobblestone walls flanking the clubhouse, for example, and boulder alignments in other areas, were key features of the park's design. Original site plans depict large collections of boulders partially enclosing the playground, lining the boundary with an adjacent nursery school, and providing a barrier at the Regent Street dead end (City of Berkeley Department of Public Works 1971). Historic photographs of the park show that, in some locations, boulders were stacked several feet high (WD Watson 2006).

Masonry elements in the 1971 plans included a low wall, curb strip, and edge strip. An original drinking fountain was also constructed with a rough-hewn masonry pedestal and basin (City of Berkeley Department of Public Works 1971). While there are no remnants of the boulders and some masonry features have been removed, the masonry motif remains evident in the drinking fountain base. The figures below depict features constructed in the park's second phase of development.

In May 1978, the Potter's Wall feature was constructed to the north of the tennis court. Influenced by Spanish architect Antoni Gaudi's designs for Parque Guell in Barcelona, Spain, local sculptor Andrew Werby designed the wall as structure with an irregular, organic form clad in a recycled ceramics applique. A crew of volunteers constructed the approximately 50-foot long, 3-foot high concrete form using the "stack sack" method (Wescover 2020; North East Bay Independent and Gazette 5/18/1978; 5/23/1978). Planters and a bench were built into the wall. The Alameda County Neighborhood Council, California Arts Council, and City of Berkeley funded the wall's construction with a combined \$1,600 in grants. Merchants donated materials, and local potters donated the ceramic shards worked into the face of the wall (North East Bay Independent and Gazette 5/23/1978).

Figure 25 Willard Park Clubhouse, East and North Elevations, ca. 1980; photo shows the original stonewalls and features flanking the building



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Frances Willard Park, Berkeley, California

Figure 26 Play Lot and Tot Lot, Facing West, ca. 1980



Figure 27 View of Willard Park from Hillegass Avenue, Facing Southwest, ca. 1980



Figure 28 Detail of original stone walls and stairs, Willard Park Clubhouse, ca. 1980



In 1982, the park was formally dedicated to Frances Willard, a reformer who founded the Women's Christian Temperance Union (WTCU) in 1878. Although the site had been in use as Willard Park for over a decade, it had not been opened officially. Members of the WTCU joined local political leaders for a dedication ceremony, which also marked the completion of a \$20,000 renovation of the "tot area" funded under the 1974 Measure Y bond issue (North East Bay independent and Gazette 5/7/1982; City of Berkeley Parks Division 2020 ).

In the late 1980s and 1990s, the neighborhood advocacy organization Friends of Willard Park spearheaded several improvements to the park. These included the construction of a new "tot lot;" improved lighting, irrigation, and circulation measures; laying of a new cobblestone entry on Hillegass Avenue; and a "rose walk" near the Potter's Wall. The latter project was designed in part to deter overnight camping in the park, which had been an issue of contention since at least as early as 1990 (FWP 1997; Guttman 1990).

In addition, the City carried out a variety of projects at the park, including the addition of restrooms to the clubhouse and removal of the stone features in 1991 and construction of new circulation paths and changes to the children's play areas in circa 1994 (City of Berkeley Department of Public Works 1991; 1994). These projects led to the removal of several features constructed in the 1970s, including the stone walls and steps on the east elevation of the clubhouse, the restroom and pay phone kiosks, and the original playground areas.

The following drawings from the original as-built plans and 1991 alterations show the appearance of the clubhouse following the removal of stone walls and rooftop stairs and construction of concrete-block addition. According to the 1991 architectural plans, the stones removed from the clubhouse were relocated to Aquatic Park in west Berkeley.

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Frances Willard Park, Berkeley, California

Figure 29 North elevation, as-built design (top) and 1991 alterations (bottom), showing the removal the cobblestone framing and features on the east and west elevations

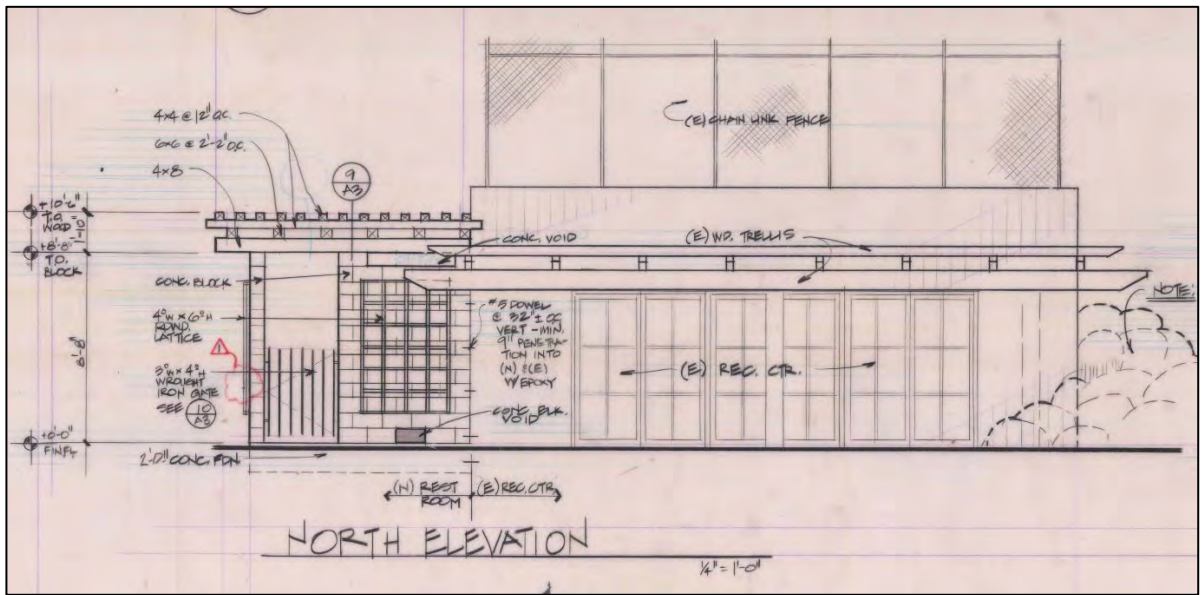
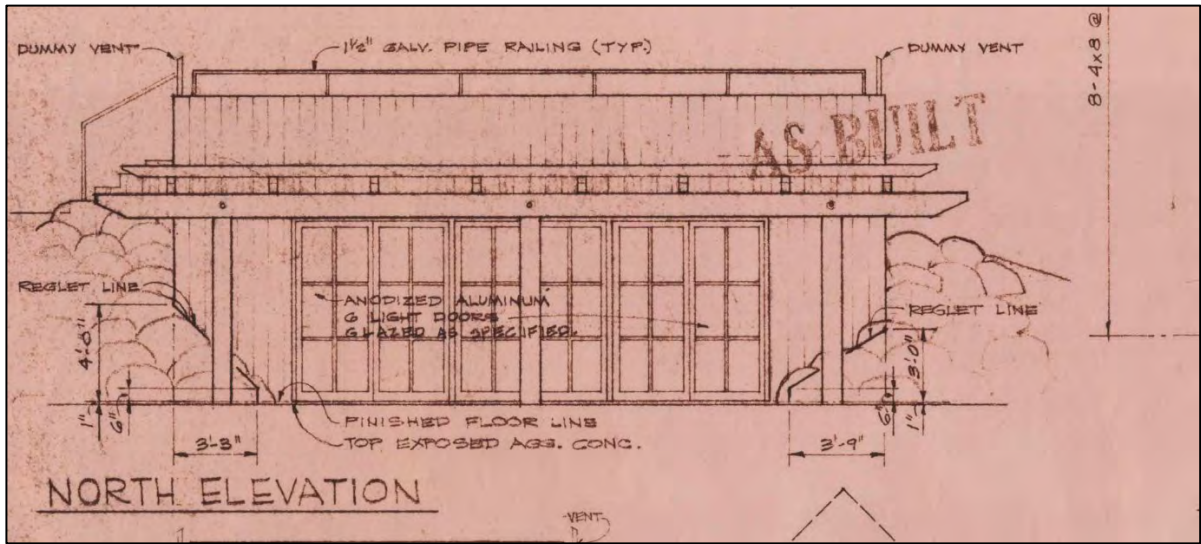
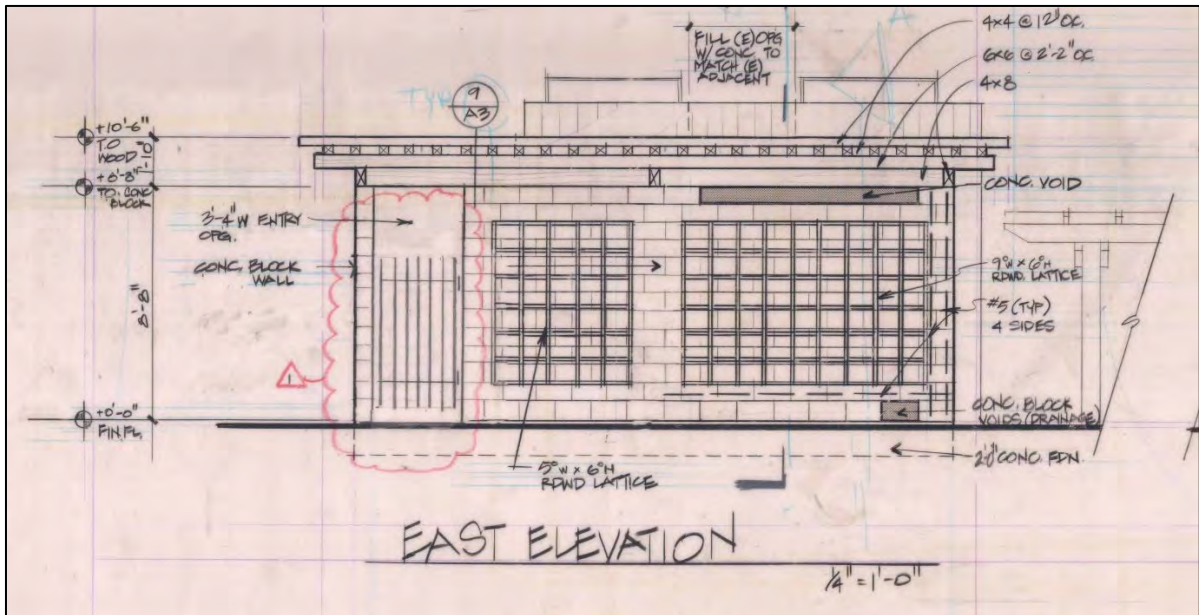
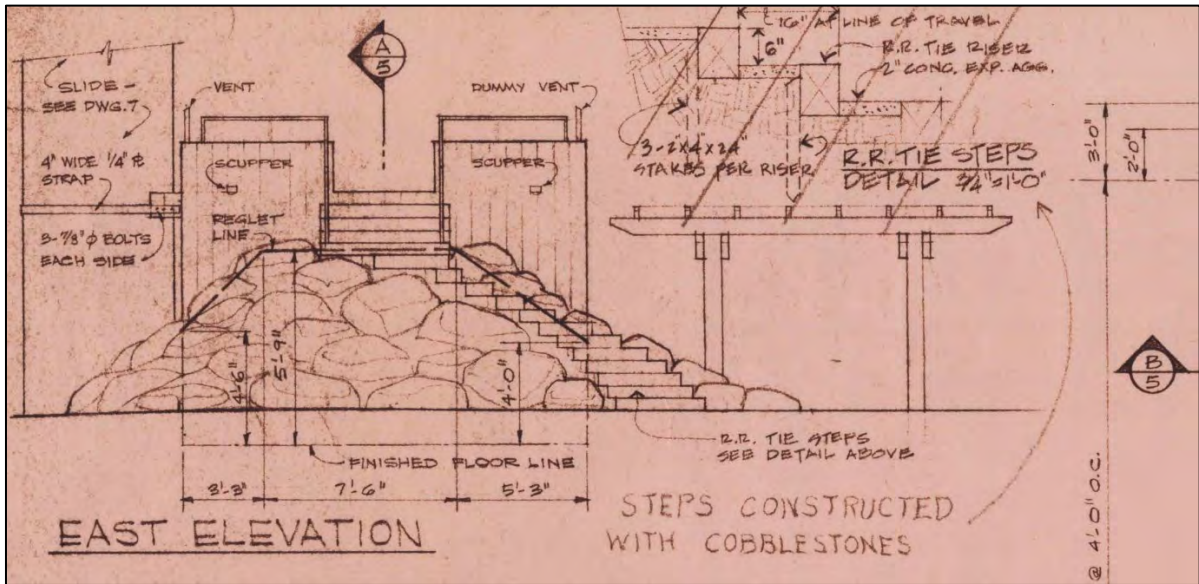


Figure 30 East elevation, with original cobblestone wall and stairs (top) and new 1991 plans (bottom), with cobblestone wall and stairs removed



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Frances Willard Park, Berkeley, California

Figure 31 West elevation, with as-built original cobblestone features (top) and 1991 appearance and new concrete-block wall (bottom)

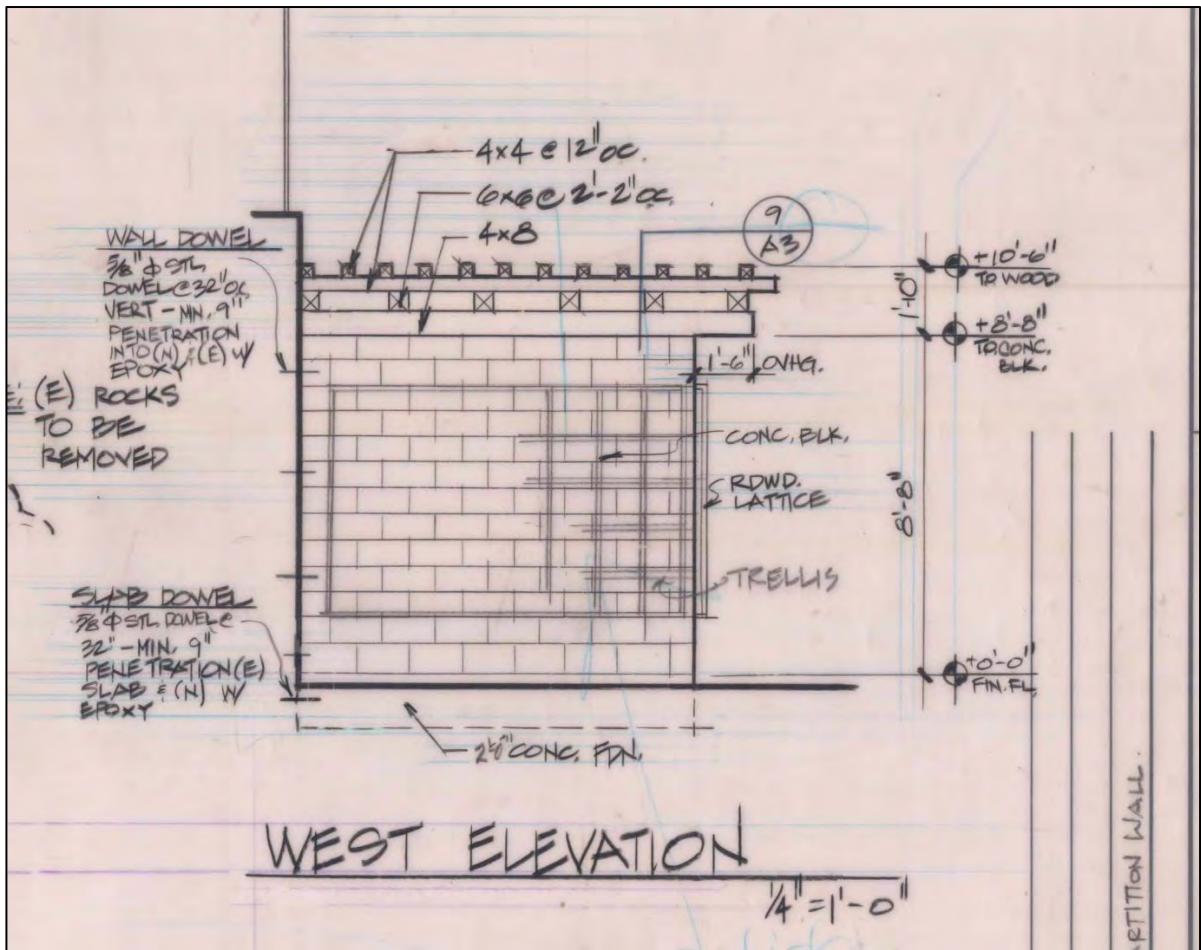
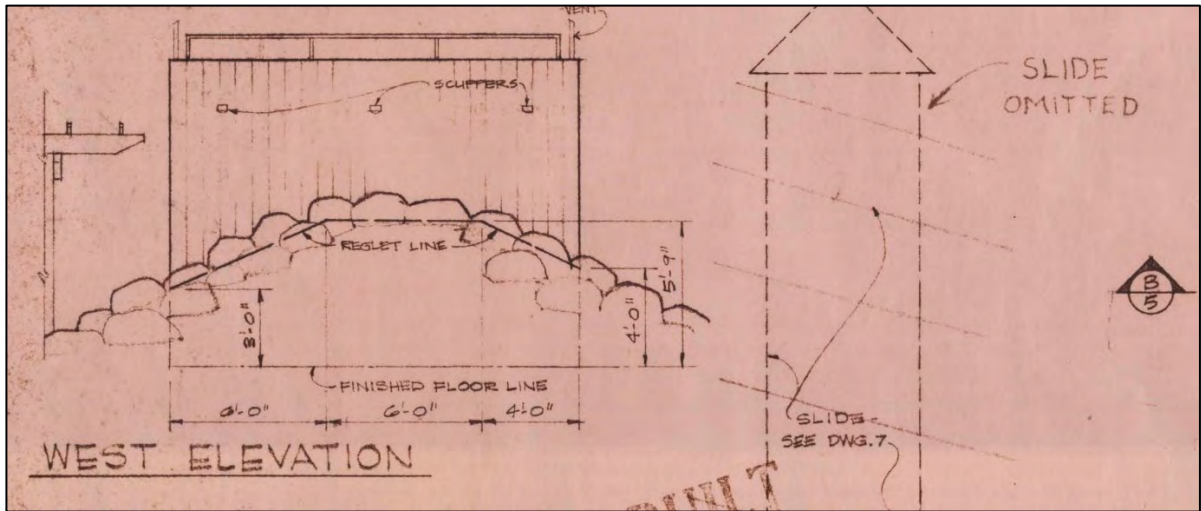
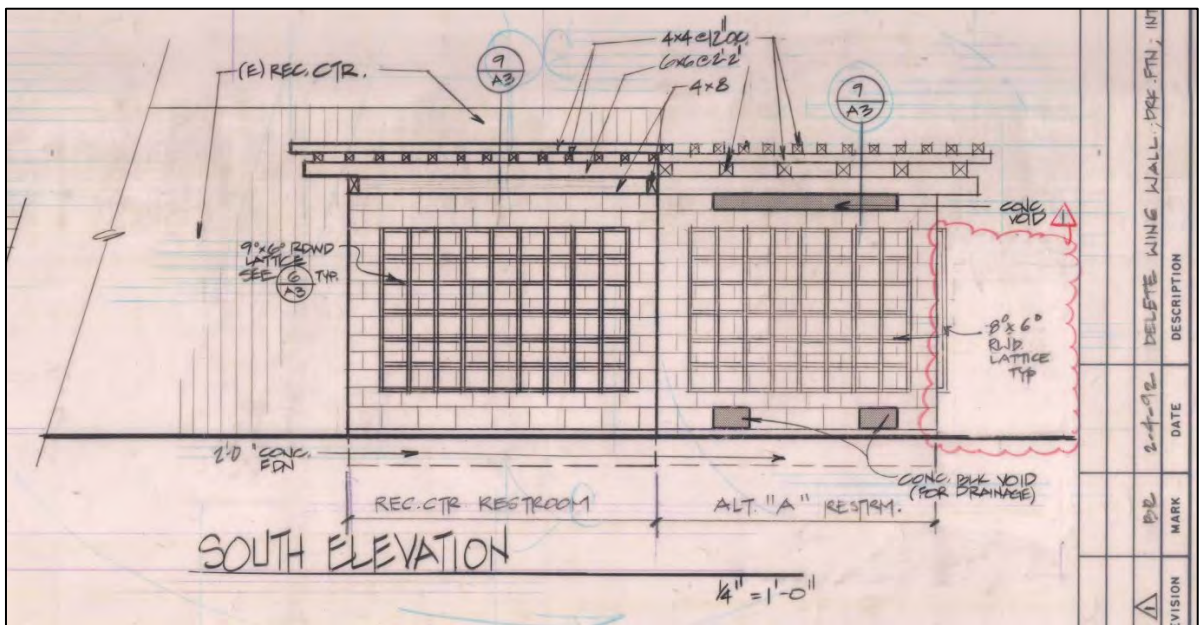
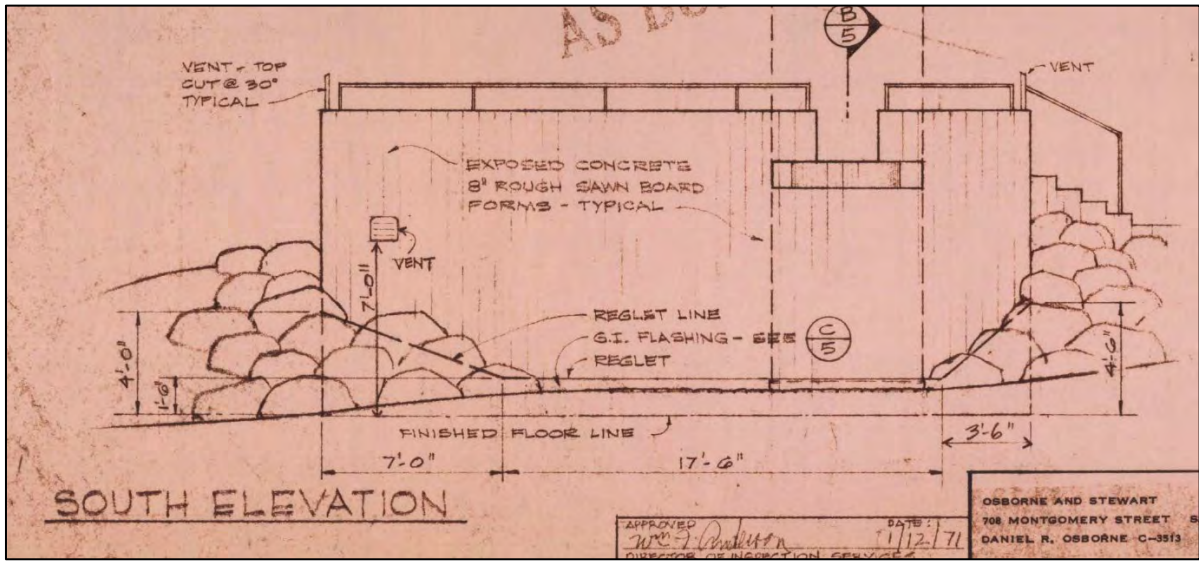




Figure 32 South elevation, with original cobblestone feature flanking the building (top) and 1991 plans for removal of cobblestone features (bottom)



## 5 Evaluation

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Willard Park and its components—including the clubhouse and other built features—do not appear to meet the criteria for landmark listing at the federal, state, or local level, either as individual resources, a historic district, or a cultural landscape. The park and its components do not meet the criteria associated with significant events, patterns of development, or people who were significant in the history of the city, region, state, or nation. The park and its components, including the clubhouse, do not represent a distinctive example of an architectural type or style, or the work of a master. Because Willard Park and its features do not qualify for federal, state, or local list, neither the park nor any of its components qualify as historical resources pursuant to CEQA.

As noted in Section 4, as a public space in Berkeley in the late 1960s/early 1970s, Willard Park had a brief association with the Antiwar Movement and other grassroots political movements. The City of Berkeley opened Willard Park as an interim park space in the fall of 1969. Before the official inauguration of the park in June 1971, prior to the opening of People’s Park, Berkeley activists unofficially renamed the property Ho Chi Minh Park and began using it for socializing, entertainment, education, political organizing, and political demonstrations.

Between 1969 and 1972, the park was the site of several rallies and marches. Although use of the park for antiwar and free speech events was short-lived (those activities declined after 1972), the park remained the site of community festivals, such as the Lord Chaitanya Festival and early occurrences of East Bay Lesbian/Gay Day, and alternative arts performances, including several by the famed San Francisco Mime Troupe.

While this association with community activism and culture is noteworthy, it is relatively short when compared with the history of People’s Park; for Willard Park, research identified through this study did not suggest that this association rises to the level required to confer eligibility as a landmark at the federal, state, or local level.

In addition, research did not reveal an association of the park with any individuals known to have made significant contributions to the history of the city, state, region or nation. Its design and architecture are that of a typical neighborhood park, and neither the park as a whole nor any of its components embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, or possess high artistic values. Willard Park also appears ineligible under the remaining City of Berkeley Landmark designation criteria.

Given the park’s brief but noteworthy history as a gathering space for antiwar, counter-culture, and Free Speech movement events, Willard Park appears to warrant special consideration in local planning (6L California Historic Resources Status code). The 6L code does not confer status as a historical resource per CEQA but is used to signal that local planning may wish to extend special consideration to the resource.

(Depending on the City’s plans and needs, special consideration in local planning could take the form of creating interpretive panels to document and share Willard Park’s history with the public. Such interpretive information could include the pre-park history as a neighborhood of early twentieth-century wood-shingled homes, as well as the park’s role in Berkeley’s counter-culture movement of the late 1960s and early 1970s. This, however, is not a mitigation measure but rather an option should the City wish to recognize the park’s history in this manner. The 6L CHR status code does not trigger any requirements under the LPC ordinance or CEQA.)

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# Appendix A

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DPR Series 523 Forms

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION <b>PRIMARY RECORD</b>	Primary # HRI # Trinomial NRHP Status Code 6Z
Other Listings Review Code	Reviewer
Page 1 of 10	Date

\*Resource Name or #: Frances Willard Park

**P1. Other Identifier:** Willard Park, 2730 Hillegass Avenue

**\*P2. Location:**  Not for Publication  Unrestricted **\*a. County:** Alameda

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

**\*b. USGS 7.5' Quad:** Oakland West **Date:** 1993 T 01S; R 04W; ¼ of ¼ of Sec 12 ; S.B. B.M.  
 c. Address: 2730 Hillegass Avenue City: Berkeley Zip: 94705  
 d. UTM: Zone: ; mE/ mN (G.P.S.)  
 e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)  
 Assessor's Parcel Number 54-1711-27

**\*P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Frances Willard Park is located in the residential neighborhood of Elmwood in southeast Berkeley. The park occupies a gently sloping site and is bounded by Derby Street (north), Hillegass Avenue (east), Willard Middle School (west), and single family residences with frontage on Regent Street and Hillegass Avenue, respectively (south). The facilities span just over 118,500 square feet on a 2.7-acre site. The park address is 2730 Hillegass Avenue (Assessor's Parcel Number 54-1711-27). It is owned and operated by the Parks Division of the City of Berkeley Parks, Recreation, and Waterfront Department. Description continued on page 4 of the Continuation Sheet.

**\*P3b. Resource Attributes:** HP29. Landscape Architecture. HP31. Urban Open Space.

**\*P4. Resources Present:**  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #)  
View southwest of the clubhouse.

**\*P6. Date Constructed/Age and Sources:**  Historic  Prehistoric  Both  
1969, Original As-built drawings

**\*P7. Owner and Address:**  
Parks Division of the City of Berkeley  
Parks, Recreation, and Waterfront  
Department  
2180 Milvia Street  
Berkeley, CA 94704

**\*P8. Recorded by:** (Name, affiliation, and address)  
Rincon Consultants, Inc.  
180 N. Ashwood  
Ventura, CA 93003

**\*P9. Date Recorded:** 9/16/2021

**\*P10. Survey Type:** (Describe) Intensive

**\*P11. Report Citation:** (Cite survey report and other sources, or enter "none.")

Howell-Ardila, Debi. 2021. *Frances Willard Park, Berkeley, California Historic Resources Evaluation Report*. Rincon Consultants Project No. 20-09331.

**\*Attachments:**  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List):

DPR 523A (1/95)

**\*Required information**



State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION <b>BUILDING, STRUCTURE, AND OBJECT RECORD</b>	Primary # HRI#
---	-------------------

Page 2 of 10

\*NRHP Status Code 6L

\*Resource Name or # (Assigned by recorder) Frances Willard Park

- B1. Historic Name: Frances Willard Park
- B2. Common Name: Willard Park, 2730 Hillegass Avenue
- B3. Original Use: Public Park
- B4. Present Use: Public Park

\*B5. Architectural Style: N/A

\*B6. Construction History: (Construction date, alterations, and date of alterations)

Planning for Willard Park began in 1950s, as city officials recognized the need for a recreational facility in southeast Berkeley, and ultimately chose the subject site for redevelopment as a park (Oakland Tribune 9/17/1957). The City Council began authorizing the piecemeal acquisition of residential properties in the area by 1957 (Oakland Tribune 7/24/1957). While some property owners sold their homes willingly, opposition to the park plan arose, spearheaded by Southeast Berkeley Property Owners' Association, whose officers all resided on the 2700 block of Hillegass Avenue, where the park would be constructed. According to reporting by the Oakland Tribune, the organization was established "to protect their private homes and income property in the Hillegass-Derby-Regent block against" the development of the proposed park (Oakland Tribune 9/26/1957). See Continuation Sheet page 4.

\*B7. Moved? No Yes Unknown Date: Original Location:

\*B8. Related Features:

B9a. Architect: Daniel R. Osborne and Zach R. Stewart

b. Builder: Not Identified

\*B10. Significance: Theme: N/A

Area: N/A

Period of Significance: N/A

Property Type: N/A

Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Willard Park and its components—including the clubhouse and other built features—do not appear to meet the criteria for landmark listing at the federal, state, or local level, either as individual resources, a historic district, or a cultural landscape. The park and its components are not associated with significant events, patterns of development, or people who were significant in the history of the city, region, state, or nation (Criteria A/1 and B/2). The park and its components, including the clubhouse, do not represent a distinctive example of an architectural type or style, or the work of a master (Criteria C/3). The cultural resources records search and archival research did not identify any evidence to suggest the property has potential to yield important information. The property is not eligible under Criterion D/4. Because Willard Park and its features do not qualify for federal, state, or local list, neither the park nor any of its components qualify as historical resources pursuant to CEQA. See Continuation Sheet page 4.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References:

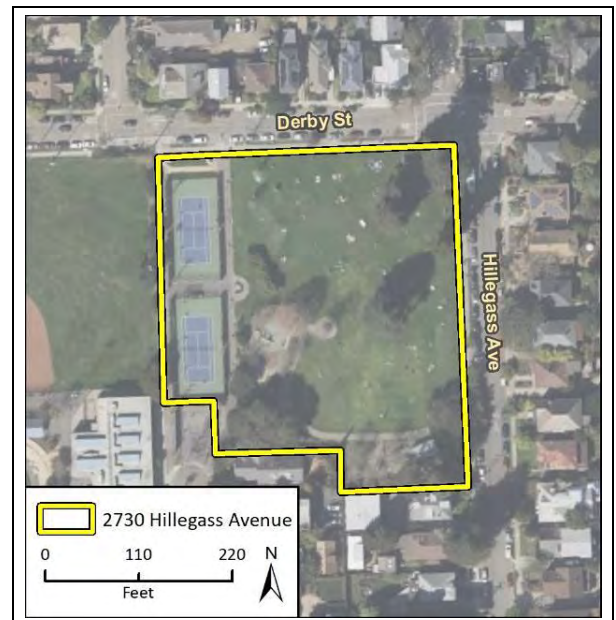
See Continuation Sheet page 4.

B13. Remarks:

\*B14. Evaluator: Ashley Losco, Rincon Consultants, Inc.

\*Date of Evaluation: September 16, 2021

(This space reserved for official comments.)



State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**LOCATION MAP**

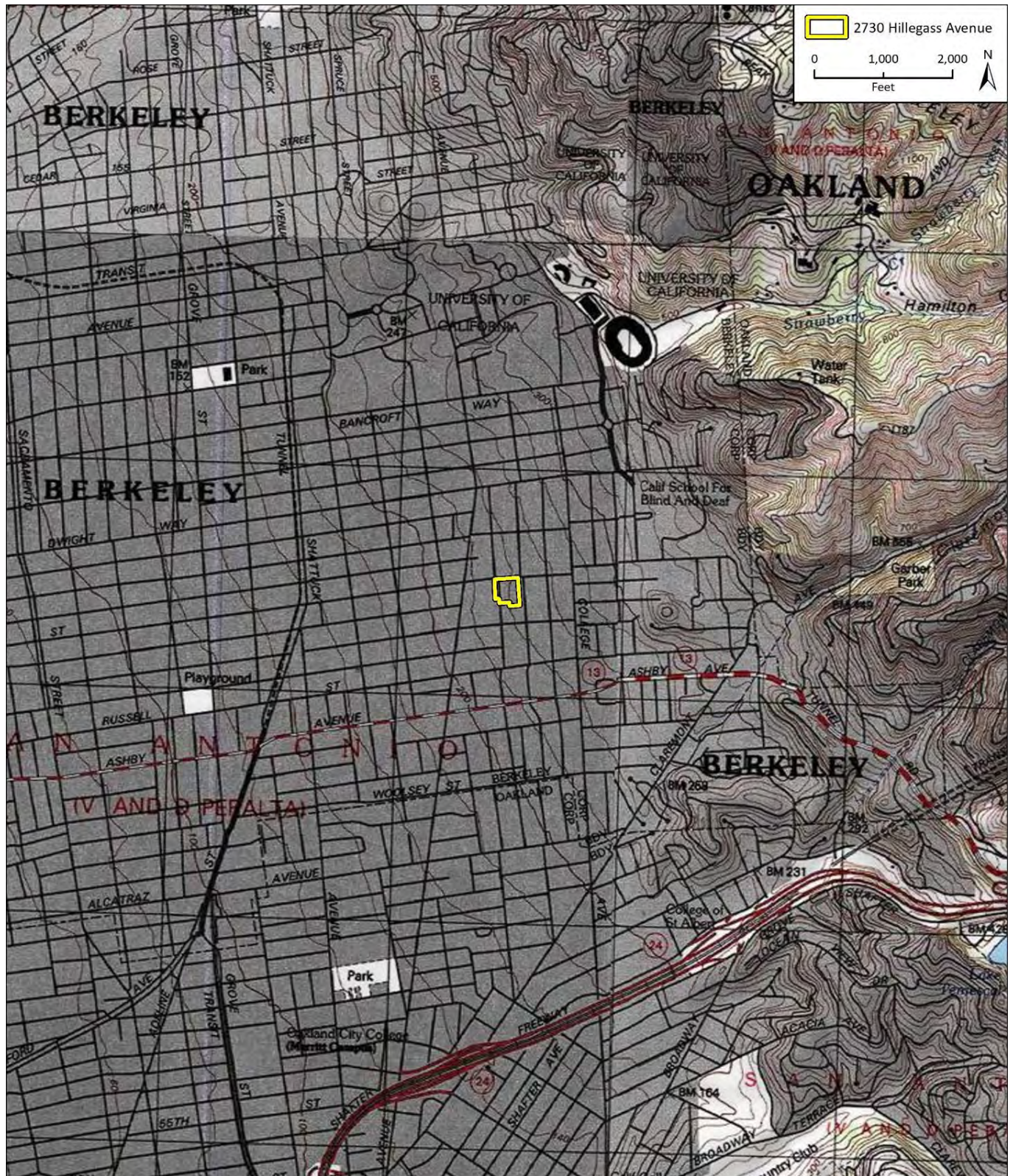
Primary #  
HRI#  
Trinomial

Page 3 of 10

\*Resource Name or #: Frances Willard Park

\*Map Name: USGS Oakland West Quadrangle

\*Scale: 1:24,000 \*Date of Map: 1993



State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary #  
HRI#  
Trinomial

Page 4 of 10

\*Resource Name or # Frances Willard Park

\*Recorded by: Rincon Consultants, Inc.

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**\*P3a. Description (Continued from Page 1):**

The park amenities include a large lawn area with mature trees, two lighted tennis courts, a tot play area, picnic area, paths made of historic cobblestones, and a clubhouse located in the southeastern corner of the park. The existing clubhouse consists of a 565-square-foot building, with an attached 114-square-foot restroom and 486-square-foot trellis area.

The focal point of the park is a large grass lawn and recreation area. Most of the other amenities, such as hardscaping/benches, the playground, and built environment features such as the clubhouse are located along the periphery of the central lawn. The lawn and park are framed and accented with mature trees throughout (a number of which pre-date the establishment of the park). Brick and stone hardscaping and planters also appear throughout, with a concentration of features along the northeastern entrance and eastern border of the park. Historic light standards line the western border of the park and are located throughout the park.

The principal built environment feature of the park is the clubhouse, located in the southeast corner of the park. One story in height, the clubhouse displays a series of aluminum-frame glazed doors, opening onto a patio space. The patio is sheltered beneath a simple wood trellis supported on metal pole supports. The walls display painted concrete-block and vertical wood planks. The original stone walkway and concrete stairs leading to an open rooftop area have been removed and replaced with a concrete-block restroom, fronted by a metal gate.

The northeast corner of the park features stone hardscaping and an entrance gate. Similar hardscaping features, with rough-hewn stone, are located near the entrance to the park and clubhouse, in the southeast portion of the park.

The western portion of the park is home to tennis courts and a playground area. In the northwestern corner of the park, at the sidewalk along Derby Street, is the 1978 "Potter's Wall," a low, undulating, decorative wall clad in recycled ceramics. The Potter's Wall was designed in the organic, expressive style of Spanish architect Antoni Gaudi. Planters and a bench are built into the wall.

**\*B6. Construction History (Continued from Page 2):**

By 1964, the City had purchased most of the 17 parcels earmarked by local planners, but the program stalled briefly (City of Berkeley Parks Division 2020). In 1968, land acquisitions resumed, after the U.S. Department of Housing and Urban Development awarded local authorities a series of open space land grants to cover half the cost of acquiring the six parcels the City had not yet purchased. In April 1969, after years of planning and preparation, an agreement was reached for Willard Park to move forward as a user-developed park with joint use between the City and Willard Junior High School. That same year, in 1969, the remaining buildings and homes were demolished and removed, and the interim park was constructed by the fall of 1969. Construction for the park moved forward, with amenities including a "recreation building, tot lot, play lot, turf field, tennis and basketball courts" (Oakland Tribune 1/19/1968).

According to the original drawings, the clubhouse was designed by the San Francisco-based firm of Daniel R. Osborne and Zach R. Stewart (available drawings do not specify a landscape architect). Both architects attended the architecture program at Stanford University, and after working on for separate firms in the 1950s and early 1960s, the two started their firm in the mid-1960s (Online Archive of California). The firm was extremely well-known in the Berkeley architecture scene as well as the cultural and social developments of 1960s San Francisco. The firm designed the staging for the Trips Festival at Longshoreman's Hall in 1966, the America Needs Indians and Sensorium series, and the 4,000 Years concerts at Grace Cathedral (Online Archive of California and SFGate). Their works include elementary schools in Nevada County, the Ahwahnee pool and the dining hall at Sunrise High Sierra Camp at Yosemite National Park, the Plumas County Museum, and poet Gary Snyder's private residence on San Juan Ridge in the foothills of the Sierra Nevada.

Before the park was officially inaugurated on June 20, 1971, the community utilized the park for gatherings (explored in more detail below). In 1976, the park's tot lot playground was renovated; in May 1982, the park was renamed for Frances Willard, a suffragette and temperance leader.

When initial development of the park began in the 1969, the site became linked to an ongoing controversy over People's Park, located two blocks to the north. Mayor Wallace J.S. Johnson announced the City's plans to begin construction of Willard Park in May, just days into the political fight over People's Park. At the core of the People's Park protests was the contention among some activists that restrictions imposed by the University of California, Berkeley, for on-campus political activities had created the need for an off-campus "free-speech area," as an alternative to Sproul Plaza. During Willard Park's first years of operation, People's Park site remained off-limits by University decree, and Willard Park served as a base for political demonstrations (Wittmeyer 2004).

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Political pressure seems to have hastened the City's opening of Willard Park. Construction began in the fall of 1969, and the park soon opened with an interim design consisting solely of a "turfed" field. Further landscaping, buildings, other amenities were scheduled for development in the near-term (Oakland Tribune 9/19/1969).

Even before the park's official inauguration in 1971, organizers soon put the space to use as an off-campus site for demonstrations concerning People's Park, the Vietnam War, and other political issues of the day. In the spirit of the times, activists nicknamed the space Ho Chi Minh Park, a name that remained in use unofficially for many years (Branning 1970; San Francisco Examiner 1982).

On July 4, 1970, the park served as the starting point for a 300-strong march along Telegraph Avenue toward the UC Berkeley campus. Marking "Liberation Day" or alternately "Anti-Honor America Day," the demonstration culminated in violence between protesters and police. By one report, "[protesters] threw rocks and firecrackers" and "city and campus police chased them in full battle gear" (Oakland Tribune 7/5/1970; 7/6/1970 San Francisco Examiner 7/12/1970). In December 1971, the antiwar organization Bay Area Veterans Against the War received permission to host an event at Willard Park. About 150 veterans camped at the park to "make sure that 'people at Christmas don't forget there's no peace on earth'" (San Francisco Examiner 12/21/1971).

On May 8, 1972, Willard Park served as the starting point for a rally and march that was pivotal in the permanent opening of People's Park. The event began as a large non-violent demonstration against President Richard M. Nixon's authorization of the mining of Haiphong Harbor near Hanoi. However, by evening the atmosphere had turned "riotous," and protesters clashed with police in the streets. The conflict culminated in protesters' dismantling of the eight-foot chain-link fence that lined the perimeter of the People's Park site (Oakland Tribune 5/9/1972). The University subsequently acceded to the activists' demands and allowed construction of the People's Park to resume.

After 1972, the use of Willard Park for political gatherings appears to have declined. A search of the newspaper database newspapers.com shows that at least one more major political rally took place at the park following the reopening of People's Park (a November 8, 1972 demonstration over Nixon's reelection) (Oakland Tribune 11/2/1972). Search results on Independent Voices, an online database of underground and alternative periodicals, shows a similar decline after 1972 (Independent Voices 2020). However, even with waning activism against the Vietnam War, the park continued to host large events falling in a generally countercultural milieu.

Through the early 1970s, Willard Park was the site the Society for Krishna Consciousness' annual Lord Chaitanya festival, which began at Sproul Plaza with a parade and ended in a day long fete at Willard Park (San Francisco Examiner 3/14/1971; Oakland Tribune 3/3/1972; Berkeley Gazette 3/9/1973). By 1973 and until at least as recently as 1981, the park was home to the annual East Bay Gay Day (later East Bay Lesbian/Gay Day) festival, sponsored by East Bay Gay and other gay and lesbian rights organizations (Berkeley Gazette 6/19/1973; 6/18/1974; 6/20/1975; 6/1/1976; 6/17/1978; North East Bay Independent and Gazette 5/15/1981). In addition, in 1974, a memorial service for Angela Atwood, who was one of six Symbionese Liberation Army members killed in a Los Angeles gunfight (San Francisco Examiner (3/9/1974). Other events at the park in this period marked the Greenpeace Save the Wales campaign and Earth Day, in addition to multiple performances by the San Francisco Mime Troupe (Berkeley Gazette 9/10/1976; North East Bay Independent and Gazette 6/19/1978).

In addition to its role as a public gathering space during the late 1960s and early 1970s, Willard Park served as a neighborhood park for area families, residents, and visitors. In 1970, in support of expanding the park's amenities, the Willard Park Citizens Committee approved designs for a second phase of development (City of Berkeley Parks Division 2020). Features of the new development included a playground, clubhouse, mural wall, tennis courts, restroom and pay phone kiosks, and new landscaping. The park centered on the Arts and Crafts-inspired clubhouse, with its distinctive cobblestone walls and open stairs, and adjacent playground, located at the northeast corner of the park.

Two notable motifs in the park's landscape design were the use of sizeable boulders, cobblestones, and similar masonry elements to mark boundaries. Removed in the 1990s, the cobblestone walls flanking the clubhouse, for example, and boulder alignments in other areas, were key features of the park's design. Original site plans depict large collections of boulders partially enclosing the playground, lining the boundary with an adjacent nursery school, and providing a barrier at the Regent Street dead end (City of Berkeley Department of Public Works 1971). Historic photographs of the park show that, in some locations, boulders were stacked several feet high (WD Watson 2006).

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Masonry elements in the 1971 plans included a low wall, curb strip, and edge strip. An original drinking fountain was also constructed with a rough-hewn masonry pedestal and basin (City of Berkeley Department of Public Works 1971). While there are no remnants of the boulders and some masonry features have been removed, the masonry motif remains evident in the drinking fountain base.

In May 1978, the Potter's Wall feature was constructed to the north of the tennis court. Influenced by Spanish architect Antoni Gaudí's designs for Parque Guell in Barcelona, Spain, local sculptor Andrew Werby designed the wall as structure with an irregular, organic form clad in a recycled ceramics applique. A crew of volunteers constructed the approximately 50-foot long, 3-foot high concrete form using the "stack sack" method (Wescover 2020; North East Bay Independent and Gazette 5/18/1978; 5/23/1978). Planters and a bench were built into the wall. The Alameda County Neighborhood Council, California Arts Council, and City of Berkeley funded the wall's construction with a combined \$1,600 in grants. Merchants donated materials, and local potters donated the ceramic shards worked into the face of the wall (North East Bay Independent and Gazette 5/23/1978).

In 1982, the park was formally dedicated to Frances Willard, a reformer who founded the Women's Christian Temperance Union (WTCU) in 1878. Although the site had been in use as Willard Park for over a decade, it had not been opened officially. Members of the WTCU joined local political leaders for a dedication ceremony, which also marked the completion of a \$20,000 renovation of the "tot area" funded under the 1974 Measure Y bond issue (North East Bay independent and Gazette 5/7/1982; City of Berkeley Parks Division 2020 ).

In the late 1980s and 1990s, the neighborhood advocacy organization Friends of Willard Park spearheaded several improvements to the park. These included the construction of a new "tot lot," improved lighting, irrigation, and circulation measures; laying of a new cobblestone entry on Hillegass Avenue; and a "rose walk" near the Potter's Wall. The latter project was designed in part to deter overnight camping in the park, which had been an issue of contention since at least as early as 1990 (FWP 1997; Guttman 1990).

In addition, the City carried out a variety of projects at the park, including the addition of restrooms to the clubhouse and removal of the stone features in 1991 and construction of new circulation paths and changes to the children's play areas in circa 1994 (City of Berkeley Department of Public Works 1991; 1994). These projects led to the removal of several features constructed in the 1970s, including the stone walls and steps on the east elevation of the clubhouse, the restroom and pay phone kiosks, and the original playground areas.

**\*B10. Significance (Continued from Page 2):**

Willard Park falls within the neighborhood of Elmwood in southeast Berkeley, located between the north-south corridors of College and Telegraph Avenues, south of the University of California, Berkeley. During its founding years, Berkeley owed much of its initial development to its proximity to regional transportation routes, emerging commercial and industrial centers, and the establishment of the University of California, Berkeley. Originally founded in Oakland in 1855 as the "College of California," the university relocated to Berkeley in 1866. The City of Berkeley incorporated in 1878, a year after the Southern Pacific Railroad line reached the Bay Area in 1877. Through the late nineteenth century, Berkeley remained a small town with emerging neighborhoods and commercial corridors, in particular along San Pablo and University Avenue, ringed by agricultural uses on the city periphery.

In addition, the 1906 San Francisco Earthquake and fire caused widespread displacement and an exodus out of San Francisco to East Bay towns like Berkeley and Oakland. During the opening years of the twentieth century, the Elmwood neighborhood saw a great increase in new settlement and construction as a result of these and other factors.

In addition, in terms of the stylistic character of its early architecture, Berkeley and early neighborhoods like Elmwood became centers for the Arts and Crafts movement. During the late nineteenth and early twentieth century, the City overall saw a flowering of Arts and Crafts architecture – in particular, in its "First Bay Tradition" of the Bay Area-influenced Arts and Crafts style. Early practitioners in Berkeley of the First Bay Tradition included architects such as Bernard Maybeck, Julia Morgan, John Galen Howard, Ernest and Almeric Coxhead, John Hudson Thomas, and James Placheck (many of whom not only practiced but also resided in the Berkeley Hills surrounding UC Berkeley).

The First Bay Tradition expanded on and redefined the Arts and Crafts architecture emerging on the East Coast in the work of architects such as Henry Hobson Richardson and McKim, Mead and White. One of the most significant West Coast innovations was the focus on site-specific design and creating connections between the indoors and outdoors, buildings, landscaping, and setting:

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“What the Bay Tradition added to the Shingle Style was environment, and in particular the generosity of and therefore, connection to outdoor space, open and cheerful western skies, hills alternating gold and green, and sculptural woodlands. In fact, it is the connections between setting, landscape and architecture where early Bay Area buildings fully succeeded the Shingle-Style of their Eastern mentors.” (Preservation Architecture 2007)

In this way, Berkeley’s woodsy setting and indoor-outdoor integration became important features for the new First Bay Tradition. As William Wilson Wurster wrote, “The First Bay Tradition went beyond a strictly architectural expression; it also reflected a life style” (Stern Cerny 1990). Commentators at the time recognized this “unique quality” and cohesive, distinctive neighborhood character it created. With the post-1906 construction boom in Berkeley, including in Elmwood, the character of the residential neighborhood around and in Willard Park was one of Arts and Crafts-inspired Craftsman homes, clad with brown wood shingles and enveloped in landscaping. Some of the neighborhood’s original landscaping, in the form of mature evergreen trees, survives in Willard Park.

This general description was also reflected in the Home Owners’ Loan Corporation 1937 survey of Elmwood. At the time, surveyors noted the “dignified” architectural character of the neighborhood’s homes and the average date of construction of 1905 (HOLC 1937). In terms of the neighborhood, it was deemed to have “excellent local and San Francisco transportation, convenient to schools, University of California, recreational facilities and local shopping centers” (HOLC 1937).

Into the twentieth century, Berkeley expanded rapidly, through the meteoric growth of the University of California, Berkeley, the downtown commercial corridor, as well as industrial development along the city periphery. Residential expansion grew, as well, with neighborhoods into the Berkeley flats and hills showing increasing numbers of new tracts and residential settlement. With the advent of the automobile, as well as road construction and infrastructure improvements, residential development expanded further from the city’s historical center. During and immediately after World War II, the combination of in-migration to California and the postwar baby boom fueled further growth, and Berkeley approached its peak population of over 110,000 by 1950.

The City rapid population growth coincided with massive, Cold War-era investments in American public universities. A prime beneficiary of federal research grants, the University of California, Berkeley, experienced postwar surge in enrollments, which grew from 7,700 in 1944 to 21,000 in 1946. The University’s growth contributed to Berkeley’s emergence as intellectual center. By the 1960s, Berkeley was transformed from a small town to a cosmopolitan “republic of letters where independent newspapers, poetry, music, art, and theater proliferated” (Suri 2004).

In terms of Elmwood and the area around Willard Park, it had been largely developed for residential use by the opening decades of the twentieth century. The proximity to the north-south corridors of Telegraph Avenue to the south and College Avenue to the north made the neighborhood accessible to downtown shopping areas and the Civic Center as well as UC Berkeley to the north. As shown on the 1911 Sanborn Fire Insurance map, the neighborhood primarily consisted of axial, residential-sized lots on a rectilinear street grid. Nearly all of the lots had already been improved with two-story, single-family homes. At this time, Regent Street followed an uninterrupted course between Stuart and Derby Streets. As of 1911, Frances Willard School, which is currently located immediately west of the park, had not yet been developed, and the school site was home to several residences (ProQuest 2020).

As of 1939, the year the first available aerial photograph of the area was taken, the area was fully developed and had much the same predominantly residential character as it has today. By 1946, the clearing of former residential parcels between Regent Street and Telegraph Avenue had begun in order to construct Frances Willard School. The school was expanded and its older buildings razed and replaced over the next two decades. Aside from a modest increase in commercial and/or institutional development along Telegraph and College avenues, there were few notable changes to the subject property or its vicinity until after 1968 (EDR 2020).

#### Evaluation

Willard Park and its components—including the clubhouse and other built features—do not appear to meet the criteria for landmark listing at the federal, state, or local level, either as individual resources, a historic district, or a cultural landscape. The park and its components do not meet the criteria associated with significant events, patterns of development, or people who were significant in the history of the city, region, state, or nation. The park and its components, including the clubhouse, do not represent a distinctive example of an architectural type or style, or the work of a master. Because Willard Park and its features do not qualify for federal, state, or local list, neither the park nor any of its components qualify as historical resources pursuant to CEQA.

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As a public space in Berkeley in the late 1960s/early 1970s, Willard Park had a brief association with the Antiwar Movement and other grassroots political movements. The City of Berkeley opened Willard Park as an interim park space in the fall of 1969. Before the official inauguration of the park in June 1971, prior to the opening of People's Park, Berkeley activists unofficially renamed the property Ho Chi Minh Park and began using it for socializing, entertainment, education, political organizing, and political demonstrations.

Between 1969 and 1972, the park was the site of several rallies and marches. Although use of the park for antiwar and free speech events was short-lived (those activities declined after 1972), the park remained the site of community festivals, such as the Lord Chaitanya Festival and early occurrences of East Bay Lesbian/Gay Day, and alternative arts performances, including several by the famed San Francisco Mime Troupe. While this association with community activism and culture is noteworthy, it is relatively short when compared with the history of People's Park; for Willard Park, research identified through this study did not suggest that this association rises to the level required to confer eligibility as a landmark at the federal, state, or local level.

In addition, research did not reveal an association of the park with any individuals known to have made significant contributions to the history of the city, state, region or nation. Its design and architecture are that of a typical neighborhood park, and neither the park as a whole nor any of its components embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, or possess high artistic values. Willard Park also appears ineligible under the remaining City of Berkeley Landmark designation criteria.

As a potential Structure of Merit, the park, inclusive of the clubhouse, does not appear to be worthy of preservation as part of a neighborhood, a block, or a street frontage, or a group of buildings which include City Landmarks because it is: Neither a contemporary of the nearest City Landmarks and Structures of Merit, nor is it compatible with their style or design. It is not a good example of architectural design, and it does not possess historically significant connections to its neighborhood, block, frontage or group of resources.

Given the park's brief but noteworthy history as a gathering space for antiwar, counter-culture, and Free Speech movement events, Willard Park appears to warrant special consideration in local planning (6L California Historic Resources Status code). The 6L code does not confer status as a historical resource per CEQA but is used to signal that local planning may wish to extend special consideration to the resource.

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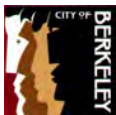
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Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

Section 4:

E. Transportation Impact Study





155 Grand Avenue, Suite 505  
Oakland, CA 94612  
P 510.839.1742

# Technical Memorandum

September 28, 2022

Project# 23412.003

To: Wendy Wellbrock, Associate Civil Engineer  
City of Berkeley, Parks, Recreation, and Waterfront Department

From: Amanda Leahy, AICP; Sophia Semensky

RE: Willard Clubhouse and Restroom Replacement

## TRANSPORTATION STUDY

Kittelison & Associates, Inc. (Kittelison) prepared this technical memorandum to describe the parking and transportation conditions near the proposed project at Willard Park (proposed project) and provides off-street vehicle parking recommendations and justifications for off-street parking exemptions.

The document is structured in four parts:

- Executive Summary: Summarizes key findings and recommendations from the study.
- Project Description and Code Requirements: Describes the proposed project and parking requirements according to the Off-Street Parking and Loading Requirements section of the City of Berkeley's municipal code.
- Local Conditions: Describes the transportation and land use characteristics of the neighborhood, including the walking, biking, and public transit conditions as well as on- and off-street parking provision near the proposed project. Presents vehicular parking demand estimates for the proposed project.
- Summary of Findings and Recommendations: Presents a summary of the analysis findings and recommendations for off-street vehicle parking requirements for the proposed project.

The analysis presented herein indicates that the presence of on-street parking and the availability of walking, biking, and public transit options reduces the need for off-street vehicle parking for the local serving neighborhood clubhouse at Willard Park.

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## Executive Summary

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Based on the review of local conditions and census data, this analysis finds that the proposed project's provision of zero off-street vehicle parking spaces would be appropriate based on the amount of traffic generated by the use, as per the City of Berkeley Off-Street Parking and Loading Requirements, section 23.322.030, for the following reasons:

- There are sufficient on-street vehicle parking spaces located nearby to accommodate long-term vehicle parking needs of staff at the clubhouse without substantially reducing the amount of parking available in the vicinity of the project site.
- Secure bicycle parking would be provided on-site to make biking to work and first- and last- mile connections to transit a convenient option.

Additionally, we have provided the following recommendations to ensure that short-term vehicle parking needs (i.e., passenger drop-off and pick-up) are met and managed appropriately:

- Designated on-street passenger loading space should be considered in order to better accommodate passenger drop-off and pick-up.
- A drop-off and pick-up plan should be developed to manage passenger loading activities.

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## Project Description and Code Requirements

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### EXISTING CLUBHOUSE & PROPOSED REPLACEMENT PROJECT

Willard Park includes an existing one-story clubhouse, tennis courts, a children's playground, an open lawn area, and an existing public toilet. The existing clubhouse is located at the southeast corner of the site adjacent to Hillegass Avenue. The clubhouse area consists of 1,051 square feet, including an outside covered patio area. The primary use of the existing clubhouse is for afterschool and summer childcare programs and recreation programs. The afterschool program runs five days a week from 1:30 PM to 6 PM and enrolls about 45 students. The summer childcare program runs from 7:30 AM to 6 PM and enrolls 45 students. Recreation programs are currently primarily held outdoors under the covered patio area due to limitations of the building's size and configuration.

The proposed project would construct a new 3,285 square foot building at the existing site. The new building would include one community room, a kitchen, storage, restrooms, an office, and a lobby. Programming would largely remain the same as with the proposed project.

### PARKING REQUIREMENTS

The City of Berkeley Off-Street Parking and Loading Requirements does not provide any requirements for a clubhouse or community space. For 'Other Uses', section 23.322.030 states that "the review authority shall determine the required number of off-street parking spaces based on the amount of traffic generated by the use and the number of spaces required for other similar uses."

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## Local Conditions

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### TRANSPORTATION AND CIRCULATION

Walking. The proposed project is in an area with continuous sidewalks that provide safe and comfortable access to local amenities and public transit stops. For example, Downtown Berkeley is approximately 30-minutes away by foot. The rating service Walk Score<sup>1</sup> finds that the area is "Very Walkable" with a score of 92 on their 0 to 100 scale.

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<sup>1</sup> Walk Score is a proprietary metric that measures "walkability on a scale from 0 - 100 based on walking routes to destinations such as grocery stores, schools, parks, restaurants, and retail."

Biking. The property is located along Hillegass Avenue, part of the City's low-stress bike boulevard network<sup>2</sup>, connecting to UC Berkeley campus and to Oakland. It is also located along Derby Street, which is a designated Bicycle Route that connects to Telegraph Avenue, which offered designated bicycle lanes. In addition, there is a Bay Wheels bike share station at the intersection of Derby Street and College Avenue approximately two blocks from the proposed project. Bay Wheels is a bike share service that serves Berkeley, Oakland, and Emeryville in the East Bay.

Transit. The proposed project is located two blocks from the nearest Line 51B bus stop, a quarter-mile to the nearest Line 6 bus stop, and 0.8 miles from the nearest Line 18 bus stop. The Line 51B provides service to Downtown Berkeley, UC Berkeley, and Rockridge. The Line 6 provides service to Downtown Berkeley, UC Berkeley, and Downtown Oakland. The Line 18 provides service to University Village, Albany, Lake Merritt BART, and Downtown Oakland. These three bus lines provide high-frequency service. During the a.m. and p.m. peak periods, the Line 51B arrives every 12 minutes, the Line 6 arrives every 12 minutes, the Line 18 arrives every 20 minutes. This site also has access to two Service to School routes (604, 605), two All Nighter lines (800, 851), and one Transbay line (F) within 1 mile. The transit options are summarized in Table 1, with the distance to the nearest station/stop and select destinations on each route.

Table 1: Available Public Transit Options

Service and Stop/Route	Distance to Stop/Station	Access To
AC Transit – 51B	0.2 mile	Rockridge BART to Berkeley Amtrak
AC Transit – 604	0.2 mile	North Berkeley BART to Oakland Hebrew Day School, Head Royce High School and Bentley School
AC Transit – 605	0.2 mile	University Ave. & Shattuck Ave., Berkeley, to Head Royce High School
AC Transit – 851	0.2 mile	Downtown Berkeley to Fruitvale BART (All Nighter)
AC Transit – 6	0.25 mile	Downtown Oakland to Downtown Berkeley
AC Transit – 18	0.8 mile	Albany to Lake Merritt BART
AC Transit – 800	0.8 mile	Richmond BART to 24th St. BART (All Nighter)
AC Transit – F	0.9 mile	UC campus to Salesforce Transit Center, San Francisco

The area around the proposed project includes continuous sidewalks that provide safe and comfortable access to public transit stops for people walking, including the closest AC Transit stops at Derby Street and College Avenue and at Telegraph Avenue and Derby Street. Telegraph Avenue is the primary route for people to access transit stops and has clearly marked crosswalks on side streets and crossing Telegraph Avenue. At the intersections immediately north and south of the project, all crosswalks have curb ramps, but are missing tactile domes. There are streetlights along Derby Street, Hillegass Avenue, and Stuart Street.

Vehicles. The proposed project is located within the residential preferential parking (RPP) permit zone B. On-street vehicle parking spaces are provided along both sides of all streets near the proposed project site, including the streets fronting Willard Park – Derby Street, Stuart Street, Hillegass Avenue, and Regent Street. On-street parking is generally free of charge and time-limited to 2 hours.<sup>3</sup> Off-street parking is available at 3010 Colby Street garage, which is located 0.6 miles (an approximately 10-minute walk) south of the

<sup>2</sup> Low-stress bikeways are characterized by lower vehicle volumes and speeds or by physical separation between people biking and motor vehicles.

<sup>3</sup> On-street metered parking is provided along Telegraph Avenue and College Avenue south of Russell Street.

proposed project site. SpotAngels, an online community of drivers helping each other find parking, indicates a number of long-term paid parking options within walking distance of the proposed project site.<sup>4</sup>

## CLUBHOUSE ACTIVITIES AND TRAVEL CHARACTERISTICS

During the school year, the clubhouse currently operates an after-school program for approximately 45 children from 1:30 PM to 6:00 PM with five staff. The majority of children in the afterschool program are bussed to the site from four local elementary schools, and picked up at various times. With the site expansion, the after-school program is expected to serve up to 60 students with up to seven staff. Staff work a 1:15 PM to 6:00 PM shift.

During the summer, the clubhouse currently operates a summer camp program for approximately 45 children from 7:30 AM to 6:00 PM with five staff. With the site expansion, the summer childcare program is expected to serve up to 60 students with up to seven staff. Staff work two shifts: 7:15 AM – 1:00 PM and 12:30 PM - 6:00 PM.

With the site expansion, the clubhouse may also host additional programs to accommodate various age groups, community events, and offer facility rentals when the community rooms are not used for scheduled recreation programs. These programs have yet to be developed but are not expected to add significant trips or parking demand compared to current programming and activities.

### Long-Term Parking Demand

Long-term parking demand, the demand for vehicle parking that would be generated by staff, is estimated using the City of Berkeley commute drive mode share of 38.6%<sup>5</sup>. As shown in Table 2, during the after-school program, approximately three staff are expected to drive to and from work with the expansion, resulting in a demand for three long-term vehicle parking spaces. During the summer program, approximately three staff are expected to drive to and from work for each of the morning and afternoon shifts, resulting in a maximum long-term parking demand of six spaces. This peak demand would occur between 12:15 PM and 1:15 PM during the shift change. Based on our review of available on-street and off-street vehicle parking in the area, the existing vehicle parking supply is expected to meet the demand for long-term vehicle parking during both the afterschool and summer sessions.

### Short-Term (Passenger Loading) Demand

The afterschool program operates a bus service from nearby elementary schools to transport students to the clubhouse. Based on information provided by City of Berkeley Parks, Recreation, and Waterfront Department (PRWD) staff, approximately 36 students use this bus service. The bus drops students off near the clubhouse entrance on Hillegass Avenue. All participants are received by Willard Clubhouse Staff and walked into the program. Bus arrival times are staggered by school and drop-off times are scheduled at approximately 1:50 PM, 2:20 PM, and 2:30 PM.

The remaining students walk or are dropped off in vehicles. Based on information provided by City of Berkeley PRWD staff, approximately five students are currently dropped off in a passenger vehicle. The nearest

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<sup>4</sup> <https://www.spotangels.com/map#id=296554871&address=2721%20Hillegass%20Ave%20Berkeley>

<sup>5</sup> American Community Survey 5-year estimates, 2015-2019, Table S0801

passenger loading zone is located on Telegraph Avenue south of Derby Street. Given there is no designated passenger loading zone near the clubhouse entrance, the majority of student drop-off and pick-up activity occurs in available on-street parking spaces along Hillegass Avenue between Derby Street and Stuart Street. Clubhouse staff assist students to/from their vehicles and direct traffic along Hillegass Avenue during drop-off and pick-up periods.

Table 2: Long-Term Vehicle Parking Demand Estimates – Existing and With New Clubhouse

	School Year				Summer			
	Students	Staff	Commute Driving Share	Long-Term Parking Demand	Students	Staff	Commute Driving Share	Long-Term Parking Demand
Existing	45	5	38.6%	2	45	10 (5 AM, 5 PM)	38.6%	4
New Clubhouse	60	7	38.6%	3	60	14 (7 AM, 7 PM)	38.6%	3

### Off-Street Vehicle Parking Requirements and Exceptions for Similar Uses

The proposed project is located within the R-2 Restricted Two-family Residential Zoning District. Off-street vehicle parking requirements and exceptions for similar project types and land uses within or outside of the R-2 Zoning District are presented in Table 3. As summarized in Table 3, based on a review of vehicle parking requirements and exemptions for similar project types (i.e., building expansions and additions) the proposed project should not be required to provide off-street vehicle parking. The proposed project would result in an expansion of more than 2,000 square feet but still would meet the requirements outlined for the Zoning Officer waiver.

Table 3: Off-Street Vehicle Parking Requirements and Exceptions

Project Type / Land Use	Requirement	Number of Off-Street Vehicle Parking Spaces Required <sup>1</sup>
Additions of up to 1,000 sq. ft. of gross floor area or up to 25% of existing gross floor area, whichever is less (C-DMU)	Exempt from Parking Requirement	0 spaces
The Zoning Officer or ZAB may reduce or waive the number of off-street parking spaces required for building expansions	(a) The reduction will not substantially reduce the availability of on-street parking in the vicinity of the use (b)ii. The use is located one-quarter of a mile or less from a public or private parking area that is accessible by the employees of the use and sufficient parking supply is available therein to mitigate the reduction in parking for the use. (c)i. The parking requirement modification will meet the purpose of the district related to improvement and support for alternative transportation, pedestrian improvements, and activity, or similar policies. (c)ii. There are other factors, such as alternative transportation strategies or policies in place, that will reduce the parking demand generated by the use.	0 spaces

Notes: sq. ft. = square feet

<sup>1</sup> Requirement calculated based on the rate for the similar land use and publicly accessible square footage of the clubhouse with proposed expansion of 3,285 sq. ft. The publicly accessible square footage includes the 1,700 sq. ft. community rooms and 410 sq. ft. lobby/circulation area and excludes the kitchen, storage room, utility room, office, and restroom. These square footages were provided by City staff via email.



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## Summary of Findings and Recommendations

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The proposed project is estimated to generate demand for a maximum of six long-term vehicle parking spaces during the summer program, an increase of two spaces compared to the existing clubhouse activities. This long-term vehicle parking demand can be accommodated with the current supply. Given on-street parking restrictions on streets surrounding the proposed project site, staff would need to use nearby off-street public parking or pay for private parking through a parking space matching application such as SpotAngels.

Given that there are multiple transit options and high-quality walking and biking infrastructure nearby, as well as the fact that provision of vehicle parking is demonstrated to increase vehicle trips and run counter to City goals of reducing auto mode share and vehicle miles traveled, the proposed project should not be required to provide off-street vehicle parking. To further support a shift to sustainable modes, the proposed project will include secure on-site bicycle parking spaces to make it more convenient to travel to and from the site by bicycle and to access transit without a personal vehicle. It should also be noted that provision of on-site parking would require a new curb cut. Construction of a curb cut and driveway would require removal of at least one on-street vehicle parking space, reduce the permeable open space and recreational area on-site, and introduce a conflict point between drivers turning into and out of the driveway and people walking on the sidewalk.

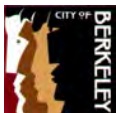
While the purpose of this study was to identify the appropriate off-street vehicle parking requirements for the proposed project, based on our analysis, we identified a need for short-term vehicle parking and a drop-off/pick-up management plan to accommodate student drop-off and pick-up. This plan should explore allocating existing on-street parking spaces to passenger loading zones during certain times of day (i.e., during drop-off and pick-up periods).

These findings support the conclusion that the proposed project's provision of zero off-street vehicle parking spaces for the clubhouse expansion would be appropriate based on the amount of traffic generated by the use.

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

Section 4:

G. Stormwater Requirements Checklist





**Stormwater Requirements Checklist**  
 Municipal Regional Stormwater Permit (MRP 2.0)  
 Stormwater Controls for Development Projects

**City of Berkeley**  
 Public Works Dept.  
 Engineering Division



I. C.3.i Project Information

This form applies to development projects creating and/or replacing ≥ 2500 ft<sup>2</sup> to < 10,000 ft<sup>2</sup> of impervious surface which are not Special Land Use Categories projects (auto service facilities, retail gasoline outlets, restaurants, and uncovered parking lots). This form also applies to detached single-family home projects, which create and /or replace ≥ 2500 ft<sup>2</sup> of impervious surface. Interior remodeling projects and routine maintenance or repair projects such as roof or exterior wall surface replacement and pavement resurfacing within the existing footprint are exempt from C.3.i stormwater requirement.

**I.A. Enter Project Data**

I.A.1 Project Name: Willard Park Clubhouse

I.A.2 Project Address (include cross street): 2720 Hillegas Avenue, Berkeley, CA 94705

I.A.3 Project APN: 54-1711-27 I.A.4 Project Watershed<sup>1</sup>: Potter & Derby Creeks Watershed

I.A.5 Applicant Name: Wendy Wellbrock I.A.6 Date Submitted: \_\_\_\_\_

I.A.7 Applicant Address: 1947 Center Street, 5th floor, Berkeley, CA 94704

I.A.8 Applicant Phone: 510-981-6346 I.A.9 Applicant Email Address: wwellbrock@cityofberkeley.info

I.A.10 Development type: (check all that apply)  
 Residential  Commercial  Industrial  Mixed-Use  Streets, Roads, etc.  
 'Redevelopment' as defined by MRP: creating, adding and/or replacing exterior existing impervious surface on a site where past development has occurred<sup>2</sup>  
 'Special land use categories' as defined by MRP: (1) auto service facilities<sup>3</sup>, (2) retail gasoline outlets, (3) restaurants<sup>3</sup>, (4) uncovered parking area (stand-alone or part of a larger project)

I.A.11 Project Description<sup>4</sup>: (Also note any past or future phases of the project.)  
Replacement of Willard Park Clubhouse located at the south east corner of Willard Park in Berkeley, CA. The work includes demolition of the existing, single-story, 565 sf clubhouse plus the 486 sf trellis and 114 sf restroom and construction of a new, single-story, 4,200 sf, wood-framed multi-purpose community building and a 200 sf stand-alone restroom, including building envelope, interior partitions, casework and finishes, as well as mechanical, electrical, plumbing and fire protection systems.

I.A.12 Total Area of Site: 2.55 acres I.A.13 Slope on Site: 4 %

I.A.14 Total Area of land disturbed during construction (include clearing, grading, excavating and stockpile area): 0.3 acres.

**I.B. Enter the amount of impervious and pervious surface<sup>1</sup> created and/or replaced by the project.**

**Table of Impervious and Pervious Surfaces**

Type of Impervious Surface	a	b	C	d
	Pre-Project Impervious Surface (sq.ft.)	Existing Impervious Surface to be Replaced <sup>7</sup> (sq.ft.)	New Impervious Surface to be Created <sup>7</sup> (sq.ft.)	Post-project pervious surface (sq.ft.)
Roof area(s) – excluding any portion of the roof that is vegetated ("green roof")	679	679	2714	N/A
Impervious <sup>5</sup> sidewalks, patios, paths, driveways	4807	4803	0	
Impervious <sup>5</sup> uncovered parking <sup>6</sup>	0	0	0	
Streets (public)		0	0	
Streets (private)		0	0	
Totals:	5486	5482	2714	
Area of Existing Impervious Surface to remain in place	N/A			
Total New Impervious Surface (sum of totals for columns b and c):	8196			

<sup>1</sup> Watershed is defined by the maps from the Alameda County Flood Control District at <http://acffloodcontrol.org/resources/explore-watersheds>

Stormwater Requirements Checklist

- <sup>2</sup> Roadway projects that replace existing impervious surface are subject to C.3 requirements only if one or more lanes of travel are added.
- <sup>3</sup> Standard Industrial Classification (SIC) codes are in Section 2.3 of the C.3 Technical Guidance (download at [www.cleanwaterprogram.org](http://www.cleanwaterprogram.org))
- <sup>4</sup> Project description examples: 5-story office building, industrial warehouse, residential with five 4-story buildings for 200 condominiums, etc.
- <sup>5</sup> Per the MRP, pavement that meets the following definition of pervious pavement is NOT an impervious surface. Pervious pavement is defined as pavement that stores and infiltrates rainfall at a rate equal to immediately surrounding unpaved, landscaped areas, or that stores and infiltrates the rainfall runoff volume described in Provision C.3.d.
- <sup>6</sup> Uncovered parking includes top level of a parking structure.
- <sup>7</sup> "Replace" means to install new impervious surface where existing impervious surface is removed. "Create" means to install new impervious surface where there is currently no impervious surface.

**I.C. Identify C.6 Construction-Phase Stormwater Requirements**

	Yes	No
I.C.1 Does the project disturb 1.0 acre (43,560 sq.ft.) or more of land? (See Item I.A.14). <i>If Yes, obtain coverage under the state's Construction General Permit at <a href="https://smarts.waterboards.ca.gov/smarts/faces/SwSmartsLogin.jsp">https://smarts.waterboards.ca.gov/smarts/faces/SwSmartsLogin.jsp</a>. Submit to the municipality a copy of your Notice of Intent and Storm Water Pollution Prevention Plan (SWPPP) before a grading or building permit is issued.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I.C.2 Is the site a "High Priority Site" that disturbs less than 1.0 acre (43,560 sq.ft.) of land? (Municipal staff will make the final determination.) "High Priority Sites" are sites having any of the following criteria: <ul style="list-style-type: none"> <li>▪ that require a grading permit,</li> <li>▪ are adjacent to a creek,</li> <li>▪ or are otherwise high priority for stormwater protection during construction (see MRP 2.0 Provision C.6.e.ii.(2)(c))</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I.C.3 Is the site a "Hillside Site" that disturbs 5,000 sq.ft. or more, but less than 1.0 acre (43,560 sq.ft.) of land? (Municipal staff will make the final determination.) <ul style="list-style-type: none"> <li>▪ "Hillside Sites" are located on hillsides, as indicated on a jurisdictional map of hillside development areas or as indicated by meeting jurisdictional hillside development criteria.</li> <li>▪ If no map or criteria exist, then Hillside Sites are sites with a slope of 15% or more (see I.A.13 above and MRP 2.0 Provision C.6.e.ii.(2)(b)).</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
➤ NOTE TO APPLICANT: All projects require appropriate stormwater best management practices (BMPs) during construction. Refer to the Section II to identify appropriate construction BMPs.		
➤ NOTE TO MUNICIPAL STAFF: If the answer is "Yes" to I.E.1, I.E.2, OR I.E.3, refer this project to construction site inspection staff to be added to their list of projects that require stormwater inspections at least monthly during the wet season (October 1 through April 30) and other times of the year as appropriate.		

## II. Implementation of C.3.i Stormwater Requirements

### II.A. Select Appropriate Site Design Measures

Starting December 1, 2012, projects that create and/or replace 2,500 - 10,000 sq.ft. of impervious surface, and stand-alone single family homes that create/replace 2,500 sq.ft. or more of impervious surface, **must include one or more of the following Site Design Measures a through f**, and are encouraged to implement the other Site Design Measures as practicable. See attached fact sheets for guidance on rain barrels / cisterns, vegetated areas and permeable surfaces, and attached sheets on recommended Source Control Measures and Construction BMPs.

II.A.1 Is the site design measure included in the project plans?

Yes	No	Plan Sheet No.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Direct roof runoff onto vegetated areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Construct sidewalks, walkways, and/or patios with pervious surfaces. Use the specifications in the C3 Technical Guidance (Version 4.1) or for small projects see the BASMAA Pervious Paving Factsheet. For these documents and others go to <a href="http://www.cleanwaterprogram.org">www.cleanwaterprogram.org</a> and click on "Resources."
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Construct bike lanes, driveways, and/or uncovered parking lots with pervious surfaces. Use the specifications in the C3 Technical Guidance (Version 4.1) or for small projects see the BASMAA Pervious Paving Factsheet. For these documents and others go to the program website at: <a href="http://www.cleanwaterprogram.org">www.cleanwaterprogram.org</a> and click on "Resources."
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g. Minimize land disturbance and impervious surface (especially parking lots).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	h. Maximize permeability by clustering development and preserving open space.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Use micro-detention, including distributed landscape-based detention.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Protect sensitive areas, including wetland and riparian areas, and minimize changes to the natural topography.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	k. Self-treating area (see Section 4.1 of the C.3 Technical Guidance)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	l. Self-retaining area (see Section 4.2 of the C.3 Technical Guidance)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	m. Plant or preserve interceptor trees (Section 4.5, C.3 Technical Guidance)

II.B. C.3.i projects are encouraged to implement the following Source Control Measure as practicable.

Are these features in project?		Features that require source control measures	Source control measures (Refer to Local Source Control List for detailed requirements)	Is source control measure included in project plans?		
Yes	No			Yes	No	Plan Sheet No.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Storm Drain	Mark on-site inlets with the words "No Dumping! Flows to Bay" or equivalent.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Floor Drains	Plumb interior floor drains to sanitary sewer <sup>8</sup> [or prohibit].	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking garage	Plumb interior parking garage floor drains to sanitary sewer. <sup>9</sup>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping	<ul style="list-style-type: none"> <li>▪ Retain existing vegetation as practicable.</li> <li>▪ Select diverse species appropriate to the site. Include plants that are pest- and/or disease-resistant, drought-tolerant, and/or attract beneficial insects.</li> <li>▪ Minimize use of pesticides and quick-release fertilizers.</li> <li>▪ Use efficient irrigation system; design to minimize runoff.</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool/Spa/Fountain	Provide connection to the sanitary sewer to facilitate draining. <sup>9</sup>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Food Service Equipment (non-residential)	Provide sink or other area for equipment cleaning, which is: <ul style="list-style-type: none"> <li>▪ Connected to a grease interceptor prior to sanitary sewer discharge.<sup>9</sup></li> <li>▪ Large enough for the largest mat or piece of equipment to be cleaned.</li> <li>▪ Indoors or in an outdoor roofed area designed to prevent stormwater run-on and run-off, and signed to require equipment washing in this area.</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Refuse Areas	<ul style="list-style-type: none"> <li>▪ Provide a roofed and enclosed area for dumpsters, recycling containers, etc., designed to prevent stormwater run-on and runoff.</li> <li>▪ Connect any drains in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities to the sanitary sewer.<sup>9</sup></li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Process Activities <sup>9</sup>	Perform process activities either indoors or in roofed outdoor area, designed to prevent stormwater run-on and runoff, and to drain to the sanitary sewer. <sup>9</sup>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Equipment/Materials Storage	<ul style="list-style-type: none"> <li>▪ Cover the area or design to avoid pollutant contact with stormwater runoff.</li> <li>▪ Locate area only on paved and contained areas.</li> <li>▪ Roof storage areas that will contain non-hazardous liquids, drain to sanitary sewer<sup>9</sup>, and contain by berms or similar.</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vehicle/Equipment Cleaning	<ul style="list-style-type: none"> <li>▪ Roofed, pave and berm wash area to prevent stormwater run-on and runoff, plumb to the sanitary sewer<sup>9</sup>, and sign as a designated wash area.</li> <li>▪ Commercial car wash facilities shall discharge to the sanitary sewer.<sup>9</sup></li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vehicle/Equipment Repair and Maintenance	<ul style="list-style-type: none"> <li>▪ Designate repair/maintenance area indoors, or an outdoors area designed to prevent stormwater run-on and runoff and provide secondary containment. Do not install drains in the secondary containment areas.</li> <li>▪ No floor drains unless pretreated prior to discharge to the sanitary sewer.<sup>9</sup></li> <li>▪ Connect containers or sinks used for parts cleaning to the sanitary sewer.<sup>9</sup></li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fuel Dispensing Areas	<ul style="list-style-type: none"> <li>▪ Fueling areas shall have impermeable surface that is a) minimally graded to prevent ponding and b) separated from the rest of the site by a grade break.</li> <li>▪ Canopy shall extend at least 10 ft in each direction from each pump and drain away from fueling area.</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading Docks	<ul style="list-style-type: none"> <li>▪ Cover and/or grade to minimize run-on to and runoff from the loading area.</li> <li>▪ Position downspouts to direct stormwater away from the loading area.</li> <li>▪ Drain water from loading dock areas to the sanitary sewer.<sup>9</sup></li> <li>▪ Install door skirts between the trailers and the building.</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fire Sprinklers	Design for discharge of fire sprinkler test water to landscape or sanitary sewer. <sup>9</sup>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Miscellaneous Drain or Wash Water	<ul style="list-style-type: none"> <li>▪ Drain condensate of air conditioning units to landscaping. Large air conditioning units may connect to the sanitary sewer.<sup>9</sup></li> <li>▪ Roof drains shall drain to unpaved area where practicable.</li> <li>▪ Drain boiler drain lines, roof top equipment, all wastewater to sanitary sewer<sup>9</sup>.</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architectural Copper	Discharge rinse water to sanitary sewer <sup>9</sup> , or collect and dispose properly offsite. See flyer "Requirements for Architectural Copper."	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

NOTE: SOURCE CONTROL MEASURES WILL BE SHOWN ON THE IMPROVEMENT PLANS PER FUTURE SUBMITTAL

<sup>8</sup> Any connection to the sanitary sewer system is subject to sanitary district approval.

<sup>9</sup> Businesses that may have outdoor process activities/equipment include machine shops, auto repair, industries with pretreatment facilities.

**II.C Implement Construction Best Management Practices (BMPs) where applicable.**

Yes	No	Best Management Practice (BMP)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Attach the municipality's construction BMP plan sheet to project plans and require contractor to implement the applicable BMPs on the plan sheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Temporary erosion controls to stabilize all denuded areas until permanent erosion controls are established.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Delineate with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide notes, specifications, or attachments describing the following: <ul style="list-style-type: none"> <li>▪ Construction, operation and maintenance of erosion and sediment controls, include inspection frequency;</li> <li>▪ Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material;</li> <li>▪ Specifications for vegetative cover &amp; mulch, include methods and schedules for planting and fertilization;</li> <li>▪ Provisions for temporary and/or permanent irrigation.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Perform clearing and earth moving activities only during dry weather.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Use sediment controls or filtration to remove sediment when dewatering and obtain all necessary permits.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Protect all storm drain inlets in vicinity of site using sediment controls such as berms, fiber rolls, or filters.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trap sediment on-site, using BMPs such as sediment basins or traps, earthen dikes or berms, silt fences, check dams, soil blankets or mats, covers for soil stock piles, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Divert on-site runoff around exposed areas; divert off-site runoff around the site (e.g., swales and dikes).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Limit construction access routes and stabilize designated access points.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	No cleaning, fueling, or maintaining vehicles on-site, except in a designated area where washwater is contained and treated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Contractor shall train and provide instruction to all employees/subcontractors re: construction BMPs.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, washwater or sediments, rinse water from architectural copper, and non-stormwater discharges to storm drains and watercourses.

NOTE: EROSION CONTROL PLAN WILL BE SHOWN ON THE IMPROVEMENT PLANS PER FUTURE SUBMITTAL

<p>State of California — The Resources Agency                  DEPARTMENT OF PARKS AND RECREATION  <b>PRIMARY RECORD</b></p>	<p>Primary #                  HRI #                  Trinomial                  NRHP Status Code 6Z</p>
<p>Other Listings                  Review Code</p>	<p>Reviewer</p>
<p>Date</p>	

Page 1 of 10      \*Resource Name or #: Frances Willard Park

**P1. Other Identifier:** Willard Park, 2730 Hillegass Avenue

**\*P2. Location:**  Not for Publication     Unrestricted      **\*a. County:** Alameda

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

**\*b. USGS 7.5' Quad:** Oakland West      **Date:** 1993    T 01S; R 04W; ¼ of ¼ of Sec 12      ; S.B. B.M.  
 c. Address: 2730 Hillegass Avenue      City: Berkeley      Zip: 94705  
 d. UTM: Zone: ; mE/ mN (G.P.S.)  
 e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)  
 Assessor's Parcel Number 54-1711-27

**\*P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Frances Willard Park is located in the residential neighborhood of Elmwood in southeast Berkeley. The park occupies a gently sloping site and is bounded by Derby Street (north), Hillegass Avenue (east), Willard Middle School (west), and single family residences with frontage on Regent Street and Hillegass Avenue, respectively (south). The facilities span just over 118,500 square feet on a 2.7-acre site. The park address is 2730 Hillegass Avenue (Assessor's Parcel Number 54-1711-27). It is owned and operated by the Parks Division of the City of Berkeley Parks, Recreation, and Waterfront Department. Description continued on page 4 of the Continuation Sheet.

**\*P3b. Resource Attributes:** HP29. Landscape Architecture. HP31. Urban Open Space.

**\*P4. Resources Present:**     Building     Structure     Object     Site     District     Element of District     Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #)  
 View southwest of the clubhouse.

**\*P6. Date Constructed/Age and Sources:**  Historic     Prehistoric     Both  
 1969, Original As-built drawings

**\*P7. Owner and Address:**  
 Parks Division of the City of Berkeley  
 Parks, Recreation, and Waterfront  
 Department  
 2180 Milvia Street  
 Berkeley, CA 94704

**\*P8. Recorded by:** (Name, affiliation, and address)  
 Rincon Consultants, Inc.  
 180 N. Ashwood  
 Ventura, CA 93003

**\*P9. Date Recorded:** 9/16/2021

**\*P10. Survey Type:** (Describe) Intensive

**\*P11. Report Citation:** (Cite survey report and other sources, or enter "none.")

Howell-Ardila, Debi. 2021. *Frances Willard Park, Berkeley, California Historic Resources Evaluation Report*. Rincon Consultants Project No. 20-09331.

**\*Attachments:**  NONE     Location Map     Sketch Map     Continuation Sheet     Building, Structure, and Object Record  
 Archaeological Record     District Record     Linear Feature Record     Milling Station Record     Rock Art Record  
 Artifact Record     Photograph Record     Other (List):

DPR 523A (1/95)

**\*Required information**



State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION <b>BUILDING, STRUCTURE, AND OBJECT RECORD</b>	Primary # HRI#
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\*NRHP Status Code 6L

\*Resource Name or # (Assigned by recorder) Frances Willard Park

- B1. Historic Name: Frances Willard Park
- B2. Common Name: Willard Park, 2730 Hillegass Avenue
- B3. Original Use: Public Park
- B4. Present Use: Public Park

\*B5. Architectural Style: N/A

\*B6. Construction History: (Construction date, alterations, and date of alterations)

Planning for Willard Park began in 1950s, as city officials recognized the need for a recreational facility in southeast Berkeley, and ultimately chose the subject site for redevelopment as a park (Oakland Tribune 9/17/1957). The City Council began authorizing the piecemeal acquisition of residential properties in the area by 1957 (Oakland Tribune 7/24/1957). While some property owners sold their homes willingly, opposition to the park plan arose, spearheaded by Southeast Berkeley Property Owners' Association, whose officers all resided on the 2700 block of Hillegass Avenue, where the park would be constructed. According to reporting by the Oakland Tribune, the organization was established "to protect their private homes and income property in the Hillegass-Derby-Regent block against" the development of the proposed park (Oakland Tribune 9/26/1957). See Continuation Sheet page 4.

\*B7. Moved? No Yes Unknown Date: Original Location:

\*B8. Related Features:

B9a. Architect: Daniel R. Osborne and Zach R. Stewart

b. Builder: Not Identified

\*B10. Significance: Theme: N/A

Area: N/A

Period of Significance: N/A

Property Type: N/A

Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Willard Park and its components—including the clubhouse and other built features—do not appear to meet the criteria for landmark listing at the federal, state, or local level, either as individual resources, a historic district, or a cultural landscape. The park and its components are not associated with significant events, patterns of development, or people who were significant in the history of the city, region, state, or nation (Criteria A/1 and B/2). The park and its components, including the clubhouse, do not represent a distinctive example of an architectural type or style, or the work of a master (Criteria C/3). The cultural resources records search and archival research did not identify any evidence to suggest the property has potential to yield important information. The property is not eligible under Criterion D/4. Because Willard Park and its features do not qualify for federal, state, or local list, neither the park nor any of its components qualify as historical resources pursuant to CEQA. See Continuation Sheet page 4.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References:

See Continuation Sheet page 4.

B13. Remarks:

\*B14. Evaluator: Ashley Losco, Rincon Consultants, Inc.

\*Date of Evaluation: September 16, 2021

(This space reserved for official comments.)



State of California — The Resources Agency  
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**LOCATION MAP**

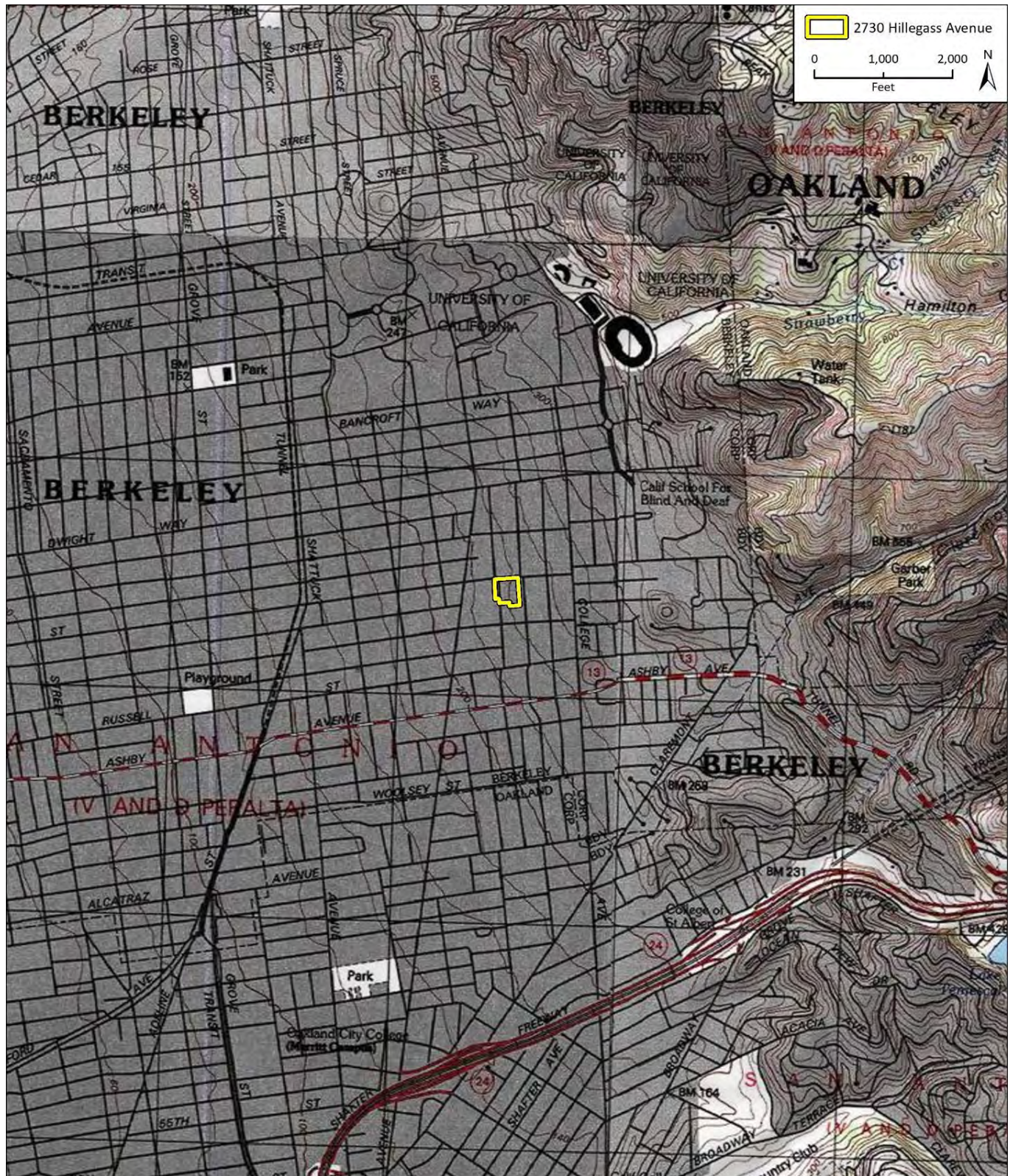
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\*Resource Name or #: Frances Willard Park

\*Map Name: USGS Oakland West Quadrangle

\*Scale: 1:24,000 \*Date of Map: 1993



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\*Resource Name or # Frances Willard Park

\*Recorded by: Rincon Consultants, Inc.

\*Date: 9/16/2021

■ Continuation □ Update

**\*P3a. Description (Continued from Page 1):**

The park amenities include a large lawn area with mature trees, two lighted tennis courts, a tot play area, picnic area, paths made of historic cobblestones, and a clubhouse located in the southeastern corner of the park. The existing clubhouse consists of a 565-square-foot building, with an attached 114-square-foot restroom and 486-square-foot trellis area.

The focal point of the park is a large grass lawn and recreation area. Most of the other amenities, such as hardscaping/benches, the playground, and built environment features such as the clubhouse are located along the periphery of the central lawn. The lawn and park are framed and accented with mature trees throughout (a number of which pre-date the establishment of the park). Brick and stone hardscaping and planters also appear throughout, with a concentration of features along the northeastern entrance and eastern border of the park. Historic light standards line the western border of the park and are located throughout the park.

The principal built environment feature of the park is the clubhouse, located in the southeast corner of the park. One story in height, the clubhouse displays a series of aluminum-frame glazed doors, opening onto a patio space. The patio is sheltered beneath a simple wood trellis supported on metal pole supports. The walls display painted concrete-block and vertical wood planks. The original stone walkway and concrete stairs leading to an open rooftop area have been removed and replaced with a concrete-block restroom, fronted by a metal gate.

The northeast corner of the park features stone hardscaping and an entrance gate. Similar hardscaping features, with rough-hewn stone, are located near the entrance to the park and clubhouse, in the southeast portion of the park.

The western portion of the park is home to tennis courts and a playground area. In the northwestern corner of the park, at the sidewalk along Derby Street, is the 1978 "Potter's Wall," a low, undulating, decorative wall clad in recycled ceramics. The Potter's Wall was designed in the organic, expressive style of Spanish architect Antoni Gaudi. Planters and a bench are built into the wall.

**\*B6. Construction History (Continued from Page 2):**

By 1964, the City had purchased most of the 17 parcels earmarked by local planners, but the program stalled briefly (City of Berkeley Parks Division 2020). In 1968, land acquisitions resumed, after the U.S. Department of Housing and Urban Development awarded local authorities a series of open space land grants to cover half the cost of acquiring the six parcels the City had not yet purchased. In April 1969, after years of planning and preparation, an agreement was reached for Willard Park to move forward as a user-developed park with joint use between the City and Willard Junior High School. That same year, in 1969, the remaining buildings and homes were demolished and removed, and the interim park was constructed by the fall of 1969. Construction for the park moved forward, with amenities including a "recreation building, tot lot, play lot, turf field, tennis and basketball courts" (Oakland Tribune 1/19/1968).

According to the original drawings, the clubhouse was designed by the San Francisco-based firm of Daniel R. Osborne and Zach R. Stewart (available drawings do not specify a landscape architect). Both architects attended the architecture program at Stanford University, and after working on for separate firms in the 1950s and early 1960s, the two started their firm in the mid-1960s (Online Archive of California). The firm was extremely well-known in the Berkeley architecture scene as well as the cultural and social developments of 1960s San Francisco. The firm designed the staging for the Trips Festival at Longshoreman's Hall in 1966, the America Needs Indians and Sensorium series, and the 4,000 Years concerts at Grace Cathedral (Online Archive of California and SFGate). Their works include elementary schools in Nevada County, the Ahwahnee pool and the dining hall at Sunrise High Sierra Camp at Yosemite National Park, the Plumas County Museum, and poet Gary Snyder's private residence on San Juan Ridge in the foothills of the Sierra Nevada.

Before the park was officially inaugurated on June 20, 1971, the community utilized the park for gatherings (explored in more detail below). In 1976, the park's tot lot playground was renovated; in May 1982, the park was renamed for Frances Willard, a suffragette and temperance leader.

When initial development of the park began in the 1969, the site became linked to an ongoing controversy over People's Park, located two blocks to the north. Mayor Wallace J.S. Johnson announced the City's plans to begin construction of Willard Park in May, just days into the political fight over People's Park. At the core of the People's Park protests was the contention among some activists that restrictions imposed by the University of California, Berkeley, for on-campus political activities had created the need for an off-campus "free-speech area," as an alternative to Sproul Plaza. During Willard Park's first years of operation, People's Park site remained off-limits by University decree, and Willard Park served as a base for political demonstrations (Wittmeyer 2004).

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■ Continuation □ Update

Political pressure seems to have hastened the City's opening of Willard Park. Construction began in the fall of 1969, and the park soon opened with an interim design consisting solely of a "turfed" field. Further landscaping, buildings, other amenities were scheduled for development in the near-term (Oakland Tribune 9/19/1969).

Even before the park's official inauguration in 1971, organizers soon put the space to use as an off-campus site for demonstrations concerning People's Park, the Vietnam War, and other political issues of the day. In the spirit of the times, activists nicknamed the space Ho Chi Minh Park, a name that remained in use unofficially for many years (Branning 1970; San Francisco Examiner 1982).

On July 4, 1970, the park served as the starting point for a 300-strong march along Telegraph Avenue toward the UC Berkeley campus. Marking "Liberation Day" or alternately "Anti-Honor America Day," the demonstration culminated in violence between protesters and police. By one report, "[protesters] threw rocks and firecrackers" and "city and campus police chased them in full battle gear" (Oakland Tribune 7/5/1970; 7/6/1970 San Francisco Examiner 7/12/1970). In December 1971, the antiwar organization Bay Area Veterans Against the War received permission to host an event at Willard Park. About 150 veterans camped at the park to "make sure that 'people at Christmas don't forget there's no peace on earth'" (San Francisco Examiner 12/21/1971).

On May 8, 1972, Willard Park served as the starting point for a rally and march that was pivotal in the permanent opening of People's Park. The event began as a large non-violent demonstration against President Richard M. Nixon's authorization of the mining of Haiphong Harbor near Hanoi. However, by evening the atmosphere had turned "riotous," and protesters clashed with police in the streets. The conflict culminated in protesters' dismantling of the eight-foot chain-link fence that lined the perimeter of the People's Park site (Oakland Tribune 5/9/1972). The University subsequently acceded to the activists' demands and allowed construction of the People's Park to resume.

After 1972, the use of Willard Park for political gatherings appears to have declined. A search of the newspaper database newspapers.com shows that at least one more major political rally took place at the park following the reopening of People's Park (a November 8, 1972 demonstration over Nixon's reelection) (Oakland Tribune 11/2/1972). Search results on Independent Voices, an online database of underground and alternative periodicals, shows a similar decline after 1972 (Independent Voices 2020). However, even with waning activism against the Vietnam War, the park continued to host large events falling in a generally countercultural milieu.

Through the early 1970s, Willard Park was the site the Society for Krishna Consciousness' annual Lord Chaitanya festival, which began at Sproul Plaza with a parade and ended in a day long fete at Willard Park (San Francisco Examiner 3/14/1971; Oakland Tribune 3/3/1972; Berkeley Gazette 3/9/1973). By 1973 and until at least as recently as 1981, the park was home to the annual East Bay Gay Day (later East Bay Lesbian/Gay Day) festival, sponsored by East Bay Gay and other gay and lesbian rights organizations (Berkeley Gazette 6/19/1973; 6/18/1974; 6/20/1975; 6/1/1976; 6/17/1978; North East Bay Independent and Gazette 5/15/1981). In addition, in 1974, a memorial service for Angela Atwood, who was one of six Symbionese Liberation Army members killed in a Los Angeles gunfight (San Francisco Examiner (3/9/1974). Other events at the park in this period marked the Greenpeace Save the Wales campaign and Earth Day, in addition to multiple performances by the San Francisco Mime Troupe (Berkeley Gazette 9/10/1976; North East Bay Independent and Gazette 6/19/1978).

In addition to its role as a public gathering space during the late 1960s and early 1970s, Willard Park served as a neighborhood park for area families, residents, and visitors. In 1970, in support of expanding the park's amenities, the Willard Park Citizens Committee approved designs for a second phase of development (City of Berkeley Parks Division 2020). Features of the new development included a playground, clubhouse, mural wall, tennis courts, restroom and pay phone kiosks, and new landscaping. The park centered on the Arts and Crafts-inspired clubhouse, with its distinctive cobblestone walls and open stairs, and adjacent playground, located at the northeast corner of the park.

Two notable motifs in the park's landscape design were the use of sizeable boulders, cobblestones, and similar masonry elements to mark boundaries. Removed in the 1990s, the cobblestone walls flanking the clubhouse, for example, and boulder alignments in other areas, were key features of the park's design. Original site plans depict large collections of boulders partially enclosing the playground, lining the boundary with an adjacent nursery school, and providing a barrier at the Regent Street dead end (City of Berkeley Department of Public Works 1971). Historic photographs of the park show that, in some locations, boulders were stacked several feet high (WD Watson 2006).

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Masonry elements in the 1971 plans included a low wall, curb strip, and edge strip. An original drinking fountain was also constructed with a rough-hewn masonry pedestal and basin (City of Berkeley Department of Public Works 1971). While there are no remnants of the boulders and some masonry features have been removed, the masonry motif remains evident in the drinking fountain base.

In May 1978, the Potter's Wall feature was constructed to the north of the tennis court. Influenced by Spanish architect Antoni Gaudi's designs for Parque Guell in Barcelona, Spain, local sculptor Andrew Werby designed the wall as structure with an irregular, organic form clad in a recycled ceramics applique. A crew of volunteers constructed the approximately 50-foot long, 3-foot high concrete form using the "stack sack" method (Wescover 2020; North East Bay Independent and Gazette 5/18/1978; 5/23/1978). Planters and a bench were built into the wall. The Alameda County Neighborhood Council, California Arts Council, and City of Berkeley funded the wall's construction with a combined \$1,600 in grants. Merchants donated materials, and local potters donated the ceramic shards worked into the face of the wall (North East Bay Independent and Gazette 5/23/1978).

In 1982, the park was formally dedicated to Frances Willard, a reformer who founded the Women's Christian Temperance Union (WTCU) in 1878. Although the site had been in use as Willard Park for over a decade, it had not been opened officially. Members of the WTCU joined local political leaders for a dedication ceremony, which also marked the completion of a \$20,000 renovation of the "tot area" funded under the 1974 Measure Y bond issue (North East Bay independent and Gazette 5/7/1982; City of Berkeley Parks Division 2020 ).

In the late 1980s and 1990s, the neighborhood advocacy organization Friends of Willard Park spearheaded several improvements to the park. These included the construction of a new "tot lot," improved lighting, irrigation, and circulation measures; laying of a new cobblestone entry on Hillegass Avenue; and a "rose walk" near the Potter's Wall. The latter project was designed in part to deter overnight camping in the park, which had been an issue of contention since at least as early as 1990 (FWP 1997; Guttman 1990).

In addition, the City carried out a variety of projects at the park, including the addition of restrooms to the clubhouse and removal of the stone features in 1991 and construction of new circulation paths and changes to the children's play areas in circa 1994 (City of Berkley Department of Public Works 1991; 1994). These projects led to the removal of several features constructed in the 1970s, including the stone walls and steps on the east elevation of the clubhouse, the restroom and pay phone kiosks, and the original playground areas.

**\*B10. Significance (Continued from Page 2):**

Willard Park falls within the neighborhood of Elmwood in southeast Berkeley, located between the north-south corridors of College and Telegraph Avenues, south of the University of California, Berkeley. During its founding years, Berkeley owed much of its initial development to its proximity to regional transportation routes, emerging commercial and industrial centers, and the establishment of the University of California, Berkeley. Originally founded in Oakland in 1855 as the "College of California," the university relocated to Berkeley in 1866. The City of Berkeley incorporated in 1878, a year after the Southern Pacific Railroad line reached the Bay Area in 1877. Through the late nineteenth century, Berkeley remained a small town with emerging neighborhoods and commercial corridors, in particular along San Pablo and University Avenue, ringed by agricultural uses on the city periphery.

In addition, the 1906 San Francisco Earthquake and fire caused widespread displacement and an exodus out of San Francisco to East Bay towns like Berkeley and Oakland. During the opening years of the twentieth century, the Elmwood neighborhood saw a great increase in new settlement and construction as a result of these and other factors.

In addition, in terms of the stylistic character of its early architecture, Berkeley and early neighborhoods like Elmwood became centers for the Arts and Crafts movement. During the late nineteenth and early twentieth century, the City overall saw a flowering of Arts and Crafts architecture – in particular, in its "First Bay Tradition" of the Bay Area-influenced Arts and Crafts style. Early practitioners in Berkeley of the First Bay Tradition included architects such as Bernard Maybeck, Julia Morgan, John Galen Howard, Ernest and Almeric Coxhead, John Hudson Thomas, and James Placheck (many of whom not only practiced but also resided in the Berkeley Hills surrounding UC Berkeley).

The First Bay Tradition expanded on and redefined the Arts and Crafts architecture emerging on the East Coast in the work of architects such as Henry Hobson Richardson and McKim, Mead and White. One of the most significant West Coast innovations was the focus on site-specific design and creating connections between the indoors and outdoors, buildings, landscaping, and setting:

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■ Continuation  Update

“What the Bay Tradition added to the Shingle Style was environment, and in particular the generosity of and therefore, connection to outdoor space, open and cheerful western skies, hills alternating gold and green, and sculptural woodlands. In fact, it is the connections between setting, landscape and architecture where early Bay Area buildings fully succeeded the Shingle-Style of their Eastern mentors.” (Preservation Architecture 2007)

In this way, Berkeley’s woodsy setting and indoor-outdoor integration became important features for the new First Bay Tradition. As William Wilson Wurster wrote, “The First Bay Tradition went beyond a strictly architectural expression; it also reflected a life style” (Stern Cerny 1990). Commentators at the time recognized this “unique quality” and cohesive, distinctive neighborhood character it created. With the post-1906 construction boom in Berkeley, including in Elmwood, the character of the residential neighborhood around and in Willard Park was one of Arts and Crafts-inspired Craftsman homes, clad with brown wood shingles and enveloped in landscaping. Some of the neighborhood’s original landscaping, in the form of mature evergreen trees, survives in Willard Park.

This general description was also reflected in the Home Owners’ Loan Corporation 1937 survey of Elmwood. At the time, surveyors noted the “dignified” architectural character of the neighborhood’s homes and the average date of construction of 1905 (HOLC 1937). In terms of the neighborhood, it was deemed to have “excellent local and San Francisco transportation, convenient to schools, University of California, recreational facilities and local shopping centers” (HOLC 1937).

Into the twentieth century, Berkeley expanded rapidly, through the meteoric growth of the University of California, Berkeley, the downtown commercial corridor, as well as industrial development along the city periphery. Residential expansion grew, as well, with neighborhoods into the Berkeley flats and hills showing increasing numbers of new tracts and residential settlement. With the advent of the automobile, as well as road construction and infrastructure improvements, residential development expanded further from the city’s historical center. During and immediately after World War II, the combination of in-migration to California and the postwar baby boom fueled further growth, and Berkeley approached its peak population of over 110,000 by 1950.

The City rapid population growth coincided with massive, Cold War-era investments in American public universities. A prime beneficiary of federal research grants, the University of California, Berkeley, experienced postwar surge in enrollments, which grew from 7,700 in 1944 to 21,000 in 1946. The University’s growth contributed to Berkeley’s emergence as intellectual center. By the 1960s, Berkeley was transformed from a small town to a cosmopolitan “republic of letters where independent newspapers, poetry, music, art, and theater proliferated” (Suri 2004).

In terms of Elmwood and the area around Willard Park, it had been largely developed for residential use by the opening decades of the twentieth century. The proximity to the north-south corridors of Telegraph Avenue to the south and College Avenue to the north made the neighborhood accessible to downtown shopping areas and the Civic Center as well as UC Berkeley to the north. As shown on the 1911 Sanborn Fire Insurance map, the neighborhood primarily consisted of axial, residential-sized lots on a rectilinear street grid. Nearly all of the lots had already been improved with two-story, single-family homes. At this time, Regent Street followed an uninterrupted course between Stuart and Derby Streets. As of 1911, Frances Willard School, which is currently located immediately west of the park, had not yet been developed, and the school site was home to several residences (ProQuest 2020).

As of 1939, the year the first available aerial photograph of the area was taken, the area was fully developed and had much the same predominantly residential character as it has today. By 1946, the clearing of former residential parcels between Regent Street and Telegraph Avenue had begun in order to construct Frances Willard School. The school was expanded and its older buildings razed and replaced over the next two decades. Aside from a modest increase in commercial and/or institutional development along Telegraph and College avenues, there were few notable changes to the subject property or its vicinity until after 1968 (EDR 2020).

Evaluation

Willard Park and its components—including the clubhouse and other built features—do not appear to meet the criteria for landmark listing at the federal, state, or local level, either as individual resources, a historic district, or a cultural landscape. The park and its components do not meet the criteria associated with significant events, patterns of development, or people who were significant in the history of the city, region, state, or nation. The park and its components, including the clubhouse, do not represent a distinctive example of an architectural type or style, or the work of a master. Because Willard Park and its features do not qualify for federal, state, or local list, neither the park nor any of its components qualify as historical resources pursuant to CEQA.

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\*Date: 9/16/2021

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As a public space in Berkeley in the late 1960s/early 1970s, Willard Park had a brief association with the Antiwar Movement and other grassroots political movements. The City of Berkeley opened Willard Park as an interim park space in the fall of 1969. Before the official inauguration of the park in June 1971, prior to the opening of People's Park, Berkeley activists unofficially renamed the property Ho Chi Minh Park and began using it for socializing, entertainment, education, political organizing, and political demonstrations.

Between 1969 and 1972, the park was the site of several rallies and marches. Although use of the park for antiwar and free speech events was short-lived (those activities declined after 1972), the park remained the site of community festivals, such as the Lord Chaitanya Festival and early occurrences of East Bay Lesbian/Gay Day, and alternative arts performances, including several by the famed San Francisco Mime Troupe. While this association with community activism and culture is noteworthy, it is relatively short when compared with the history of People's Park; for Willard Park, research identified through this study did not suggest that this association rises to the level required to confer eligibility as a landmark at the federal, state, or local level.

In addition, research did not reveal an association of the park with any individuals known to have made significant contributions to the history of the city, state, region or nation. Its design and architecture are that of a typical neighborhood park, and neither the park as a whole nor any of its components embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, or possess high artistic values. Willard Park also appears ineligible under the remaining City of Berkeley Landmark designation criteria.

As a potential Structure of Merit, the park, inclusive of the clubhouse, does not appear to be worthy of preservation as part of a neighborhood, a block, or a street frontage, or a group of buildings which include City Landmarks because it is: Neither a contemporary of the nearest City Landmarks and Structures of Merit, nor is it compatible with their style or design. It is not a good example of architectural design, and it does not possess historically significant connections to its neighborhood, block, frontage or group of resources.

Given the park's brief but noteworthy history as a gathering space for antiwar, counter-culture, and Free Speech movement events, Willard Park appears to warrant special consideration in local planning (6L California Historic Resources Status code). The 6L code does not confer status as a historical resource per CEQA but is used to signal that local planning may wish to extend special consideration to the resource.

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# Technical Memorandum

September 28, 2022

Project# 23412.003

To: Wendy Wellbrock, Associate Civil Engineer  
City of Berkeley, Parks, Recreation, and Waterfront Department

From: Amanda Leahy, AICP; Sophia Semensky

RE: Willard Clubhouse and Restroom Replacement

## TRANSPORTATION STUDY

Kittelison & Associates, Inc. (Kittelison) prepared this technical memorandum to describe the parking and transportation conditions near the proposed project at Willard Park (proposed project) and provides off-street vehicle parking recommendations and justifications for off-street parking exemptions.

The document is structured in four parts:

- Executive Summary: Summarizes key findings and recommendations from the study.
- Project Description and Code Requirements: Describes the proposed project and parking requirements according to the Off-Street Parking and Loading Requirements section of the City of Berkeley's municipal code.
- Local Conditions: Describes the transportation and land use characteristics of the neighborhood, including the walking, biking, and public transit conditions as well as on- and off-street parking provision near the proposed project. Presents vehicular parking demand estimates for the proposed project.
- Summary of Findings and Recommendations: Presents a summary of the analysis findings and recommendations for off-street vehicle parking requirements for the proposed project.

The analysis presented herein indicates that the presence of on-street parking and the availability of walking, biking, and public transit options reduces the need for off-street vehicle parking for the local serving neighborhood clubhouse at Willard Park.

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## Executive Summary

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Based on the review of local conditions and census data, this analysis finds that the proposed project's provision of zero off-street vehicle parking spaces would be appropriate based on the amount of traffic generated by the use, as per the City of Berkeley Off-Street Parking and Loading Requirements, section 23.322.030, for the following reasons:

- There are sufficient on-street vehicle parking spaces located nearby to accommodate long-term vehicle parking needs of staff at the clubhouse without substantially reducing the amount of parking available in the vicinity of the project site.
- Secure bicycle parking would be provided on-site to make biking to work and first- and last- mile connections to transit a convenient option.

Additionally, we have provided the following recommendations to ensure that short-term vehicle parking needs (i.e., passenger drop-off and pick-up) are met and managed appropriately:

- Designated on-street passenger loading space should be considered in order to better accommodate passenger drop-off and pick-up.
- A drop-off and pick-up plan should be developed to manage passenger loading activities.

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## Project Description and Code Requirements

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### EXISTING CLUBHOUSE & PROPOSED REPLACEMENT PROJECT

Willard Park includes an existing one-story clubhouse, tennis courts, a children's playground, an open lawn area, and an existing public toilet. The existing clubhouse is located at the southeast corner of the site adjacent to Hillegass Avenue. The clubhouse area consists of 1,051 square feet, including an outside covered patio area. The primary use of the existing clubhouse is for afterschool and summer childcare programs and recreation programs. The afterschool program runs five days a week from 1:30 PM to 6 PM and enrolls about 45 students. The summer childcare program runs from 7:30 AM to 6 PM and enrolls 45 students. Recreation programs are currently primarily held outdoors under the covered patio area due to limitations of the building's size and configuration.

The proposed project would construct a new 3,285 square foot building at the existing site. The new building would include one community room, a kitchen, storage, restrooms, an office, and a lobby. Programming would largely remain the same as with the proposed project.

### PARKING REQUIREMENTS

The City of Berkeley Off-Street Parking and Loading Requirements does not provide any requirements for a clubhouse or community space. For 'Other Uses', section 23.322.030 states that "the review authority shall determine the required number of off-street parking spaces based on the amount of traffic generated by the use and the number of spaces required for other similar uses."

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## Local Conditions

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### TRANSPORTATION AND CIRCULATION

Walking. The proposed project is in an area with continuous sidewalks that provide safe and comfortable access to local amenities and public transit stops. For example, Downtown Berkeley is approximately 30-minutes away by foot. The rating service Walk Score<sup>1</sup> finds that the area is "Very Walkable" with a score of 92 on their 0 to 100 scale.

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<sup>1</sup> Walk Score is a proprietary metric that measures "walkability on a scale from 0 - 100 based on walking routes to destinations such as grocery stores, schools, parks, restaurants, and retail."

Biking. The property is located along Hillegass Avenue, part of the City's low-stress bike boulevard network<sup>2</sup>, connecting to UC Berkeley campus and to Oakland. It is also located along Derby Street, which is a designated Bicycle Route that connects to Telegraph Avenue, which offered designated bicycle lanes. In addition, there is a Bay Wheels bike share station at the intersection of Derby Street and College Avenue approximately two blocks from the proposed project. Bay Wheels is a bike share service that serves Berkeley, Oakland, and Emeryville in the East Bay.

Transit. The proposed project is located two blocks from the nearest Line 51B bus stop, a quarter-mile to the nearest Line 6 bus stop, and 0.8 miles from the nearest Line 18 bus stop. The Line 51B provides service to Downtown Berkeley, UC Berkeley, and Rockridge. The Line 6 provides service to Downtown Berkeley, UC Berkeley, and Downtown Oakland. The Line 18 provides service to University Village, Albany, Lake Merritt BART, and Downtown Oakland. These three bus lines provide high-frequency service. During the a.m. and p.m. peak periods, the Line 51B arrives every 12 minutes, the Line 6 arrives every 12 minutes, the Line 18 arrives every 20 minutes. This site also has access to two Service to School routes (604, 605), two All Nighter lines (800, 851), and one Transbay line (F) within 1 mile. The transit options are summarized in Table 1, with the distance to the nearest station/stop and select destinations on each route.

Table 1: Available Public Transit Options

Service and Stop/Route	Distance to Stop/Station	Access To
AC Transit – 51B	0.2 mile	Rockridge BART to Berkeley Amtrak
AC Transit – 604	0.2 mile	North Berkeley BART to Oakland Hebrew Day School, Head Royce High School and Bentley School
AC Transit – 605	0.2 mile	University Ave. & Shattuck Ave., Berkeley, to Head Royce High School
AC Transit – 851	0.2 mile	Downtown Berkeley to Fruitvale BART (All Nighter)
AC Transit – 6	0.25 mile	Downtown Oakland to Downtown Berkeley
AC Transit – 18	0.8 mile	Albany to Lake Merritt BART
AC Transit – 800	0.8 mile	Richmond BART to 24th St. BART (All Nighter)
AC Transit – F	0.9 mile	UC campus to Salesforce Transit Center, San Francisco

The area around the proposed project includes continuous sidewalks that provide safe and comfortable access to public transit stops for people walking, including the closest AC Transit stops at Derby Street and College Avenue and at Telegraph Avenue and Derby Street. Telegraph Avenue is the primary route for people to access transit stops and has clearly marked crosswalks on side streets and crossing Telegraph Avenue. At the intersections immediately north and south of the project, all crosswalks have curb ramps, but are missing tactile domes. There are streetlights along Derby Street, Hillegass Avenue, and Stuart Street.

Vehicles. The proposed project is located within the residential preferential parking (RPP) permit zone B. On-street vehicle parking spaces are provided along both sides of all streets near the proposed project site, including the streets fronting Willard Park – Derby Street, Stuart Street, Hillegass Avenue, and Regent Street. On-street parking is generally free of charge and time-limited to 2 hours.<sup>3</sup> Off-street parking is available at 3010 Colby Street garage, which is located 0.6 miles (an approximately 10-minute walk) south of the

<sup>2</sup> Low-stress bikeways are characterized by lower vehicle volumes and speeds or by physical separation between people biking and motor vehicles.

<sup>3</sup> On-street metered parking is provided along Telegraph Avenue and College Avenue south of Russell Street.

proposed project site. SpotAngels, an online community of drivers helping each other find parking, indicates a number of long-term paid parking options within walking distance of the proposed project site.<sup>4</sup>

## CLUBHOUSE ACTIVITIES AND TRAVEL CHARACTERISTICS

During the school year, the clubhouse currently operates an after-school program for approximately 45 children from 1:30 PM to 6:00 PM with five staff. The majority of children in the afterschool program are bussed to the site from four local elementary schools, and picked up at various times. With the site expansion, the after-school program is expected to serve up to 60 students with up to seven staff. Staff work a 1:15 PM to 6:00 PM shift.

During the summer, the clubhouse currently operates a summer camp program for approximately 45 children from 7:30 AM to 6:00 PM with five staff. With the site expansion, the summer childcare program is expected to serve up to 60 students with up to seven staff. Staff work two shifts: 7:15 AM – 1:00 PM and 12:30 PM - 6:00 PM.

With the site expansion, the clubhouse may also host additional programs to accommodate various age groups, community events, and offer facility rentals when the community rooms are not used for scheduled recreation programs. These programs have yet to be developed but are not expected to add significant trips or parking demand compared to current programming and activities.

### Long-Term Parking Demand

Long-term parking demand, the demand for vehicle parking that would be generated by staff, is estimated using the City of Berkeley commute drive mode share of 38.6%<sup>5</sup>. As shown in Table 2, during the after-school program, approximately three staff are expected to drive to and from work with the expansion, resulting in a demand for three long-term vehicle parking spaces. During the summer program, approximately three staff are expected to drive to and from work for each of the morning and afternoon shifts, resulting in a maximum long-term parking demand of six spaces. This peak demand would occur between 12:15 PM and 1:15 PM during the shift change. Based on our review of available on-street and off-street vehicle parking in the area, the existing vehicle parking supply is expected to meet the demand for long-term vehicle parking during both the afterschool and summer sessions.

### Short-Term (Passenger Loading) Demand

The afterschool program operates a bus service from nearby elementary schools to transport students to the clubhouse. Based on information provided by City of Berkeley Parks, Recreation, and Waterfront Department (PRWD) staff, approximately 36 students use this bus service. The bus drops students off near the clubhouse entrance on Hillegass Avenue. All participants are received by Willard Clubhouse Staff and walked into the program. Bus arrival times are staggered by school and drop-off times are scheduled at approximately 1:50 PM, 2:20 PM, and 2:30 PM.

The remaining students walk or are dropped off in vehicles. Based on information provided by City of Berkeley PRWD staff, approximately five students are currently dropped off in a passenger vehicle. The nearest

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<sup>4</sup> <https://www.spotangels.com/map#id=296554871&address=2721%20Hillegass%20Ave%20Berkeley>

<sup>5</sup> American Community Survey 5-year estimates, 2015-2019, Table S0801

passenger loading zone is located on Telegraph Avenue south of Derby Street. Given there is no designated passenger loading zone near the clubhouse entrance, the majority of student drop-off and pick-up activity occurs in available on-street parking spaces along Hillegass Avenue between Derby Street and Stuart Street. Clubhouse staff assist students to/from their vehicles and direct traffic along Hillegass Avenue during drop-off and pick-up periods.

Table 2: Long-Term Vehicle Parking Demand Estimates – Existing and With New Clubhouse

	School Year				Summer			
	Students	Staff	Commute Driving Share	Long-Term Parking Demand	Students	Staff	Commute Driving Share	Long-Term Parking Demand
Existing	45	5	38.6%	2	45	10 (5 AM, 5 PM)	38.6%	4
New Clubhouse	60	7	38.6%	3	60	14 (7 AM, 7 PM)	38.6%	3

## Off-Street Vehicle Parking Requirements and Exceptions for Similar Uses

The proposed project is located within the R-2 Restricted Two-family Residential Zoning District. Off-street vehicle parking requirements and exceptions for similar project types and land uses within or outside of the R-2 Zoning District are presented in Table 3. As summarized in Table 3, based on a review of vehicle parking requirements and exemptions for similar project types (i.e., building expansions and additions) the proposed project should not be required to provide off-street vehicle parking. The proposed project would result in an expansion of more than 2,000 square feet but still would meet the requirements outlined for the Zoning Officer waiver.

Table 3: Off-Street Vehicle Parking Requirements and Exceptions

Project Type / Land Use	Requirement	Number of Off-Street Vehicle Parking Spaces Required <sup>1</sup>
Additions of up to 1,000 sq. ft. of gross floor area or up to 25% of existing gross floor area, whichever is less (C-DMU)	Exempt from Parking Requirement	0 spaces
The Zoning Officer or ZAB may reduce or waive the number of off-street parking spaces required for building expansions	(a) The reduction will not substantially reduce the availability of on-street parking in the vicinity of the use (b)ii. The use is located one-quarter of a mile or less from a public or private parking area that is accessible by the employees of the use and sufficient parking supply is available therein to mitigate the reduction in parking for the use. (c)i. The parking requirement modification will meet the purpose of the district related to improvement and support for alternative transportation, pedestrian improvements, and activity, or similar policies. (c)ii. There are other factors, such as alternative transportation strategies or policies in place, that will reduce the parking demand generated by the use.	0 spaces

Notes: sq. ft. = square feet

<sup>1</sup> Requirement calculated based on the rate for the similar land use and publicly accessible square footage of the clubhouse with proposed expansion of 3,285 sq. ft. The publicly accessible square footage includes the 1,700 sq. ft. community rooms and 410 sq. ft. lobby/circulation area and excludes the kitchen, storage room, utility room, office, and restroom. These square footages were provided by City staff via email.

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## Summary of Findings and Recommendations

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The proposed project is estimated to generate demand for a maximum of six long-term vehicle parking spaces during the summer program, an increase of two spaces compared to the existing clubhouse activities. This long-term vehicle parking demand can be accommodated with the current supply. Given on-street parking restrictions on streets surrounding the proposed project site, staff would need to use nearby off-street public parking or pay for private parking through a parking space matching application such as SpotAngels.

Given that there are multiple transit options and high-quality walking and biking infrastructure nearby, as well as the fact that provision of vehicle parking is demonstrated to increase vehicle trips and run counter to City goals of reducing auto mode share and vehicle miles traveled, the proposed project should not be required to provide off-street vehicle parking. To further support a shift to sustainable modes, the proposed project will include secure on-site bicycle parking spaces to make it more convenient to travel to and from the site by bicycle and to access transit without a personal vehicle. It should also be noted that provision of on-site parking would require a new curb cut. Construction of a curb cut and driveway would require removal of at least one on-street vehicle parking space, reduce the permeable open space and recreational area on-site, and introduce a conflict point between drivers turning into and out of the driveway and people walking on the sidewalk.

While the purpose of this study was to identify the appropriate off-street vehicle parking requirements for the proposed project, based on our analysis, we identified a need for short-term vehicle parking and a drop-off/pick-up management plan to accommodate student drop-off and pick-up. This plan should explore allocating existing on-street parking spaces to passenger loading zones during certain times of day (i.e., during drop-off and pick-up periods).

These findings support the conclusion that the proposed project's provision of zero off-street vehicle parking spaces for the clubhouse expansion would be appropriate based on the amount of traffic generated by the use.



**From:** [Vincent Casalaina](#)  
**To:** [Crane, Fatema](#)  
**Subject:** RE demolition of the current Willard Park Clubhouse  
**Date:** Saturday, October 22, 2022 3:44:15 PM

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**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Landmarks Commission:

I am writing in opposition to the request to demolish the iconic Willard Park Clubhouse. This structure was designed by noted architect Zach Stewart. Mr. Stewart was the landscape architect for both Willard Park and Shorebird Park.

With his architectural partner Dan Osborne, Mr. Stewart designed projects that were uniquely tailored to blend into the settings where they were built. Here's how Mr. Stewart's work was described for the school designed for the San Juan Ridge Unified School District:

Osborne and Stewart were sympathetic to the community's desire to build a school uniquely suited to the site and a custom curriculum. Instead of designing a monolithic, industrial "pod" school typical of the time, the architects conceived of a school design inspired by the New England continuous architecture documented in Eric Sloane's book, *An Age of Barns* .... Children would rotate between classrooms and outdoor spaces for different activities instead of being in a single classroom.

I find this description of his work to be emblematic of the Clubhouse he designed for Willard Park. That building is nestled amongst the trees on the southern boundary of the park and provides both an indoor space for the children in the after school and summer programs housed there as well as encouraging outdoor play on the park's southern grassy field.

I would like to point out that in August 1970, the Willard Park Citizen's Committee approved the final drawing for the park development (as stated in the CoB's description of Willard Park). This park has a long history of community input and even the approval of changes to the park. The Willard community was the prime mover in the construction of the first tot lot in the park. That policy of community involvement has drastically changed in the formulation of the current project.

I am a member of the Willard Neighborhood Association Steering Committee. We have been virtually unable to work with the Parks, Recreation and Waterfront Dept. in crafting the plans for the construction of the Community Center that is planned to replace the Club House. None of our members were invited to participate in the initial design exercises on which the current plans are based.

I ask that you vote against the demolition of the current Club House.

Vincent Casalaina  
Resident of the Willard Neighborhood since 1974  
Treasurer, Willard Neighborhood Assoc.

Former Chair, Housing Advisory Commission

October 25, 2022

To: Berkeley Landmarks Preservation Commission (LPC)  
From: Steven Finacom, Commission Member

**Regarding: Consideration of Historic Significance of the Willard Park Clubhouse**

A few days ago I was made aware, through a community inquiry, that the LPC will be asked to consider the potential historic significance of the circa 1971 clubhouse in Willard Park at its November 3, 2022 meeting.

After learning of that likely agenda item, I asked the Commission Secretary if there was historic documentation related to Willard Park. She provided me on Monday with .pdfs of a **Historic Resource Evaluation** (HRE) dated September 2020) as well as a **California Department of Parks and Recreation Primary Record Form** (DPR) dated September, 2021.

The Commission should receive these documents in the November 3 agenda packet.

I looked through the two forms—HRE and DPR—and did some additional research.

It's my opinion that the forms don't provide sufficient documentation / information on which the LPC can reliably base an informed conclusion about potential historic significance of the Willard clubhouse.

In response, I've prepared this analysis as further background for the LPC in considering Willard Park history, context, significance, and related issues.

I've also, at the end of this analysis (page 11), included some suggestions of mitigation ideas we might wish to consider recommending if the City proceeds with its current plans to demolish the existing clubhouse and build a new club house structure.

Importantly, my analysis doesn't reach a definitive conclusion of potential historic significance for the Willard Park clubhouse. In other words, I'm not writing this to tell the Commission that the clubhouse definitively is, or isn't, historically significant. Instead, I'm endeavoring to identify missing types of information and ask the questions that should be answered—ideally through further research—before making a determination.

Here are the key questions the background materials and research and documentation given to the LPC should have helped to answer:

- (1) Were the designers of Willard Park and the clubhouse significant in a local, regional, and / or national context?
- (2) How do the park and the clubhouse fit into their body of work?

(3) Is Willard Park itself a historically significant feature in Berkeley? In the region?

Let's take these one at a time:

**Were the designers of the park and the clubhouse important in architectural history, including in the Bay Area and the Berkeley context?**

Well, we haven't been given any detailed information in the DPR form or the HRE that gives us a solid basis for analysis. Instead, we are given one brief paragraph of information about the architects.

*"According to the original drawings, the clubhouse was designed by the San Francisco-based firm of Daniel R. Osborne and Zach R. Stewart (available drawings do not specify a landscape architect). Both architects attended the architecture program at Stanford University, and after working on for (sic) separate firms in the 1950s and early 1960s, the two started their firm in the mid-1960s (Online Archive of California). The firm was extremely well-known in the Berkely (sic) architecture scene as well as the cultural and social developments of 1960s San Francisco. The firm designed the staging for the Trips Festival at Longshoreman's Hall in 1966, the America Needs Indians and Sensorium series, and the 4,000 Years concerts at Grace Cathedral (Online Archive of California and SFGate). Their works include elementary schools in Nevada County, the Ahwahnee pool and the dining hall at Sunrise High Sierra Camp at Yosemite National Park, the Plumas County Museum, and poet Gary Snyder's private residence on San Juan Ridge in the foothills of the Sierra Nevada"*

This limited summary raises more questions than it answers. For example, where are more complete biographies of the architects? Where is a summary of their body of work?

Where is an analysis of how the design of a public park in Berkeley fits into their body of work and compares to their other work? Were they known for park design, or was this project an outlier in their practice? What works were they primarily known for?

The DPR and the HRE tell us virtually nothing in this regard. This is unfortunate because without this information the LPC is not yet in a position to answer the key question of possible architectural significance of the Willard clubhouse building.

The drafters of the DPR and the HRE may answer that they didn't have sufficient funding to research the architects and their work and its potential significance in further detail. That would be an honest answer, and it would be typical of many HRE's and DPR's done in relation to Berkeley buildings and sites, where well intentioned historical researchers are not given the time, money, or tools to thoroughly research and document their subjects. We've encountered this same situation many times, to our cost and frustration.

But it would also be equally honest to say that the very limited information they did research does not provide sufficient information to draw broad based and broad brush conclusions about the significance of the Willard Park architects and their work.

Curious about the sources of the limited material in the DPR form, I did some online searching and quickly found some of the the same resources the writers found. One is an a description of architect Zach Stewart's papers held at Stanford University, listed in the Online Archive of California. The other is an obituary for architect Daniel Osborne.

There doesn't seem to have been further research for the DPR or HRE regarding the architects beyond those two resources and a few other scattered references.

Further research would have filled in more information. In just a few hours of inquiry I was able to find out that architect Zach Stewart is apparently still alive (and presumably could be a source of first hand information?) And that some of the questions raised by the DPR form can easily be answered.

Just one simple example. The DPR says, "*available drawings do not specify a landscape architect*" for Willard Park. Perhaps that is because in a 1970 piece in Landscape Architecture magazine Zach Stewart wrote about how in 1958 he "*decided to become a landscape architect as well as an architect*". Another online source identifies Daniel Osborne's wife, Mimi (also a Stanford architecture graduate) as someone who worked with their firm "*on a variety of projects—site assessment, landscape plant selection, audio-visual presentation*". (<http://www.sweetiesartbar.com/mimi-osborne> From those fragmentary references its possible to intelligently speculate that the firm provided indeed some landscape design services for the park, as well as architectural serves for the club house.

Next, we have the question, **Is Willard Park itself a significant historic resource in Berkeley?**

The HRE and DPR analysis asks and answers the wrong question in this regard. Their historic analysis is almost entirely limited to "*did important events happen there?*" They document and conclude there were a few activist events in the early 1970s, but not much since, and therefore the park has no historic significance.

But most parks and open spaces are not in and of themselves primarily important because of high-profile events held in them. Their significance more typically accrues from their overall role in the community and can accumulate from thousands of small and otherwise insignificant events and experiences involving the daily or occasional relationship of myriad users to the park spaces. That is how many, if not most, parks become "significant"—not necessarily as amazing design artifacts or episodic sites of great or singular events, but as continuously used and useable spaces that become integral—indeed, "significant"—to their communities.

In essence, they create their significance out of many small, interlocking, parts and experiences and context rather than one piece of design character or overwhelming event.

For example, is Lake Merritt a significant historical element in Oakland? I would guess most of us would reply it is. But a historical analysis limited in scope to "*did any important historic events happen at Lake Merritt?*" might construe otherwise.

How does Willard Park fit into the history of park development in Berkeley and the surrounding region?

Helpfully, a historical analysis of the development of Berkeley's parks and open spaces was undertaken in 2008 by UC Berkeley faculty members Louise Mazingo and Marcia McNally. (It does not appear to have been discovered by the DPR and HSE researchers.) The faculty documented and qualified and analyzed the history of Berkeley's many parks and park movements and prepared an excellent summary. I remember visiting their exhibit and listening to their presentations at the time. They provided considerable insight into how to understand the evolution and importance of each part and era of Berkeley's public park system.

Their written and visual summary material is apparently filed in the Environmental Design Archives on the UC Berkeley campus but I have not, in the limited time available, been able to ascertain if it is indeed there and if a copy can be obtained.

I was able to locate a summary of their conclusions that it is worth including here.

The result is an impressive park system that ranges from the ordinary to the cutting edge, but is shaped by certain underlying characteristics:

- Berkeley's hills with rock outcrops, sloping alluvial fan, flatlands, and Bayside, fingered together by creeks, create a "geographic genetics" that give the park system a **bio-locality**.
- The parks lend **local traction to national trends** about how cities function and whom they serve.
- Exuberant participation exposes competing claims on Berkeley's public landscape that also evince a love of the community-**self interest rightly understood**.
- The essence of Berkeley parks is **plain and simple**. Their open format can read as boring but is experienced as democratic.
- **Visions matter**. They have provided Berkeley with compelling back-pocket ideas for when events, people, government, and institutions galvanize around civic notions.

Today the park system, plus the regional and state parks edging the hills and the shore, is arguably an approximation of the "Midway Plaisance," planner Werner Hegemann's 1915 vision for Berkeley. The question is, "What should the next 100 years yield?" On May 3, 2008 we assembled 21 speakers representing four decades of Berkeley park activism to put forward their vision. What resulted was a heartening intersection of resonating ideas for future consideration.

- **1. Berkeley needs a vision drawing for Berkeley's parks that engages the physical structure of the city in a specific way.** Since Berkeley began general planning in 1955, the distinct intentions of *park* planning have been co-opted. It is time to correct this and make Berkeley's bio-local genetics once again integral and visible.
- **2. Berkeley can be transformed from a city with many parks into a city within a park.** This should occur at various connected scales, starting with all Berkeley neighborhoods having a green center.
- **3. Every infrastructure improvement should include strategic thinking about parks.** Making the city's infrastructure add up to a multi-functional green should be the goal. There are opportunities to add strategic parcels to the park system, to exhume and display the city's creeks, and to create hybrid public space.
- **4. Streets are the greatest opportunity to build a layered and linked open space circuit.** They are where most of the water flows and where the City already controls generous existing rights-of-way. Berkeley's streets should treat runoff, move people on foot or bike, instead of automobile, and cool the landscape.
- **5. The city will grow denser but "ecodensity" can be balanced by generous collective public space.** Parks are destinations in the everyday life of the city where citizens meet, greet, and latch on to each other. One proposal is to re-design the Derby-Addison corridor as a 21st century plaisance where a wide green circuit would connect key parts of the city landscape.
- **6. Berkeley needs money for parks.** The legacy of Berkeley's parks is a periodic, flexible commitment to park planning that readied the City for when acquisition and capital improvement opportunities arose. The time is right for another big push in park funding.
- **7. Berkeley historically uses parks as a showcase for innovative thinking and a stepping stone for long term civic engagement.** Change in Berkeley has happened best when working to achieve something positive and progressive, such as building the Adventure Playground or opening Strawberry Creek. A vision for a reunited park and playfield system where Berkeley's ever more diverse residents go to be active and healthy should be a catalyst for community action.

Within the context of their park history, the argument might be made that Willard Park was one of the most important park developments in Berkeley during the nearly seven decades of Post World War II era park and recreation development.

In scale and scope in Berkeley Willard Park essentially has only three local counterparts: first, the extensive conversion of Berkeley's dump / landfill into what is now Chavez Park and the Berkeley portion of the McLaughlin Eastshore State Park; second, the development of People's Park; third, the development of Ohlone Park, atop the buried BART tracks, in an area that was originally slated for housing redevelopment.

It is interesting that among those examples, Willard Park is the only one that was intended by Berkeley officialdom as a public park / open space from the beginning. The Berkeley dump / landfill / waterfront was intended for development for industrial / housing purposes before the "Save the Bay" movement presented a new vision and changed city policy; "People's Park" did not arise from any governmental or institutional plans but, rather, from grassroots activism strongly opposed by most conventional authority; Ohlone Park was similarly created out of civic activism that changed city policy, in that instance, from plans for housing development to neighborhood park creation.

In contrast, Willard Park was intentionally planned from the beginning as a new city park, to be established on a site that required the demolition / removal of a large number of houses. It was part of an intentional Post-war municipal policy to provide sufficient and varied public open spaces for Berkeley's residents to use and recreate.

Willard Park is not necessarily important because of specific high profile events that happened there but is important because of its major contribution to that post-War park / recreation movement in Berkeley. In origin, size, and function it is part of a very limited set of park / open spaces. That is context in which its significance should be evaluated.

One important factor is extremely important in that consideration. In their 2008 analysis, Mazingo and McNally pointed out that Berkeley's parks have few architecturally dramatic features. We don't have ornate greenhouses or gazebos, grand monuments and fountains (with limited exceptions), spectacular or intricate park layouts, or dramatic plantings. Instead, as they wrote, ***"The essence of Berkeley parks is plain and simple. Their open format can be read as boring but is experienced as democratic."***

I ask my Landmarks Commission colleagues to keep that statement and historical fact in mind when analyzing Willard Park. We are not seeking to determine where the Park contains a spectacular, unique, designed architectural structure. We are seeking to determine if what is there is otherwise significant.

Second, Willard Park should be compared to other new and / or renovated parks in the Bay Area from the same era (Post War probably to the mid-1960s), to determine if it has regional significance. For example, did neighboring communities (Oakland, Richmond) create similar new parks in the same period and for the same general purpose?

**Finally, beyond the region, how does Willard Park compare to state and national urban park movements in the same era, particularly those that re-purposed large parts of already developed urban areas for new park uses?**

I have not done that research or analysis. And neither have the consultants. Their conclusion that Willard has no regional or national significance is simply an opinion that is not based on any discernible research or documented facts presented in the reports.

In this same context, the authors of the HRE and DPR note that People's Park was developed at the same time as Willard Park, but simply provide this information for background, rather than analysis.

However, there are interesting synergies and contrasts to be drawn between the two parks, which are of similar size and located only two blocks from each other. The two can be compared for the purpose of historical analysis and significance and they are closely tied together in history and intention.

Both were intended to serve as public open space in densely populated neighborhoods without existing parks. The design / evolution of both emphasized adaptable open space—informal plantings, large, irregular, lawns, integration of surviving trees from residential lots into new landscape—to create spaces suitable for many flexible purposes and users, rather than rigid predetermination of uses or expression of a single overriding design style or concept. Both were intentionally located in built up areas where existing buildings had been removed. The creation of both involved controversy, including opposition from residents who were displaced from housing slated for demolition.

These are the similarities. The difference is also quite striking. People's Park was created by community activism on a space which was then (and is to this day) designated by its owner for another use. In contrast, Willard Park was created as part of a decades old parks and recreation plan for Berkeley. Wallace Johnson, Berkeley's Mayor during the late 1960s, emphasized that difference. During the People's Park struggle he repeatedly expressed the view that if the South Campus area needed a park, but the City was already developing an officially planned one two blocks from People's Park. In essence, Willard Park's development was hastened as the officially sanctioned alternative to the unsanctioned People's Park, each park—official, and rebel—serving roughly the same neighborhood and potential users.

In addition to analysis of the architecture of the clubhouse, the clubhouse needs to be analyzed in the context of the entire park. Many public park spaces both historic and new are notable for their built features.

Willard Park was planned in a different way. The open space—particularly the informal / flexible open space such as the lawn—was and is the primary feature of Willard Park. Remember those terms from earlier—*“plain and simple”* and a format *“experienced as democratic.”*



When initially developed Willard Park intentionally contained only a single enclosed structure—the clubhouse—far smaller and less visually conspicuous than even the most modest two bedroom, one-story, Berkeley bungalow home.

The club house was located (intentionally?) at the extreme perimeter of the park, unlike other Berkeley parks (San Pablo Park, Live Oak Park) where club house / recreation buildings were constructed well within the large park spaces and are prominent and large buildings.

The Willard club house appears to have been designed to be low and inconspicuous, set back into a corner of the park and not even occupying all of the land area in that corner.

In addition, large formal recreational facilities built in the same era as Willard Park and part of the original concept, including the Willard Junior High School gymnasium, the defunct Willard Pool complex, and the Willard School athletic fields, were intentionally placed away from the large, informal, unstructured open spaces of the park rather than incorporated with the open space. This was, and is, quite different from similar local parks of the era.

Design features of the club house emphasized and deferred to the open space primacy of the park. These included the rock piles that flanked the building, and the publicly accessible, open air, roof deck that reincorporated the full footprint of the building into the “open space” of the park. The building also originally appears to have functioned as an art form or piece of landscape art. Note this picture from 1980 included in the HRE. The building reads as much as a landform as it does as architecture.



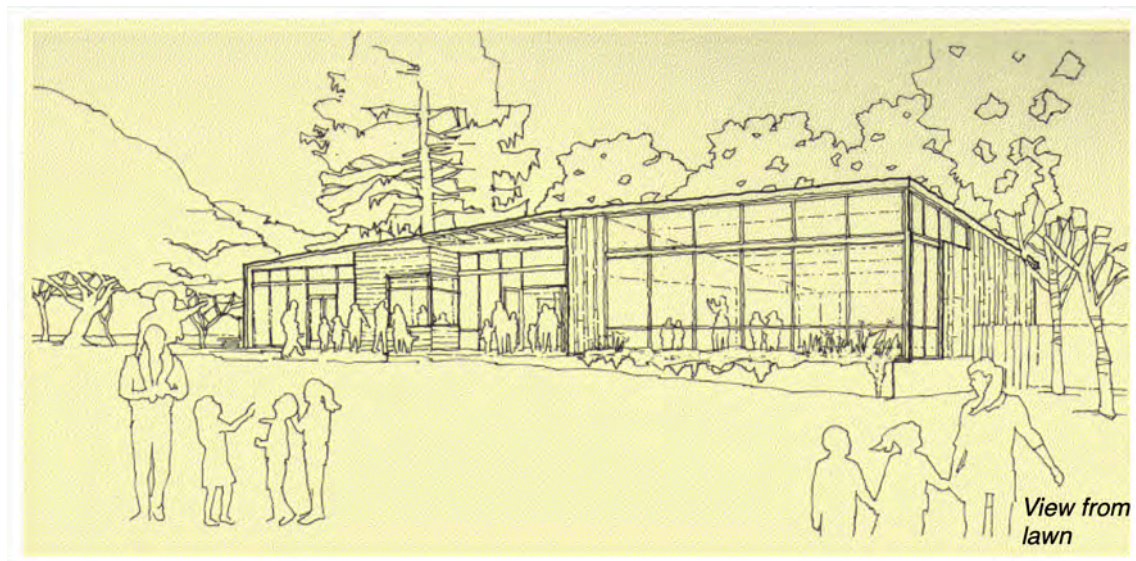
In essence, the Willard clubhouse appears, from its context and design, to have been designed to serve certain minimal purposes for roofed, indoor, facilities in what was planned to be primarily an open space park, not a park of buildings and other built structures mixed with public open spaces.

In that respect, a small, low, building integrated with the landscape is not the same as an insignificant building. Limited size and a retiring / background visual character can be positive features of significance for buildings in a public open space.

The Willard clubhouse and its relationship to the surrounding park and neighborhood is expressive of what landscape architect and theorist Galen Cranz (another notable Berkeley designer) called the fourth era or movement of public park design in the United States:

*"In the mid-1960s there was a new attitude that recreation is potentially everywhere - in the street or on the rooftop or on a crosswalk or at a waterfront or an abandoned railway site or a plaza or a park - and that you could think of integrating all those spaces into a network. I call this fourth model The Open Space System, because of this ideology - that all open space has potential recreational value, depending on the twist that you give it. A more artistic, participatory sensibility was born in this period so you get hip programming in parks, like controversial rock concerts."* Source: <https://www.pps.org/article/futureparks>

(In contrast to the original clubhouse design, it's worth observing that the current design for the new park clubhouse—six or seven times larger than the existing one—is more of a 'look at me!' Glassy Modernist structure with a rectilinear form and its highest structural elements and large window walls fronting directly onto the park lawn. The conceptual design, shown below, was provided in public presentations. Because of increased construction costs it has since been value-engineered into a smaller structure, but seems to retain the same architectural style.)



There is another aspect of the original / existing Willard clubhouse that bears analysis. The original organic form of the building—based significantly on informal amalgamations of boulders that partially obscured and softened the rectilinear built structure, making it more of a rocky mound than a built box—has an interesting relationship to higher profile park projects of the same era, including Lawrence Halprin’s celebrated Levi Plaza in San Francisco that is a construct of huge rock forms designed to recall a natural landscape.

The form of the Willard clubhouse, with its landforms of rocks, projecting rough timber pergola, and minimization of formal architectural styles, also relates to what was sometimes called ‘Hippie Modernism’ design of the era, such as the 1960s conversion of a now-demolished old brick garage nearby on Telegraph Avenue at Blake Street, into a counterculture shopping and dining arcade called “The Village”. (Also nearby, in the Willard neighborhood in that same era, was the home of architect and design visionary Christopher Alexander who involved his students in building an organic “Hobbit House” cottage in his backyard.)

In 2017, the Berkeley Art Museum hosted an exhibit, “Hippie Modernism: The Struggle for Utopia”, that delineated this type of design development and its place in American design and cultural history. The catalogue for the exhibit explains in part:

*“In the art, architecture, and design of the counterculture one can see early stirrings of the tech revolution and ecological consciousness, as well as powerful expressions of the desire for peace and social justice. Hippie Modernism shows us how the counterculture, once dismissed as a social and aesthetic anomaly, introduced ideas and techniques that have profoundly shaped contemporary life. The BAMPFA presentation highlights **the key role the Bay Area—and especially Berkeley—played in the art, architecture, and design of the counterculture movement.** Creative innovators in Bay Area communities sought to create radical change—technological, political, and ecological—on the streets, in the classroom, and in government policy. Among the central themes of the exhibition is the desire to expand consciousness and achieve greater awareness of the holistic relationship of self, world, and cosmos.”*

**Emphasis** added. Source: <https://bampfa.org/program/hippie-modernism-struggle-utopia>

It is worth considering from a historic significance standpoint whether—and if so, how—the Willard clubhouse is a surviving artifact of that movement, along with the overall original character of Willard Park?

This is particularly worthwhile to consider since the DPR form says of Osborne and Stewart, *“the firm was extremely well-known in the Berkely (sic) architecture scene as well as the cultural and social developments of 1960s San Francisco.”*

Exactly. If the firm was prominent and immersed in *“cultural and social developments of 1960s San Francisco”*, an era of almost unequalled creative, cultural, and political ferment and turmoil in the Bay Area, then the built work of the firm can validly be evaluated in terms of how it might relate to that cultural era.

In addition, beyond the original design, other, later, parts of Willard Park also exhibit the tendency to be organic and community driven, including the mosaic “Potter’s Wall” art and seating structure along Derby Street, and the 1980s/90s community based redesign of the northeast entrance to the park that features a masonry plaza around a stone well (symbolic of Derby Creek’s buried presence in the landscape) as well as low key stone walls and pathways blending into a redwood grove and the informal park lawn.

But instead of conducting this analysis the DPR form simply concludes *“Willard Park and its components—including the clubhouse and other built features—do not appear to meet the criteria for landmark listing at the federal, state, or local level, either as individual resources, a historic district or a cultural landscape.”*

This is simply a stated conclusion without foundation or evidence.

**There is literally no analysis or documentation given in the DPR form for how this conclusion was reached, particularly in regard to potential cultural landscape character.**

The documentation in the DPR form and HRE is simply a partial account of how the park was planned and created, and some events that happened there.

There is no comparison provided of the park to other parks of its era, of the architects and their work to other architects and architecture of the era, or the history of the park to the history of other public open spaces created in the era.

That’s the sort of information the LPC needs to intelligently discuss potential significance. We are not given that information.

This leads to the conclusion of my memo. When we are given a potential significance referral for a building proposed for demolition, we make a determination of whether the structure merits further study and/or initiation for potential Landmark or Structure of Merit status. That will be a focus of the LPC deliberation on November 3.

We also consider whether we wish to make recommendations to the Zoning Adjustments Board for mitigations or other considerations to incorporate in project approval, whether or not the structure to be demolished has been formally deemed “historic”.

I would like to suggest the LPC consider making the following recommendations to the ZAB specific to the Willard Park clubhouse project:

- (1) **Salvage of the brass Frances Willard memorial plaque currently attached to the building (shown below) and placement of it either on the new building, or elsewhere in the park;**
- (2) **Photo documentation of the existing building and its context in the park, with copies of the photographs deposited in local historical / architectural repositories;**
- (3) **Design the new clubhouse to serve in the same way as the existing club house as a low-key, perimeter and peripheral, built structure of the park, secondary to the open space, rather than a visually dominant building in the park (this recommendation does not presuppose or mandate any specific architectural 'style');**
- (4) **Additionally, reflect the placement of the clubhouse to avoid intrusion of the new clubhouse building and its supporting spaces / structures into the large, informal, multi-purpose lawn area that is physically and conceptually "central" to the character of Willard Park;**
- (5) **Design the new clubhouse to reflect the original in being a low-key "good neighbor", both in physical form and in function, to adjacent residential structures and their residents;**
- (6) The HRE report suggests *"special consideration in local planning could take the form of creating interpretive panels to document and share Willard Park's history with the public. Such interpretive information could include the pre-park history...as well as the park's role in Berkeley's counter-culture movement of the late 1960s and early 1970s."* (page 33). **Recommend that the LPC endorse this suggestion, and request that interpretive panels be incorporated in park renovations. The interpretive panels should also incorporate information on more recent park design history and use beyond the '60s/'70s.**






Parks, Recreation, and Waterfront Department

November 1, 2022

TO: Landmarks Preservation Commission

FROM: Scott Ferris, Director, Parks, Recreation & Waterfront 

Re: Demolition Referral for Willard Clubhouse Building

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Attached please find four documents that provide detailed responses to two recent memo's you have received from Commissioner Steven Finacom and Vincent Casalaina regarding the demolition referral for the Willard Clubhouse building:

- a. Steven Treffers, Rincon Consultants (historic resources subconsultant to the project).
- b. Mark Schatz, ELS Architecture (prime design consultant for the project).
- c. Wendy Wellbrock, Project Manager, City of Berkeley (re: Memo from Vincent Casalaina).
- d. Councilmember Lori Droste District 8 Newsletter - Willard Park Clubhouse Special Edition!

We concur with Planning staff's recommendation that the Landmarks Preservation Commission take no action to initiate the Willard Clubhouse building for City of Berkeley Landmark or Structure of Merit designation. In terms of the 6 recommendations suggested by Commissioner Finacom, the project can implement recommendations 1 and 2, and 3 through 6 are addressed in the responses by ELS Architecture and Rincon Consultants.

Thank you for your consideration.



Rincon Consultants, Inc.

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November 1, 2022  
Project No: 22-13579

Wendy Wellbrock, P.E.  
City of Berkeley  
Parks, Recreation & Waterfront Department  
1497 Center Street, 5<sup>th</sup> Floor  
Via email: wwellbrock@cityofberkeley.info

**Subject: Response to Comments Regarding the Historical Resources Evaluation of  
Frances Willard Park, Berkeley, California**

Dear Ms. Wellbrock:

On behalf of ELS Architecture + Urban Design, Rincon Consultants Inc. prepared a historical resources evaluation (HRE) of Frances Willard Park in 2021. The HRE was prepared to support the City of Berkeley and compliance with the California Environmental Quality Act (CEQA) for a proposed project, which would include park upgrades and new construction, primarily related to the Willard Park Clubhouse. Since this time, the City has asked Rincon to provide responses to comments on the HRE that were provided in a letter dated October 25, 2022, by Berkeley Landmarks Preservation Commission (LPC) member Steven Finacom. Commissioner Finacom's comments are centered on a series of questions, which are presented with responses below. Additional responses have been provided in a separate letter by Mark Schatz, FAIA, Principal at ELS Architecture + Urban Design.

***1) Were the designers of Willard Park and the clubhouse significant in a local, regional, and/or national context?***

Commissioner Finacom suggests that a lack of detailed information has been provided to determine if the designers of Willard Park and the clubhouse can be considered significant. As discussed in the HRE prepared by Rincon and confirmed by Commissioner Finacom, Daniel R. Osborne and Zach R. Stewart are responsible for the design of the clubhouse. Commissioner Finacom contends that additional information on the firm should be presented, including how park design fits into the body of their work.

The HRE provides a focused history of these individuals of their firm, as well as a list of other known examples of their work. As detailed in the methods of the HRE, Rincon gathered information on the firm via a review of primary and secondary sources, much of which was gathered through the Berkeley Architectural Heritage Association (BAHA), the Online Archive of California, and the University of California Calisphere.

Commissioner Finacom acknowledges that limited funding may be a reason these histories were not explored further. However, an exhaustive biography on an architect is not always feasible or necessary to make a defensible conclusion on a property's historical resources eligibility. In this instance, there is sufficient information to determine that Willard Park is not significant due to its associations with Osborne and Stewart. Both architects were clearly prolific within the Berkeley area and surrounding region of Northern California; however, based on the research completed for the HRE, the firm designed



a wide variety of projects, including elementary schools, tourism-related facilities, and private residences. Rincon identified no information in either primary or secondary sources to indicate that Willard Park can be considered individually noteworthy within their larger body of work. Historical newspapers and other primary sources provide very limited information on the park's initial development or subsequent reception from the public or architecture community. Further, and regardless of the firm's potential significance, the clubhouse and park have been substantially modified and as such can no longer be considered a strong example of the firm's work. These changes include the removal of stone features and the addition of restrooms to the clubhouse in 1991, changes to the park's circulation, and the removal of the original playground areas. Although additional information on the firm would be beneficial, it ultimately is not necessary in this instance when considering the property's historical resources eligibility.

**2) *Is Willard Park itself a significant historical resource in Berkeley?***

Commissioner Finacom correctly points out that in exploring the potential historical significance of Willard Park, one must explore more than if an important event occurred at the site. Rather, the property must be placed within its larger historical context to determine if it is directly associated in a significant way with a larger trend or pattern of events. Commissioner Finacom provides useful data regarding a historical analysis which was completed by U.C. Berkeley faculty members in 2008. However, in light of this and supplemental research completed by Rincon, it is our conclusion Willard Park does not appear to be individually significant within the context of post-World War II parks in Berkeley.

An article from Susan Schwartz of Berkeley Partners for Parks discussing the history of parks in Berkeley reveals that Willard Park was one of numerous parks to be constructed in the post-World War II era.<sup>1</sup> These included Totland in 1948 and Terrace View in 1950, and a series of neighborhood parks in the 1960s and 1970s, including Willard Park, Greg Brown, Charlie Dorr, Becky Temko, Prince Street, and 63<sup>rd</sup> Street. Although Commissioner Finacom suggests that Willard Park has only three counterparts in terms of scale and scope, the other parks mentioned above were similarly neighborhood focused parks meant to serve the surrounding community. Rincon identified no information to suggest Willard Park is singularly important within this larger theme. Further, the alteration of the park described above has affected aspects of its design which date to and were representative of this era.

**3) *How does Willard Park compare to state and national park movements in the same era, particularly those that re-purposed parts of already developed urban areas for new park uses?***

Expanding on the information presented above, Willard Park was one of countless city parks developed across the county in the decades after World War II. Growing populations created an increased demand for recreational facilities at the community level. While Willard Park is associated with and emblematic of that history, Rincon identified no information to indicate it was individually significant within this context.

Commissioner Finnacom suggests that the flexible open space, specifically the large lawn of Willard Park, is unique as it provided a democratic space which was open to a variety of uses. However, large lawns and playing fields are typical of parks from this era. A review of a historic context statement prepared by the City of Los Angeles to support the historical resource evaluations of municipal parks

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<sup>1</sup> Susan Schwartz, "A Short, Partial History of Berkeley Parks," Berkeley Partners for Parks, accessed October 31, 2022 at <https://www.bfp.org/index.php/bfp-official-documents/a-short-partial-history-of-berkeley-parks/>.





reveals that large activity lawns and open spaces were common during this period and helped support a variety of uses rather than pre-programmed uses.<sup>2</sup>

Clubhouses were also a common feature of parks from this era and helped support the varying needs of the community. Commissioner Finacom suggests that the clubhouse was intentionally designed as a small, inconspicuous building at the edge of the park, further supported by its landforms of rocks and minimization of formal architectural styles. While this may be true, as detailed above, the building has been substantially modified from its original design and is no longer representative of those concepts as a result. The removal of the rocks has affected one of its primary character-defining features, a feature that contributed to the “Hippie Modernism” design Commissioner Finacom suggests. Based on the guidance of the National Park Service, the integrity of properties must be based on the current conditions of the property.<sup>3</sup>

## Conclusion

We thank Commissioner Finacom for his comments and supplemental information. We value the feedback of the City’s experts and the public to support a fully informed decision-making process. As mentioned above, consultants such as Rincon are tasked with providing information and findings to support the City and decision makers in planning efforts and compliance with CEQA. Rincon continues to recommend that Willard Park and the clubhouse do not meet the applicable criteria required for federal, state, or local designation. We hope the collective information presented herein and in conjunction with that supplied by Commissioner Finacom provides the LPC with sufficient background to support their ultimate determination.

Sincerely,  
Rincon Consultants, Inc.

A handwritten signature in black ink, appearing to read "Steven Treffers".

**Steven Treffers**  
Architectural History Program Manager

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<sup>2</sup> City of Los Angeles, *SurveyLA: Municipal Parks, Recreation, and Leisure, 1886-1978*, City of Los Angeles, accessed October 31, 2022 at [https://planning.lacity.org/odocument/fe2a87f0-8ed1-4bc2-b1e5-3b14f7ea3be8/MunicipalParksRecreationAndLeisure\\_1886-1978\\_2.pdf](https://planning.lacity.org/odocument/fe2a87f0-8ed1-4bc2-b1e5-3b14f7ea3be8/MunicipalParksRecreationAndLeisure_1886-1978_2.pdf).

<sup>3</sup> National Park Service, *How to Apply the National Register Criteria for Evaluation*, National Park Service, accessed October 31, 2022 at [https://www.nps.gov/subjects/nationalregister/upload/NRB-15\\_web508.pdf](https://www.nps.gov/subjects/nationalregister/upload/NRB-15_web508.pdf).

## Willard Park Community Clubhouse

Response to Memo from LPC member Steven Finacom

Comments from Mark Schatz, FAIA, Principal - ELS Architects

October 28, 2022

This memo addresses Commissioner Finacom's memo to the Landmarks Preservation Commission (LPC). The initial commentary in the memo focuses on concerns with the submitted HRE and DPR forms, both of which were prepared by our sub-consultant, Rincon Consultants, Inc. I will note that most of Mr. Finacom's comments deal with the historic status of the park itself, and we are not proposing any substantial changes to the park. The only change to the park itself is the relocation of the path to the north of the clubhouse building, which results in the loss of less than 1% of the original lawn area. This is described in more detail in the response to recommendation 4 below.

Commissioner Finacom discusses the original design of the clubhouse within the context of "hippie modernism". Specifically, the landforms of rocks and concrete stairs which led up to the roof on both sides in the original design were the dominant features of the structure. Please note that these elements were removed in 1991 in response to concerns about public safety and liability. The remaining building has also been altered in a number of other ways from the original structure. These include the addition of a park restroom on the east side of the clubhouse, and painting the building in bright colors, which differs from the original exposed wood finish.

Below is a specific response to the 6 mitigation recommendations that are proposed within Commissioner Finacom's memo.

1. *Salvage of the brass Frances Willard memorial plaque currently attached to the building and placement of it either on the new building or elsewhere in the park.*

We agree with this suggestion and would propose that the plaque be mounted either on the east wall of the building facing out onto the terrace, or on one of the wood stumps at the south side of the new patio at the eastern end of the building.

2. *Photo documentation of the existing building and its context in the park, with copies of the photographs deposited in local historical / architectural repositories.*

We will provide such photo documentation and will deposit it to a repository per the direction of the LPC.

3. *Design the new clubhouse to serve in the same way as the existing clubhouse, as a low-key, perimeter and peripheral built structure of the park, secondary to the open space*

*rather than as a visually dominant building in the park (this recommendation does not presuppose or mandate any specific architectural style)*

We believe that our current design meets this recommendation. The proposed single-story building of 3,285 square feet with a maximum height of 15'-8" is located at the southern edge of the park that has a total area of 126,200 square feet. The height of the new building is lower than the homes bordering the park to the east and south, adjacent to the site of the clubhouse. The building area is equal to 2.6 percent of the total gross area of the site. In other words, the new structure is very small compared to the overall size of the park, so it will not be visually dominant.

The proposed location for the replacement clubhouse is in the same spot as the existing building, which is in the far southeast corner of the site, right up against the edge. We believe that this complies fully with the request for a perimeter and peripheral building. We studied other options within the park but agreed with comments from community members that the current location is the best spot for the new building.

The building has a linear footprint in direct response to the constraints of the specific site in the southeast corner of the park. These constraints include the fences, side and rear yards to the south and west, as well as 1 large heritage oak tree, a Japanese maple, and a heritage redwood tree. We worked with the city arborist to determine the required setbacks from the trunks of these trees, and that helped define the area in which the building could be sited.

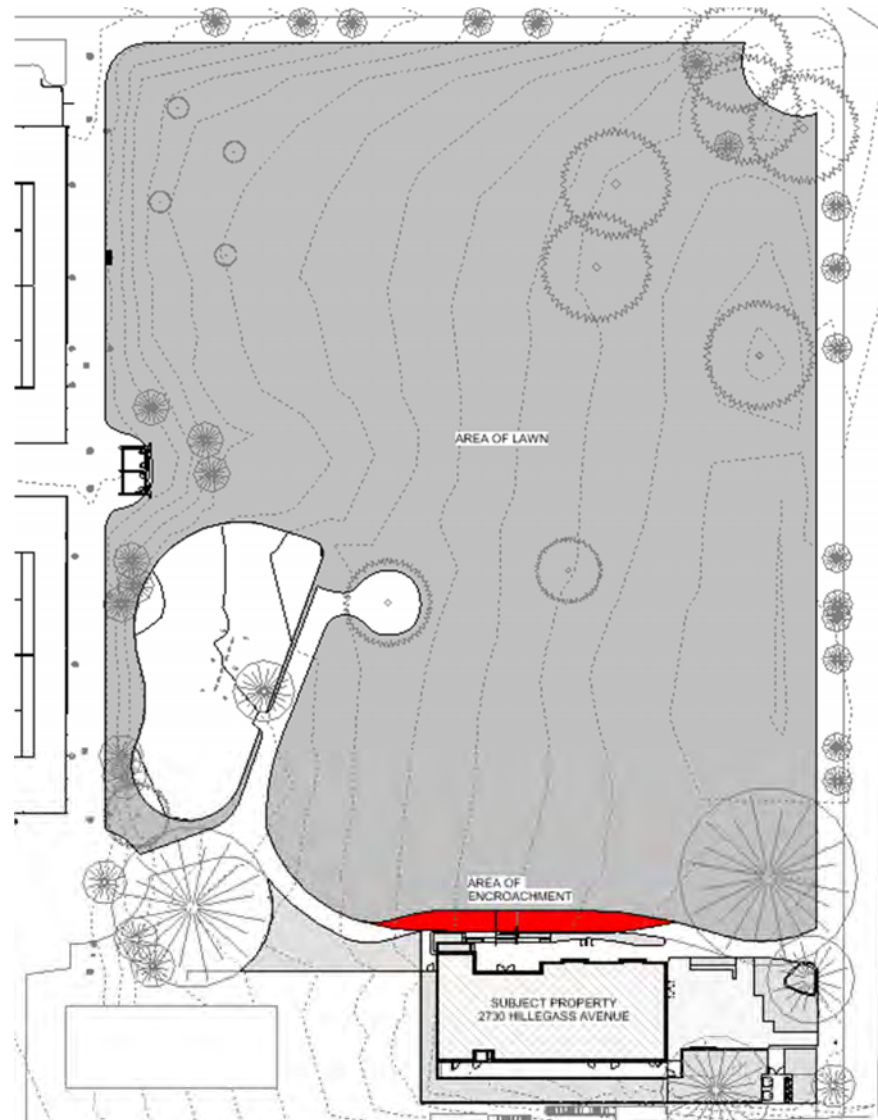
Also, the City's Urban Forestry Division and City Arborist are developing a tree plan for the entire park to evaluate all site trees, replace any trees lost, and provide a variety of new trees along the perimeter of the park. Given the large trees which surround the building, as well as the others located within the park and others to be planted in the future, we feel that the current design complies fully with the request that it not dominate the park.

4. *Additionally, reflect the placement of the clubhouse to avoid intrusion of the new clubhouse building and its supporting spaces/structures into the large, informal, multi-purpose lawn area that is physically and conceptually "central" to the character of Willard Park.*

The existing central lawn, including the playground, has an area of 84,384 sf. No part of the new building or its associated patio or trellis area project into that space.

Due to the existing contours of the site, and the requirement to provide an accessible path to and from the front door of the new building while also maintaining an accessible path into the park itself, we do need to reconfigure the path directly north of the building to allow for a parallel level pathway from the east and new stairs with flanking planters directly north of the entry door. This new pathway does project slightly into

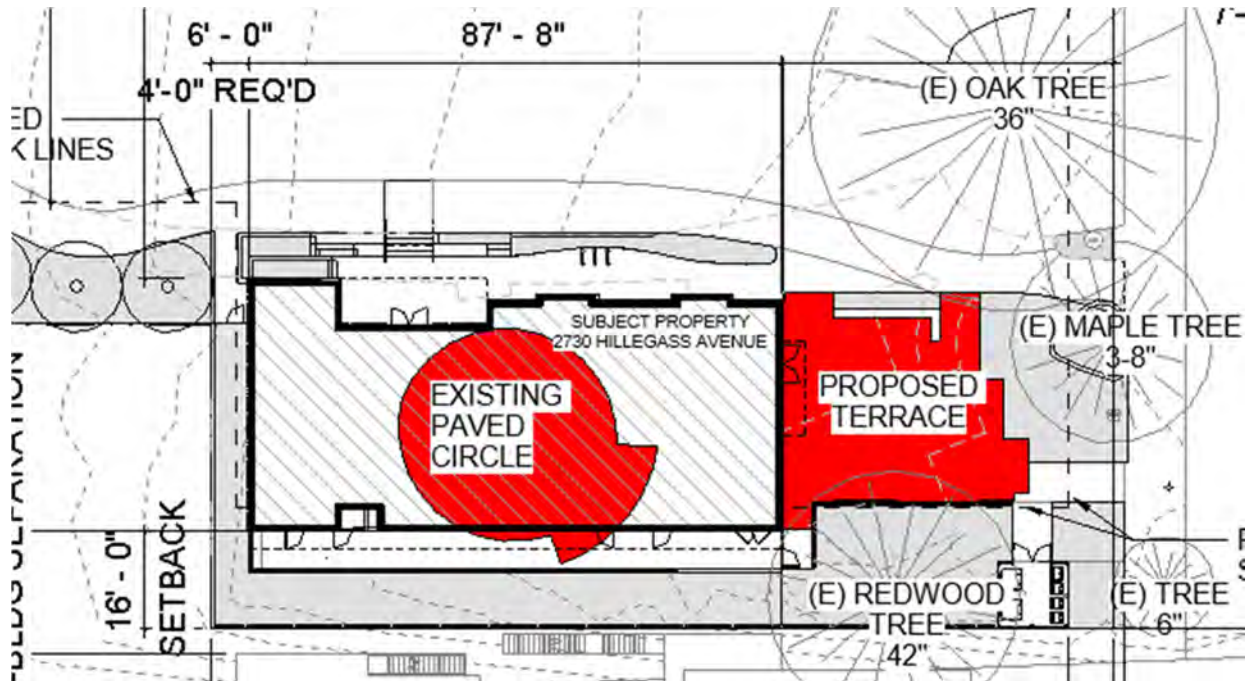
the overall lawn area and we have requested a variance from the planning department to reduce the rear yard setback to minimize this impact. The current proposed design calls for a reduction in the lawn area equal to less than 1% (0.94%) of the total lawn area.



*Site plan illustrating the relocated path and area of encroachment into the existing lawn*

The proposed design also includes a new paved terrace area to the east of the building which will replace the paved circular area to the west of the existing building. The existing outdoor paved space is used for gatherings of children in the after school and summer camp programs, practicing martial arts and other activities. The proposed outdoor terrace as shown below, has been added in response to feedback from the

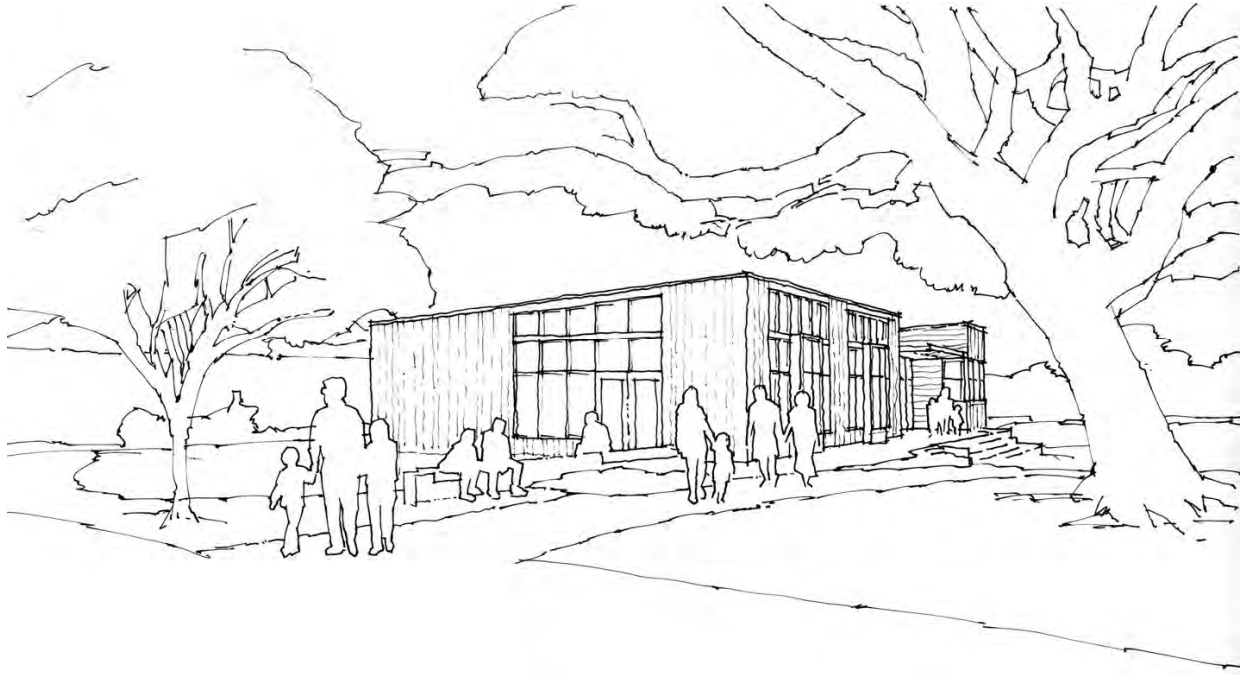
community to provide a similar paved space. This area will now be more visible from the street for improved safety. Additionally, the new patio is roughly the same area as the paved circular area it will be replacing, but has been relocated to make it more visible and to better integrate it with the adjacent clubhouse and surrounding planted areas.



*Plan showing the relative sizes of the existing paved circle and the proposed terrace*

5. *Design the new clubhouse to reflect the original in being a low-key "good neighbor" both in physical form and in function to adjacent residential structures and their residents.*

At 15'-8" tall, the proposed new clubhouse is substantially lower than all of the neighboring residential structures, most of which are 2-3 stories in height. The proposed roof form of the new building is a simple shed, sloping from the north to the south. This is proposed because it is the optimal configuration for rooftop photovoltaic solar panels, which are being provided to enable this building to generate its own power onsite. This also complies with an upcoming code requirement that new public buildings of this nature be constructed with solar panels. Most of the neighboring homes have gable or shed style roofs, but providing a roof like that on the clubhouse would greatly reduce the area available for the solar panels.

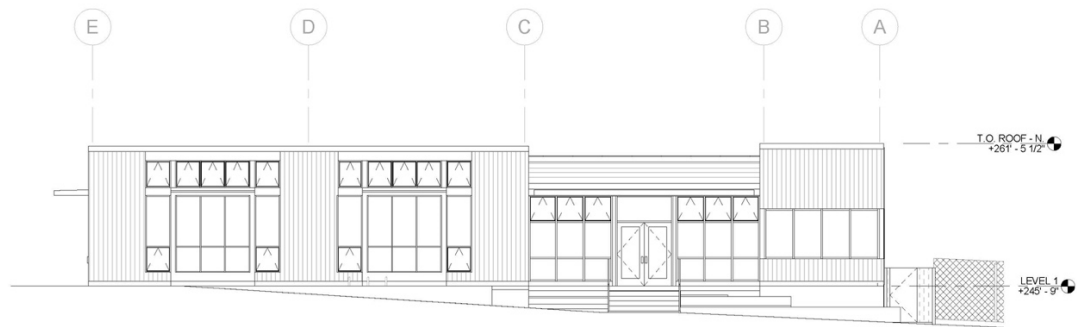


*View of the building from the East*

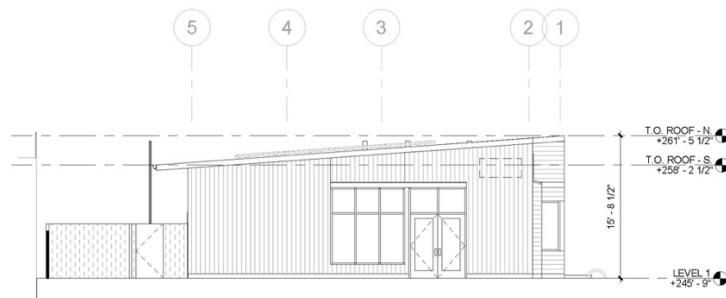
Many of the neighboring homes have wood siding or shingles as their exterior finish, and a similar wood siding material is proposed for the new clubhouse.

There is a comment within the memo about the large areas of glazing that face the park. These have been included for a couple of reasons. Firstly, they provide for wide open views from the inside of the lobby and activity rooms out into the park, creating a sense of indoor/outdoor connectivity. Secondly, they provide abundant daylighting, and natural ventilation through operable panels to help minimize the use of artificial lighting and forced air ventilation, which in turn save energy and make the project “greener” and in alignment with the City’s sustainability and energy efficiency goals. Furthermore, the specifications for the windows will require bird safe glass and building exterior lighting will comply with dark sky requirements.

There is also a large glass area called for on the east side of the building to provide a similar connection to the new outdoor terrace. The windows are much smaller on the south, and they are provided with a roof overhang to minimize glare and heat gain, and there is a small window at the west elevation which provides views from the office into the park.



*North Elevation*



*East Elevation*

- The HRE report suggests “special consideration in local planning could take the form of creating interpretive panels to document and share Willard Park’s history with the public. Such interpretive information could include the pre-park history as well as the park’s role in Berkeley’s counter-culture movement of the late 1960’s and 1970’s. Recommend that the LPC endorse this suggestion and request that the interpretive panels be incorporated in park renovations. The interpretive panels should also incorporate information on more recent park design history and use beyond the 60’s/70’s.*

These are not included within the scope of the project at this time. If funding becomes available, these could be provided by the City at a future date.



Parks, Recreation, and Waterfront Department

November 1, 2022

To: City of Berkeley Landmarks Preservation Commission

From: Wendy Wellbrock, Associate Civil Engineer, Department of Parks, Recreation and Waterfront

Subject: Response to Email from Vincent Casalaina to Landmarks Preservation Commission, dated October 22, 2022

This is a City response to an email from Vincent Casalaina dated October 22, 2022. In this response, we provide details regarding the City's community input process over the past three years for the design of the proposed Willard Clubhouse and Restroom Project.

Over the course of planning for this project, hundreds of community members and parents participated in the City's public engagement meetings for this project. Between September 2019 and October 2021 there were 5 community meetings and 8 focus group meetings (in-person and virtual) to gather input and hear about the needs and concerns of the community. Participating groups included the Willard Neighborhood Association, Parent Teacher Associations, Friends of Willard Park, City commissioners, councilmembers, neighbors, families in the afterschool and summer day camp programs, and Parks, Recreation, and Waterfront departmental staff. In terms of outreach to publicize these meetings, City staff mailed 2,685 notices, the project consultants went door-to-door, City staff canvassed park visitors during numerous recreational events at the park, and the meetings and project status were publicized on the City's website. Over this three-year period, the vast majority of the participants indicated a strong interest in an expanded and improved clubhouse and restroom at Willard Park that would provide more afterschool programs and community events. A group of neighbors within the immediate vicinity of the park expressed a desire for no expansion of the facility. Virtually all participants expressed strong support for preserving open green space at Willard Park, which was always part of the project plan. The three-year public process involved an iterative design process with the stakeholders and resulted in a preferred conceptual design. This preferred conceptual design was recently reduced in scope and size due to escalating construction costs resulting in the final site plan.

The new design will enhance existing open space by better integrating the proposed clubhouse and its patios with the adjacent outdoor areas. This will help beautify the southern boundary of





Parks, Recreation, and Waterfront Department

the park and provide more flexibility for indoor and outdoor programming at the facility. For example, youth programs need adequate indoor space, especially during inclement weather or increasingly common days with poor air quality due to smoke from wildfires.

The current clubhouse and existing public restroom are not fully ADA compliant. At present, there is a one-stall, open-roof public restroom to the east of the clubhouse with a simple doorway chain to indicate if it is in use. The project will make the public restroom more accessible to the community by relocating it away from the clubhouse and providing two gender-neutral ADA accessible stalls. Meanwhile, children and others using the new clubhouse will have access to a new indoor restroom for enhanced privacy, safety, and comfort. In sum, the proposed project will help the City expand youth and community programming at the facility, which helps to promote equity for a wider range of community residents.

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## Willard Park Clubhouse Special Edition

Hello, Janet!

I am sending this special edition newsletter because I'm excited to give you an update about the planned improvements to the Willard Park clubhouse! I am going to provide a lot of detail in the second part of this newsletter, but please feel free to read the first few paragraphs to get a summary of the project's history, present status, and the current clubhouse plans.



City staff and my office have been engaged in an ongoing [multi-year public engagement process](#) to learn what parents, kids, neighbors, and other residents of South Berkeley would like to see with the Willard Clubhouse renovation. We heard broad support from parents, PTAs, and others in South Berkeley for a larger and improved space that would be capable of hosting more afterschool programs and community events. We heard from a few immediate neighbors a desire for a smaller space. Across the board, we heard strong support for preserving green space at Willard, which was

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corporate office" campus overtaking the grassy park.) Staff took these initial comments and ongoing feedback to heart as they undertook an iterative design process with neighbors, other stakeholders, and project architects.



The existing clubhouse has scarcely changed since it was completed in 1971. It is only 565 square feet and with only one room, it can only serve about 45 kids at a time through the use of outdoor space—but the capacity of that room is only about 25. These programs are vital to Berkeley's low-income children and families. The proposed new design preserves green space at Willard Park, while offering a dramatically improved indoor space with a kitchen, an office, improved ADA accessibility, and new public restrooms, as well as new fully indoor restrooms.

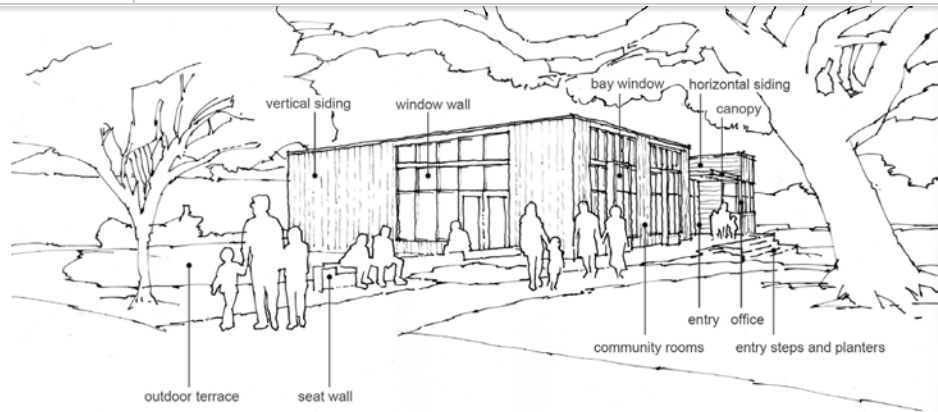
These changes will make the clubhouse a stronger asset for the neighborhood, and a better and safer place for afterschool activities for children, which are [currently scarce](#) in Berkeley. The Clubhouse will also serve the Willard neighborhood and South Berkeley by establishing a community space. At the same time, the project preserves the green space at Willard Park, with the new clubhouse remaining tucked into the corner of the park. The new clubhouse will also be better integrated with surrounding open areas. This will help beautify the southern boundary of the park and encourage more indoor/outdoor play and activities.



In consultation with the project architects, staff have just completed and are about to share a new design for the proposed clubhouse (new

overall footprint of the building, while still maintaining key new features and adequate space for the envisioned programming.





Thank you to everyone who has participated in the community process to envision this space. And an enormous thank you to City staff and the project architects, who have shown incredible dedication to this process and sensitivity to the community's desires and concerns for the project. It is very important to me that we continue to hear from you about this project—even if it is just to share how excited you are to see it finally complete!

If you would like additional information about the new clubhouse, and to see replies to some common questions and myths, please read on! Otherwise, thank you again for your feedback and involvement, and I look forward to seeing you in our new neighborhood clubhouse at Willard!

Best,  
Lori

### Why do we need a new clubhouse at Willard Park?

- The Clubhouse was built in 1971 and is long overdue for an update. With only one room and 565 square feet of space, the current clubhouse can only serve up to 45 children in its programs, even when using its outdoor space—the interior space only has a capacity of 25.
- With a larger space, the Clubhouse could meet more community needs. Enrollment for after school and day camp programs typically fills up fast, with a wait list of typically around 25 children. If the space were roomier, there would be greater capacity to meet that demand. Staff, parents, PTA equity liaisons, and community members all emphasized the need for a larger space to support the children's programs, and potentially be a place for other community meetings, classes, and activities.
- These programs are vital to under-resourced communities in Berkeley. Recreational programs at Berkeley's parks, community centers, and clubhouses are among the most affordable and accessible.
- This project will include new public restrooms and a new indoor restroom. Currently, there is a one-stall, open roof restroom with just a chain to indicate if it is in use. This project would make the public restroom more accessible to the community by relocating it away from the clubhouse and changing it into a prefabricated building with two gender-neutral stalls. Meanwhile, children and others using the

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- The current clubhouse is not fully ADA compliant. Ensuring that City facilities are accessible to all is an equity issue and essential for complying with federal law.

## What exactly is being proposed?

Community members and staff identified priorities and concerns about a new clubhouse and created three initial designs based on that feedback. After extensive community outreach, the preferred design includes:

- Expanding the footprint of the single story clubhouse to meet greater demand and serve more children. It will **not** take over the park's central green space.
- Maintaining a similar patio size but relocating it to make it more visible and better integrate it with the adjacent clubhouse and surrounding green spaces.
- Moving and updating the public restrooms to make them more comfortable and accessible.
- Restrooms within the new clubhouse space specifically for after school and summer camp participants and other building users.
- A terrace area for outdoor programming. Classrooms will still have direct access to park lawn space.
- Additional amenities such as a kitchenette, an office, a lobby area, increased storage, community meeting rooms with a removable divider to create one large room, and new landscape features.

## Who took part in the community feedback process?

Staff gathered feedback through community meetings, focus groups, online surveys, and emails from:

- Members of the general public
- Families enrolled in the afterschool care programs
- Friends of Willard Park
- City Councilmembers
- Parks Commissioners
- Parks and Recreation staff
- Maintenance staff

## What are some myths about the project?

- **"The project includes a 'corporate-style office park.'"**

This claim is [categorically false](#). At no point were there any plans for an office park on the site, and claims to the contrary are pure misinformation.

- **"The proposed clubhouse will take over green space," reduce open space by 20%, or have a "significant impact" on open space in the**

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This is not, nor ever was, correct. The project's impact to the amount of green open space in the park is negligible. It actually enhances existing open space by better integrating the proposed clubhouse and its patios into the surrounding areas of the park.

- **“The proposal is too big!”**

Focus group participants were in overwhelming support of the project and many parents wanted an even bigger project than what was initially envisioned. Now, with the recent revisions, the footprint is smaller but will still be able to serve community members far better than the current clubhouse.

- **“Only 58 people were surveyed.”**

Over the course of planning for this project, hundreds of community members and parents took part in the public engagement for this project. There were five public meetings and eight focus group meetings. Groups that were consulted included Parent Teacher Associations, the Willard Neighborhood Association, Friends of Willard Park, city commissioners, councilmembers, neighbors, families in the program, and park maintenance staff. Staff mailed 2,685 notices and consultants went door to door as well. Staff also canvassed park visitors during recreational events. The overwhelming sense from the majority of these participants was that they wanted an expanded and improved clubhouse at Willard Park.

- **“These resources could have been used to open Willard Pool”**

Sadly, no. The Willard Pool property is owned by the Berkeley Unified School District, which has given no indication that it intends to sell or re-lease the property back to the City for pool use. Additionally, when given the option to fund re-opening of Willard Pool in 2010 and 2012 (through aquatic-focused bond measures), Berkeley voters sadly declined to support the ballot measures. On the other hand, Berkeley voters did support T1, which is the source of funding for the Willard Clubhouse update. There is not funding to reopen the pool in Willard Park and the funds for the Willard Clubhouse cannot be used for that purpose.

- **“The facility is only available if you pay for it.”**

The City frequently makes free and reduced-cost programming and use of its buildings available for community events and for low-income families. Without a doubt, this project will dramatically help families throughout Berkeley, many of whom are struggling with childcare options as [recently reported by Berkeleyside](#). The City of Berkeley Recreation Division has among the least expensive childcare in the city. It is important that park users in South Berkeley have access to updated, affordable, beautiful, and safe facilities.

- **“Kids won't be able to play outside.”**

Of course children need to play outside. Thankfully, the proposed clubhouse will in no way reduce opportunities for outside play. The clubhouse will actually enhance them by better integrating the clubhouse with adjacent outdoor areas. Sometimes kids need to play inside as well, especially during inclement weather or increasingly

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opportunities for indoor play when it is preferred/necessary.

**Once the city website goes live on Friday, even more questions will be addressed so stay tuned!**



**Office of District 8  
Councilmember Lori Droste**

ldroste@cityofberkeley.info (510) 981-7180  
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Berkeley, CA 94704  
United States

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**From:** [Carla Woodworth](#)  
**To:** [Crane, Fatema](#)  
**Cc:** [Landmarks Preservation Commission](#)  
**Subject:** Ms. Crane...please distribute to the Landmarks Preservation Commission before their Thursday, November 3, 2022 meeting  
**Date:** Wednesday, November 02, 2022 9:06:08 PM

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BY Email: [LPC@CityofBerkeley.info](mailto:LPC@CityofBerkeley.info), [fcrane@cityofberkeley.info](mailto:fcrane@cityofberkeley.info)

November 2, 2022

Berkeley Landmarks Preservation Commission  
Fatema Crane, Landmarks Preservation Commission Secretary  
City of Berkeley  
1947 Center Street  
Berkeley, CA 94704  
Subject: Plans to demolish clubhouse at 2720 Hillegass Avenue

Dear Ms. Crane,

I am writing to the Landmarks Preservation Commission concerning the City's proposal to demolish the Willard Park clubhouse at 2720 Hillegass Avenue.

I represented District 7 as a Berkeley City Councilmember from 1990-1996. I was very involved with Willard Park throughout my time on the council, especially since it fell within my District.

I request that the Landmarks Preservation Commission not act on the demolition proposal at this time. The history of Willard Park contained in your packet is inadequate.

**It doesn't consider Willard Park as a whole.**

Frederick Law Olmsted, the great American designer of parks, said "The park should, as far as possible, complement the town. Openness is the one thing you cannot get in buildings."

The application looks at the clubhouse without taking into account the park in its entirety. The park is not a set of buildings. Its major value consists of the green open space it provides for our community.

**It leaves out the planning and development of the park.**

The City's application does not discuss the planning and development of Willard Park. Fred Harvey, a Benvenue neighbor and attorney (1928-2021), and a Berkeley Parks Commissioner participated in the design of the park along with dozens of other residents who rejected the first design for a large structure in the middle of the new park. The application fails to mention Mr. Harvey and others involved the neighborhood participation in the design process of the original park.

The original architect for the park, Mr. Zach Stewart of San Francisco was not contacted by Rincon Consultants until Wednesday, November 2 when he received a phone call from Rincon staff in Seattle.

**It ignores the tot-lot.**

There is no mention of the 1990's tot-lot addition to Willard Park or Michael O'Leary, a Berkeley landscape architect who worked with the Berkeley community in siting a new tot-lot area through a long planning process in the early 1990's. There is just a very limited mention of the group Friends of Willard Park. Friends of Willard Park, headed by Bill Lipsky and others championed the hiring of Mr. O'Leary. These community members mobilized participation in the planning for the tot-lot area,

and devoted hours of painstaking work to make sure the project was properly implemented by the City.

**It fails to provide a cost estimate or safety review of the proposed new restroom site.**

Part of this application calls for demolishing the existing outside restroom as well as the restrooms within the clubhouse. The replacement park user restroom is planned for an area just east of the tennis courts. The neighbors oppose this location as Willard is an urban park and people are concerned about park users' safety in a building so removed from the eyes and ears of neighbors. There has not been a review by the Berkeley Police Department about possible problems with safety. The neighbors are also concerned that the cost of such a restroom may top the \$1.7 million that was going to be spent on a new restroom in a pocket park in San Francisco until Governor Newsom commented that such an expense exceeded the cost of a median house in San Francisco. When I asked in October about the estimate cost of the new restroom in Willard Park, I was told that this estimate was not available.

Going back to Frederik Law Olmsted, he reminds us what parks are for: "The most essential element of park scenery is turf in broad unbroken fields, because in this the antithesis of the confined spaces of the town is most marked." And he notes: "Free admission to the best scenery of their neighborhood is desirable. It is, indeed, necessary, if life is to be more than the meat."

Sincerely,

Carla Woodworth  
Former Berkeley City Councilmember (1990-1996)  
2335 Parker Street #2  
Berkeley, CA 94704  
Land line: (510) 849-3048  
Email: [carla@tennypress.com](mailto:carla@tennypress.com)

**From:** [harvey.smith](#)  
**To:** [Landmarks Preservation Commission](#)  
**Subject:** Plans to demolish clubhouse/recreational building at 2720 Hillegass Avenue  
**Date:** Thursday, November 03, 2022 11:37:00 AM

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**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

November 3, 2022

City of Berkeley Landmarks Preservation Commission  
Fatema Crane, Landmarks Preservation Commission Secretary  
LPC@CityofBerkeley.info

Subject: Plans to demolish clubhouse/recreational building at 2720  
Hillegass Avenue

To: Landmarks Preservation Commission

I am speaking tonight on behalf of Zach Stewart who could not attend this meeting via Zoom. Zach and I have collaborated on many projects. I am author of *Berkeley and the New Deal* and have also worked as an environmental educator so I am very familiar with Berkeley parks and the critical need for parks.

Zach Stewart was hired to do the Willard Park Clubhouse design because the first architectural design created a big structure in the middle of the park. The Willard neighbors noticed this and told the architect of that design to never come back—they wanted open space! So the City asked Zach Stewart to do the project. Zach had just completed the Shore Bird Park Project in the Berkeley Marina. Zach emphasizes that the neighborhood wanted open space!!!! — not a massive club house.

Zach has said, and I quote, "Frederick Law Olmsted would suggest that open space is way more important than buildings, and I agree."

Zach emphasizes his experience working with the neighbors—responding for their deep, deep desire for green open space—how he and his partner listened to their concerns and crafted a modest clubhouse and a whimsical "well and pump" at the corner of Hillegass & Derby

Zach also says this is "about the city clearing the Willard Park site years ago to create precious open space for the neighborhood-----and then arousing the neighborhood by planning to put a building in the middle of the newly created open space. This was avoided then and should continue to be avoided now."

Berkeley 1986 Measure L is also invoked by Zach. The Public Parks and Open Space Preservation Ordinance requires the Berkeley City Council to preserve and maintain the public parks and open space which exists in

Berkeley. The attainment of the minimum standard of two acres of public open space per 1,000 persons is jeopardized by continued loss of public open spaces. The ordinance also requires the City to submit to a popular vote all proposals to withdraw from recreational use public parks or public open space.

This history is critical to the understanding of how Willard Park was created and is totally relevant to any plans for redesign today.

Zach Steward would be willing to answer any questions the commissioners may have.

Sincerely,

Harvey Smith

1801 McGee Avenue

Berkeley, CA 94703

harveysmithberkeley@yahoo.com

510-684-0414 cell

Here is a link to my book - <http://www.arcadiapublishing.com/9781467132398/Berkeley-and-the-New-Deal>. Follow the National New Deal Preservation Association and the Living New Deal by signing up to receive occasional updates. [Join LND's Email List](#). The latest or previous newsletters are at each website - [www.newdeallegacy.org](http://www.newdeallegacy.org) and [www.livingnewdeal.org](http://www.livingnewdeal.org). Join us in pushing for a *New* New Deal!



Planning and Development Department  
Land Use Planning Division

November 7, 2022

Wendy Wellbrock  
City of Berkeley  
1947 Center Street, 5<sup>th</sup> Floor  
Berkeley, CA

Sent via email:  
[wwellbrock@cityofberkeley.info](mailto:wwellbrock@cityofberkeley.info)

Re: Variance #ZP2022-0095 for 2720 Hilegass

Dear Wendy Wellbrock,

On June 9, 2022 you submitted an application for a use permit to demolish the existing clubhouse and restroom, construct a 3,285 square-foot community center with a variance for a rear setback of 16 feet where 20 feet is required, and a new restroom. Based on my review, the following permits are needed for your project:

1. Variance pursuant to Berkeley Municipal Code (BMC) Section 23.406.050 to allow a rear setback of 16 feet where 20 feet is required.
2. Variance pursuant to Berkeley Municipal Code (BMC) Section 23.406.050 to provide no off-street parking for a community center.
3. Use Permit pursuant to BMC Section 23.326.070(A) to demolish a non-residential main building.
4. Use Permit pursuant to BMC Section 23.202.020(A) to construct a new community center.
5. Administrative Use Permit pursuant to BMC Section 23.304.080(A) to add a fence that exceeds 6 ft. in height.
6. Administrative Use Permit pursuant to BMC Section 23.304.060(C)(1) to add an accessory building (restroom).

I have reviewed your October 4, 2022 resubmittal package and determined that your application is incomplete and the following items are needed to complete our review of your application:

1. Tabulation Form: The gross floor area and building footprint should include the restroom and the community center.
2. Site Plan:
  - Provide an existing site plan and dimension the setbacks to the clubhouse, or show the existing setbacks in a copy of the proposed site plan.
  - Show the bike parking, and the on-street loading space recommended by the Transportation Study.
3. Floor Plan: Provide an existing floor plan for the clubhouse. This will be useful for analyzing whether the requested variances can be approved.
4. Tree and Root Protection Measures: Please incorporate the letter from Thomas Dodge and sheet L0.02 in the final version of the plans submitted for ZAB and the building permit.
5. Transportation Study: Please instruct the transportation consultant to remove Table 3 and edit page 5 of the Transportation Study as the project is not an addition, but the demolition and construction of a new building, and the project is not in the C-DMU District, or in a similar Zoning District.

2720 Hillegass Avenue  
Incomplete Letter – Submittal #2

November 7, 2022  
Variance #ZP2022-0095

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**Staff Comments**

- City Traffic Engineer Review: I have routed the Transportation Study to the City's Traffic Engineer. Comments, if any, will be forwarded to you once received.

Please submit responses to all requested items at once, and not incrementally. In your resubmittal, include a letter stating how you have addressed the incomplete items. If you submit hardcopies of plans do not bring plans larger than 11x17 or 12x18.

Sincerely,



Allison Riemer, Associate Planner



Parks, Recreation & Waterfront Department

November 18, 2022

Allison Riemer  
City of Berkeley  
1947 Center Street, 2<sup>nd</sup> Floor  
Berkeley, CA

Subject: Responses to Review Comments – Submittal #2  
Variance #ZP2022-0095 for 2720 Hillegass

Dear Allison Riemer:

Please find below responses to the Review Letter, dated November 7<sup>th</sup>, 2022.

1. Tabulation Form: The gross floor area and building footprint should include the restroom and the community center.

[Response: The gross floor area and building footprint have been modified to include the community center and the restroom.](#)

2. Site Plan:

- Provide an existing site plan and dimension the setbacks to the clubhouse, or show the existing setbacks in a copy of the proposed site plan.

[Response: The Existing site plan with existing setbacks has been provided, please see sheet Z2-A1.](#)

- Show the bike parking, and the on-street loading space recommended by the Transportation Study.

[Response: Bike parking and on-street loading space recommended by the Transportation Study have been added.](#)

3. Floor Plan: Provide an existing floor plan for the clubhouse. This will be useful for analyzing whether the requested variances can be approved.

[Response: The existing floor plan has been provided, please see sheet Z2-A2.](#)

4. Tree and Root Protection Measures: Please incorporate the letter from Thomas Dodge and sheet L0.02 in the final version of the plans submitted for ZAB and the building permit.

[Response: Sheet L0.02 has been replaced with sheet L1.1, and will be included in the package submitted for ZAB and the building permit](#)

5. Transportation Study: Please instruct the transportation consultant to remove Table 3 and edit page 5 of the Transportation Study as the project is not an addition, but the demolition and



Parks, Recreation & Waterfront Department

construction of a new building, and the project is not in the C-DMU District, or in a similar Zoning District.

[Response: The Transportation Study has been revised. Please see attached.](#)

#### **Staff Comments**

• City Traffic Engineer Review: I've reviewed the study and based on its recommendations would suggest that the applicant provide a passenger loading zone on their plans. Generally the length of the zone should be a minimum of 20' (if proposed at the end of the block, next to existing red curb, driveways, etc.) but a midblock loading zone should be longer to minimize backing maneuvers. To maximize on-street parking, I would suggest placing the loading zone near the existing striped buffers/red curb at Derby/Regent, but loading zone placement should also follow pedestrian desire lines and might make more sense closer to the clubhouse entrance.

I would recommend that they show a proposed loading zone location on the plans for my review, keeping in mind the guidance above.

[Response: The proposed location for a passenger loading zone is shown on Sheet Z2-A4. Most of the students in the City's afterschool care program are dropped off and picked up on Hillegass Avenue next to the Clubhouse. Also, BUSD school bus drop offs occur here for students in the City's afterschool care program. A 9'x60' passenger loading zone is proposed to accommodate a school bus.](#)

Sincerely,

A handwritten signature in blue ink, appearing to read "W. Wellbrock", written over a light blue horizontal line.

---

Wendy Wellbrock, Associate Civil Engineer  
City of Berkeley Parks, Recreation and Waterfront





# PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704  
 Tel: 510.981.7410 TDD: 510.981.6903 Email: Planning@CityofBerkeley.info

## TABULATION FORM

Project Address: \_\_\_\_\_ Date: \_\_\_\_\_

Applicant's Name: \_\_\_\_\_

Zoning District: \_\_\_\_\_

Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required<sup>1</sup></i>
<b>Units, Parking Spaces &amp; Bedrooms</b>			
Number of Dwelling Units (#)			
Number of Parking Spaces (#)			
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)			
<b>Yards and Height</b>			
Front Yard Setback (Feet)			
Side Yard Setbacks: (facing property)			
Left: (Feet)			
Right: (Feet)			
Rear Yard Setback (Feet)			
Building Height* (# Stories)			
Average* (Feet)			
Maximum* (Feet)			
<b>Areas</b>			
Lot Area (Square-Feet)		118,500	
Gross Floor Area* (Square-Feet)			
Total Area Covered by All Floors			
Building Footprint* (Square-Feet)			
Total of All Structures			
Lot Coverage* (%) Residential only (Building Footprint/Lot Area)			
Useable Open Space* (Square-Feet)			
Floor Area Ratio* Non-Residential only (Except ES-R)			

\*See Definitions – Zoning Ordinance Title 23F.

Revised: 11/19

<sup>1</sup> See development standards for your Zoning District, per the Berkeley Municipal Code, Sub-Titles 23D and 23E  
 g:\landuse\forms & instructions\land use planning forms\word files\forms\_zoning project application\zoning project application\_tabulation form.docx



155 Grand Avenue, Suite 505  
Oakland, CA 94612  
P.510.839.1742

# Technical Memorandum

November 16, 2022

Project# 23412.003

To: Wendy Wellbrock, Associate Civil Engineer  
City of Berkeley, Parks, Recreation, and Waterfront Department

From: Amanda Leahy, AICP; Sophia Semensky

RE: Willard Clubhouse and Restroom Replacement

## TRANSPORTATION STUDY

Kittelison & Associates, Inc. (Kittelison) prepared this technical memorandum to describe the parking and transportation conditions near the proposed project at Willard Park (proposed project) and provides off-street vehicle parking recommendations and justifications for off-street parking exemptions.

The document is structured in four parts:

- Executive Summary: Summarizes key findings and recommendations from the study.
- Project Description and Code Requirements: Describes the proposed project and parking requirements according to the Off-Street Parking and Loading Requirements section of the City of Berkeley's municipal code.
- Local Conditions: Describes the transportation and land use characteristics of the neighborhood, including the walking, biking, and public transit conditions as well as on- and off-street parking provision near the proposed project. Presents vehicular parking demand estimates for the proposed project.
- Summary of Findings and Recommendations: Presents a summary of the analysis findings and recommendations for off-street vehicle parking requirements for the proposed project.

The analysis presented herein indicates that the presence of on-street parking and the availability of walking, biking, and public transit options reduces the need for off-street vehicle parking for the local serving neighborhood clubhouse at Willard Park.

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## Executive Summary

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Based on the review of local conditions and census data, this analysis finds that the proposed project's provision of zero off-street vehicle parking spaces would be appropriate based on the amount of traffic generated by the use, as per the City of Berkeley Off-Street Parking and Loading Requirements, section 23.322.030, for the following reasons:

- There are sufficient on-street vehicle parking spaces located nearby to accommodate long-term vehicle parking needs of staff at the clubhouse without substantially reducing the amount of parking available in the vicinity of the project site.
- Secure bicycle parking would be provided on-site to make biking to work and first- and last- mile connections to transit a convenient option.

Additionally, we have provided the following recommendations to ensure that short-term vehicle parking needs (i.e., passenger drop-off and pick-up) are met and managed appropriately:

- Designated on-street passenger loading space should be considered in order to better accommodate passenger drop-off and pick-up.
- A drop-off and pick-up plan should be developed to manage passenger loading activities.

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## Project Description and Code Requirements

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### EXISTING CLUBHOUSE & PROPOSED REPLACEMENT PROJECT

Willard Park includes an existing one-story clubhouse, tennis courts, a children's playground, an open lawn area, and an existing public toilet. The existing clubhouse is located at the southeast corner of the site adjacent to Hillegass Avenue. The clubhouse area consists of 1,051 square feet, including an outside covered patio area. The primary use of the existing clubhouse is for afterschool and summer childcare programs and recreation programs. The afterschool program runs five days a week from 1:30 PM to 6 PM and enrolls about 45 students. The summer childcare program runs from 7:30 AM to 6 PM and enrolls 45 students. Recreation programs are currently primarily held outdoors under the covered patio area due to limitations of the building's size and configuration.

The proposed project would construct a new 3,285 square foot building at the existing site. The new building would include one divisible community room, a kitchen, storage, restrooms, an office, and a lobby. Programming would largely remain the same as with the proposed project.

### PARKING REQUIREMENTS

The City of Berkeley Off-Street Parking and Loading Requirements does not provide any requirements for a clubhouse or community space. For 'Other Uses', section 23.322.030 states that "the review authority shall determine the required number of off-street parking spaces based on the amount of traffic generated by the use and the number of spaces required for other similar uses."

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## Local Conditions

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### TRANSPORTATION AND CIRCULATION

Walking. The proposed project is in an area with continuous sidewalks that provide safe and comfortable access to local amenities and public transit stops. For example, Downtown Berkeley is approximately 30-minutes away by foot. The rating service Walk Score<sup>1</sup> finds that the area is "Very Walkable" with a score of 92 on their 0 to 100 scale.

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<sup>1</sup> Walk Score is a proprietary metric that measures "walkability on a scale from 0 - 100 based on walking routes to destinations such as grocery stores, schools, parks, restaurants, and retail."

Biking. The property is located along Hillegass Avenue, part of the City's low-stress bike boulevard network<sup>2</sup>, connecting to UC Berkeley campus and to Oakland. It is also located along Derby Street, which is a designated Bicycle Route that connects to Telegraph Avenue, which offered designated bicycle lanes. In addition, there is a Bay Wheels bike share station at the intersection of Derby Street and College Avenue approximately two blocks from the proposed project. Bay Wheels is a bike share service that serves Berkeley, Oakland, and Emeryville in the East Bay.

Transit. The proposed project is located two blocks from the nearest Line 51B bus stop, a quarter-mile to the nearest Line 6 bus stop, and 0.8 miles from the nearest Line 18 bus stop. The Line 51B provides service to Downtown Berkeley, UC Berkeley, and Rockridge. The Line 6 provides service to Downtown Berkeley, UC Berkeley, and Downtown Oakland. The Line 18 provides service to University Village, Albany, Lake Merritt BART, and Downtown Oakland. These three bus lines provide high-frequency service. During the a.m. and p.m. peak periods, the Line 51B arrives every 12 minutes, the Line 6 arrives every 12 minutes, the Line 18 arrives every 20 minutes. This site also has access to two Service to School routes (604, 605), two All Nighter lines (800, 851), and one Transbay line (F) within 1 mile. The transit options are summarized in Table 1, with the distance to the nearest station/stop and select destinations on each route.

Table 1: Available Public Transit Options

Service and Stop/Route	Distance to Stop/Station	Access To
AC Transit – 51B	0.2 mile	Rockridge BART to Berkeley Amtrak
AC Transit – 604	0.2 mile	North Berkeley BART to Oakland Hebrew Day School, Head Royce High School and Bentley School
AC Transit – 605	0.2 mile	University Ave. & Shattuck Ave., Berkeley, to Head Royce High School
AC Transit – 851	0.2 mile	Downtown Berkeley to Fruitvale BART (All Nighter)
AC Transit – 6	0.25 mile	Downtown Oakland to Downtown Berkeley
AC Transit – 18	0.8 mile	Albany to Lake Merritt BART
AC Transit – 800	0.8 mile	Richmond BART to 24th St. BART (All Nighter)
AC Transit – F	0.9 mile	UC campus to Salesforce Transit Center, San Francisco

The area around the proposed project includes continuous sidewalks that provide safe and comfortable access to public transit stops for people walking, including the closest AC Transit stops at Derby Street and College Avenue and at Telegraph Avenue and Derby Street. Telegraph Avenue is the primary route for people to access transit stops and has clearly marked crosswalks on side streets and crossing Telegraph Avenue. At the intersections immediately north and south of the project, all crosswalks have curb ramps, but are missing tactile domes. There are streetlights along Derby Street, Hillegass Avenue, and Stuart Street.

Vehicles. The proposed project is located within the residential preferential parking (RPP) permit zone B. On-street vehicle parking spaces are provided along both sides of all streets near the proposed project site, including the streets fronting Willard Park – Derby Street, Stuart Street, Hillegass Avenue, and Regent Street. On-street parking is generally free of charge and time-limited to 2 hours.<sup>3</sup> Off-street parking is available at 3010 Colby Street garage, which is located 0.6 miles (an approximately 10-minute walk) south of the

<sup>2</sup> Low-stress bikeways are characterized by lower vehicle volumes and speeds or by physical separation between people biking and motor vehicles.

<sup>3</sup> On-street metered parking is provided along Telegraph Avenue and College Avenue south of Russell Street.

proposed project site. SpotAngels, an online community of drivers helping each other find parking, indicates a number of long-term paid parking options within walking distance of the proposed project site.<sup>4</sup>

## CLUBHOUSE ACTIVITIES AND TRAVEL CHARACTERISTICS

During the school year, the clubhouse currently operates an after-school program for approximately 45 children from 1:30 PM to 6:00 PM with five staff. The majority of children in the afterschool program are bussed to the site from four local elementary schools, and picked up at various times. With the site expansion, the after-school program is expected to serve up to 60 students with up to seven staff. Staff work a 1:15 PM to 6:00 PM shift.

During the summer, the clubhouse currently operates a summer camp program for approximately 45 children from 7:30 AM to 6:00 PM with five staff. With the site expansion, the summer childcare program is expected to serve up to 60 students with up to seven staff. Staff work two shifts: 7:15 AM – 1:00 PM and 12:30 PM - 6:00 PM.

With the site expansion, the clubhouse may also host additional programs to accommodate various age groups, community events, and offer facility rentals when the community rooms are not used for scheduled recreation programs. These programs have yet to be developed but are not expected to add significant trips or parking demand compared to current programming and activities.

### Long-Term Parking Demand

Long-term parking demand, the demand for vehicle parking that would be generated by staff, is estimated using the City of Berkeley commute drive mode share of 38.6%<sup>5</sup>. As shown in Table 2, during the after-school program, approximately three staff are expected to drive to and from work with the expansion, resulting in a demand for three long-term vehicle parking spaces. During the summer program, approximately three staff are expected to drive to and from work for each of the morning and afternoon shifts, resulting in a maximum long-term parking demand of six spaces. This peak demand would occur between 12:15 PM and 1:15 PM during the shift change. Based on our review of available on-street and off-street vehicle parking in the area, the existing vehicle parking supply is expected to meet the demand for long-term vehicle parking during both the afterschool and summer sessions.

### Short-Term (Passenger Loading) Demand

The afterschool program operates a bus service from nearby elementary schools to transport students to the clubhouse. Based on information provided by City of Berkeley Parks, Recreation, and Waterfront Department (PRWD) staff, approximately 36 students use this bus service. The bus drops students off near the clubhouse entrance on Hillegass Avenue. All participants are received by Willard Clubhouse Staff and walked into the program. Bus arrival times are staggered by school and drop-off times are scheduled at approximately 1:50 PM, 2:20 PM, and 2:30 PM.

The remaining students walk or are dropped off in vehicles. Based on information provided by City of Berkeley PRWD staff, approximately five students are currently dropped off in a passenger vehicle. The nearest

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<sup>4</sup> <https://www.spotangels.com/map#id=296554871&address=2721%20Hillegass%20Ave%20Berkeley>

<sup>5</sup> American Community Survey 5-year estimates, 2015-2019, Table S0801

The remaining students walk or are dropped off in vehicles. Based on information provided by City of Berkeley PRWD staff, approximately five students are currently dropped off in a passenger vehicle. The nearest passenger loading zone is located on Telegraph Avenue south of Derby Street. Given there is no designated passenger loading zone near the clubhouse entrance, the majority of student drop-off and pick-up activity occurs in available on-street parking spaces along Hillegass Avenue between Derby Street and Stuart Street. Clubhouse staff assist students to/from their vehicles and direct traffic along Hillegass Avenue during drop-off and pick-up periods.

Table 2: Long-Term Vehicle Parking Demand Estimates – Existing and With New Clubhouse

	School Year				Summer			
	Students	Staff	Commute Driving Share	Long-Term Parking Demand	Students	Staff	Commute Driving Share	Long-Term Parking Demand
Existing	45	5	38.6%	2	45	10 (5 AM, 5 PM)	38.6%	4
New Clubhouse	60	7	38.6%	3	60	14 (7 AM, 7 PM)	38.6%	3

### Off-Street Vehicle Parking Requirements

The proposed project is located within the R-2 Restricted Two-family Residential Zoning District. The proposed project would result in demolition and construction of a new building representing an expansion of more than 2,000 square feet. Based on a review of vehicle parking requirements and exemptions for similar project types, the proposed project should not be required to provide off-street vehicle parking and would meet the requirements outlined for a Zoning Officer waiver.

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## Summary of Findings and Recommendations

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The proposed project is estimated to generate demand for a maximum of six long-term vehicle parking spaces during the summer program, an increase of two spaces compared to the existing clubhouse activities. This long-term vehicle parking demand can be accommodated with the current supply. Given on-street parking restrictions on streets surrounding the proposed project site, staff would need to use nearby off-street public parking or pay for private parking through a parking space matching application such as SpotAngels.

Given that there are multiple transit options and high-quality walking and biking infrastructure nearby, as well as the fact that provision of vehicle parking is demonstrated to increase vehicle trips and run counter to City goals of reducing auto mode share and vehicle miles traveled, the proposed project should not be required to provide off-street vehicle parking. To further support a shift to sustainable modes, the proposed project will include secure on-site bicycle parking spaces to make it more convenient to travel to and from the site by bicycle and to access transit without a personal vehicle. It should also be noted that provision of on-site parking would require a new curb cut. Construction of a curb cut and driveway would require removal of at least one on-street vehicle parking space, reduce the permeable open space and recreational area on-site, and introduce a conflict point between drivers turning into and out of the driveway and people walking on the sidewalk.

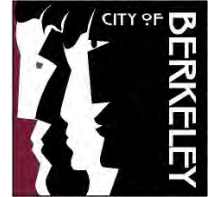
While the purpose of this study was to identify the appropriate off-street vehicle parking requirements for the proposed project, based on our analysis, we identified a need for short-term vehicle parking and a drop-off/pick-up management plan to accommodate student drop-off and pick-up. This plan should explore allocating existing on-street parking spaces to passenger loading zones during certain times of day (i.e., during drop-off and pick-up periods).

**These findings support the conclusion that the proposed project's provision of zero off-street vehicle parking spaces for the clubhouse expansion would be appropriate based on the amount of traffic generated by the use.**



**Stormwater Requirements Checklist**  
 Municipal Regional Stormwater Permit (MRP 2.0)  
 Stormwater Controls for Development Projects

**City of Berkeley**  
 Public Works Dept.  
 Engineering Division



I. C.3.i Project Information

This form applies to development projects creating and/or replacing  $\geq 2500$  ft<sup>2</sup> to  $< 10,000$  ft<sup>2</sup> of impervious surface which are not Special Land Use Categories projects (auto service facilities, retail gasoline outlets, restaurants, and uncovered parking lots). This form also applies to detached single-family home projects, which create and /or replace  $\geq 2500$  ft<sup>2</sup> of impervious surface. Interior remodeling projects and routine maintenance or repair projects such as roof or exterior wall surface replacement and pavement resurfacing within the existing footprint are exempt from C.3.i stormwater requirement.

**I.A. Enter Project Data**

I.A.1 Project Name: Willard Park Clubhouse

I.A.2 Project Address (include cross street): 2720 Hillegas Avenue, Berkeley, CA 94705

I.A.3 Project APN: 54-1711-27 I.A.4 Project Watershed<sup>1</sup>: Potter & Derby Creeks

I.A.5 Applicant Name: Wendy Wellbrock I.A.6 Date Submitted: \_\_\_\_\_

I.A.7 Applicant Address: 1947 Center Street, 5th floor, Berkeley, CA 94704

I.A.8 Applicant Phone: 510-981-6346 I.A.9 Applicant Email Address: wwellbrock@cityofberkeley.inf

I.A.10 Development type: (check all that apply)  
 Residential  Commercial  Industrial  Mixed-Use  Streets, Roads, etc.  
 'Redevelopment' as defined by MRP: creating, adding and/or replacing exterior existing impervious surface on a site where past development has occurred<sup>2</sup>  
 'Special land use categories' as defined by MRP: (1) auto service facilities<sup>3</sup>, (2) retail gasoline outlets, (3) restaurants<sup>3</sup>, (4) uncovered parking area (stand-alone or part of a larger project)

I.A.11 Project Description<sup>4</sup>:  
 (Also note any past or future phases of the project.)  
Replacement of Willard Park Clubhouse located at the south east corner of Willard Park in Berkeley, CA. The work includes demolition of the existing, single-story, 565 sf clubhouse plus the 486 sf trellis and 114 sf restroom and construction of a new, single-story, 4,200 sf, wood-framed multi-purpose community building and a 200 sf stand-alone restroom, including building envelope, interior partitions, casework and finishes, as well as mechanical, electrical, plumbing and fire protection systems.

I.A.12 Total Area of Site: 2.55 acres I.A.13 Slope on Site: 4 %

I.A.14 Total Area of land disturbed during construction (include clearing, grading, excavating and stockpile area): 0.3 acres.

**I.B. Enter the amount of impervious and pervious surface<sup>1</sup> created and/or replaced by the project.**

**Table of Impervious and Pervious Surfaces**

Type of Impervious Surface	a	b	C	d
	Pre-Project Impervious Surface (sq.ft.)	Existing Impervious Surface to be Replaced <sup>7</sup> (sq.ft.)	New Impervious Surface to be Created <sup>7</sup> (sq.ft.)	Post-project pervious surface (sq.ft.)
Roof area(s) – excluding any portion of the roof that is vegetated ("green roof")	679	679	2949	N/A
Impervious <sup>5</sup> sidewalks, patios, paths, driveways	4807	4803	336	
Impervious <sup>5</sup> uncovered parking <sup>6</sup>	0	0	0	
Streets (public)		0	0	
Streets (private)		0	0	
Totals:	5486	5482	3285	
Area of Existing Impervious Surface to remain in place			N/A	
Total New Impervious Surface (sum of totals for columns b and c):			8767	

<sup>1</sup> Watershed is defined by the maps from the Alameda County Flood Control District at <http://acffloodcontrol.org/resources/explore-watersheds>



Stormwater Requirements Checklist

- <sup>2</sup> Roadway projects that replace existing impervious surface are subject to C.3 requirements only if one or more lanes of travel are added.
- <sup>3</sup> Standard Industrial Classification (SIC) codes are in Section 2.3 of the C.3 Technical Guidance (download at [www.cleanwaterprogram.org](http://www.cleanwaterprogram.org))
- <sup>4</sup> Project description examples: 5-story office building, industrial warehouse, residential with five 4-story buildings for 200 condominiums, etc.
- <sup>5</sup> Per the MRP, pavement that meets the following definition of pervious pavement is NOT an impervious surface. Pervious pavement is defined as pavement that stores and infiltrates rainfall at a rate equal to immediately surrounding unpaved, landscaped areas, or that stores and infiltrates the rainfall runoff volume described in Provision C.3.d.
- <sup>6</sup> Uncovered parking includes top level of a parking structure.
- <sup>7</sup> "Replace" means to install new impervious surface where existing impervious surface is removed. "Create" means to install new impervious surface where there is currently no impervious surface.

**I.C. Identify C.6 Construction-Phase Stormwater Requirements**

	Yes	No
I.C.1 Does the project disturb 1.0 acre (43,560 sq.ft.) or more of land? (See Item I.A.14). <i>If Yes, obtain coverage under the state's Construction General Permit at <a href="https://smarts.waterboards.ca.gov/smarts/faces/SwSmartsLogin.jsp">https://smarts.waterboards.ca.gov/smarts/faces/SwSmartsLogin.jsp</a>. Submit to the municipality a copy of your Notice of Intent and Storm Water Pollution Prevention Plan (SWPPP) before a grading or building permit is issued.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I.C.2 Is the site a "High Priority Site" that disturbs less than 1.0 acre (43,560 sq.ft.) of land? (Municipal staff will make the final determination.) "High Priority Sites" are sites having any of the following criteria: <ul style="list-style-type: none"> <li>▪ that require a grading permit,</li> <li>▪ are adjacent to a creek,</li> <li>▪ or are otherwise high priority for stormwater protection during construction (see MRP 2.0 Provision C.6.e.ii.(2)(c))</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I.C.3 Is the site a "Hillside Site" that disturbs 5,000 sq.ft. or more, but less than 1.0 acre (43,560 sq.ft.) of land? (Municipal staff will make the final determination.) <ul style="list-style-type: none"> <li>▪ "Hillside Sites" are located on hillsides, as indicated on a jurisdictional map of hillside development areas or as indicated by meeting jurisdictional hillside development criteria.</li> <li>▪ If no map or criteria exist, then Hillside Sites are sites with a slope of 15% or more (see I.A.13 above and MRP 2.0 Provision C.6.e.ii.(2)(b)).</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
➤ NOTE TO APPLICANT: All projects require appropriate stormwater best management practices (BMPs) during construction. Refer to the Section II to identify appropriate construction BMPs.		
➤ NOTE TO MUNICIPAL STAFF: If the answer is "Yes" to I.E.1, I.E.2, OR I.E.3, refer this project to construction site inspection staff to be added to their list of projects that require stormwater inspections at least monthly during the wet season (October 1 through April 30) and other times of the year as appropriate.		

## II. Implementation of C.3.i Stormwater Requirements

### II.A. Select Appropriate Site Design Measures

Starting December 1, 2012, projects that create and/or replace 2,500 - 10,000 sq.ft. of impervious surface, and stand-alone single family homes that create/replace 2,500 sq.ft. or more of impervious surface, **must include one or more of the following Site Design Measures a through f**, and are encouraged to implement the other Site Design Measures as practicable. See attached fact sheets for guidance on rain barrels / cisterns, vegetated areas and permeable surfaces, and attached sheets on recommended Source Control Measures and Construction BMPs.

II.A.1 Is the site design measure included in the project plans?

Yes	No	Plan Sheet No.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Direct roof runoff onto vegetated areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Construct sidewalks, walkways, and/or patios with pervious surfaces. Use the specifications in the C3 Technical Guidance (Version 4.1) or for small projects see the BASMAA Pervious Paving Factsheet. For these documents and others go to <a href="http://www.cleanwaterprogram.org">www.cleanwaterprogram.org</a> and click on "Resources."
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Construct bike lanes, driveways, and/or uncovered parking lots with pervious surfaces. Use the specifications in the C3 Technical Guidance (Version 4.1) or for small projects see the BASMAA Pervious Paving Factsheet. For these documents and others go to the program website at: <a href="http://www.cleanwaterprogram.org">www.cleanwaterprogram.org</a> and click on "Resources."
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g. Minimize land disturbance and impervious surface (especially parking lots).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	h. Maximize permeability by clustering development and preserving open space.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Use micro-detention, including distributed landscape-based detention.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Protect sensitive areas, including wetland and riparian areas, and minimize changes to the natural topography.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	k. Self-treating area (see Section 4.1 of the C.3 Technical Guidance)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	l. Self-retaining area (see Section 4.2 of the C.3 Technical Guidance)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	m. Plant or preserve interceptor trees (Section 4.5, C.3 Technical Guidance)

II.B. C.3.i projects are encouraged to implement the following Source Control Measure as practicable.

Are these features in project?		Features that require source control measures	Source control measures (Refer to Local Source Control List for detailed requirements)	Is source control measure included in project plans?		
Yes	No			Yes	No	Plan Sheet No.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Storm Drain	Mark on-site inlets with the words "No Dumping! Flows to Bay" or equivalent.	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Floor Drains	Plumb interior floor drains to sanitary sewer <sup>8</sup> [or prohibit].	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking garage	Plumb interior parking garage floor drains to sanitary sewer. <sup>9</sup>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping	<ul style="list-style-type: none"> <li>▪ Retain existing vegetation as practicable.</li> <li>▪ Select diverse species appropriate to the site. Include plants that are pest- and/or disease-resistant, drought-tolerant, and/or attract beneficial insects.</li> <li>▪ Minimize use of pesticides and quick-release fertilizers.</li> <li>▪ Use efficient irrigation system; design to minimize runoff.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool/Spa/Fountain	Provide connection to the sanitary sewer to facilitate draining. <sup>9</sup>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Food Service Equipment (non-residential)	Provide sink or other area for equipment cleaning, which is: <ul style="list-style-type: none"> <li>▪ Connected to a grease interceptor prior to sanitary sewer discharge.<sup>9</sup></li> <li>▪ Large enough for the largest mat or piece of equipment to be cleaned.</li> <li>▪ Indoors or in an outdoor roofed area designed to prevent stormwater run-on and run-off, and signed to require equipment washing in this area.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Refuse Areas	<ul style="list-style-type: none"> <li>▪ Provide a roofed and enclosed area for dumpsters, recycling containers, etc., designed to prevent stormwater run-on and runoff.</li> <li>▪ Connect any drains in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities to the sanitary sewer.<sup>9</sup></li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Process Activities <sup>9</sup>	Perform process activities either indoors or in roofed outdoor area, designed to prevent stormwater run-on and runoff, and to drain to the sanitary sewer. <sup>9</sup>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Equipment/Materials Storage	<ul style="list-style-type: none"> <li>▪ Cover the area or design to avoid pollutant contact with stormwater runoff.</li> <li>▪ Locate area only on paved and contained areas.</li> <li>▪ Roof storage areas that will contain non-hazardous liquids, drain to sanitary sewer<sup>9</sup>, and contain by berms or similar.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vehicle/Equipment Cleaning	<ul style="list-style-type: none"> <li>▪ Roofed, pave and berm wash area to prevent stormwater run-on and runoff, plumb to the sanitary sewer<sup>9</sup>, and sign as a designated wash area.</li> <li>▪ Commercial car wash facilities shall discharge to the sanitary sewer.<sup>9</sup></li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vehicle/Equipment Repair and Maintenance	<ul style="list-style-type: none"> <li>▪ Designate repair/maintenance area indoors, or an outdoors area designed to prevent stormwater run-on and runoff and provide secondary containment. Do not install drains in the secondary containment areas.</li> <li>▪ No floor drains unless pretreated prior to discharge to the sanitary sewer.<sup>9</sup></li> <li>▪ Connect containers or sinks used for parts cleaning to the sanitary sewer.<sup>9</sup></li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fuel Dispensing Areas	<ul style="list-style-type: none"> <li>▪ Fueling areas shall have impermeable surface that is a) minimally graded to prevent ponding and b) separated from the rest of the site by a grade break.</li> <li>▪ Canopy shall extend at least 10 ft in each direction from each pump and drain away from fueling area.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading Docks	<ul style="list-style-type: none"> <li>▪ Cover and/or grade to minimize run-on to and runoff from the loading area.</li> <li>▪ Position downspouts to direct stormwater away from the loading area.</li> <li>▪ Drain water from loading dock areas to the sanitary sewer.<sup>9</sup></li> <li>▪ Install door skirts between the trailers and the building.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fire Sprinklers	Design for discharge of fire sprinkler test water to landscape or sanitary sewer. <sup>9</sup>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Miscellaneous Drain or Wash Water	<ul style="list-style-type: none"> <li>▪ Drain condensate of air conditioning units to landscaping. Large air conditioning units may connect to the sanitary sewer.<sup>9</sup></li> <li>▪ Roof drains shall drain to unpaved area where practicable.</li> <li>▪ Drain boiler drain lines, roof top equipment, all wastewater to sanitary sewer<sup>9</sup>.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architectural Copper	Discharge rinse water to sanitary sewer <sup>9</sup> , or collect and dispose properly offsite. See flyer "Requirements for Architectural Copper."	<input type="checkbox"/>	<input type="checkbox"/>	

NOTE: SOURCE CONTROL MEASURES WILL BE SHOWN ON THE IMPROVEMENT PLANS PER FUTURE SUBMITTAL

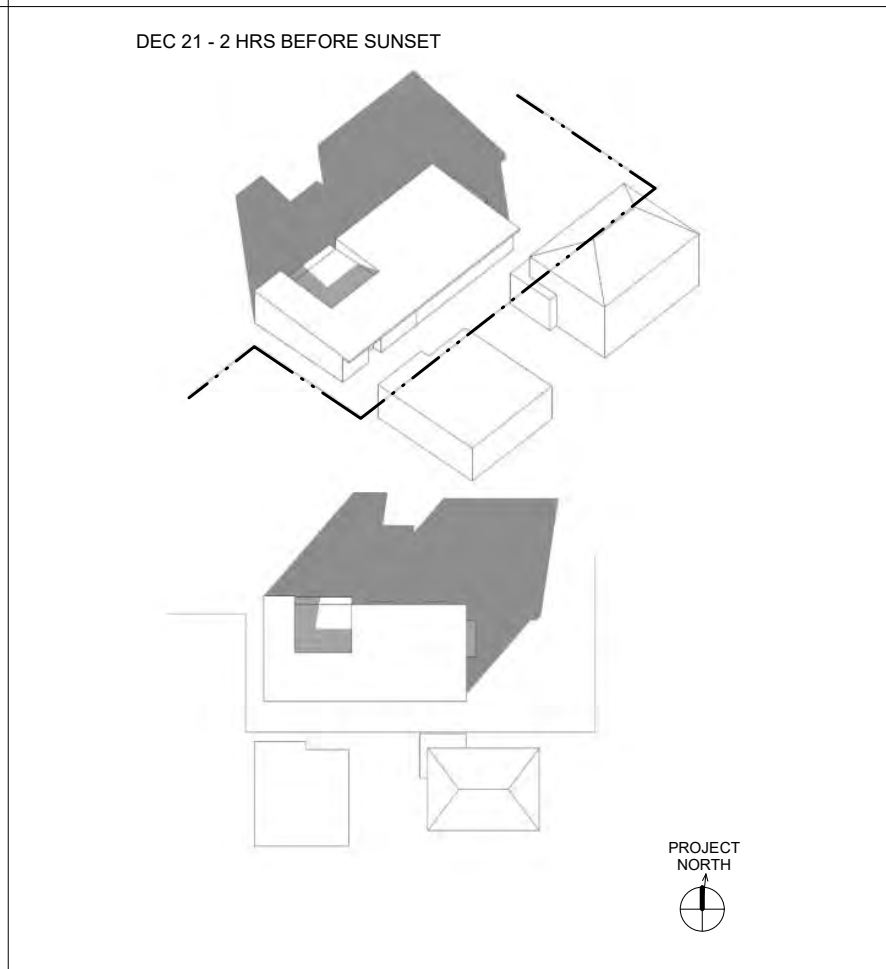
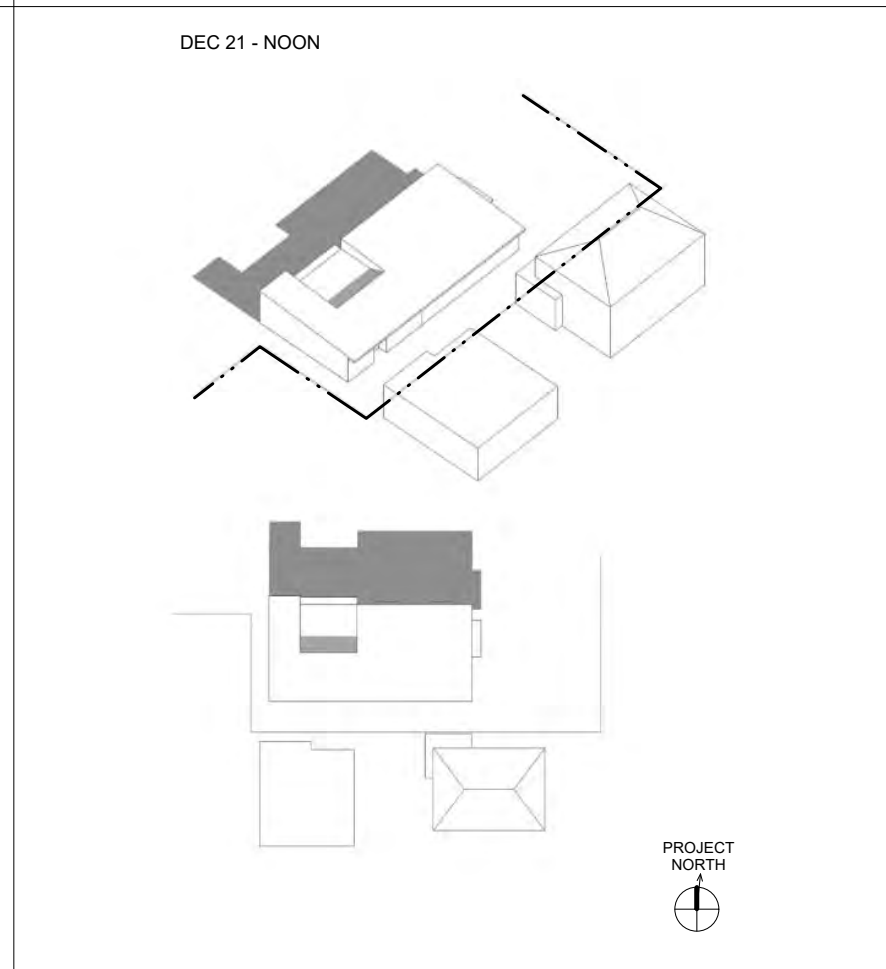
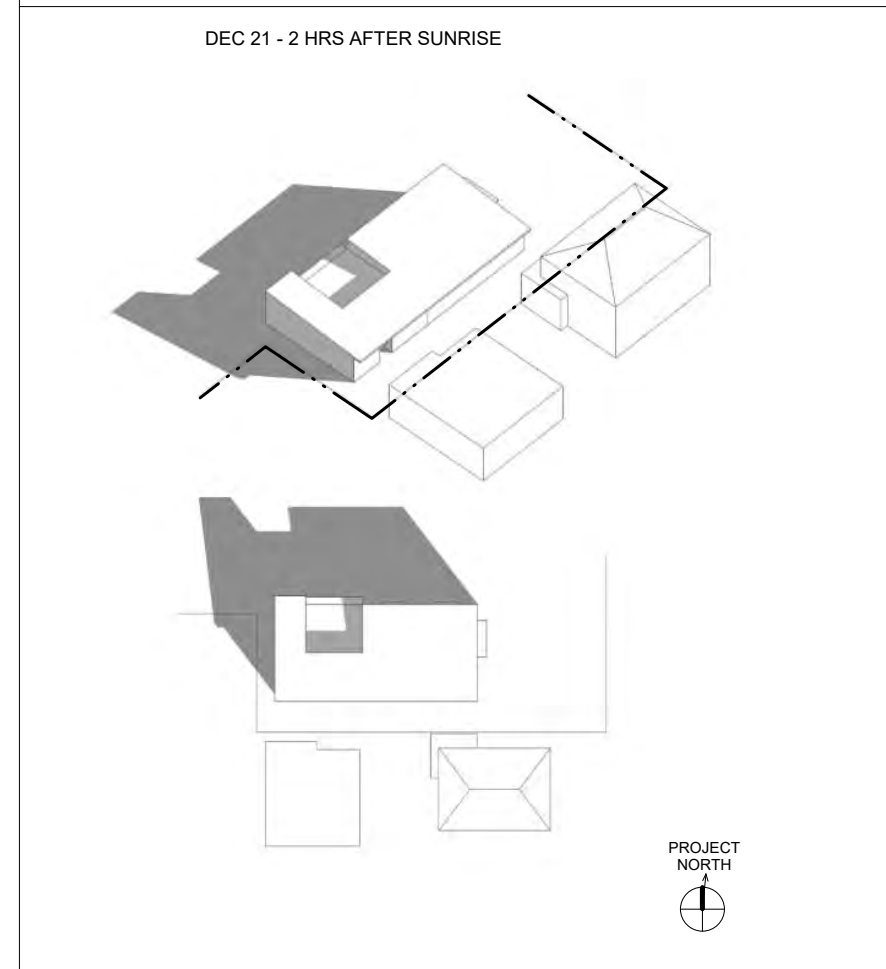
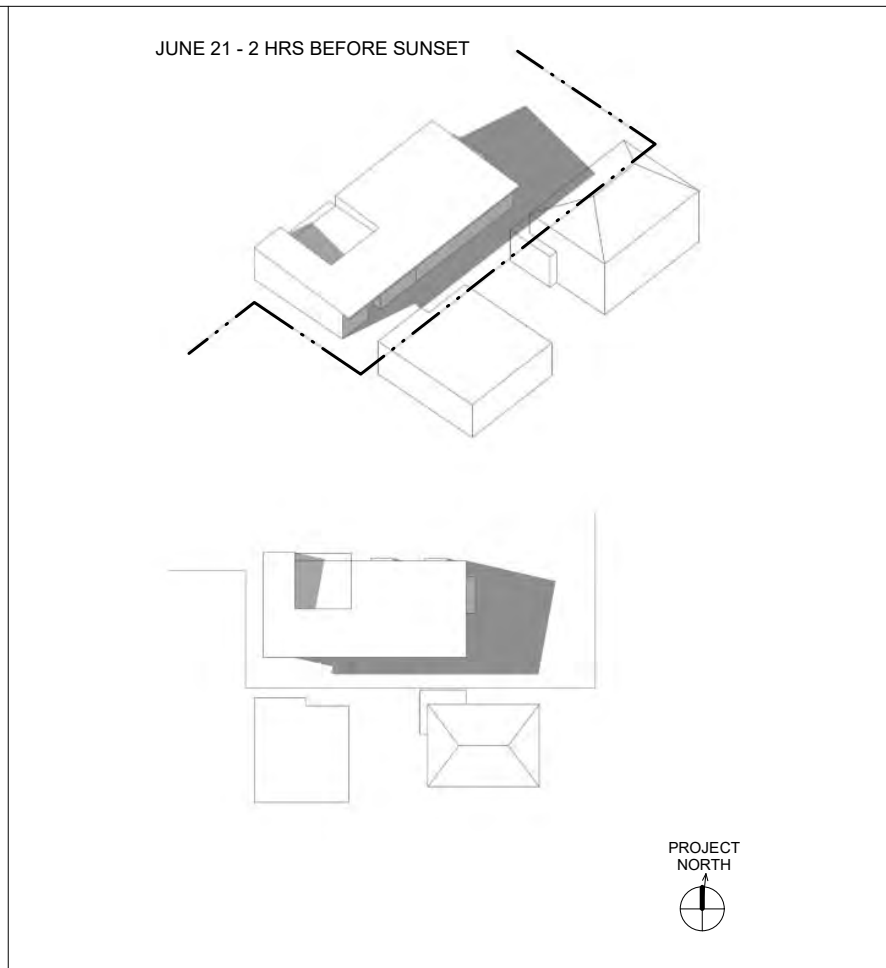
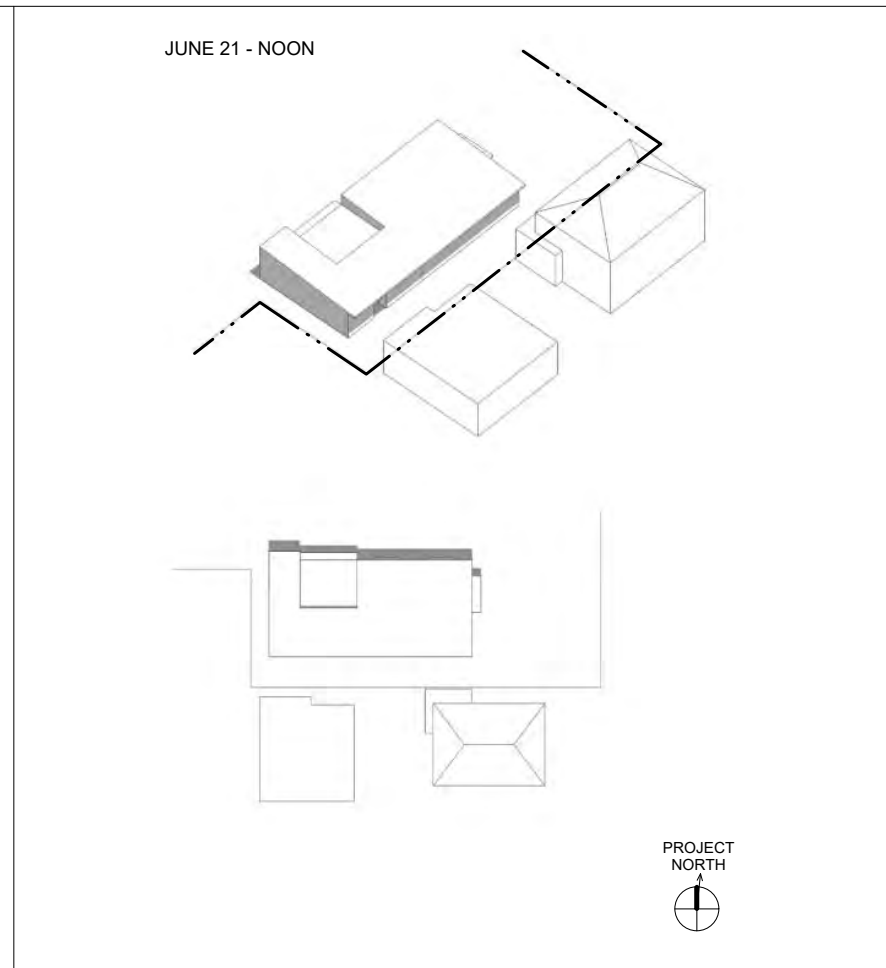
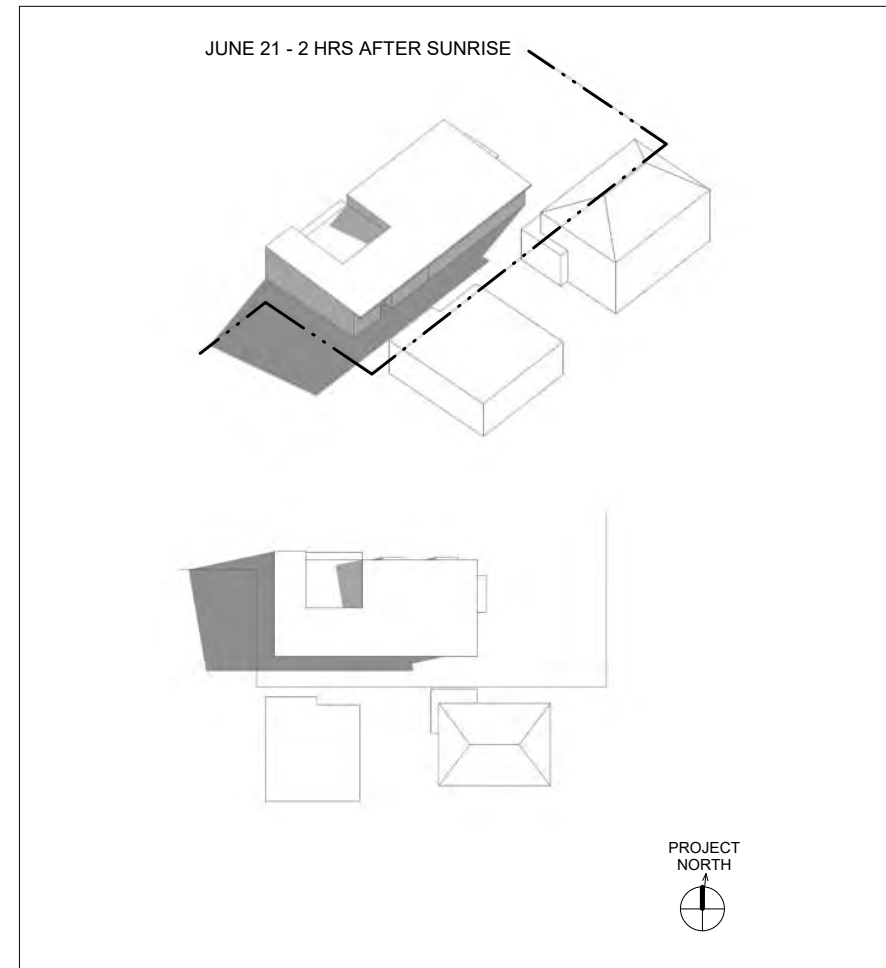
<sup>8</sup> Any connection to the sanitary sewer system is subject to sanitary district approval.

<sup>9</sup> Businesses that may have outdoor process activities/equipment include machine shops, auto repair, industries with pretreatment facilities.

**II.C Implement Construction Best Management Practices (BMPs) where applicable.**

Yes	No	Best Management Practice (BMP)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Attach the municipality's construction BMP plan sheet to project plans and require contractor to implement the applicable BMPs on the plan sheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Temporary erosion controls to stabilize all denuded areas until permanent erosion controls are established.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Delineate with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide notes, specifications, or attachments describing the following: <ul style="list-style-type: none"> <li>▪ Construction, operation and maintenance of erosion and sediment controls, include inspection frequency;</li> <li>▪ Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material;</li> <li>▪ Specifications for vegetative cover &amp; mulch, include methods and schedules for planting and fertilization;</li> <li>▪ Provisions for temporary and/or permanent irrigation.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Perform clearing and earth moving activities only during dry weather.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Use sediment controls or filtration to remove sediment when dewatering and obtain all necessary permits.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Protect all storm drain inlets in vicinity of site using sediment controls such as berms, fiber rolls, or filters.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trap sediment on-site, using BMPs such as sediment basins or traps, earthen dikes or berms, silt fences, check dams, soil blankets or mats, covers for soil stock piles, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Divert on-site runoff around exposed areas; divert off-site runoff around the site (e.g., swales and dikes).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Limit construction access routes and stabilize designated access points.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	No cleaning, fueling, or maintaining vehicles on-site, except in a designated area where washwater is contained and treated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Contractor shall train and provide instruction to all employees/subcontractors re: construction BMPs.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, washwater or sediments, rinse water from architectural copper, and non-stormwater discharges to storm drains and watercourses.

NOTE: EROSION CONTROL PLAN WILL BE SHOWN ON THE IMPROVEMENT PLANS PER FUTURE SUBMITTAL



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2040 Addison St, Berkeley, CA 94704  
510.549.2929 | elsarch.com

PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

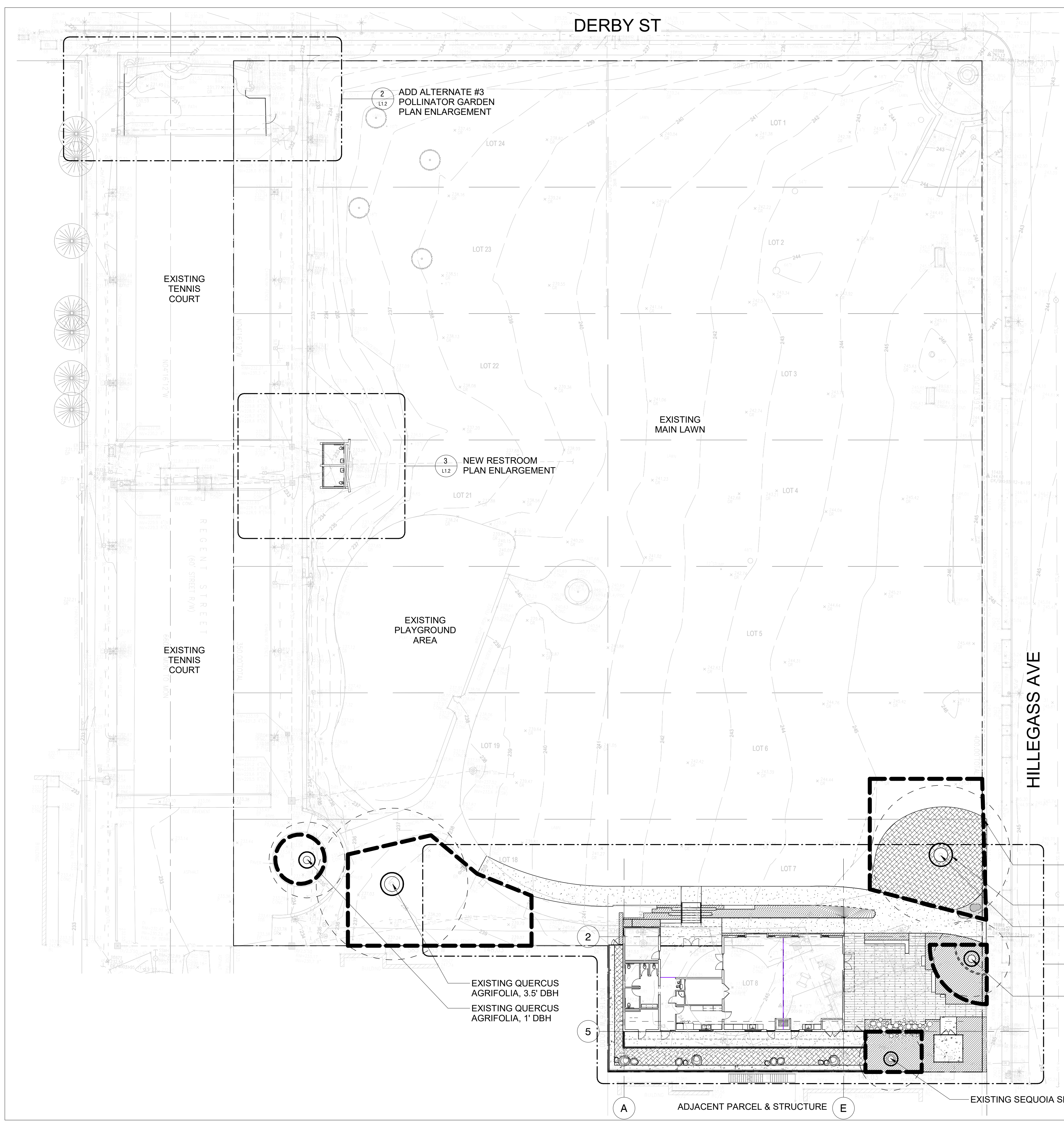
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**11/18/2022**

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**SHADOW STUDY**

SHEET NUMBER:  
**Z3-B**



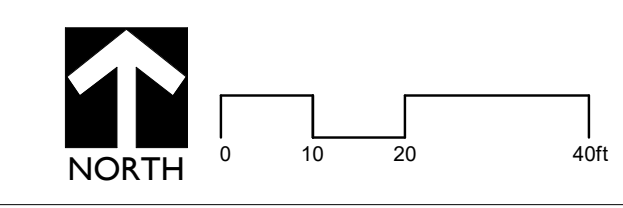
**GENERAL SYMBOLS & ABBREVIATIONS**

- — — — — PROPERTY LINE
- POINT OF BEGINNING
- — — — — CENTERLINE
- EQ. EQUAL
- O.C. ON CENTER
- N.I.C. NOT IN CONTRACT
- NO. NUMBER
- TYP. TYPICAL
- QTY. QUANTITY
- V.I.F. VERIFY IN FIELD
- S.A.D. SEE ARCHITECTURAL DRAWINGS
- S.C.D. SEE CIVIL DRAWINGS
- S.S.D. SEE STRUCTURAL DRAWINGS
- S.M.D. SEE MECHANICAL DRAWINGS
- S.E.D. SEE ELECTRICAL DRAWINGS
- ⊙ 1 A101 DETAIL CALLOUT
- ⊙ 1 A101 SECTION CALLOUT

**LANDSCAPE GENERAL NOTES**

1. EXISTING SITE INFORMATION IS PROVIDED BY OTHERS. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY OR LIABILITY FOR COMPLETENESS OR ACCURACY OF PLANS PROVIDED BY OTHERS.
2. 'TYP' OR TYPICAL MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY NOTED 'TYP' ONLY ONCE WHEN THEY FIRST OCCUR.
3. NOTES AND SYMBOLS ON ONE DRAWING APPLY TO OTHER SIMILAR DETAILS AND CONDITIONS.
4. BECOME ACQUAINTED WITH SUBGRADE UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY OWNER'S REPRESENTATIVE. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN ON PLANS.
5. DIMENSIONS ARE FROM OUTSIDE FACE OF BUILDING OR WALLS, UNLESS OTHERWISE NOTED, AND ARE TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION AND MAJOR EXCAVATION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING.
6. UNLESS OTHERWISE NOTED, ANGLES TO BE RIGHT ANGLES, ARCS WHICH APPEAR TANGENT AND UNIFORM ARE TO BE TANGENT AND UNIFORM, LINES WHICH APPEAR PARALLEL ARE TO BE PARALLEL, AND ITEMS WHICH APPEAR CENTERED TO BE CENTERED, MAINTAIN LINES TRUE, LEVEL, PLUMB, AND SQUARE.
7. REFER TO GRADING PLANS FOR GRADING AND DRAINAGE STRUCTURES PRIOR TO INSTALLATION OF WALKS, WALLS, FOOTINGS, AND OTHER STRUCTURES.
8. LANDSCAPE ARCHITECT TO APPROVE LAYOUT IN THE FIELD PRIOR TO INSTALLATION OF FORMS OR GRADING FOR LANDSCAPE WORK.
9. LOCATE ELECTRICAL JUNCTION BOXES FOR LIGHTS IN PLANTING AREAS UNLESS SHOWN OTHERWISE. LAYOUT TO BE APPROVED BY THE CITY OF BERKELEY PRIOR TO TRENCHING.
10. CAREFULLY REVIEW LANDSCAPE IRRIGATION PLANS AND NOTES TO IDENTIFY LOCATIONS WHERE PIPE, SLEEVES, SANDBED OR CONDUIT MUST BE PLACED PRIOR TO PLACEMENT OF FORMWORK FOR INSTALLATION OF CONCRETE, OTHER PAVING, OR WALLS.
11. QUANTITIES PROVIDED ARE FOR INFORMATION ONLY, VERIFY QUANTITIES AND NOTIFY OWNER OF DISCREPANCIES.

- 5 (L2.7) TREE PROTECTION FENCING, TYP.
- 6 (L2.7) TREE PROTECTION WRAP, TYP.
- EXISTING QUERCUS AGRIFOLIA, 3' DBH
- 1 (L1.2) NEW CLUBHOUSE PLAN ENLARGEMENT
- EXISTING ACER PALMATUM, 1.5' DBH



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PROJECT:  
**WILLARD PARK CLUBHOUSE**

CITY SPECIFICATION NUMBER:  
**201730.27**

ELS PROJECT NUMBER:

CLIENT:  
**CITY OF BERKELEY, CA**

PROJECT TEAM:  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P. 510.549.2929

**CIVIL ENGINEER:**  
BKF ENGINEERS  
1646 N. California Blvd., Suite 400  
Walnut Creek, CA 94596  
925.940.2200

**LANDSCAPE ARCHITECT:**  
PGAdesign LANDSCAPE ARCHITECTS  
444 17th Street  
Oakland, CA 94612  
510.465.1284

**STRUCTURAL ENGINEER:**  
IDA STRUCTURAL ENGINEERS, INC.  
1629 Telegraph Avenue, Suite 300  
Oakland, CA 94612  
510.834.1629

**MECHANICAL AND PLUMBING ENGINEER:**  
ALTER CONSULTING ENGINEERS  
1624 Franklin St. #1300  
Oakland, CA 94612  
510.474.0379

**ELECTRICAL ENGINEER:**  
RJA INC.  
5515 Doyle Street, #7  
Emeryville, CA 94608  
415.730.7994

**ACOUSTICAL ENGINEER:**  
SALTER ENGINEER  
130 Sutter Street, Floor 5  
San Francisco, CA 94104  
415.397.0442

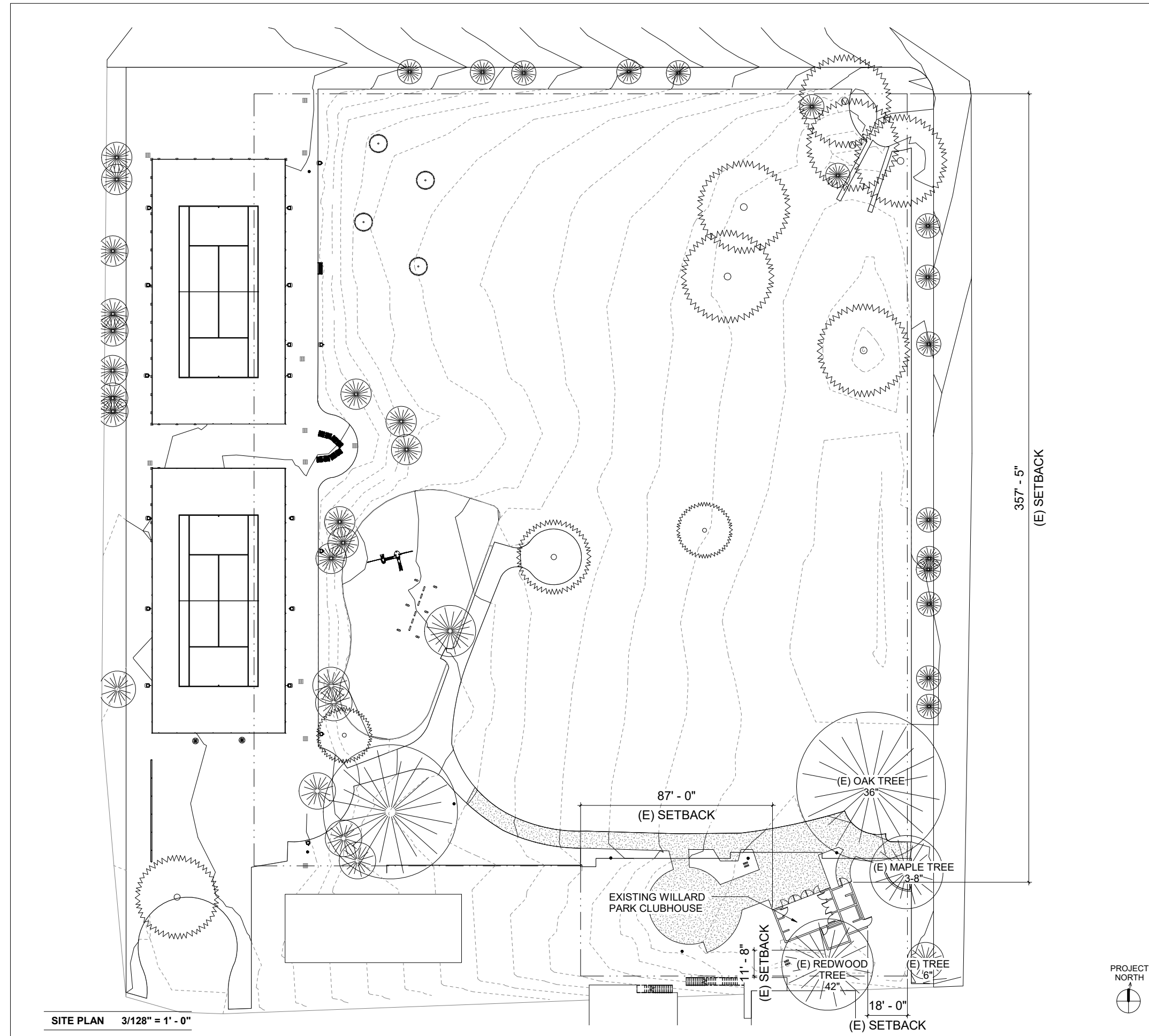
REVISION	NUMBER	DATE	DESCRIPTION

ISSUE:  
DATE:  
STAMP:

**NOT FOR CONSTRUCTION**

SHEET TITLE:  
**LANDSCAPE OVERALL PLAN & TREE PROTECTION PLAN**

SHEET NUMBER:  
**L1.1**



SITE PLAN 3/128" = 1' - 0"



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P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
11/18/2022

STAMP:



SHEET TITLE:  
**EXISTING SITE PLAN**

SHEET NUMBER:  
**Z2-A1**

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PROJECT:

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**201320.27**

CLIENT:

**CITY OF BERKELEY**  
1947 CENTER  
STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:

**ARCHITECT:**  
ELS ARCHITECTURE AND  
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P: 510.549.2929

REVISION  
NUMBER | DATE | DESCRIPTION

NUMBER	DATE	DESCRIPTION

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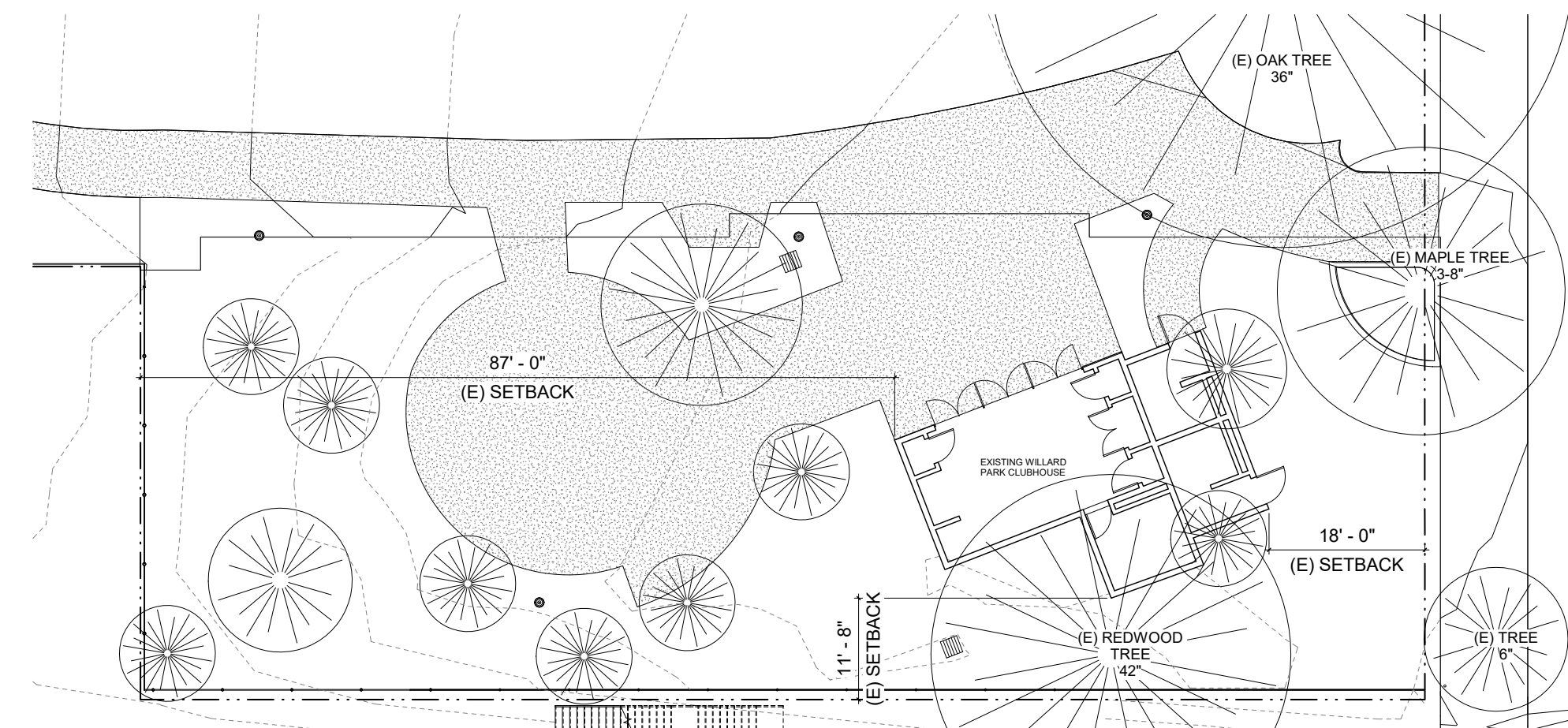
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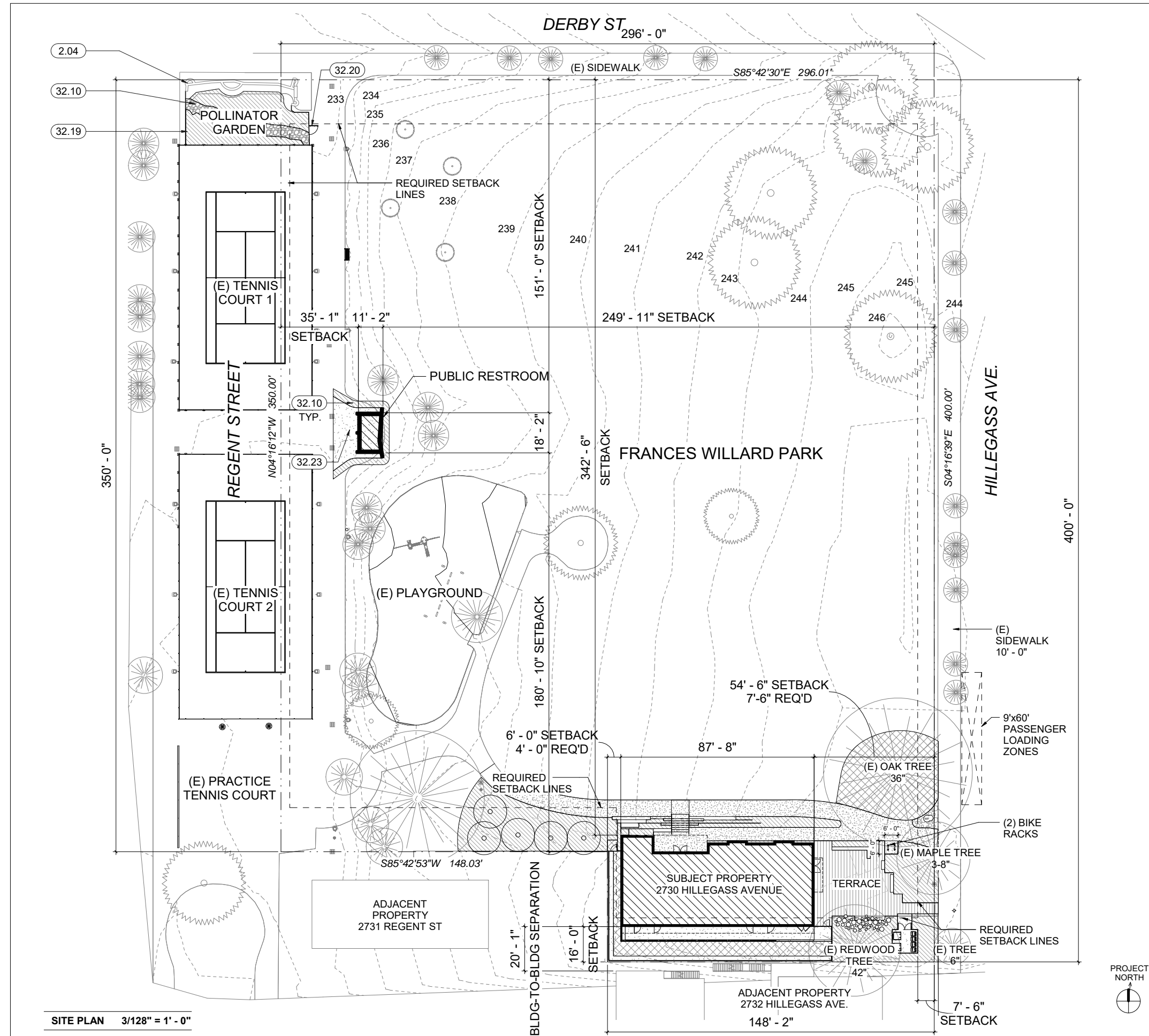
SHEET TITLE:  
**EXISTING  
FLOOR PLAN**

SHEET NUMBER:  
**Z2-A2**



1 EXISTING FLOOR PLAN  
1/8" = 1'-0"





SITE PLAN 3/128" = 1' - 0"

KEYNOTE LEGEND - ZONING	
2.04	(E) DECORATIVE "POTTERS" WALL
32.10	PLANTING, S.L.D.
32.19	3'-0" HIGH CHAIN LINK FENCE, S.L.D.
32.20	3'-0" HIGH CHAIN LINK GATE, S.L.D.
32.23	PROVIDE PAVING

REVISION	NUMBER	DATE	DESCRIPTION

LEGEND	
	PROPERTY LINE
	EXISTING TOPOGRAPHY LINE
	PROPOSED TOPOGRAPHY LINE
	EXISTING ITEM TO REMAIN AND BE PROTECTED
	PROPOSED ITEM
	EXISTING TREE TO REMAIN AND BE PROTECTED
	PROPOSED TREE

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

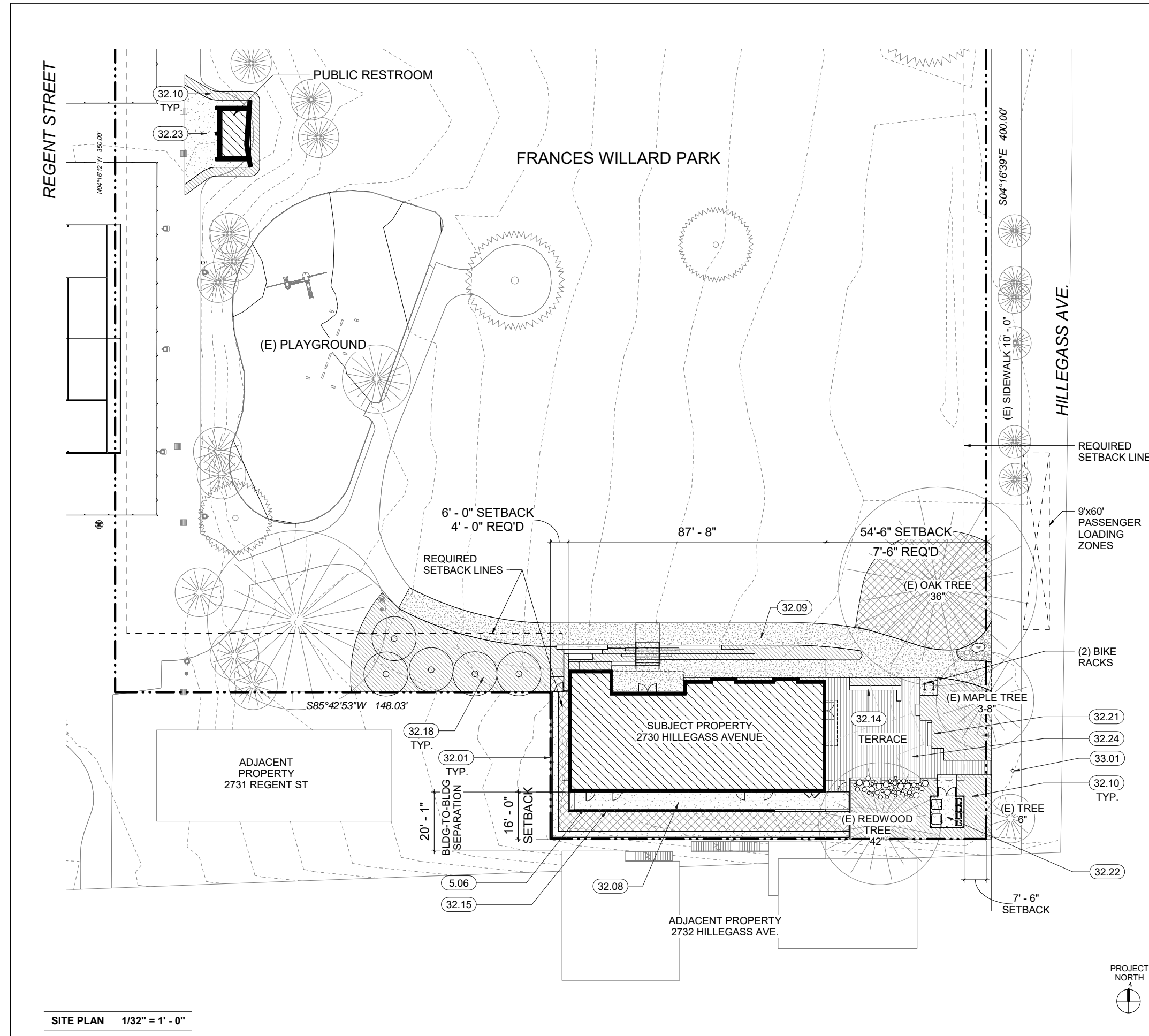
ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**11/18/2022**

STAMP:

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**Z2-A3**



KEYNOTE LEGEND - ZONING	
5.06	STEEL GUARDRAIL, PAINTED
32.01	WOOD FENCE WITH CONCRETE FOOTING, S.L.D.
32.09	CONCRETE PAVING TYPE 2, W/ INTEGRAL COLOR & CUSTOM RAKED JOINTS. 4" DEPTH W/ REBAR 16" O.C.
32.10	PLANTING, S.L.D.
32.14	BOARD FORMED CONCRETE SEAT WALL W/ RECLAIMED BENCH TOP
32.15	CONCRETE CURB ALONG EGRESS PATH
32.18	PROPOSED TREE, S.L.D.
32.21	PROVIDE EXTERIOR LIGHT FIXTURE OR LIGHT POLE, LOCATION TBD
32.22	CONCRETE PAD AT TRASH ENCLOSURE
32.23	PROVIDE PAVING
32.24	PERMEABLE PAVERS, S.L.D.
33.01	FIRE HYDRANT, S.C.D.

LEGEND	
	PROPERTY LINE
	EXISTING TOPOGRAPHY LINE
	PROPOSED TOPOGRAPHY LINE
	EXISTING ITEM TO REMAIN AND BE PROTECTED
	PROPOSED ITEM
	EXISTING TREE TO REMAIN AND BE PROTECTED
	PROPOSED TREE

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REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**11/18/2022**

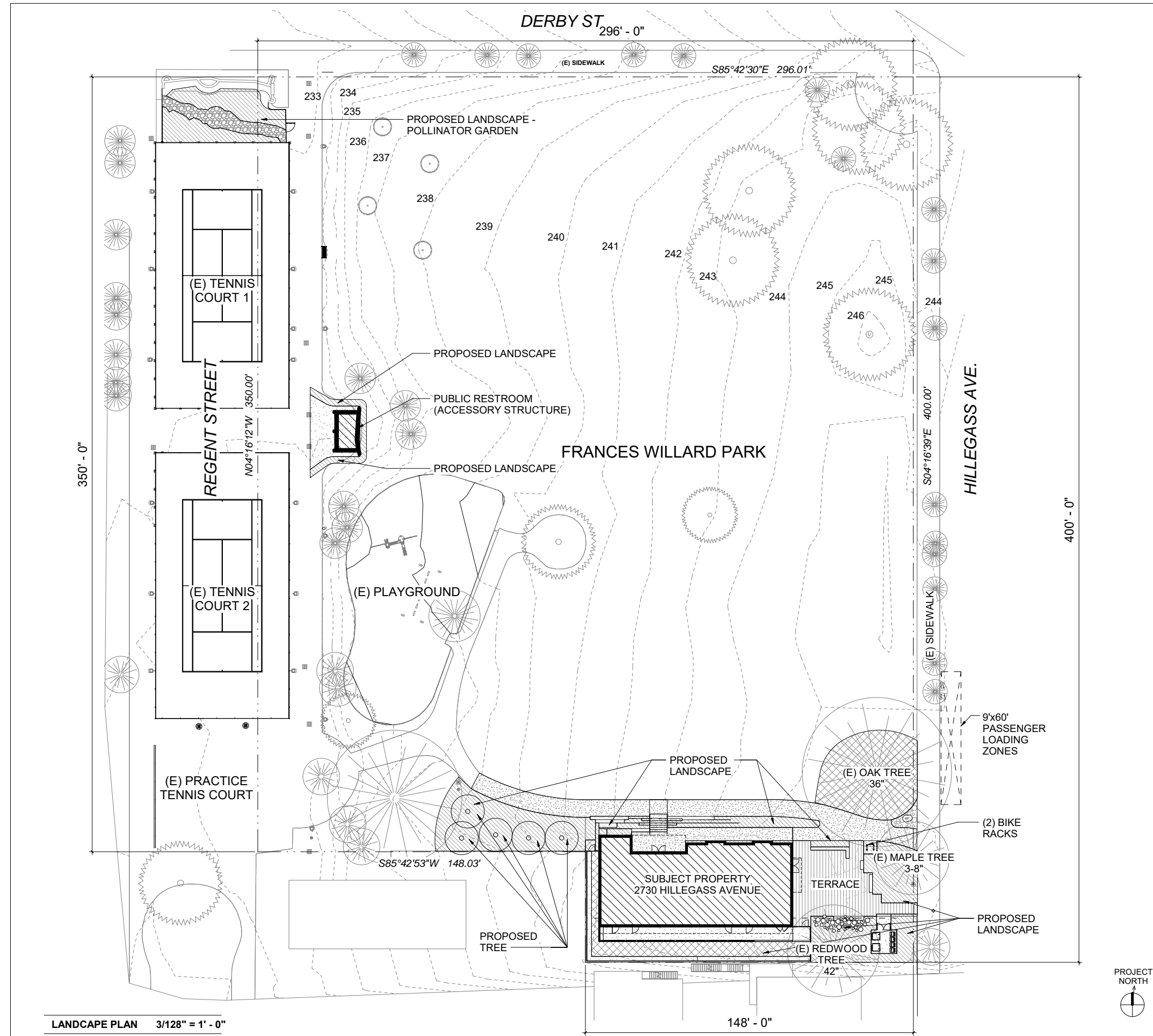
STAMP:

SHEET TITLE:  
**ENLARGED SITE PLAN**

SHEET NUMBER:  
**Z2-A4**

SITE PLAN 1/32" = 1' - 0"





LANDSCAPE PLAN 3/128" = 1' - 0"

**LEGEND**

- PROPERTY LINE
- - - - - EXISTING TOPOGRAPHY LINE
- — — — — PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REMAIN AND BE PROTECTED
- PROPOSED ITEM
- EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE
- PROPOSED LANDSCAPE

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PROJECT:  
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2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
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APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

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BERKELEY, CA 94704

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ARCHITECT:  
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Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

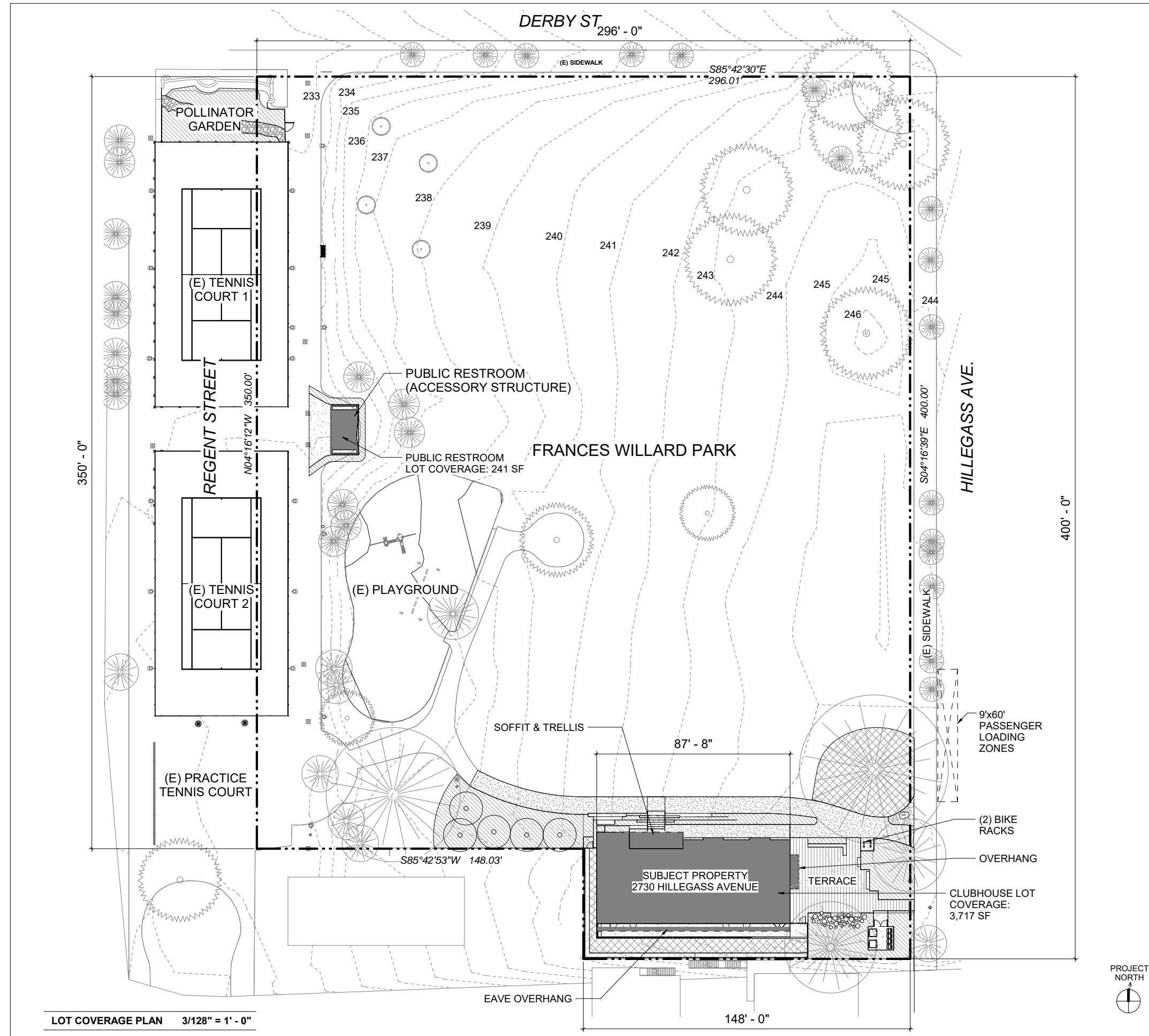
ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**11/18/2022**



SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**Z2-B**



**LOT COVERAGE:**

CLUBHOUSE:	3,716 SF
PUBLIC RESTROOM:	241 SF
<b>TOTAL:</b>	<b>3,957 SF</b>

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BERKELEY, CA 94705

**PROJECT INFO:**  
**ZONING: R2**  
**APN: 54-1711-27**  
**CONSTRUCTION: V-B**  
**OCCUPANCY: A-3, B, S-2**

**ELS PROJECT NUMBER:**  
**201320.27**

**CLIENT:**  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
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**PROJECT TEAM:**  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

**LEGEND**

- — — — — PROPERTY LINE
- - - - - EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REMAIN AND BE PROTECTED
- PROPOSED ITEM
- ○ ○ ○ ○ EXISTING TREE TO REMAIN AND BE PROTECTED
- ○ ○ ○ ○ PROPOSED TREE
- ■ ■ ■ ■ AREA COUNTING AS LOT COVERAGE - UP TO 18" OF EAVE OVERHANG IS EXCLUDED FROM LOT COVERAGE

**ISSUE:**  
**ZONING SUBMITTAL**

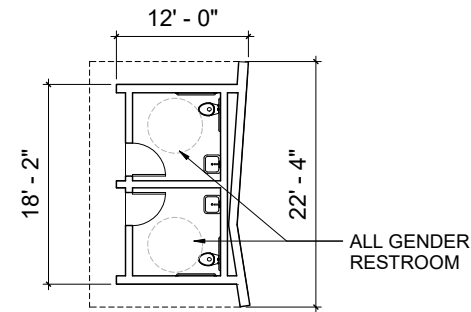
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11/18/2022



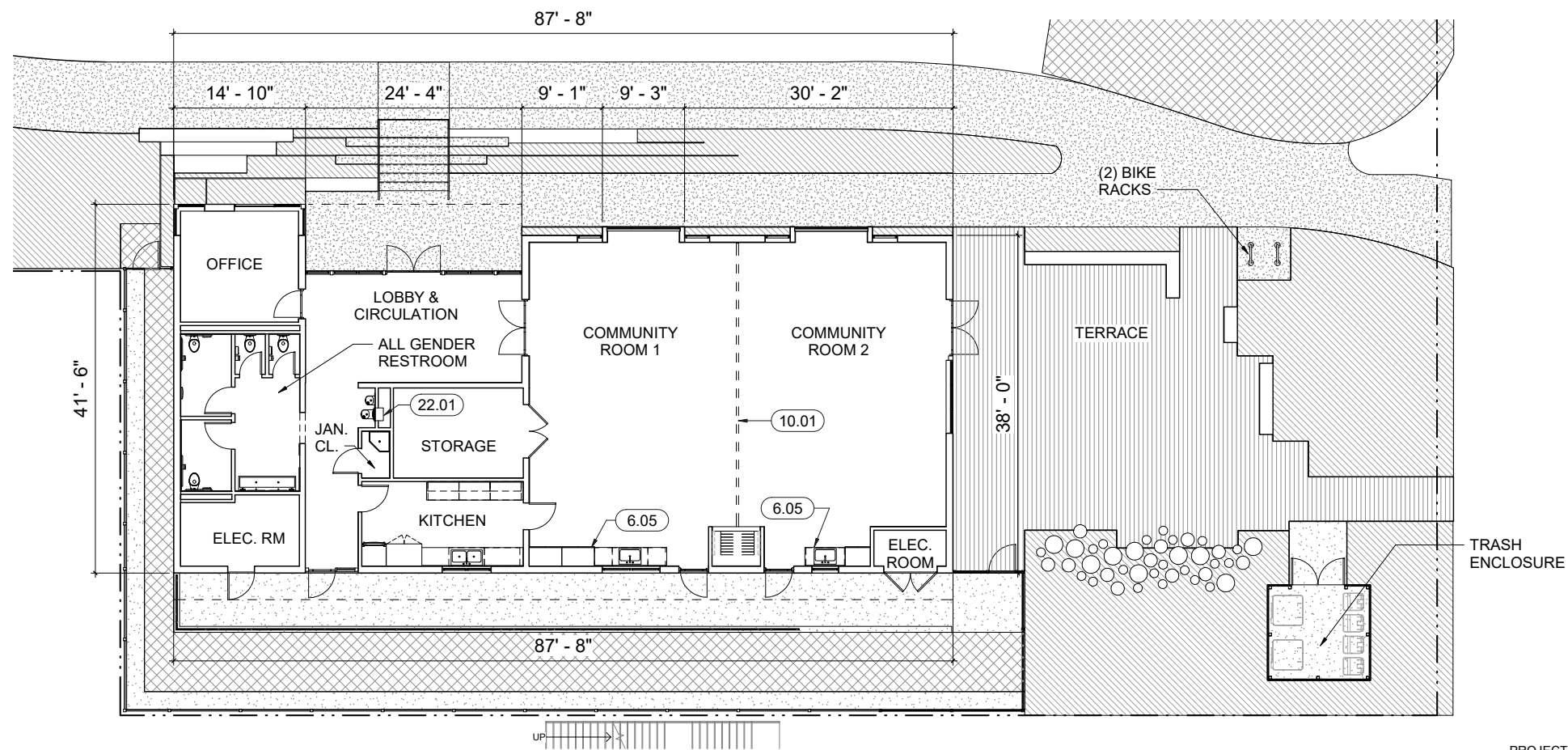
**SHEET TITLE:**  
**LOT COVERAGE**

**SHEET NUMBER:**  
**Z2-C**





PUBLIC RESTROOM FLOOR PLAN 1/16" = 1' - 0"



CLUBHOUSE FLOOR PLAN 1/16" = 1' - 0"

KEYNOTE LEGEND - ZONING

6.05	QUARTZ COUNTERTOP WITH 4" BACKSPLASH
10.01	FOLDING PANEL PARTITION, MANUAL, STC 46
22.01	DUAL HEIGHT DRINKING FOUNTAIN WITH BOTTLE FILLER, S.P.D.

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
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BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
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P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
11/18/2022

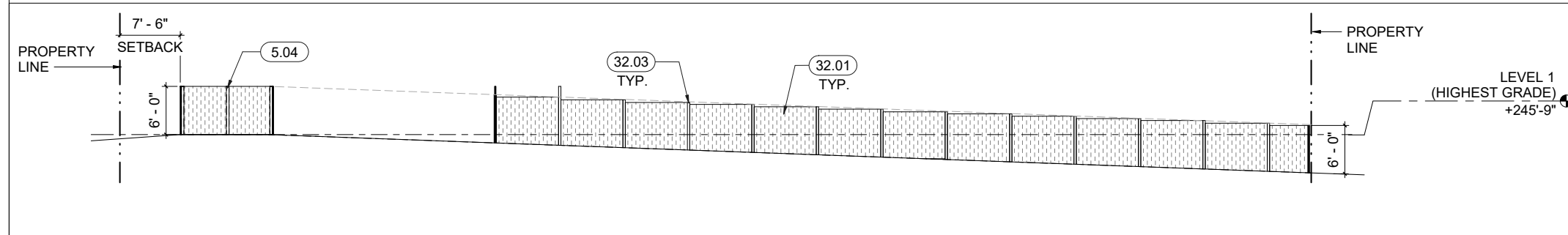
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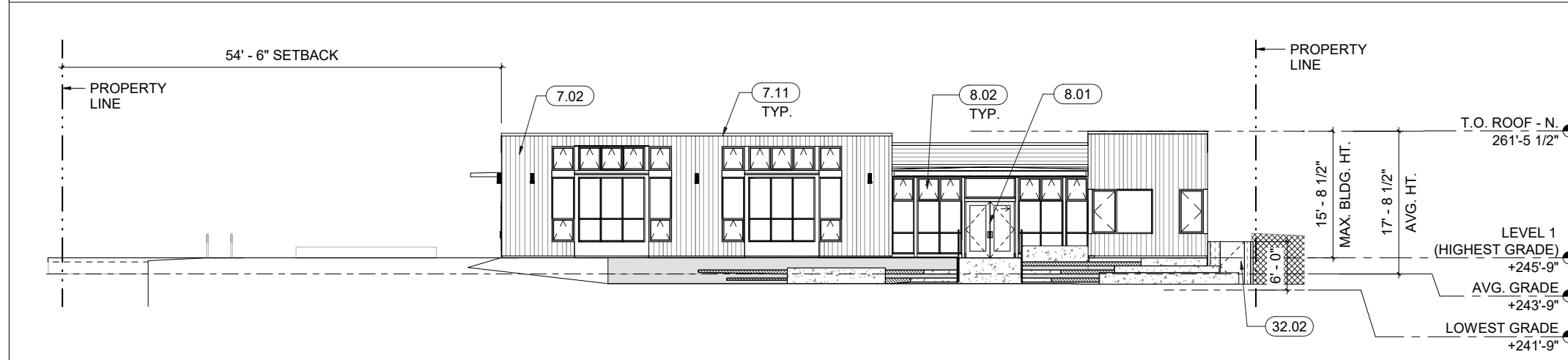
SHEET TITLE:  
**FLOOR PLANS**

SHEET NUMBER:  
**Z2-D**

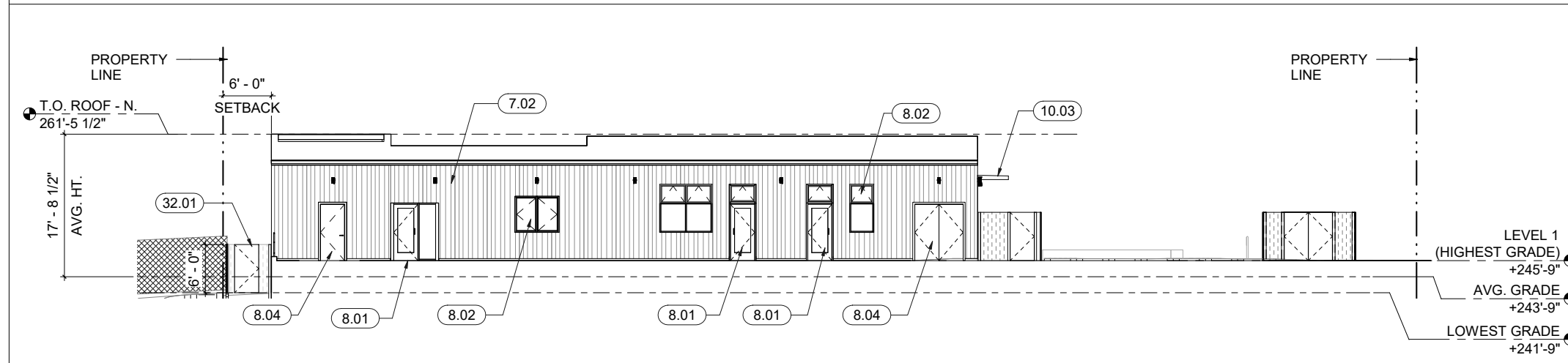




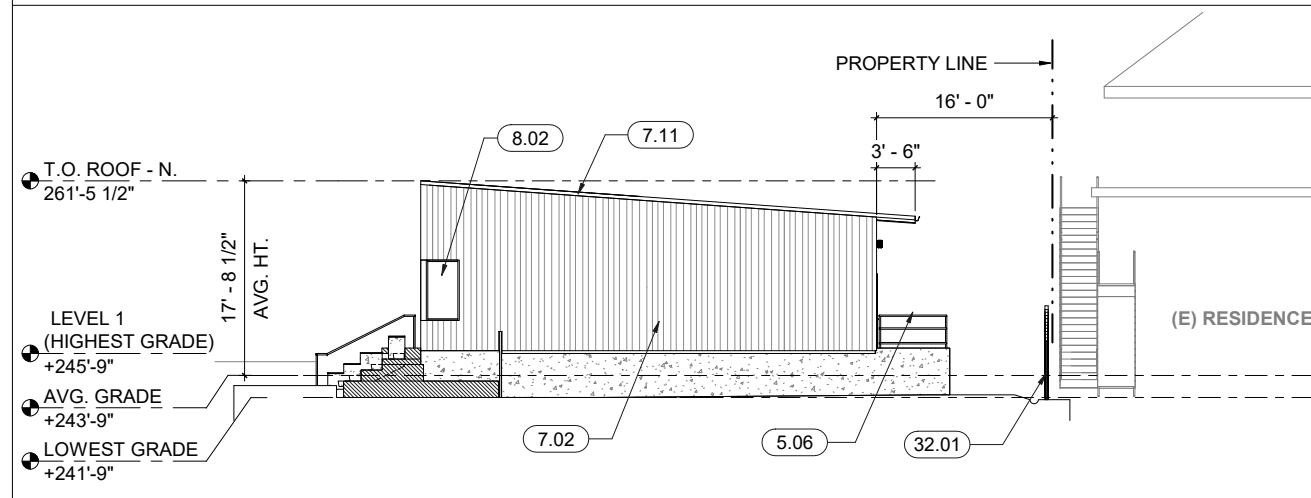
FENCE - NORTH ELEVATION 1/16" = 1' - 0"



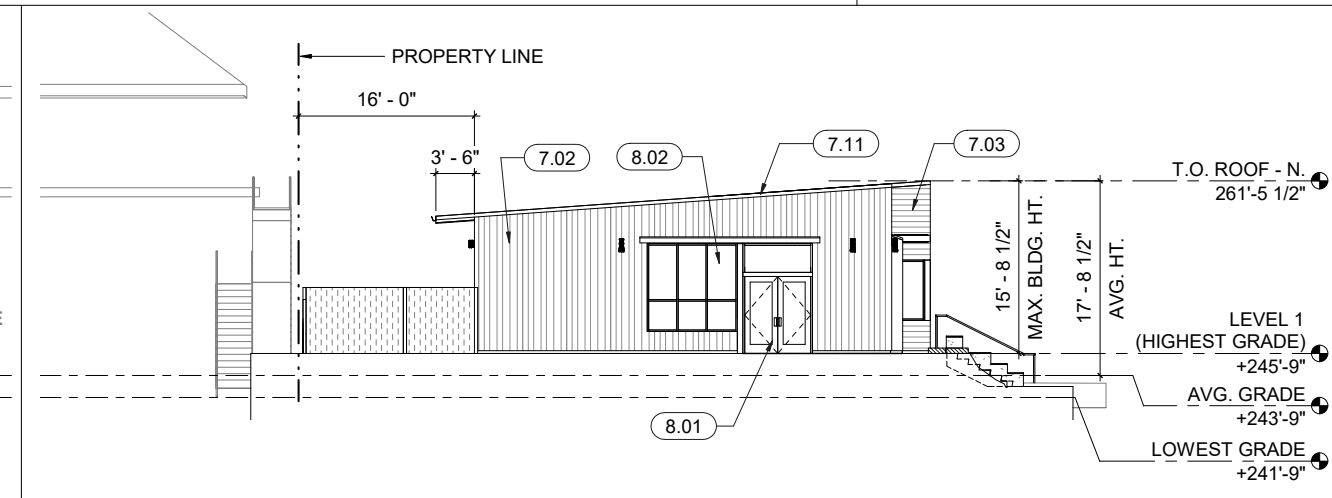
NORTH ELEVATION 1/16" = 1' - 0"



SOUTH ELEVATION 1/16" = 1' - 0"



WEST ELEVATION 1/16" = 1' - 0"



EAST ELEVATION 1/16" = 1' - 0"

KEYNOTE LEGEND - ZONING	
5.04	PRE-PRIMED STEEL POSTS WITH TNEMEC PAINT
5.06	STEEL GUARDRAIL, PAINTED
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING, CHANNEL RUSTIC LAP SIDING PATTERN. 1X6 AND 1X8 SIZES. ROUGH SAWN, SOLID STAINED. INSTALL OVER WEATHER BARRIER, 1/2" PLYWOOD SHEATHING, 8" WOOD STUDS WITH BATT INSULATION, W/ GYP. BD. INTERIOR FINISH
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING, TONGUE & GROOVE, 1X6, SMOOTH FINISH, PAINTED. INSTALL OVER WEATHER BARRIER, 1/2" PLYWOOD SHEATHING, 8" WOOD STUDS WITH BATT INSULATION, W/ GYP. BD. INTERIOR FINISH
7.11	GALV. METAL COPING, PAINTED
8.01	EXTERIOR WOOD DOORS, STAINED, WITH GLASS PANELS
8.02	ALUMINUM FRAMED FIXED, CASEMENT, AWNING AND COMBINATION WINDOWS WITH INTEGRAL INSULATED GLASS UNITS. BASIS OF DESIGN - SERIES 6000 WINDOWS BY ALL WEATHER ARCHITECTURAL ALUMINUM. WHERE SHOWN ABOVE 7 FEET, OPERABLE WINDOWS TO BE MOTORIZED AND CONNECTED TO BUILDING MANAGEMENT SYSTEM.
8.04	HOLLOW METAL DOOR, PAINTED
10.03	EXTERIOR ENTRY CANOPY. AESS PERIMETER FRAMING, S.S.D. W/ 2X WD. MEMBERS & SLOPED GLASS COVER
32.01	WOOD FENCE WITH CONCRETE FOOTING, S.L.D.
32.02	3'-0" WIDE WOOD GATE
32.03	STAINED WOOD FENCE POSTS

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
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REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**11/18/2022**



SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E1**

KEYNOTE LEGEND - ZONING	
3.02	CONCRETE CURB, S.S.D.
4.01	CONCRETE MASONRY UNIT, GROUND FACE, PAINTED
5.03	BRAKE METAL FASCIA, PAINTED
7.07	VERTICAL WESTERN RED CEDAR WOOD SIDING, CHANNEL RUSTIC LAP SIDING PATTERN. 1X6 AND 1X8 SIZES. ROUGH SAWN, SOLID STAINED
7.08	HORIZONTAL WESTERN RED CEDAR WOOD SIDING, T&G, 1X6, SMOOTH FINISH, PAINTED. INSTALL OVER WEATHER BARRIER, 1/2" PLYWOOD SHEATHING ON 8" CMU
8.02	ALUMINUM FRAMED FIXED, CASEMENT, AWNING AND COMBINATION WINDOWS WITH INTEGRAL INSULATED GLASS UNITS. BASIS OF DESIGN - SERIES 6000 WINDOWS BY ALL WEATHER ARCHITECTURAL ALUMINUM. WHERE SHOWN ABOVE 7 FEET, OPERABLE WINDOWS TO BE MOTORIZED AND CONNECTED TO BUILDING MANAGEMENT SYSTEM.
8.04	HOLLOW METAL DOOR, PAINTED

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PROJECT:  
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2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
**ZONING: R2**  
**APN: 54-1711-27**  
**CONSTRUCTION: V-B**  
**OCCUPANCY: A-3, B, S-2**

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
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1947 CENTER STREET, 4TH FL,  
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PROJECT TEAM:  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
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P: 510.549.2929

REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**11/18/2022**

STAMP:



SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E2**

<p>PUBLIC RESTROOM - NORTH ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - EAST ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - WEST ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - SOUTH ELEVATION 1/16" = 1' - 0"</p>



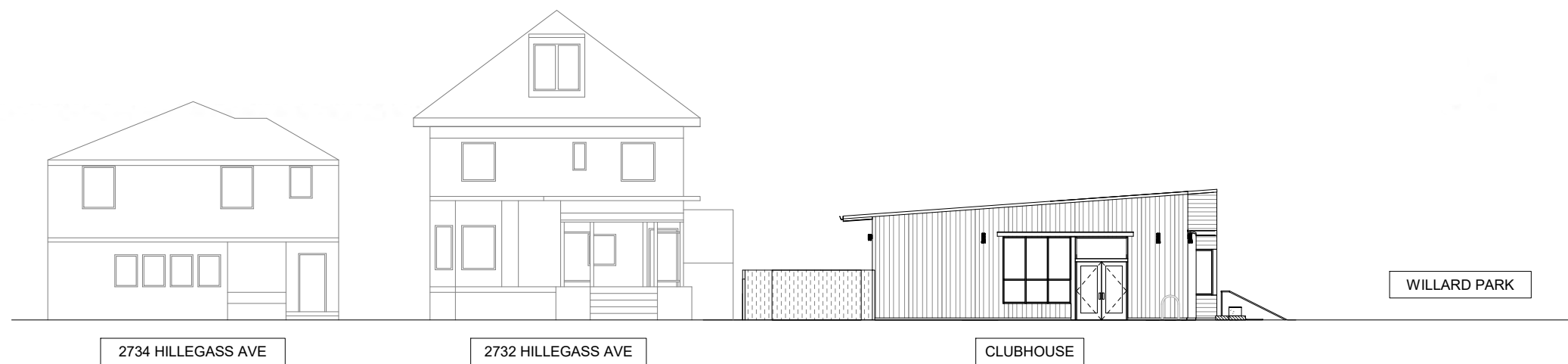
2734 HILLEGASS AVE

2732 HILLEGASS AVE

EXISTING CLUBHOUSE

WILLARD PARK

EXISTING CONDITION: STREET STRIP ELEVATION - EAST



2734 HILLEGASS AVE

2732 HILLEGASS AVE

CLUBHOUSE

WILLARD PARK

PROPOSED DESIGN: STREET STRIP ELEVATION - EAST 1/16" = 1' - 0"

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201320.27

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CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
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REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
ZONING SUBMITTAL

DATE:  
11/18/2022

STAMP:



SHEET TITLE:  
**STREET STRIP ELEVATION**

SHEET NUMBER:  
**Z2-F1**





Planning and Development Department  
Land Use Planning Division

December 16, 2022

Wendy Wellbrock  
City of Berkeley  
1947 Center Street, 5<sup>th</sup> Floor  
Berkeley, CA

Sent via email:  
[wwellbrock@cityofberkeley.info](mailto:wwellbrock@cityofberkeley.info)

Re: Variance #ZP2022-0095 for 2720 Hilegass

Dear Wendy Wellbrock,

On June 9, 2022 you submitted an application for a use permit to demolish the existing clubhouse and restroom, construct a 3,285 square-foot community center with a variance for a rear setback of 16 feet where 20 feet is required, and a new restroom. Based on my review, the following permits are needed for your project:

1. Variance pursuant to Berkeley Municipal Code (BMC) Section 23.406.050 to allow a rear setback of 16 feet where 20 feet is required.
2. Variance pursuant to Berkeley Municipal Code (BMC) Section 23.406.050 to provide no off-street parking for a community center.
3. Use Permit pursuant to BMC Section 23.326.070(A) to demolish a non-residential main building.
4. Use Permit pursuant to BMC Section 23.202.020(A) to construct a new community center.
5. Administrative Use Permit pursuant to BMC Section 23.304.060(C)(1) to add an accessory building (restroom).

I have reviewed your November 18, 2022 resubmittal package and determined that your application is incomplete and the following items are needed to complete our review of your application:

1. Gross Floor Areas: Indicate the gross floor area for each building in the plan set, either in a table at the beginning, in the site plan, or on the sheet with the floor plans (please make sure both equal the total for the GFA in the Tabulation Form).
2. Existing Floor Plan: Indicate the use of all rooms in the existing floor plan for the clubhouse (e.g. bathroom, storage). This will be useful for analyzing whether the requested variances can be approved.
3. Tree and Root Protection Measures: Please incorporate the letter from Thomas Dodge with the tree and root protection measures in the final version of the plans submitted for ZAB and the building permit.
4. Drop-off and Pick-up Plan: Please submit a preliminary drop-off and pick-up plan (recommended by the transportation study). A finalized drop-off and pick-up plan will be required before issuance of the building permit.

#### Staff Comments

- City Traffic Engineer Review: I have routed the site plan with the loading area and the revised Transportation Study to the City's Traffic Engineer. Comments, if any, will be forwarded to you once received.

2720 Hillegass Avenue  
Incomplete Letter – Submittal #3

December 16, 2022  
Variance #ZP2022-0095

---

Please submit responses to all requested items at once, and not incrementally. In your resubmittal, include a letter stating how you have addressed the incomplete items. If you submit hardcopies of plans do not bring plans larger than 11x17 or 12x18.

Sincerely,

A handwritten signature in blue ink, appearing to read "Allison Riemer".

Allison Riemer, Associate Planner



Parks, Recreation & Waterfront Department

December 23, 2022

Allison Riemer  
City of Berkeley  
1947 Center Street, 2<sup>nd</sup> Floor  
Berkeley, CA

Subject: Responses to Review Comments – Submittal #3  
Variance #ZP2022-0095 for 2720 Hillegass

Dear Allison Riemer:

Please find below responses to the Review Letter, dated December 16<sup>th</sup>, 2022.

1. Gross Floor Areas: Indicate the gross floor area for each building in the plan set, either in a table at the beginning, in the site plan, or on the sheet with the floor plans (please make sure both equal the total for 1- Gross floor area table has been added on sheets Z2-A3 and Z2-A4.the GFA in the Tabulation Form).

[Response: Gross floor area table has been added on sheets Z2-A3 and Z2-A4.](#)

2. Existing Floor Plan: Indicate the use of all rooms in the existing floor plan for the clubhouse (e.g. bathroom, storage). This will be useful for analyzing whether the requested variances can be approved.

[Response: Use of all rooms has been added on the existing clubhouse floor plan on sheet Z2-A2.](#)

3. Tree and Root Protection Measures: Please incorporate the letter from Thomas Dodge with the tree and root protection measures in the final version of the plans submitted for ZAB and the building permit.

[Response: Letter has been incorporated into plan set on sheet L1.5.](#)

4. Drop-off and Pick-up Plan: Please submit a preliminary drop-off and pick-up plan (recommended by the transportation study). A finalized drop-off and pick-up plan will be required before issuance of the building permit.

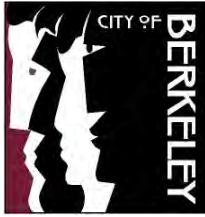
[Response: Preliminary drop-off and pick-up plan is included.](#)

Sincerely,

A handwritten signature in blue ink, appearing to read "W. Wellbrock".

---

Wendy Wellbrock, Associate Civil Engineer  
City of Berkeley Parks, Recreation and Waterfront



Department of Parks, Recreation, and Waterfront

**STUDENT DROP-OFF & PICK-UP MANAGEMENT PLAN**

**Property Information**

Project Address: Willard Clubhouse  
 2720 Hillegass Avenue  
 Berkeley, CA 94705

**Project Description**

PROJECT FEATURES	EXISTING	PROPOSED MAXIMUM AT BUILD OUT
Number of Students	45	60
Number of Staff	5	7
Number and Linear Feet of Off-and-On-Street Passenger Loading Spaces	0	One 60' passenger loading space

**Drop-Off & Pick-Up Management Information**

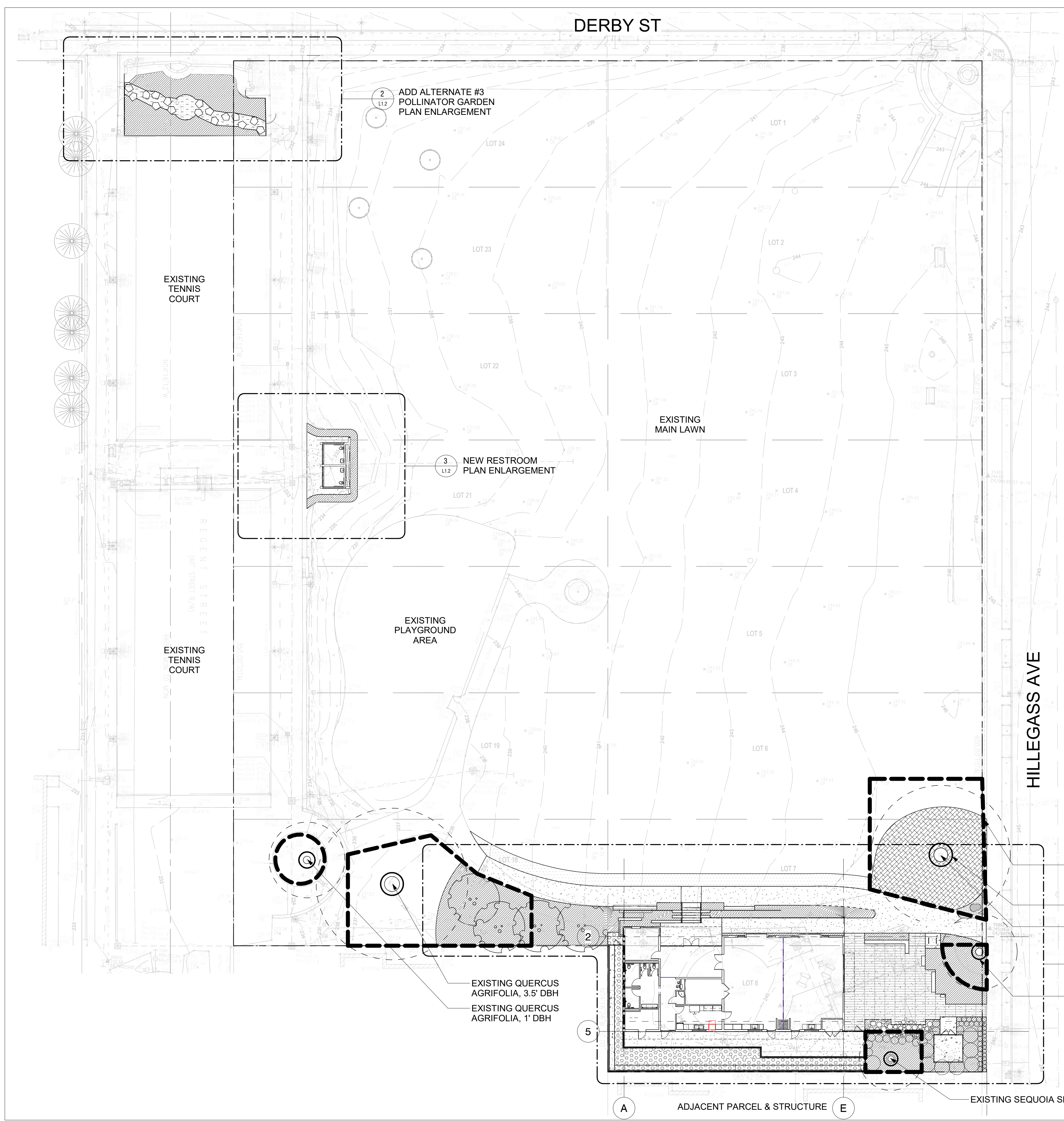
Describe morning and afternoon drop-off and pick-up operations and activities, including to the extent applicable: number and age of students dropped off by time window (e.g., 8:00-8:15 AM or 3:00-3:15 PM), persons available to assist with pick-up (e.g., staff, parents, students), and any associated vehicles (e.g., vans, buses).

The City of Berkeley Recreation Division offers a summer camp program at the Willard Clubhouse for elementary school age (TK-5<sup>th</sup>) children that runs during the months of June, July and August. The program typically enrolls up to 45 children with 5 staff from 7:30 AM-6:00 PM. With the new, larger Clubhouse, the summer camp program is expected to serve up to 60 children with 7 staff. Many of the children will walk with a caregiver to the site for drop-off between 7:15 AM – 7:30 AM. Others will be dropped off by vehicles with drivers utilizing available on-street parking. Children are picked up at various times by caregivers either by walking or by vehicles. Staff will be stationed at the site to check students in during morning drop-off and out during afternoon pick-up.

The City of Berkeley Recreation Division offers an afterschool program at the Willard Clubhouse for elementary school age (TK-5<sup>th</sup>) children that runs during the school year. The program typically enrolls up to 45 children with 5 staff from 1:30 PM-6:00 PM. With the new, larger Clubhouse, the summer camp program is expected to serve up to 60 children with 7 staff. The majority of children will be bussed to the site from local elementary schools, and picked up at various times by caregivers. The project is proposing to provide a dedicated 60' passenger loading zone on Monday-Friday from 1 PM – 6 PM on Hillegass Avenue next to the Clubhouse to accommodate a school bus and vehicles during drop-off and pick up. Staff will be stationed at the site to check students in during drop-off and out during afternoon pick-up.

What other transportation-related measures would the facility take for efficient and safe travel for children, families, and staff during drop off and pick up?

Bicycle Parking for Staff and the Public  
Commuter Benefit Program for Staff



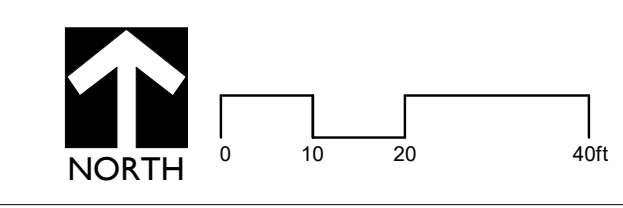
**GENERAL SYMBOLS & ABBREVIATIONS**

- — — — — PROPERTY LINE
- POINT OF BEGINNING
- — — — — CENTERLINE
- EQ. EQUAL
- O.C. ON CENTER
- N.I.C. NOT IN CONTRACT
- NO. NUMBER
- TYP. TYPICAL
- QTY. QUANTITY
- V.I.F. VERIFY IN FIELD
- S.A.D. SEE ARCHITECTURAL DRAWINGS
- S.C.D. SEE CIVIL DRAWINGS
- S.S.D. SEE STRUCTURAL DRAWINGS
- S.M.D. SEE MECHANICAL DRAWINGS
- S.E.D. SEE ELECTRICAL DRAWINGS
- ⊙ 1 A101 DETAIL CALLOUT
- ⊙ 1 A101 SECTION CALLOUT

**LANDSCAPE GENERAL NOTES**

1. EXISTING SITE INFORMATION IS PROVIDED BY OTHERS. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY OR LIABILITY FOR COMPLETENESS OR ACCURACY OF PLANS PROVIDED BY OTHERS.
2. 'TYP' OR TYPICAL MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY NOTED 'TYP' ONLY ONCE WHEN THEY FIRST OCCUR.
3. NOTES AND SYMBOLS ON ONE DRAWING APPLY TO OTHER SIMILAR DETAILS AND CONDITIONS.
4. BECOME ACQUAINTED WITH SUBGRADE UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY OWNER'S REPRESENTATIVE. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN ON PLANS.
5. DIMENSIONS ARE FROM OUTSIDE FACE OF BUILDING OR WALLS, UNLESS OTHERWISE NOTED, AND ARE TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION AND MAJOR EXCAVATION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING.
6. UNLESS OTHERWISE NOTED, ANGLES TO BE RIGHT ANGLES, ARCS WHICH APPEAR TANGENT AND UNIFORM ARE TO BE TANGENT AND UNIFORM, LINES WHICH APPEAR PARALLEL ARE TO BE PARALLEL, AND ITEMS WHICH APPEAR CENTERED TO BE CENTERED, MAINTAIN LINES TRUE, LEVEL, PLUMB, AND SQUARE.
7. REFER TO GRADING PLANS FOR GRADING AND DRAINAGE STRUCTURES PRIOR TO INSTALLATION OF WALKS, WALLS, FOOTINGS, AND OTHER STRUCTURES.
8. LANDSCAPE ARCHITECT TO APPROVE LAYOUT IN THE FIELD PRIOR TO INSTALLATION OF FORMS OR GRADING FOR LANDSCAPE WORK.
9. LOCATE ELECTRICAL JUNCTION BOXES FOR LIGHTS IN PLANTING AREAS UNLESS SHOWN OTHERWISE. LAYOUT TO BE APPROVED BY THE CITY OF BERKELEY PRIOR TO TRENCHING.
10. CAREFULLY REVIEW LANDSCAPE IRRIGATION PLANS AND NOTES TO IDENTIFY LOCATIONS WHERE PIPE, SLEEVES, SANDBED OR CONDUIT MUST BE PLACED PRIOR TO PLACEMENT OF FORMWORK FOR INSTALLATION OF CONCRETE, OTHER PAVING, OR WALLS.
11. QUANTITIES PROVIDED ARE FOR INFORMATION ONLY, VERIFY QUANTITIES AND NOTIFY OWNER OF DISCREPANCIES.

- ⊙ 1 L2.8 TREE PROTECTION FENCING, TYP.
- ⊙ 2 L2.8 TREE PROTECTION WRAP, TYP.
- EXISTING QUERCUS AGRIFOLIA, 3' DBH
- ⊙ 1 L1.2 NEW CLUBHOUSE PLAN ENLARGEMENT
- EXISTING ACER PALMATUM, 1.5' DBH



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510.549.2929 | elsarch.com  
PROJECT:

**WILLARD PARK CLUBHOUSE**

CITY SPECIFICATION NUMBER:  
**201730.27**

ELS PROJECT NUMBER:

CLIENT:  
**CITY OF BERKELEY, CA**

PROJECT TEAM:  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P. 510.549.2929

**CIVIL ENGINEER:**  
BKF ENGINEERS  
1646 N. California Blvd., Suite 400  
Walnut Creek, CA 94596  
925.940.2200

**LANDSCAPE ARCHITECT:**  
PGAdesign LANDSCAPE ARCHITECTS  
444 17th Street  
Oakland, CA 94612  
510.465.1284

**STRUCTURAL ENGINEER:**  
IDA STRUCTURAL ENGINEERS, INC.  
1629 Telegraph Avenue, Suite 300  
Oakland, CA 94612  
510.834.1629

**MECHANICAL AND PLUMBING ENGINEER:**  
ALTER CONSULTING ENGINEERS  
1624 Franklin St. #1300  
Oakland, CA 94612  
510.474.0379

**ELECTRICAL ENGINEER:**  
RJA INC.  
5515 Doyle Street, #7  
Emeryville, CA 94608  
415.730.7994

**ACOUSTICAL ENGINEER:**  
SALTER ENGINEER  
130 Sutter Street, Floor 5  
San Francisco, CA 94104  
415.397.0442

REVISION	NUMBER	DATE	DESCRIPTION

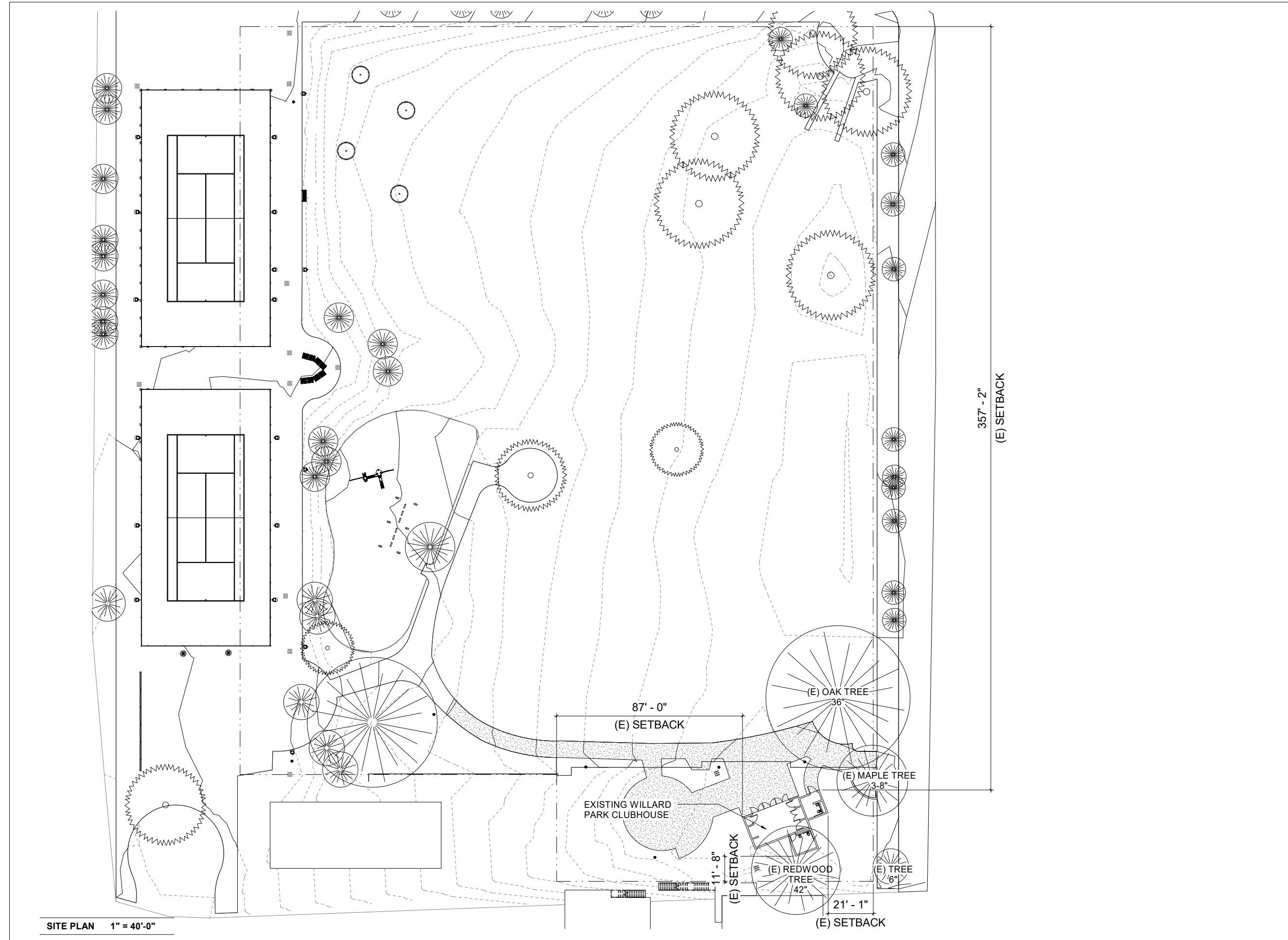
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**NOT FOR CONSTRUCTION**

SHEET TITLE:  
**LANDSCAPE OVERALL PLAN & TREE PROTECTION PLAN**

SHEET NUMBER:  
**L1.1**





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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

CLIENT:  
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1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

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ARCHITECT:  
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REVISION NUMBER	DATE	DESCRIPTION

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SHEET TITLE:  
**EXISTING SITE PLAN**

SHEET NUMBER:  
**Z2-A1**



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NUMBER	DATE	DESCRIPTION

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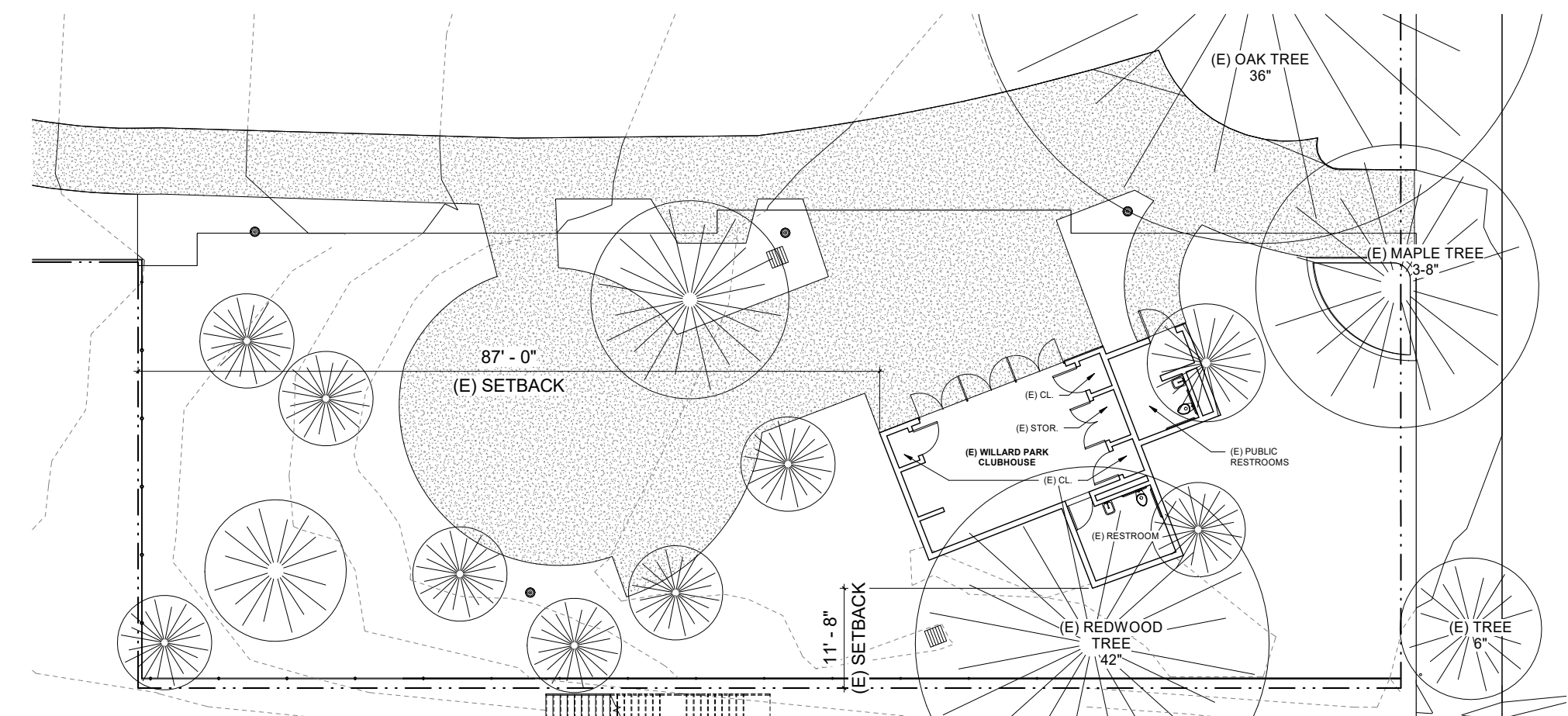
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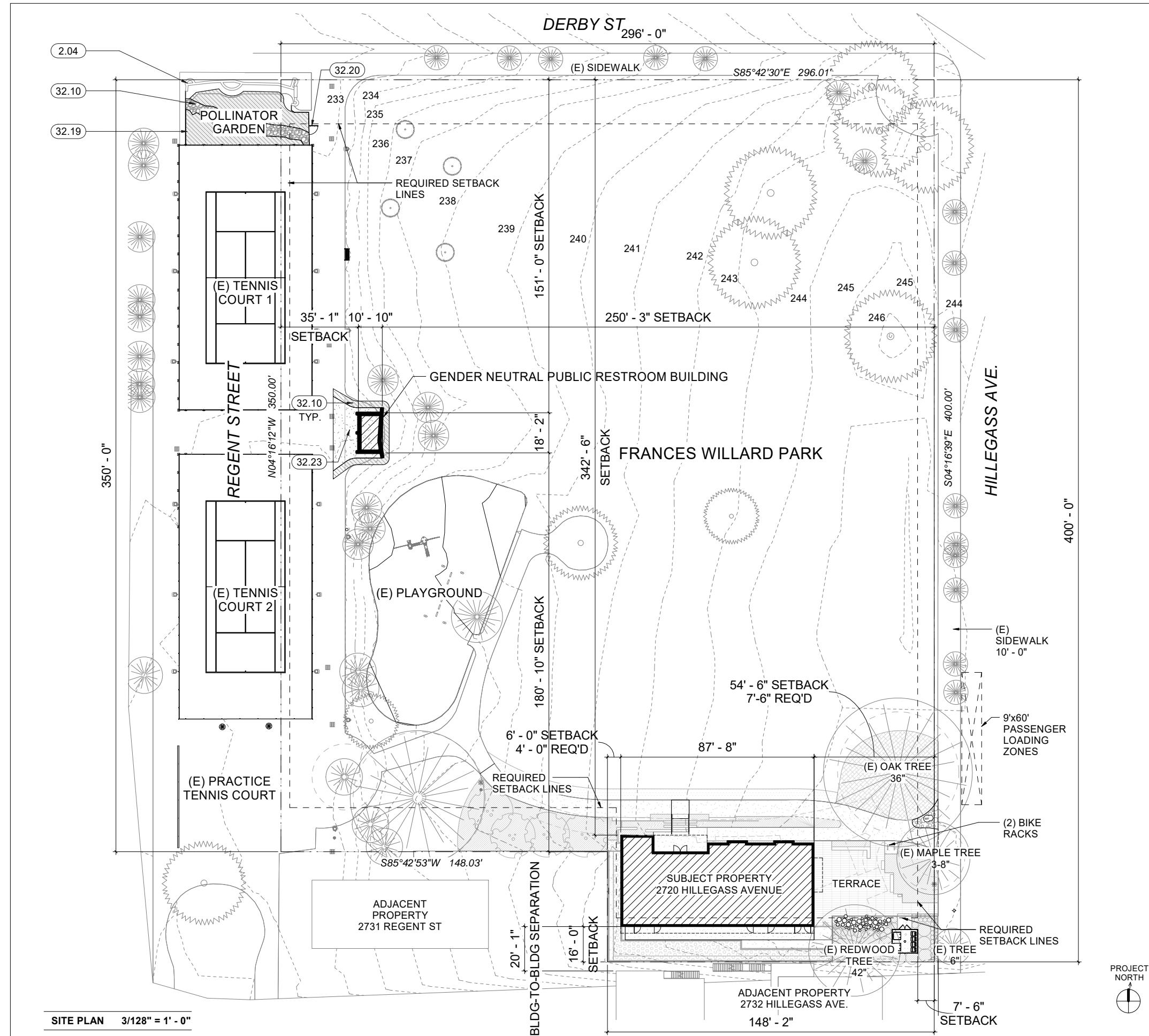


SHEET TITLE:  
**EXISTING  
FLOOR PLAN**

SHEET NUMBER:  
**Z2-A2**



1 EXISTING FLOOR PLAN  
1/16" = 1' - 0"



SITE PLAN 3/128" = 1' - 0"

KEYNOTE LEGEND - ZONING	
2.04	(E) DECORATIVE "POTTERS" WALL
32.10	PLANTING, S.L.D.
32.23	PROVIDE PAVING

GROSS FLOOR AREA SF		
	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,302 SF	
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	3,498 SF

LEGEND	
	PROPERTY LINE
	EXISTING TOPOGRAPHY LINE
	PROPOSED TOPOGRAPHY LINE
	EXISTING ITEM TO REMAIN AND BE PROTECTED
	PROPOSED ITEM
	EXISTING TREE TO REMAIN AND BE PROTECTED
	PROPOSED TREE

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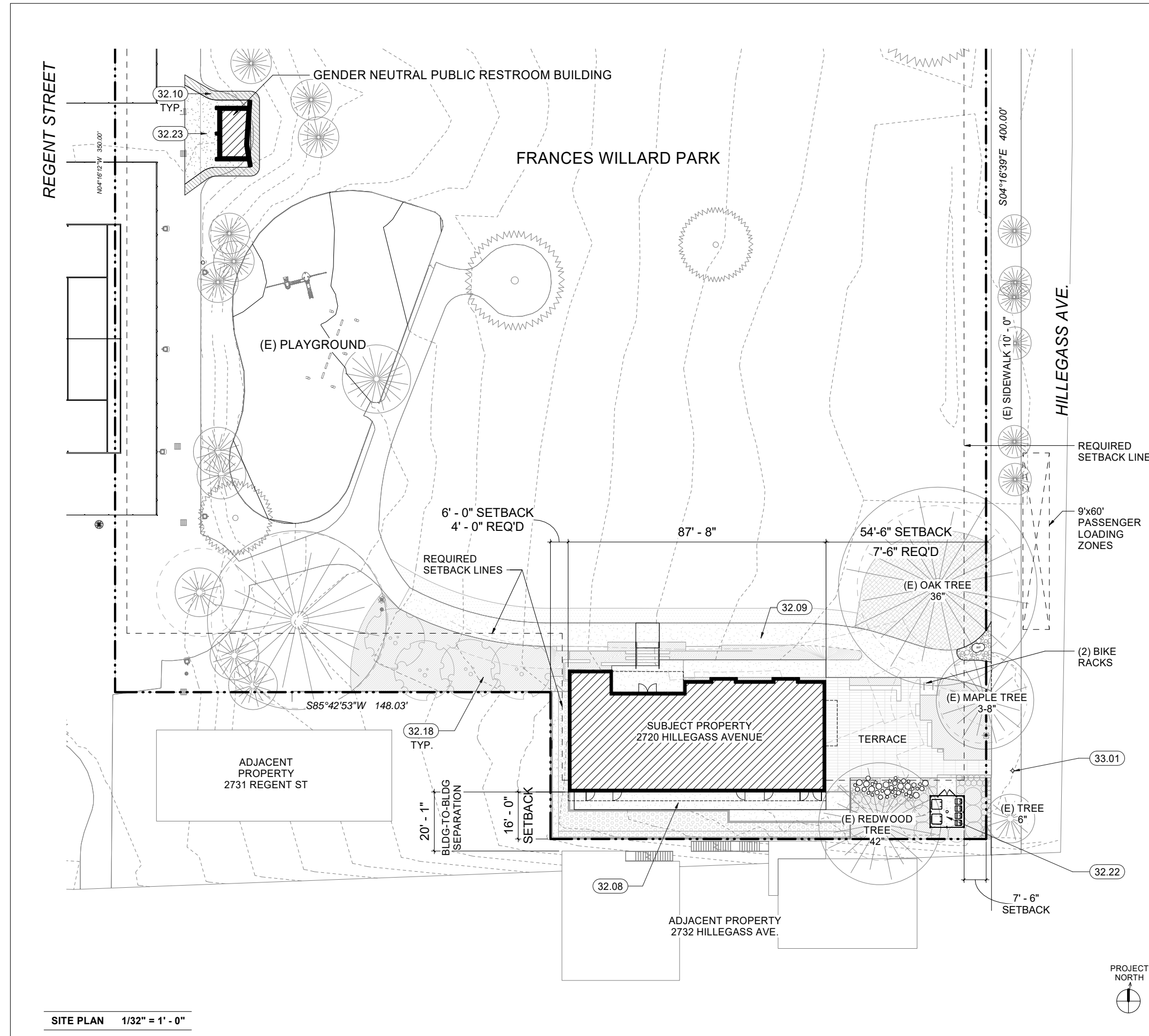
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SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**Z2-A3**



SITE PLAN 1/32" = 1' - 0"

**KEYNOTE LEGEND - ZONING**

32.09	CONCRETE PAVING TYPE 2, W/ INTEGRAL COLOR & CUSTOM RAKED JOINTS. 4" DEPTH W/ REBAR 16" O.C.
32.10	PLANTING, S.L.D.
32.18	PROPOSED TREE, S.L.D.
32.22	CONCRETE PAD AT TRASH ENCLOSURE
32.23	PROVIDE PAVING
33.01	FIRE HYDRANT, S.C.D.

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**REVISION**

NUMBER	DATE	DESCRIPTION

**GROSS FLOOR AREA SF**

	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,302 SF	
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	3,498 SF

**LEGEND**

- — — — — PROPERTY LINE
- - - - - EXISTING TOPOGRAPHY LINE
- — — — — PROPOSED TOPOGRAPHY LINE
- — — — — EXISTING ITEM TO REMAIN AND BE PROTECTED
- — — — — PROPOSED ITEM
- ○ ○ EXISTING TREE TO REMAIN AND BE PROTECTED
- ○ ○ PROPOSED TREE

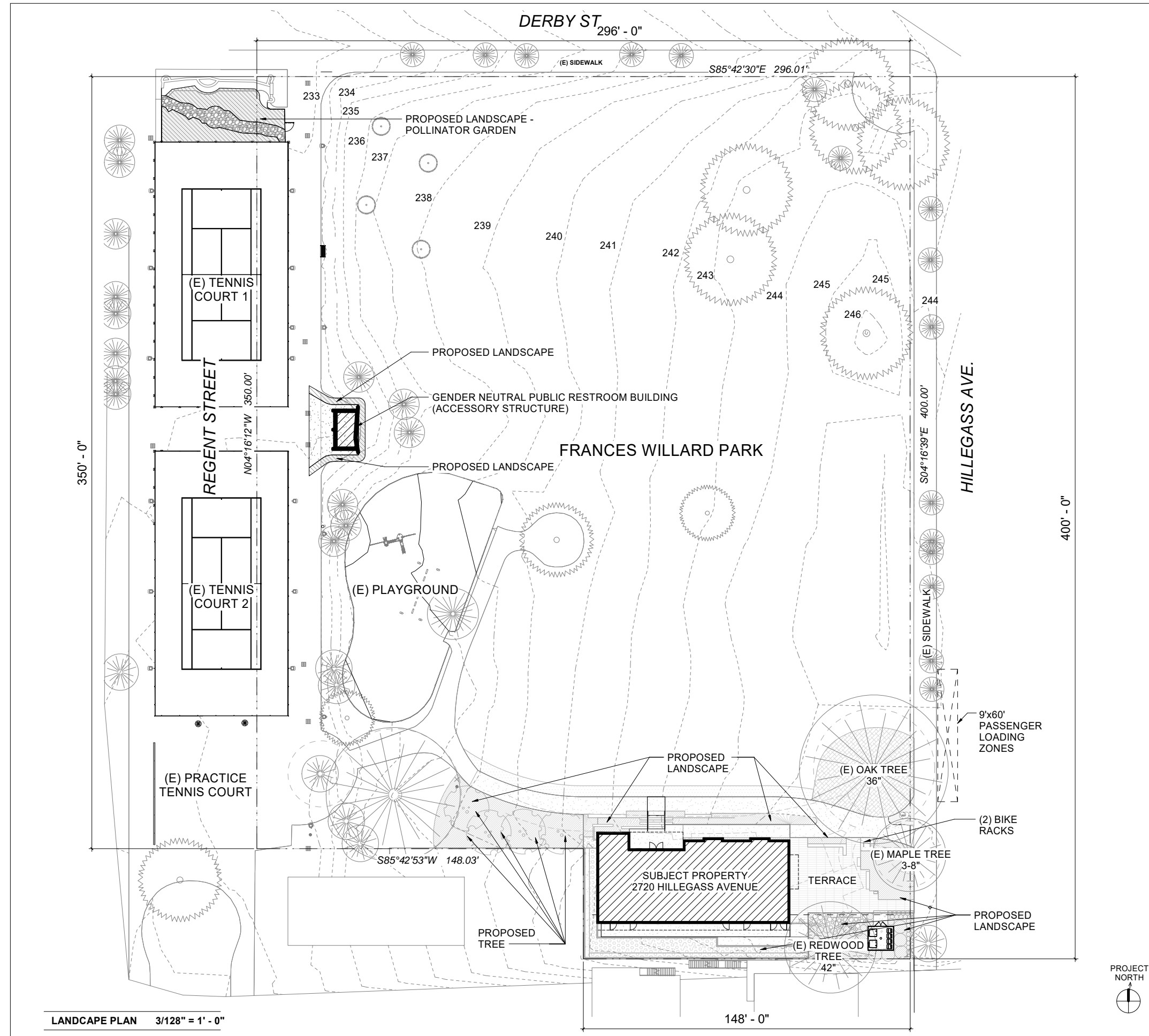
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**ZONING SUBMITTAL**

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12/22/2022



**SHEET TITLE:**  
**ENLARGED SITE PLAN**

**SHEET NUMBER:**  
**Z2-A4**



LANDSCAPE PLAN 3/128" = 1' - 0"

**LEGEND**

- · · — PROPERTY LINE
- - - - - EXISTING TOPOGRAPHY LINE
- — — — — PROPOSED TOPOGRAPHY LINE
- — — — — EXISTING ITEM TO REAMIN AND BE PROTECTED
- — — — — PROPOSED ITEM
- ○ ○ ○ ○ EXISTING TREE TO REMAIN AND BE PROTECTED
- ○ ○ ○ ○ PROPOSED TREE
- ■ ■ ■ ■ PROPOSED LANDSCAPE

PROJECT NORTH

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PROJECT:  
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PROJECT INFO:  
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OCCUPANCY: A-3, B, S-2

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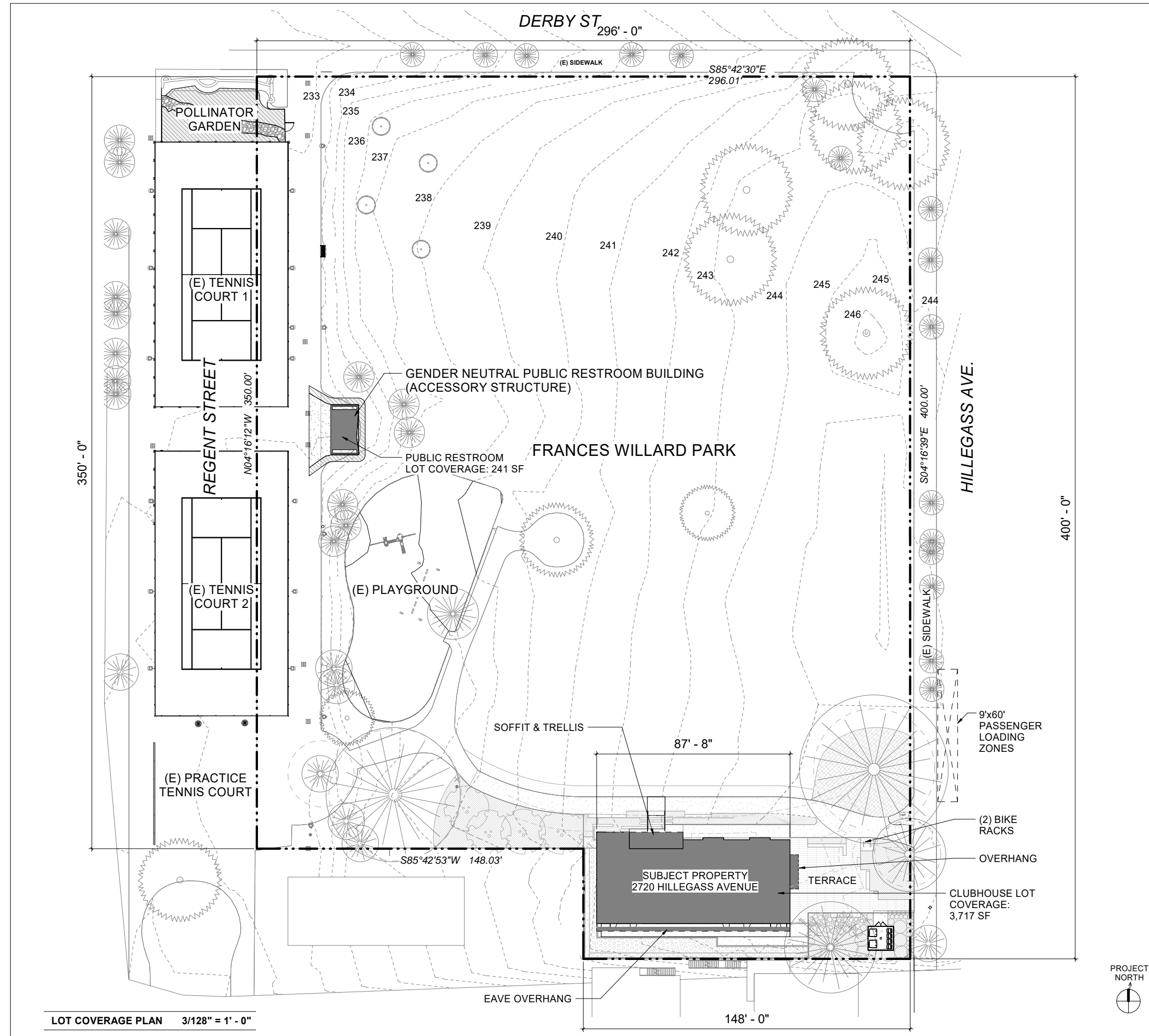
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SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**Z2-B**



**LOT COVERAE:**

CLUBHOUSE:	3,716 SF
PUBLIC RESTROOM:	241 SF
TOTAL:	3,957 SF

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**PROJECT:**  
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OCCUPANCY: A-3, B, S-2

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**LEGEND**

- PROPERTY LINE
- - - EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REAMIN AND BE PROTECTED
- PROPOSED ITEM
- EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE
- AREA COUNTING AS LOT COVERAGE - UP TO 18" OF EAVE OVERHANG IS EXCLUDED FROM LOT COVERAGE

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SHEET TITLE:  
**LOT COVERAGE**

SHEET NUMBER:  
**Z2-C**

LOT COVERAGE PLAN 3/128" = 1' - 0"

KEYNOTE LEGEND - ZONING	
6.05	QUARTZ COUNTERTOP WITH 4" BACKSPLASH
10.01	FOLDING PANEL PARTITION, MANUAL, STC 46
22.01	DUAL HEIGHT DRINKING FOUNTAIN WITH BOTTLE FILLER, S.P.D.

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PROJECT:  
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APN: 54-1711-27  
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OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

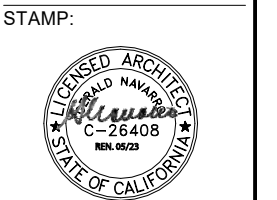
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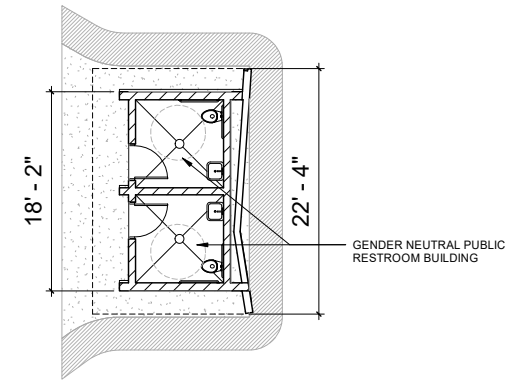
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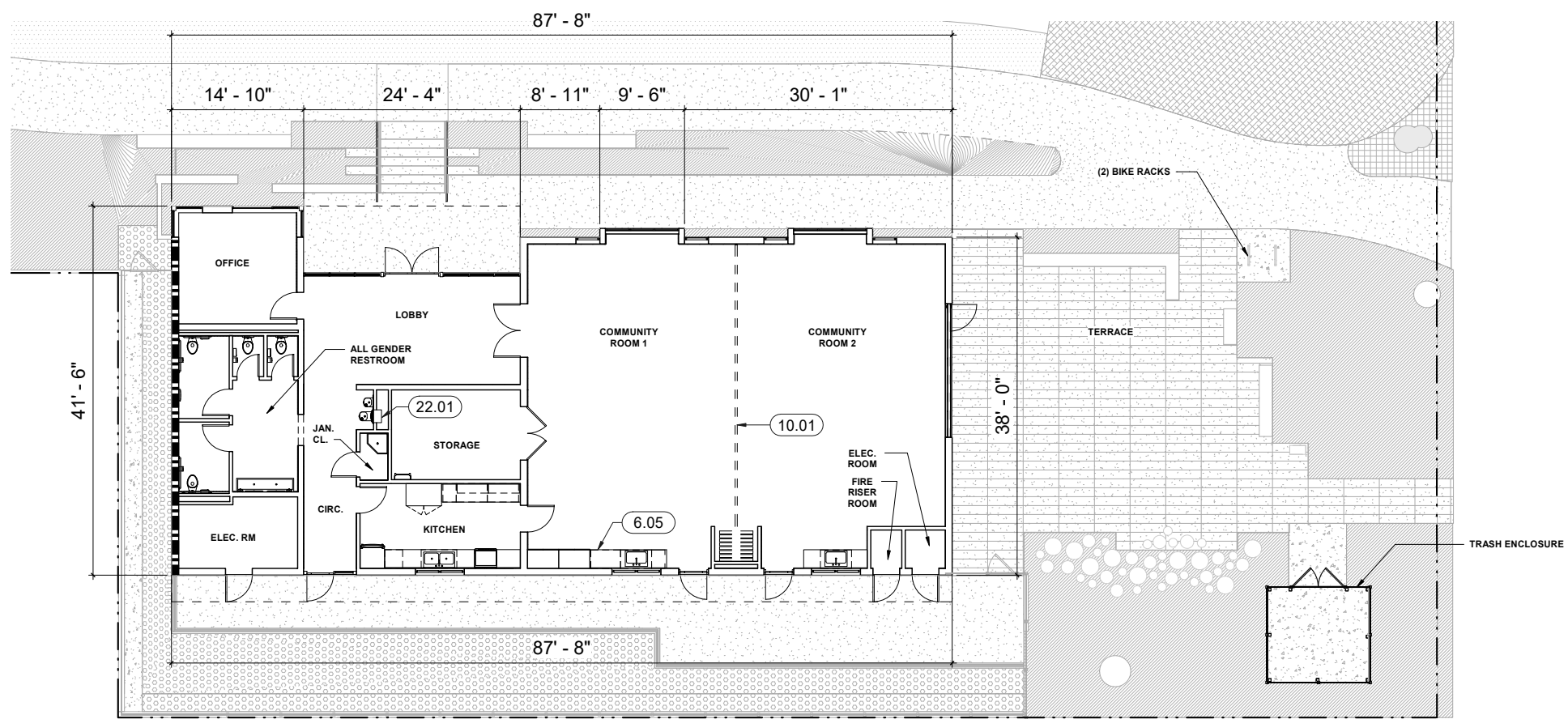


SHEET TITLE:  
**FLOOR PLANS**

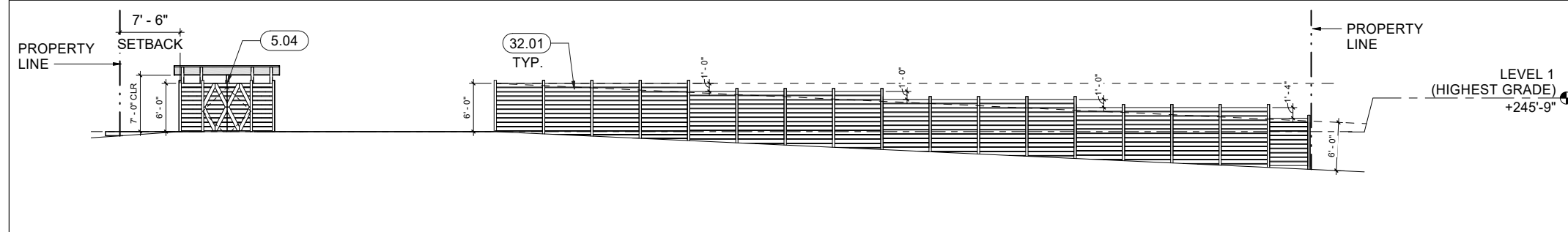
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**Z2-D**



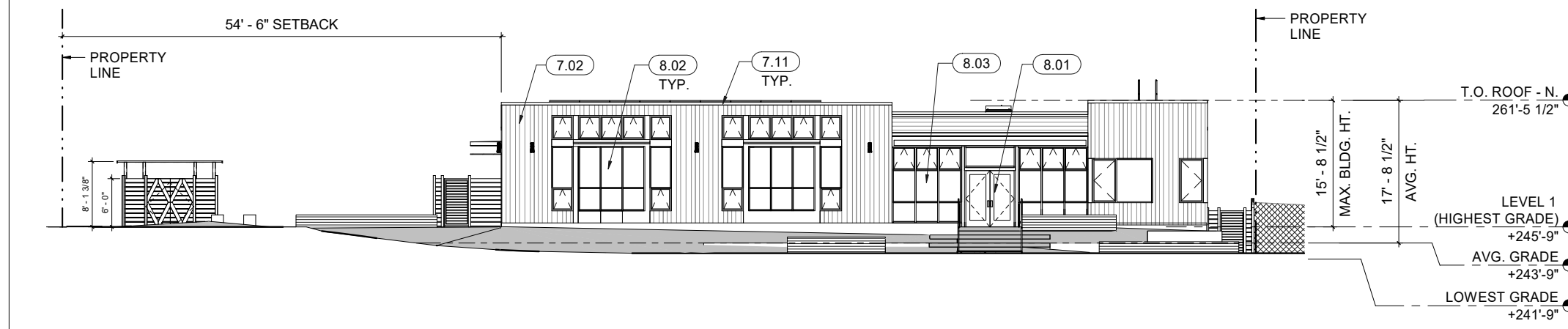
**PUBLIC RESTROOM FLOOR PLAN** 1/16" = 1' - 0"



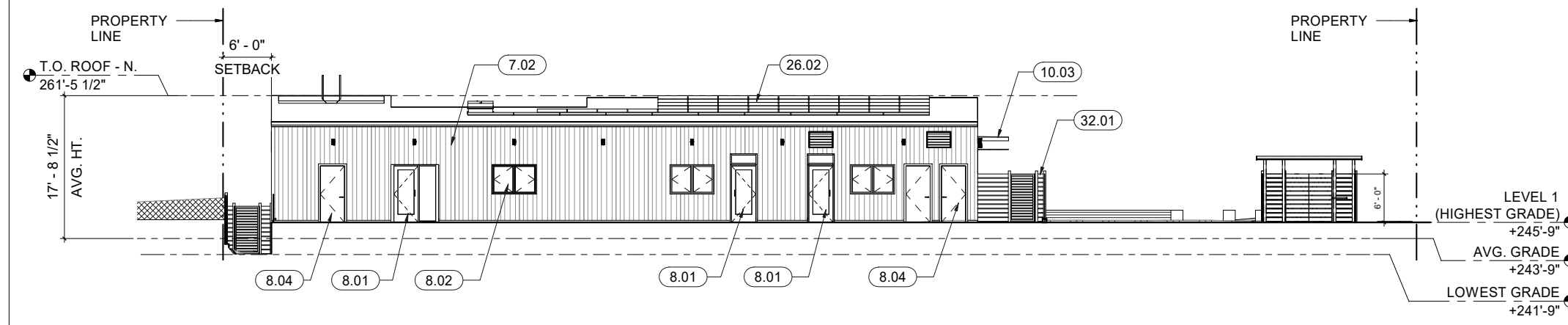
**CLUBHOUSE FLOOR PLAN** 1/16" = 1' - 0"



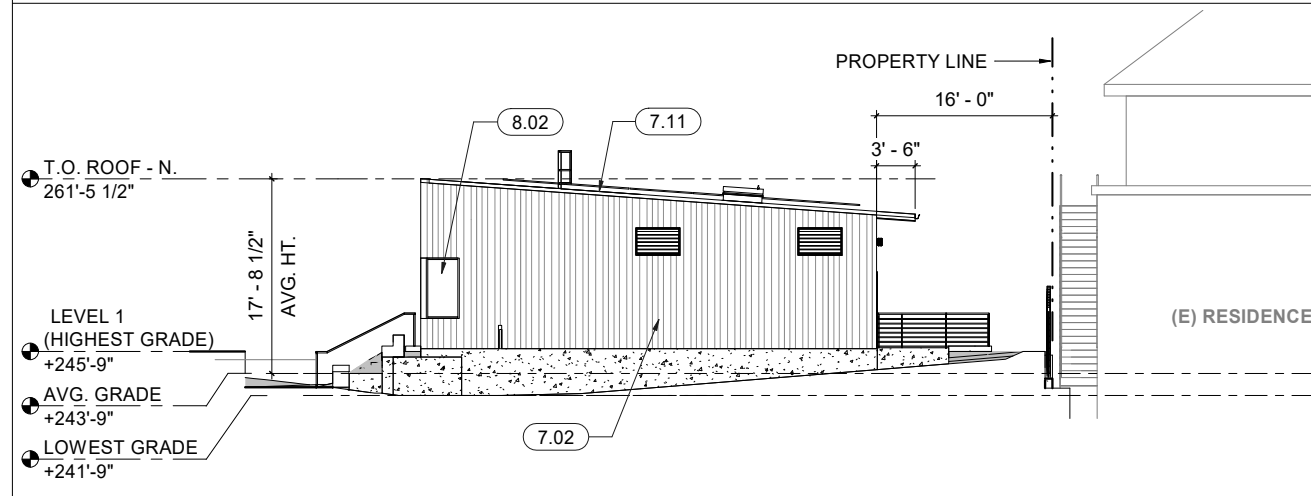
FENCE - NORTH ELEVATION 1/16" = 1' - 0"



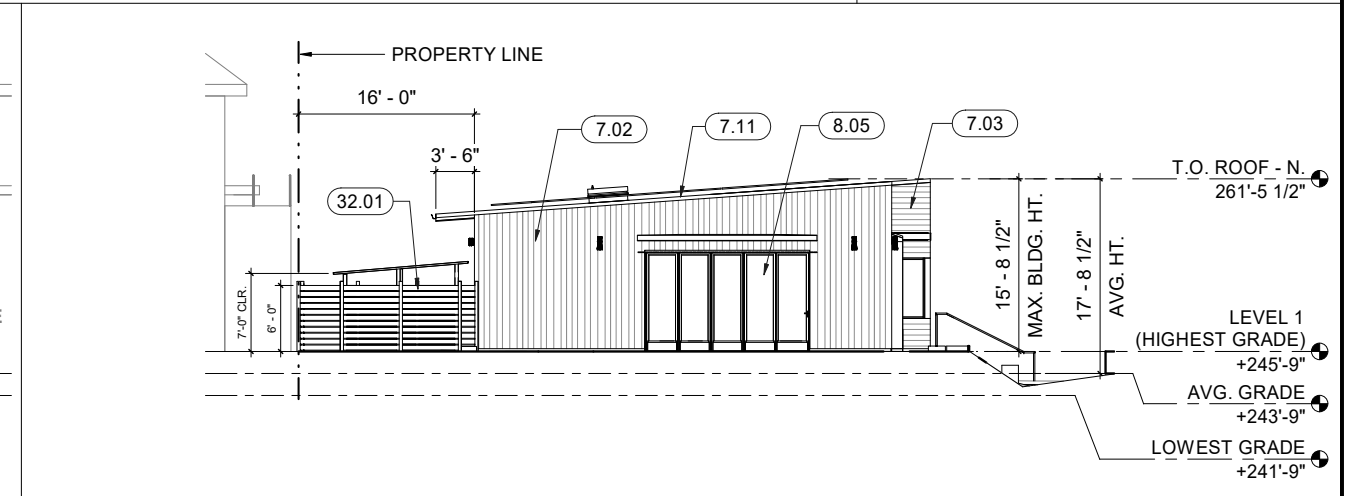
NORTH ELEVATION 1/16" = 1' - 0"



SOUTH ELEVATION 1/16" = 1' - 0"



WEST ELEVATION 1/16" = 1' - 0"



EAST ELEVATION 1/16" = 1' - 0"

KEYNOTE LEGEND - ZONING	
5.04	PRE-PRIMED STEEL POSTS WITH TNEMEC PAINT
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
7.11	GALV. METAL COPING, PAINTED
8.01	EXTERIOR WOOD DOORS, STAINED, WITH GLASS PANELS
8.02	ALUMINUM FRAMED WINDOWS
8.03	ALUMINUM FRAMED STOREFRONT SYSTEM, PREFINISHED, PAINTED
8.04	HOLLOW METAL DOOR, PAINTED
8.05	ALUMINUM FRAMED FOLDING STOREFRONT, PREFINISHED
10.03	EXTERIOR ENTRY CANOPY W/ WOOD PANEL SOFFIT
26.02	PHOTOVOLTAIC SYSTEM, S.E.D.
32.01	WOOD FENCE WITH CONCRETE FOOTING, S.L.D.



PROJECT:  
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PROJECT INFO:  
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CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

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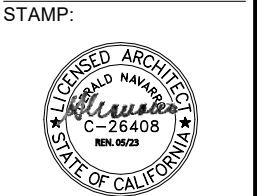
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DATE:  
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SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E1**

KEYNOTE LEGEND - ZONING	
3.02	CONCRETE CURB, S.S.D.
4.01	CONCRETE MASONRY UNIT, GROUND FACE, PAINTED
5.03	BRAKE METAL FASCIA, MATCH WINDOW FINISH
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
8.02	ALUMINUM FRAMED WINDOWS
8.04	HOLLOW METAL DOOR, PAINTED

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SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E2**

PUBLIC RESTROOM - NORTH ELEVATION 1/16" = 1' - 0"	PUBLIC RESTROOM - EAST ELEVATION 1/16" = 1' - 0"	PUBLIC RESTROOM - WEST ELEVATION 1/16" = 1' - 0"	PUBLIC RESTROOM - SOUTH ELEVATION 1/16" = 1' - 0"





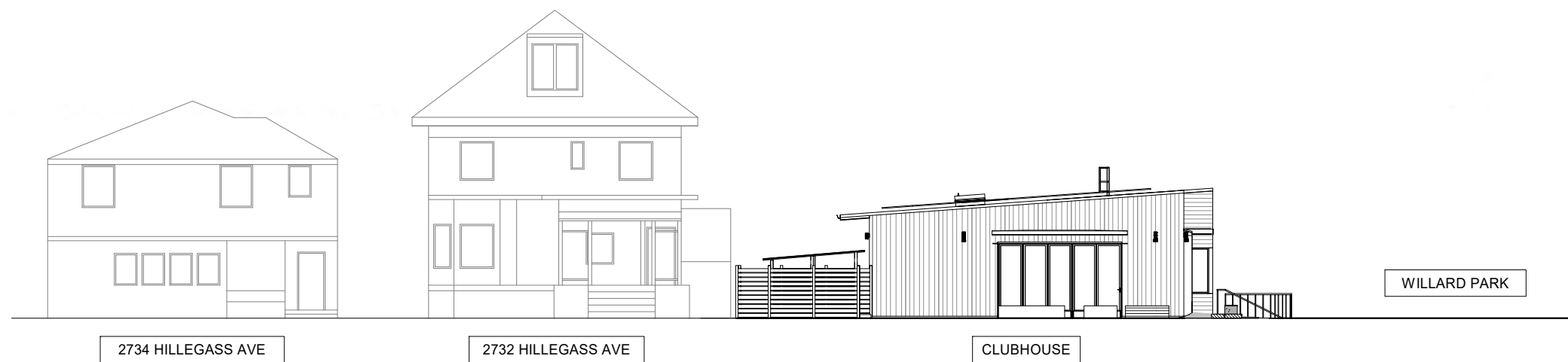
2734 HILLEGASS AVE

2732 HILLEGASS AVE

EXISTING CLUBHOUSE

WILLARD PARK

EXISTING CONDITION: STREET STRIP ELEVATION - EAST



2734 HILLEGASS AVE

2732 HILLEGASS AVE

CLUBHOUSE

WILLARD PARK

PROPOSED DESIGN: STREET STRIP ELEVATION - EAST 1/16" = 1' - 0"

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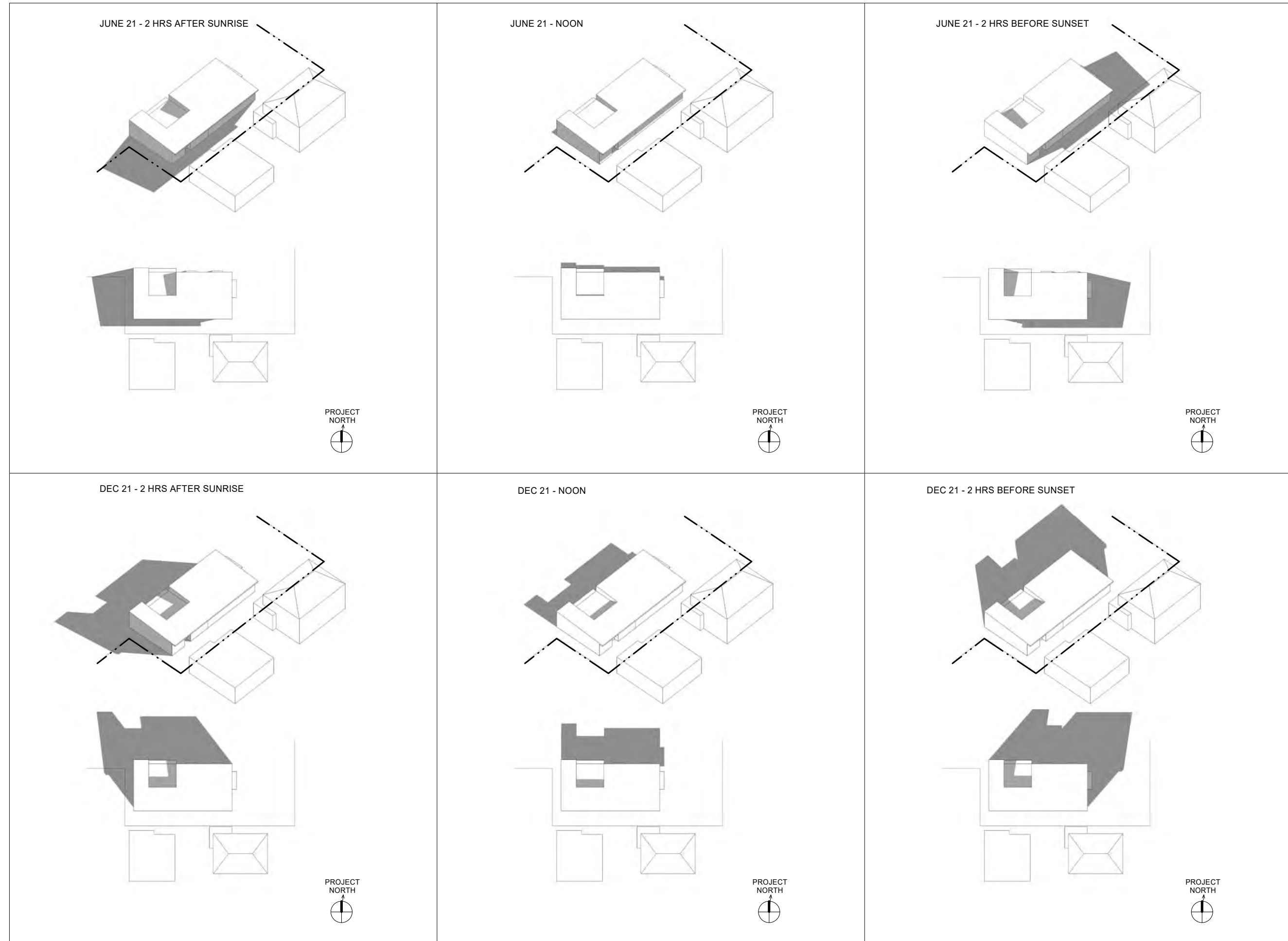
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SHEET TITLE:  
**STREET STRIP ELEVATION**

SHEET NUMBER:  
**Z2-F1**



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BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

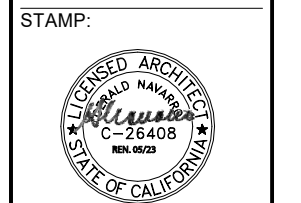
CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**12/22/2022**



SHEET TITLE:  
**SHADOW STUDY**

SHEET NUMBER:  
**Z3-B**



Planning and Development Department  
Land Use Planning Division

January 19, 2023

Wendy Wellbrock  
City of Berkeley  
1947 Center Street, 5<sup>th</sup> Floor  
Berkeley, CA

Sent via email:  
[wwellbrock@cityofberkeley.info](mailto:wwellbrock@cityofberkeley.info)

Re: Variance #ZP2022-0095 for 2720 Hilegass

Dear Wendy Wellbrock,

On June 9, 2022 you submitted an application for a use permit to demolish the existing clubhouse and restroom, construct a 3,285 square-foot community center with a variance for a rear setback of 16 feet where 20 feet is required, and a new restroom. Based on my review, the following permits are needed for your project:

1. Variance pursuant to Berkeley Municipal Code (BMC) Section 23.406.050 to allow a rear setback of 16 feet where 20 feet is required.
2. Variance pursuant to Berkeley Municipal Code (BMC) Section 23.406.050 to provide no off-street parking for a community center.
3. Use Permit pursuant to BMC Section 23.326.070(A) to demolish a non-residential main building.
4. Use Permit pursuant to BMC Section 23.202.020(A) to construct a new community center.
5. Administrative Use Permit pursuant to BMC Section 23.304.060(C)(1) to add an accessory building (restroom).

I have reviewed your December 23, 2022 resubmittal package and determined that your application is incomplete and the following items are needed to complete our review of your application:

1. Site Plan: Per comments from the City's Traffic Engineer, update the plans to show the existing red curb, blue curb, curb ramp, and any existing white curb in the existing and proposed site plans.
2. Gross Floor Areas: Indicate the gross floor area for each building in the plan set, either in a table at the beginning, in the site plan, or on the sheet with the floor plans (please make sure both equal the total for the GFA in the Tabulation Form). **The math or numbers on sheet Z2-A3 are incorrect. Based on the proposed community center and bathroom GFA the total should be 3,500 sq. ft. Please make sure that the floor areas are consistent with the applicant statement (submitted October 4, 2022) and tabulation form (submitted November 18, 2022).**
3. Drop-off and Pick-up Plan: Please submit a preliminary drop-off and pick-up plan (recommended by the transportation study). A finalized drop-off and pick-up plan will be required before issuance of the building permit. **There isn't a discussion of loading hours during the morning drop-off for the summer camp. Please discuss morning loading hours (for the summer or year-round). Would the afternoon loading hours apply year-round? There is a typo on page 2; the summer camp is mentioned in the paragraph on the afterschool program.**

2720 Hillegass Avenue  
Incomplete Letter – Submittal #4

January 19, 2023  
Variance #ZP2022-0095

---

Please submit responses to all requested items at once, and not incrementally. In your resubmittal, include a letter stating how you have addressed the incomplete items. If you submit hardcopies of plans do not bring plans larger than 11x17 or 12x18.

Sincerely,

A handwritten signature in blue ink, appearing to read "Allison Riemer".

Allison Riemer, Associate Planner



Parks, Recreation & Waterfront Department

January 31, 2023

Allison Riemer  
City of Berkeley  
1947 Center Street, 2<sup>nd</sup> Floor  
Berkeley, CA

Subject: Responses to Review Comments – Submittal #4  
Variance #ZP2022-0095 for 2720 Hillegass

Dear Allison Riemer:

Please find below responses to the Review Letter, dated January 19, 2023.

1. Site Plan: Per comments from the City's Traffic Engineer, update the plans to show the existing red curb, blue curb, curb ramp, and any existing white curb in the existing and proposed site plans.

[Response: Existing and proposed site plans were updated to include the curb colors and existing curb ramp.](#)

2. Gross Floor Areas: Indicate the gross floor area for each building in the plan set, either in a table at the beginning, in the site plan, or on the sheet with the floor plans (please make sure both equal the total for the GFA in the Tabulation Form). The math or numbers on sheet Z2-A3 are incorrect. Based on the proposed community center and bathroom GFA the total should be 3,500 sq. ft. Please make sure that the floor areas are consistent with the applicant statement (submitted October 4, 2022) and tabulation form (submitted November 18, 2022).

[Response: Gross floor areas for the clubhouse and public restroom building are shown on the site plan sheets \(Z2-A3 and Z2-A4\). Total gross floor area of 3,499 SF matches area shown on the updated tabulated form. Floor areas have been updated in the applicant statement.](#)

3. Drop-off and Pick-up Plan: Please submit a preliminary drop-off and pick-up plan (recommended by the transportation study). A finalized drop-off and pick-up plan will be required before issuance of the building permit. There isn't a discussion of loading hours during the morning drop-off for the summer camp. Please discuss morning loading hours (for the summer or year-round). Would the afternoon loading hours apply year-round? There is a typo on page 2; the summer camp is mentioned in the paragraph on the afterschool program.

[Response: Revised preliminary drop-off and pick-up plan is included.](#)



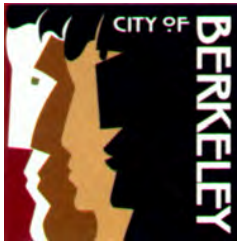
Parks, Recreation & Waterfront Department

Sincerely,

A handwritten signature in blue ink, appearing to read "Wendy Wellbrock", with a long horizontal flourish extending to the right.

---

Wendy Wellbrock, Associate Civil Engineer  
City of Berkeley Parks, Recreation and Waterfront



Parks, Recreation and  
Waterfront Department

## Applicant Statement

### Application for Use Permit, Administrative Use Permit, and Variance Willard Clubhouse and Restroom Replacement Project

#### **Project Overview and Intent**

The Willard Clubhouse in its current condition is difficult to maintain and needs various upgrades and facility improvements to be able to meet current building codes and the City's sustainability and resiliency goals. The community has expressed that the Willard Clubhouse is long overdue for an update to meet the evolving needs of the entire community.

The size and condition of the current building limits the type of programming that can be offered at the site. The Department of Parks, Recreation & Waterfront could provide more stable and reliable childcare options for participating and waitlisted families and a larger, flexible facility will support a multitude of programming options for the Berkeley community and foster positive community engagements.

The Use Permit specifically applies to the following project elements: demolition of an existing non-residential building, and construction of a new community center.

Willard Clubhouse is located on a 111,015 square feet parcel, or just over 2.5 acres and is located in the R-2 Restricted Two-Family Residential District. The proposed Willard Clubhouse and Restroom Replacement Project would demolish the existing Clubhouse building (approximately 565 SF in size), and an existing public restroom (approximately 114 SF in size) to allow room for a new 3,301 SF community center and outdoor patio adjacent to the building.

The Administrative Use Permit specifically applies to the following project element: construction of an accessory public restroom structure.

The community and City recreation staff have strongly expressed that the public restrooms be relocated to a different area of the park. To promote safety and sanitation for family and park users, the proposed restrooms will be fully accessible with two gender neutral stalls and doors that can automatically lock during off-hours.

The proposed location of the new 198 SF public restroom is tucked between the tennis courts and a gently sloping lawn where it is visible to the general public, centrally located within the

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

park, and easily accessible for cleaning and maintenance. The existing public restroom is located to the east of the Clubhouse along Hillegass Avenue. It is a single-stall restroom with an open roof. It does not have a door, but a chain that people can use for privacy and to indicate that the restroom is in use. Additionally, there is a gate to lock the restroom during non-park hours.

A variance is requested to construct the new community center 16 feet from the rear property line where a minimum setback of 20 feet is required, and a variance is requested to not provide off-street parking. The proposed findings for both variances are located later in this statement.

### **Project Update**

Since our previous submittal for entitlements on June 9, 2022, we have made several changes to the design of the proposed project. These were in response to the escalation of construction costs that resulted from the COVID pandemic, other world events, and the resulting supply chain issues.

Since the time of the initial conceptual estimate, construction costs have increased at an annual rate of approximately 15% per year, and this is anticipated to continue to increase by approximately 10%, from now until the proposed time of construction for the project.

In response to the unanticipated cost increase, the proposed Clubhouse has been reduced in size and scope. The revised design reduces the building area from 4,200 SF to 3,285 SF. In lieu of three community rooms, comprising approximately 2,360 SF of activity space, the new community building will include one, divisible community room comprising approximately 1,700 SF. All other features will remain.

The revised design provides an opportunity to create a multi-purpose outdoor plaza to the east of the building, similar in size to the existing outdoor plaza that is currently to the west of the building. In order to increase visibility of the new outdoor plaza from the park and Hillegass Avenue, the building has been rotated 180 degrees, placing the large community room adjacent outdoor plaza to the east. The new building configuration and design also maintains adequate separation and stays clear from the dripline of the existing coast live oak and redwood trees.

The transitional area between the main entry into the building and the park pathway has been slightly modified. A code compliant slope parallels the front of the building from the east to the entrance into the building, and stairs will connect the lower path to the entry area. Terraced planters will make up the grade transition on both sides of the stairs, creating a gentle transition from the park to the building.

To summarize, the three main changes to the Clubhouse design are as follows:

1. Approximately 25% reduction in the area of the building
2. Rotation of the building configuration by 180 degrees



Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

3. Addition of a new accessible outdoor patio on the east end of the building, fully visible from the park and Hillegass Ave.

### **23.406.050(F) Findings for Variance Approval**

#### **Setback Variance**

The City is requesting a variance to reduce the rear yard setback for the new community center from the minimum required 20' to 16'.

*(a) There are exceptional circumstances applying to the property which do not apply generally in the same district.*

*(b) The Variance is necessary to preserve a substantial property right.*

Willard Park is the only City park in District 7 and Willard Clubhouse is the only community center serving Districts 7 and 8. The park has the largest public open space area in Districts 7 and 8. It has long been a staple of Berkeley's after-school and summer day camp programs. Each program serves a maximum of 45 elementary school aged children, and enrollment for programs quickly reaches the maximum capacity every year with a typical waitlist of approximately 25 children. Occupancy of the existing clubhouse is limited, therefore in order to accommodate 45 children, staff makes use of the adjacent patio, as well as the expansive open space area. A new community center will meet the needs of the current programs and allow the City to expand opportunities to accommodate families who need affordable and quality childcare and recreation programs.

The variance is requested to preserve public open space at the park. The most widely expressed concern from the community is losing any substantial amount of the large open lawn area in the park. The current location of the Clubhouse is the optimal location on the parcel for the new community center. Utilizing the current location and the existing adjacent outdoor patio minimizes impacts to all other areas and uses on the parcel including and most importantly the open space. The open lawn area is located directly to the north, and the coast live oak and redwood trees have large canopies located to the south and east. The variance would preserve the maximum amount of open space while maintaining adequate spacing between the new building, adjacent properties and existing heritage trees.

A means of egress will be provided in the rear yard for the new community center, however the rear yard is not currently or proposed to be used for programmatic purposes. The site slopes down to the southwest, and creation of any usable area would require extensive retaining walls. The remainder of the rear and side yard space to the south and west property lines will be landscaped.

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

*(c) The Variance will not adversely affect the health or safety of persons residing or working near the property.*

The variance will not impact either the health or safety of persons residing or working near the property. Its principal impact is to minimize the intrusion of the new walkways that front the new community center to the north and into the open space area.

*(d) The Variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements.*

The variance will not impinge on the neighboring properties. The proposed building is one-story, set at a level several feet lower than the adjacent 2-story buildings to the south, so the occupants of the new building would not look into the neighboring windows. Furthermore, the proposed building is located directly north of the adjacent properties, so shadows will be cast in directions going away from the adjacent properties and will not increase shading.

*(e) The Variance will promote the municipal health, welfare, and safety and benefit the city as a whole.*

*(f) Any other Variance findings required by Zoning Ordinance can be made.*

The proposed variance will promote the municipal health and welfare opportunities more equitably around the City and benefit the City and its residents as a whole. The City's affordable afterschool and summer childcare programs offered at this site are open to residents from throughout the City. However, enrollment capacity is constrained by the limited availability of indoor activity space in the existing Clubhouse. A new, larger community center in the current location will maintain the integrity of Willard Park and allow the City to expand programming and also offer a wide range of programs for residents of all ages and abilities.

Willard Park is home to a large number of heritage trees which are both tall and widespread, and these have become the foreground views of the existing homes. The sunset views from Willard Park are to the northwest and best viewed from the center of the open lawn area, which will not be impacted by the variance.

### **Parking Variance**

The City is requesting a variance to allow the new community center to be constructed without the addition of any new off-street parking spaces.

*(a) There are exceptional circumstances applying to the property which do not apply generally in the same district.*

*(b) The Variance is necessary to preserve a substantial property right.*

The existing Willard Clubhouse is not provided with any off-site parking, and the proposed new design does not include the provision of any new spaces. There is on-street parking available on the Derby Street which borders the park to the north and Hillegass Avenue which borders

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

the park to the east. There is a designated drop-off zone and accessible parking space provided directly to the east of the building on Hillegass Ave.

The parcel consists primarily of a large open lawn area with clusters of heritage trees, and the site for the proposed Willard Clubhouse is in the southeast corner of the existing Willard Park. With the closure of People's Park, this is the only park serving District 7. It is located within walking distance of many residents who frequently use the park. Many children are bused from BUSD elementary schools to the afterschool program at the site. The BUSD bus drop off times are staggered, and the children are later picked up by parents and caregivers, some of whom do drive to the site, at staggered times.

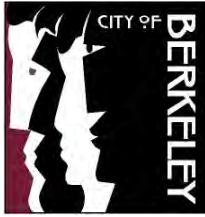
*(c) The Variance will not adversely affect the health or safety of persons residing or working near the property.*

*(d) The Variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements.*

*(e) The Variance will promote the municipal health, welfare, and safety and benefit the city as a whole.*

*(f) Any other Variance findings required by Zoning Ordinance can be made.*

The proposed variance will not adversely affect the health or safety of people living or working near the parcel, or cause detriment to the public welfare. Rather, the variance would be beneficial to the community because in order to add parking spaces, the public open space will have to be reduced. Adding parking spaces would in fact have a detrimental impact on all who use the park for any purposes.



Department of Parks, Recreation, and Waterfront

**STUDENT DROP-OFF & PICK-UP MANAGEMENT PLAN**

**Property Information**

Project Address: Willard Clubhouse  
2720 Hillegass Avenue  
Berkeley, CA 94705

**Project Description**

PROJECT FEATURES	EXISTING	PROPOSED MAXIMUM AT BUILD OUT
Number of Students	45	60
Number of Staff	5	7
Number and Linear Feet of Off-and-On-Street Passenger Loading Spaces	0	One 60' passenger loading space

**Drop-Off & Pick-Up Management Information**

Describe morning and afternoon drop-off and pick-up operations and activities, including to the extent applicable: number and age of students dropped off by time window (e.g., 8:00-8:15 AM or 3:00-3:15 PM), persons available to assist with pick-up (e.g., staff, parents, students), and any associated vehicles (e.g., vans, buses).

The City of Berkeley Recreation Division offers a summer camp program at the Willard Clubhouse for elementary school age (TK-5<sup>th</sup>) children that runs during the months of June, July and August. The program typically enrolls up to 45 children with 5 staff from 7:30 AM-6:00 PM. With the new, larger Clubhouse, the summer camp program is expected to serve up to 60 children with 7 staff. Many of the children will walk with a caregiver to the site for drop-off between 7:15 AM – 7:30 AM. Others will be dropped off by vehicles with drivers utilizing available on-street parking. Children are picked up at various times by caregivers either by walking or by vehicles. Staff will be stationed at the site to check students in during morning drop-off and out during afternoon pick-up.

The City of Berkeley Recreation Division offers an afterschool program at the Willard Clubhouse for elementary school age (TK-5<sup>th</sup>) children that runs during the school year. The program typically enrolls up to 45 children with 5 staff from 1:30 PM-6:00 PM. With the new, larger Clubhouse, the afterschool program is expected to serve up to 60 children with 7 staff. The majority of children will be bussed to the site from local elementary schools, and picked up at various times by caregivers. Staff will be stationed at the site to check students in during drop-off and out during afternoon pick-up.

The project is proposing to provide a dedicated 60' passenger loading zone on Monday-Friday from 7 AM – 8 AM and 1 PM – 6 PM on Hillegass Avenue next to the Clubhouse to accommodate a school bus and vehicles during drop-off and pick up.

What other transportation-related measures would the facility take for efficient and safe travel for children, families, and staff during drop off and pick up?

Bicycle Parking for Staff and the Public  
Commuter Benefit Program for Staff



# PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704  
 Tel: 510.981.7410 TDD: 510.981.6903 Email: Planning@CityofBerkeley.info

## TABULATION FORM

Project Address: \_\_\_\_\_ Date: \_\_\_\_\_

Applicant's Name: \_\_\_\_\_

Zoning District: \_\_\_\_\_

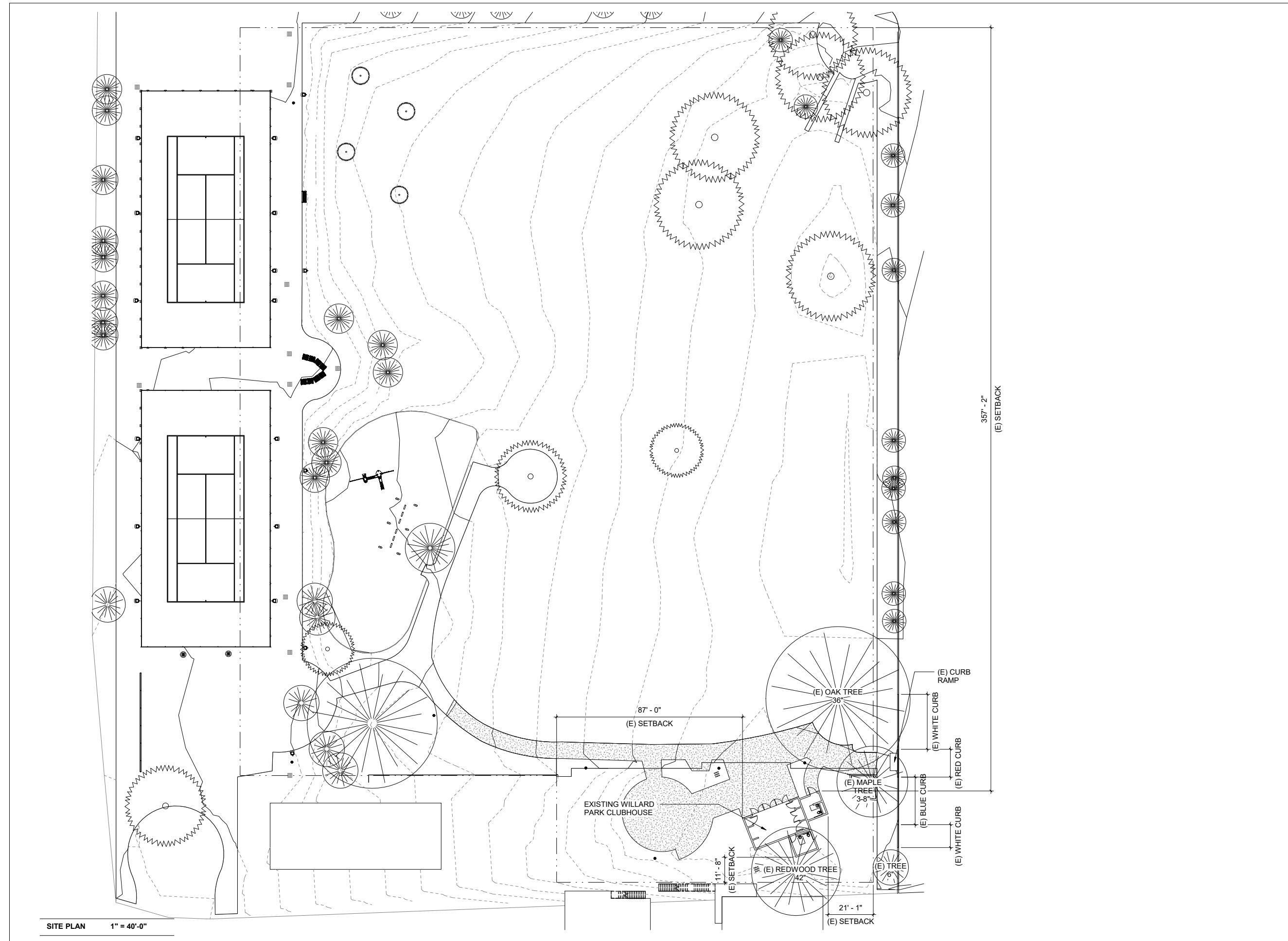
Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required<sup>1</sup></i>
<b>Units, Parking Spaces &amp; Bedrooms</b>			
Number of Dwelling Units (#)			
Number of Parking Spaces (#)			
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)			
<b>Yards and Height</b>			
Front Yard Setback (Feet)			
Side Yard Setbacks: (facing property)			
Left: (Feet)			
Right: (Feet)			
Rear Yard Setback (Feet)			
Building Height* (# Stories)			
Average* (Feet)			
Maximum* (Feet)			
<b>Areas</b>			
Lot Area (Square-Feet)		118,500	
Gross Floor Area* (Square-Feet) Total Area Covered by All Floors			
Building Footprint* (Square-Feet) Total of All Structures			
Lot Coverage* (%) Residential only (Building Footprint/Lot Area)			
Useable Open Space* (Square-Feet)			
Floor Area Ratio* Non-Residential only (Except ES-R)			

\*See Definitions – Zoning Ordinance Title 23F.

Revised: 11/19

<sup>1</sup> See development standards for your Zoning District, per the Berkeley Municipal Code, Sub-Titles 23D and 23E  
 g:\landuse\forms & instructions\land use planning forms\word files\forms\_zoning project application\zoning project application\_tabulation form.docx



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urban design  
2040 Addison St, Berkeley, CA 94704  
510.549.2929 | elsarch.com

PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
01/26/2023

STAMP:



SHEET TITLE:  
**EXISTING SITE PLAN**

SHEET NUMBER:  
**Z2-A1**

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2040 Addison St, Berkeley, CA 94704  
510.549.2929 | elsarch.com

PROJECT:

**WILLARD PARK  
CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:

ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:

201320.27

CLIENT:

**CITY OF BERKELEY**  
1947 CENTER  
STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:

**ARCHITECT:**  
ELS ARCHITECTURE AND  
URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

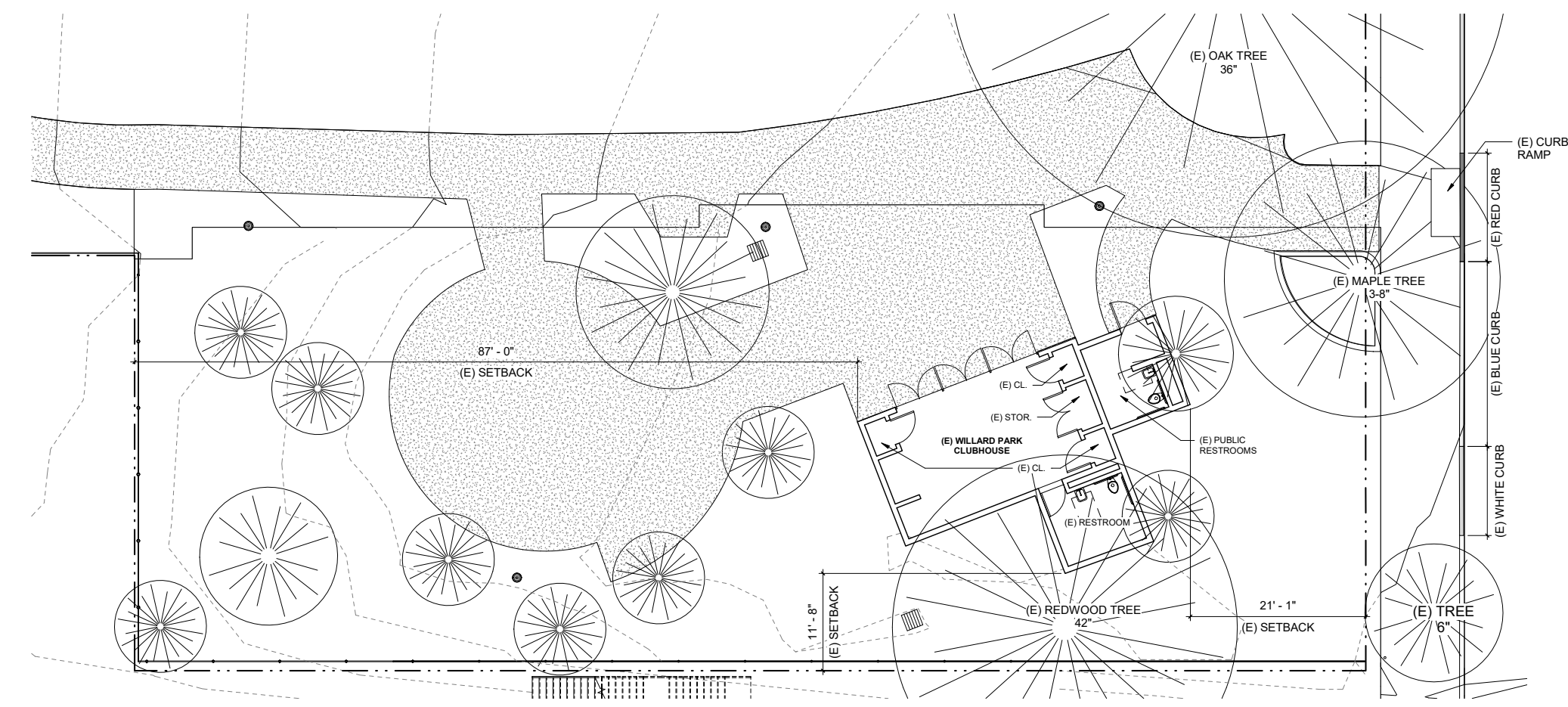
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01/26/2023

STAMP:



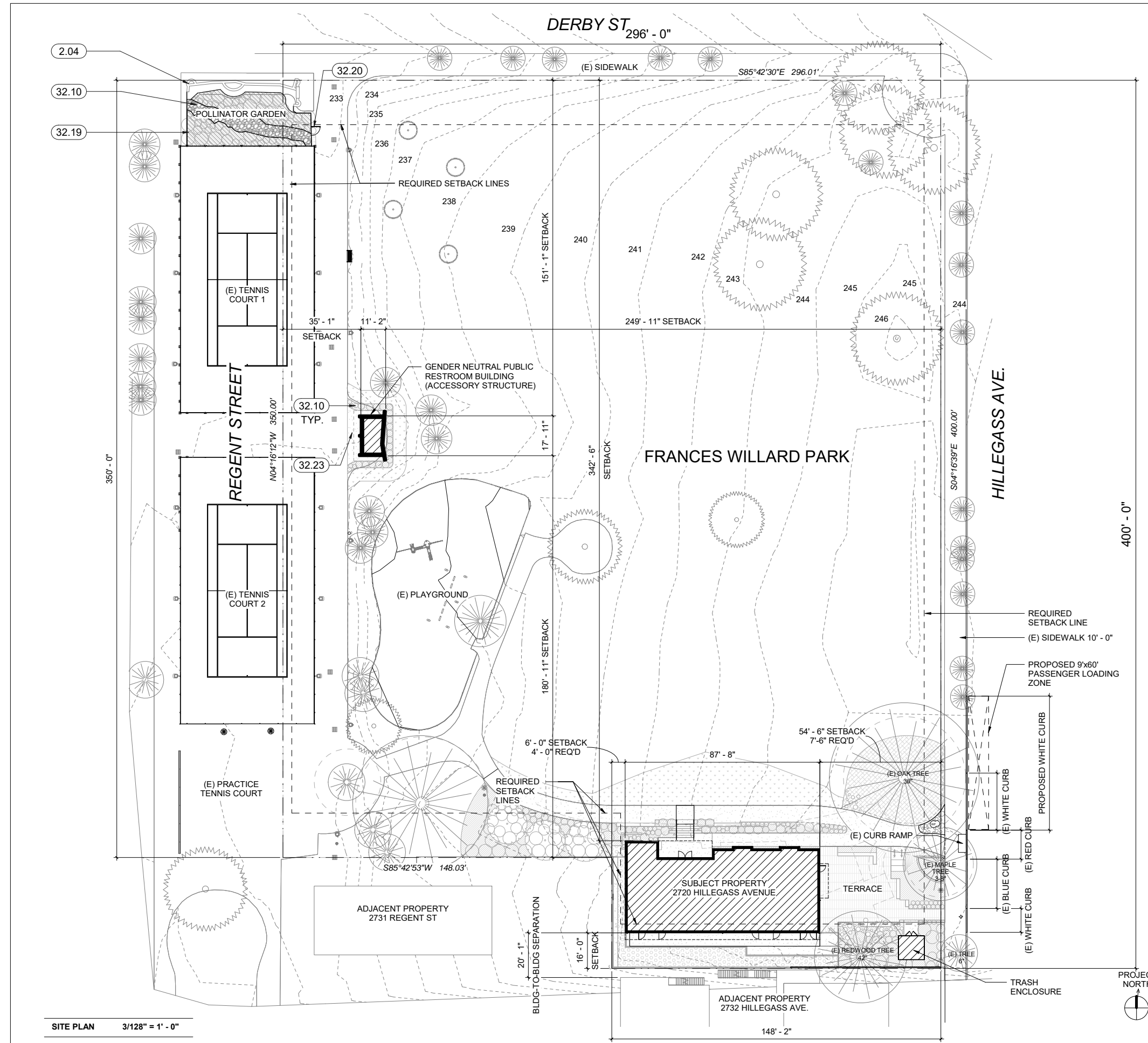
SHEET TITLE:  
**EXISTING  
FLOOR PLAN**

SHEET NUMBER:  
**Z2-A2**



1 EXISTING FLOOR PLAN  
1/16" = 1' - 0"





SITE PLAN 3/128" = 1' - 0"

KEYNOTE LEGEND - ZONING	
2.04	(E) DECORATIVE "POTTERS" WALL
32.10	PLANTING, S.L.D.
32.19	3'-0" HIGH CHAIN LINK FENCE, S.L.D.
32.20	3'-0" HIGH CHAIN LINK GATE, S.L.D.
32.23	PROVIDE PAVING

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**WILLARD PARK CLUBHOUSE**  
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1947 CENTER STREET, 4TH FL,  
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PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION		
NUMBER	DATE	DESCRIPTION

GROSS FLOOR AREA SF		
	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,301 SF	3,499 SF
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**01/26/2023**

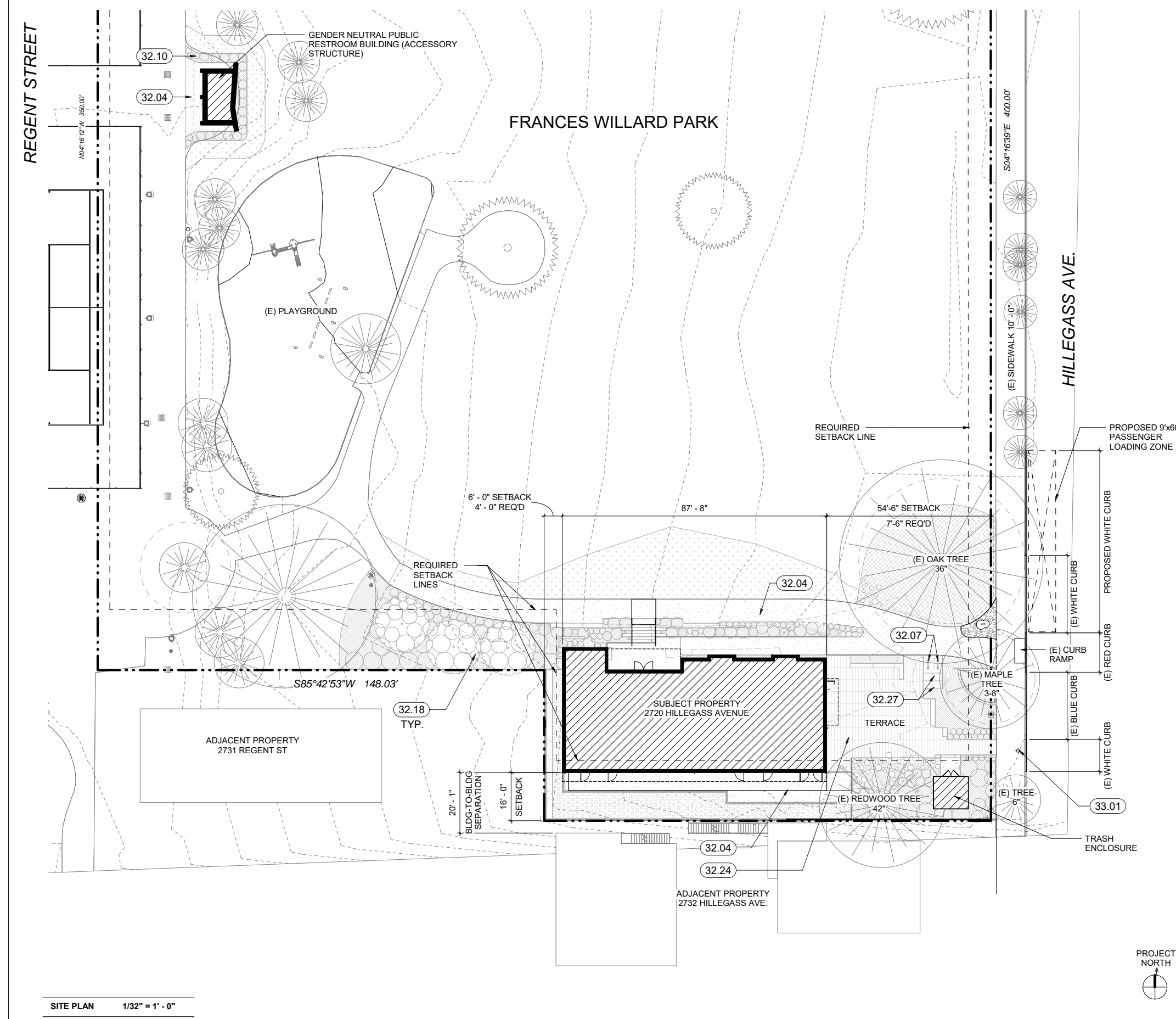
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SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**Z2-A3**

LEGEND	
	PROPERTY LINE
	EXISTING TOPOGRAPHY LINE
	PROPOSED TOPOGRAPHY LINE
	EXISTING ITEM TO REMAIN AND BE PROTECTED
	PROPOSED ITEM
	EXISTING TREE TO REMAIN AND BE PROTECTED
	PROPOSED TREE



**KEYNOTE LEGEND - ZONING**

32.04	CONCRETE PAVING, S.L.D.
32.07	BICYCLE RACKS, S.L.D.
32.10	PLANTING, S.L.D.
32.18	PROPOSED TREE, S.L.D.
32.24	PERMEABLE PAVERS, S.L.D.
32.27	LONG-TERM BIKE LOCKERS, S.L.D.
33.01	FIRE HYDRANT, S.C.D.

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1947 CENTER STREET, 4TH FL,  
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**PROJECT TEAM:**  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

**REVISION**

NUMBER	DATE	DESCRIPTION

**GROSS FLOOR AREA SF**

	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,301 SF	3,499 SF
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	

**ISSUE:**  
**ZONING SUBMITTAL**

**DATE:**  
**01/26/2023**

**STAMP:**



**SHEET TITLE:**  
**ENLARGED SITE PLAN**

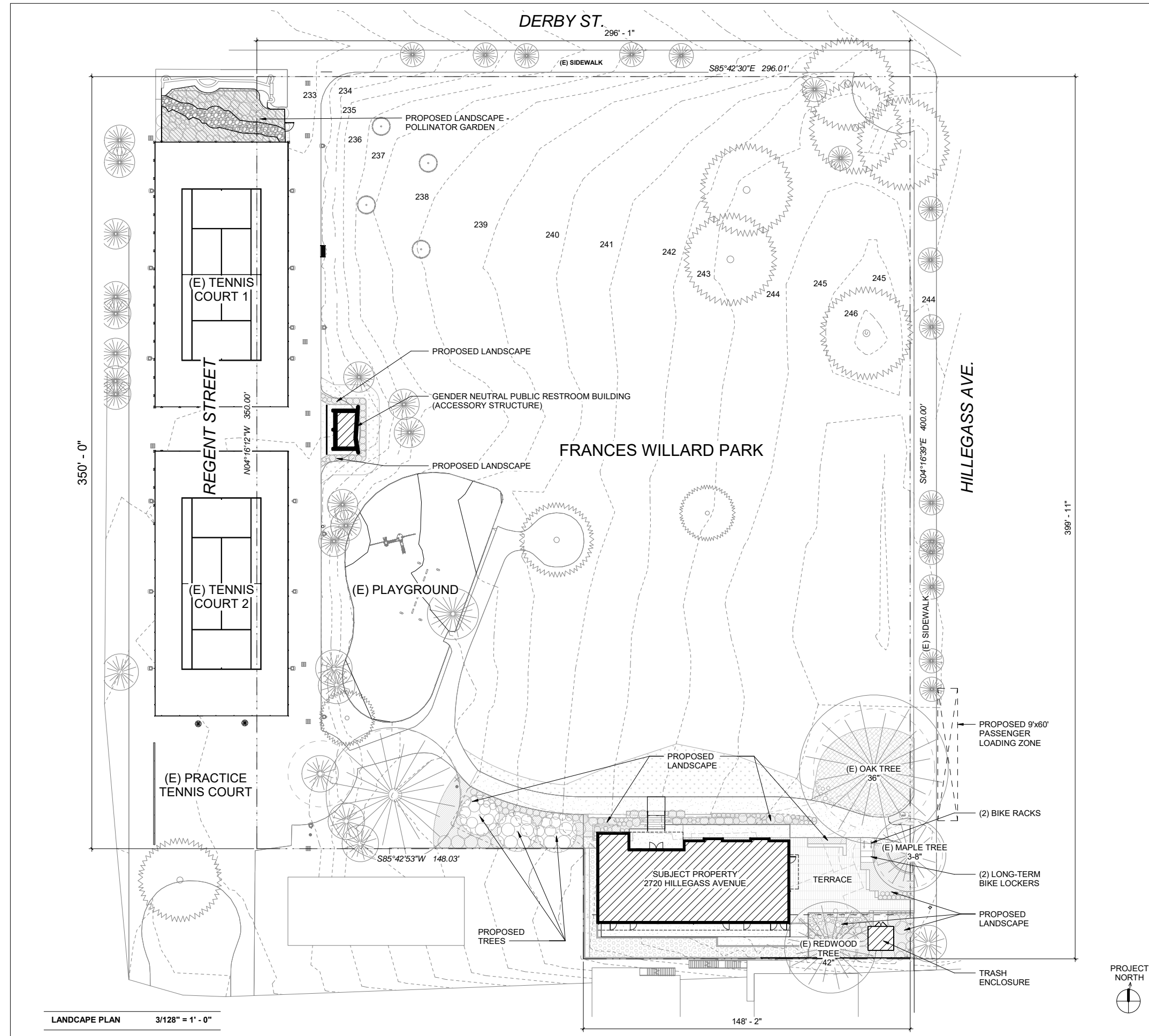
**SHEET NUMBER:**  
**Z2-A4**

**LEGEND**

	PROPERTY LINE
	EXISTING TOPOGRAPHY LINE
	PROPOSED TOPOGRAPHY LINE
	EXISTING ITEM TO REMAIN AND BE PROTECTED
	PROPOSED ITEM
	EXISTING TREE TO REMAIN AND BE PROTECTED
	PROPOSED TREE



**SITE PLAN** 1/32" = 1' - 0"



LANDSCAPE PLAN 3/128" = 1' - 0"

### LEGEND

- PROPERTY LINE
- - - - - EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REMAIN AND BE PROTECTED
- PROPOSED ITEM
- ⊙ EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE
- ▨ PROPOSED LANDSCAPE



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510.549.2929 | elsarch.com

PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
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Berkeley, CA 94704  
P: 510.549.2929

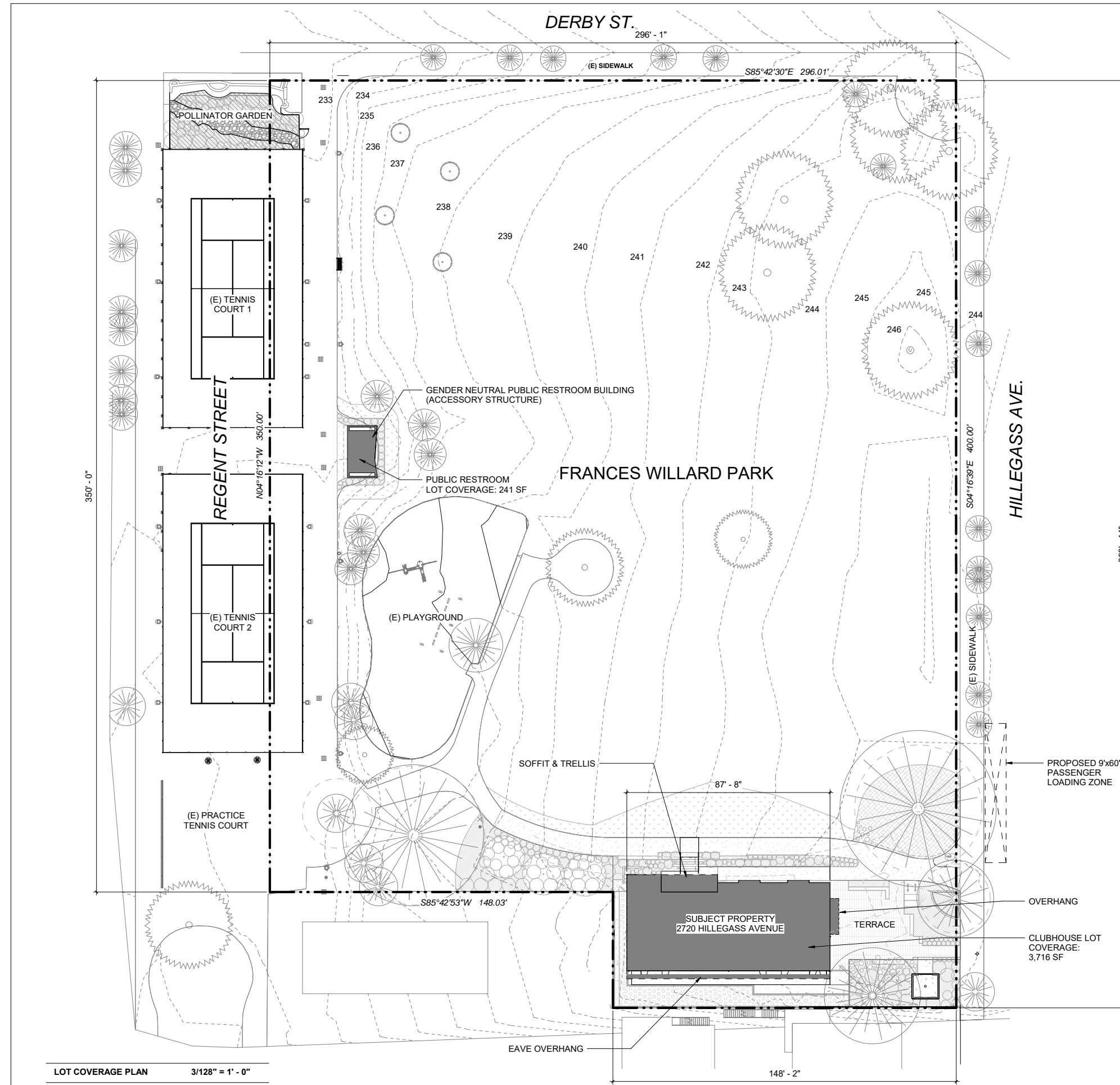
REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**  
DATE:  
**01/26/2023**  
STAMP:



SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**Z2-B**



LOT COVERAGE PLAN 3/128" = 1' - 0"

**LOT COVERAE:**

CLUBHOUSE:	3,716 SF
PUBLIC RESTROOM:	241 SF
<b>TOTAL:</b>	<b>3,957 SF</b>

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- LEGEND**
- PROPERTY LINE
  - - - - - EXISTING TOPOGRAPHY LINE
  - PROPOSED TOPOGRAPHY LINE
  - EXISTING ITEM TO REAMIN AND BE PROTECTED
  - PROPOSED ITEM
  - EXISTING TREE TO REMAIN AND BE PROTECTED
  - PROPOSED TREE
  - AREA COUNTING AS LOT COVERAGE - UP TO 18" OF EAVE OVERHANG IS EXCLUDED FROM LOT COVERAGE



**ISSUE:**  
**ZONING SUBMITTAL**

**DATE:**  
**01/26/2023**



**SHEET TITLE:**  
**LOT COVERAGE**

**SHEET NUMBER:**  
**Z2-C**

KEYNOTE LEGEND - ZONING	
6.05	QUARTZ COUNTERTOP WITH 4" BACKSPLASH
8.05	ALUMINUM FRAMED FOLDING GLASS STOREFRONT, REFER TO SPECS.
10.01	FOLDING PANEL PARTITION, MANUAL
22.01	DUAL HEIGHT DRINKING FOUNTAIN WITH BOTTLE FILLER, S.P.D. AND SHEET A020

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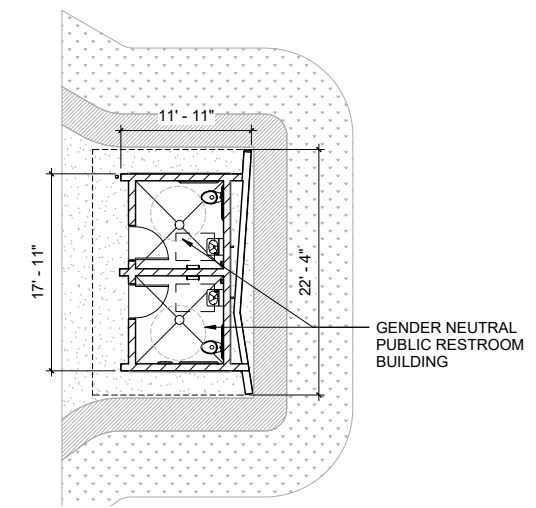
DATE:  
**01/26/2023**

STAMP:



SHEET TITLE:  
**FLOOR PLANS**

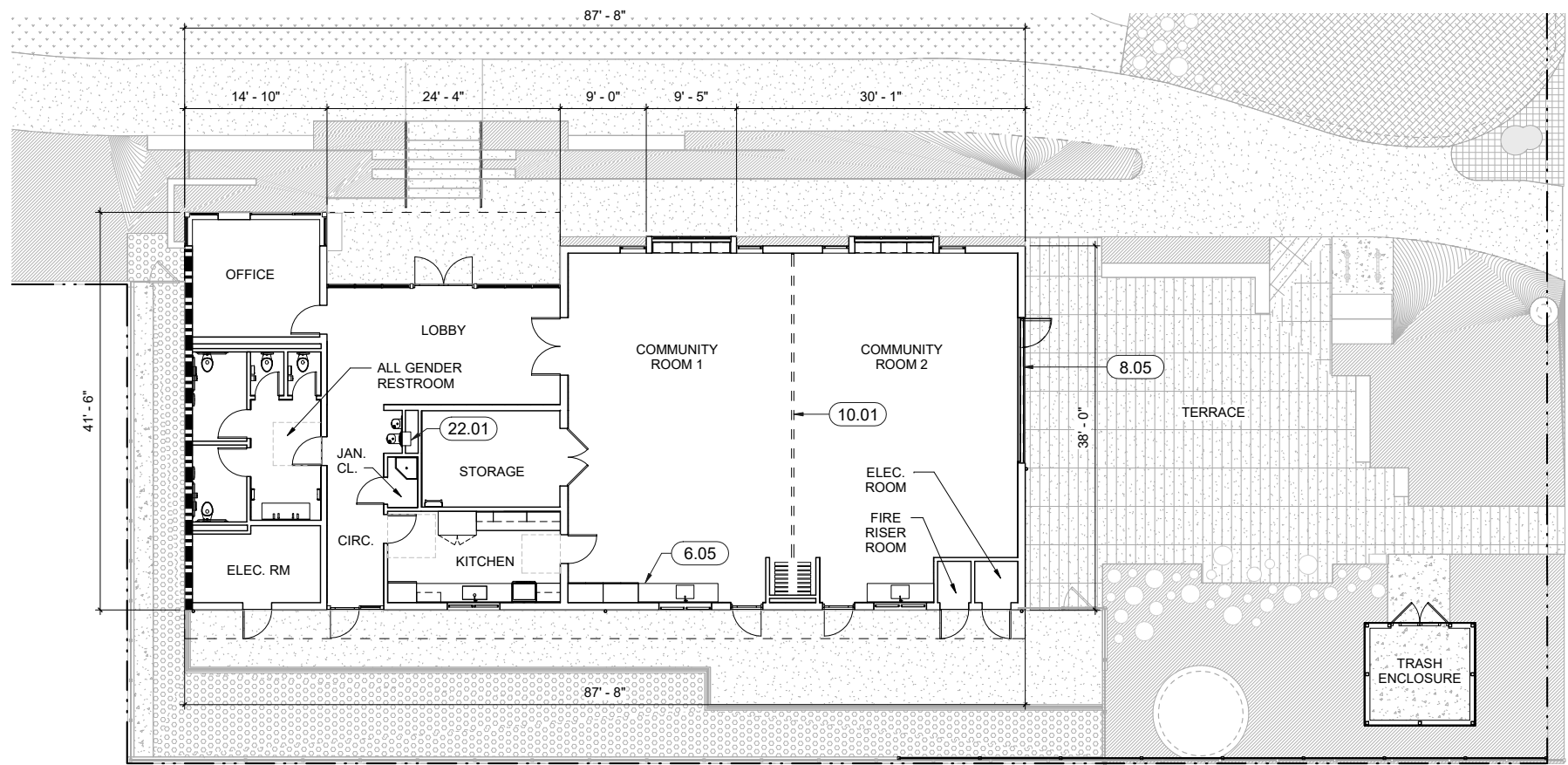
SHEET NUMBER:  
**Z2-D**



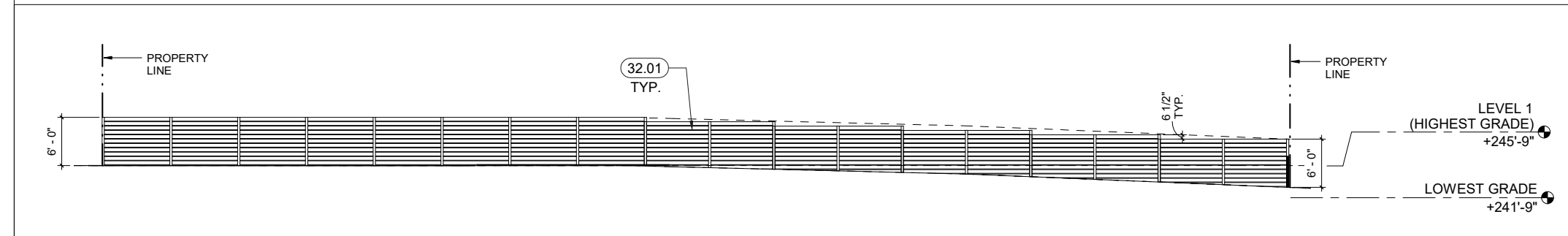
GENDER NEUTRAL PUBLIC RESTROOM BUILDING



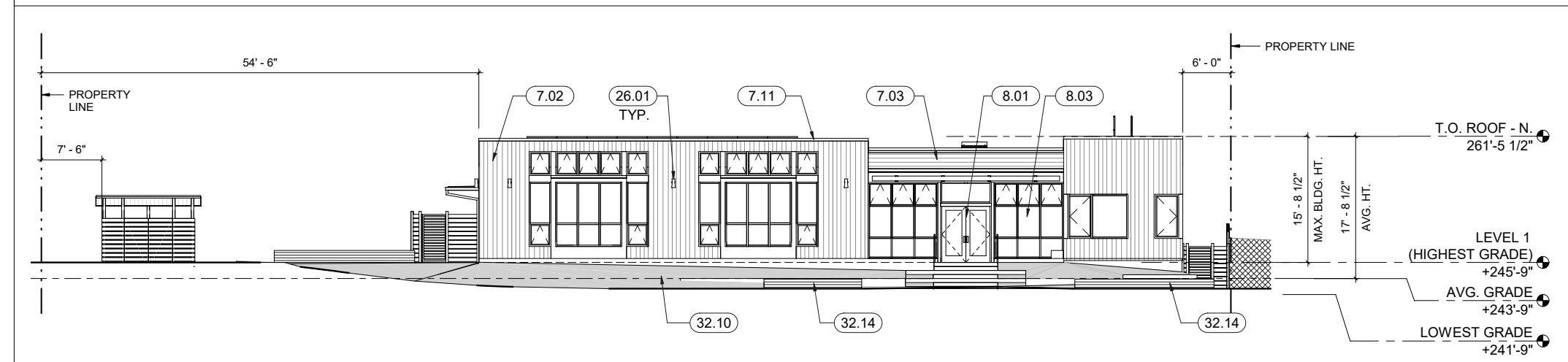
PUBLIC RESTROOM FLOOR PLAN 1/16" = 1' - 0"



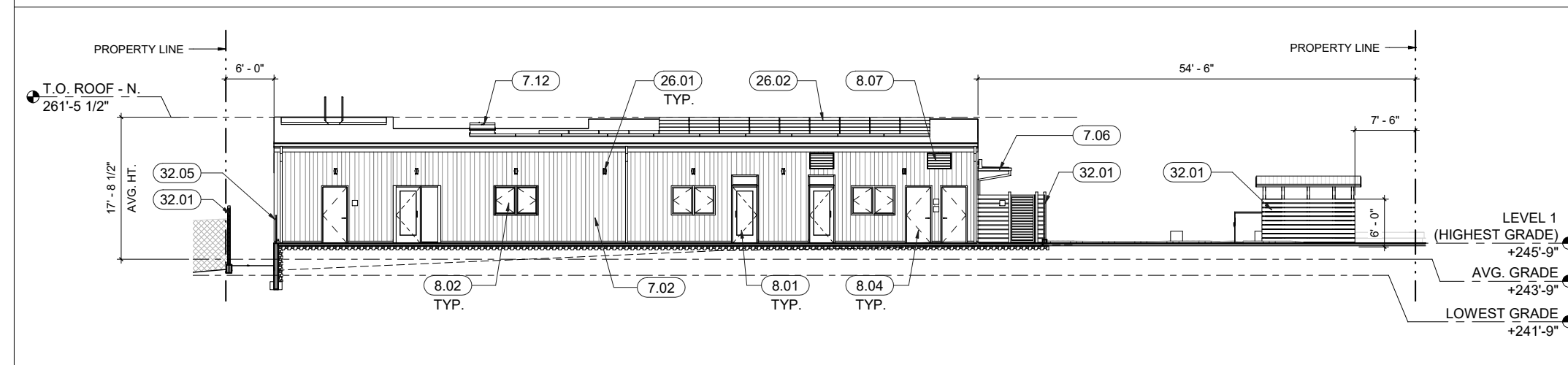
CLUBHOUSE FLOOR PLAN 1/16" = 1' - 0"



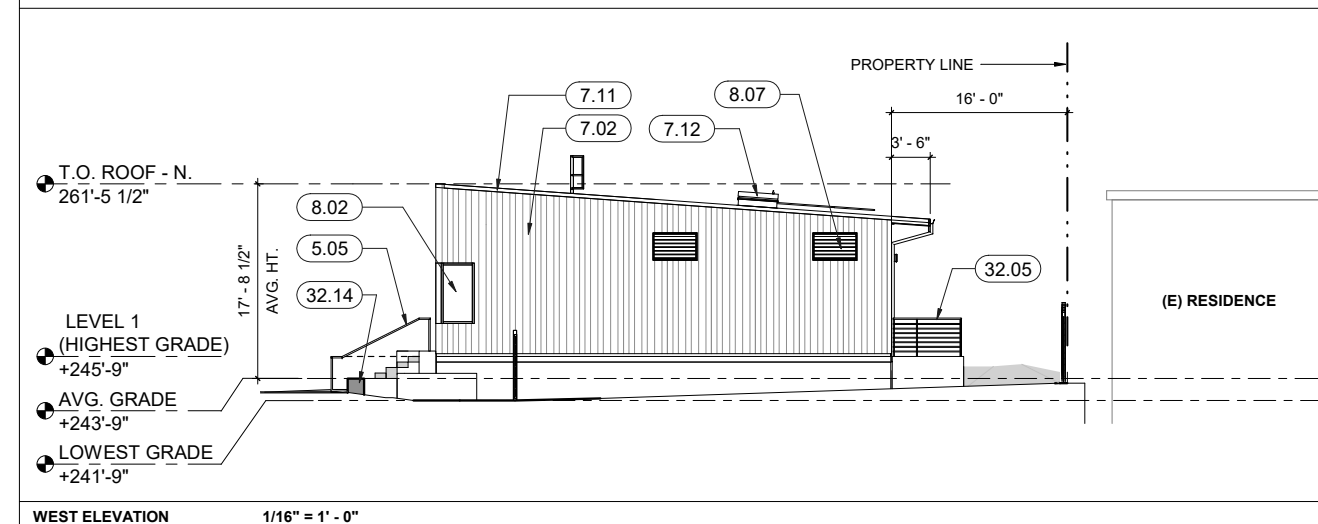
FENCE - NORTH ELEVATION 1/16" = 1' - 0"



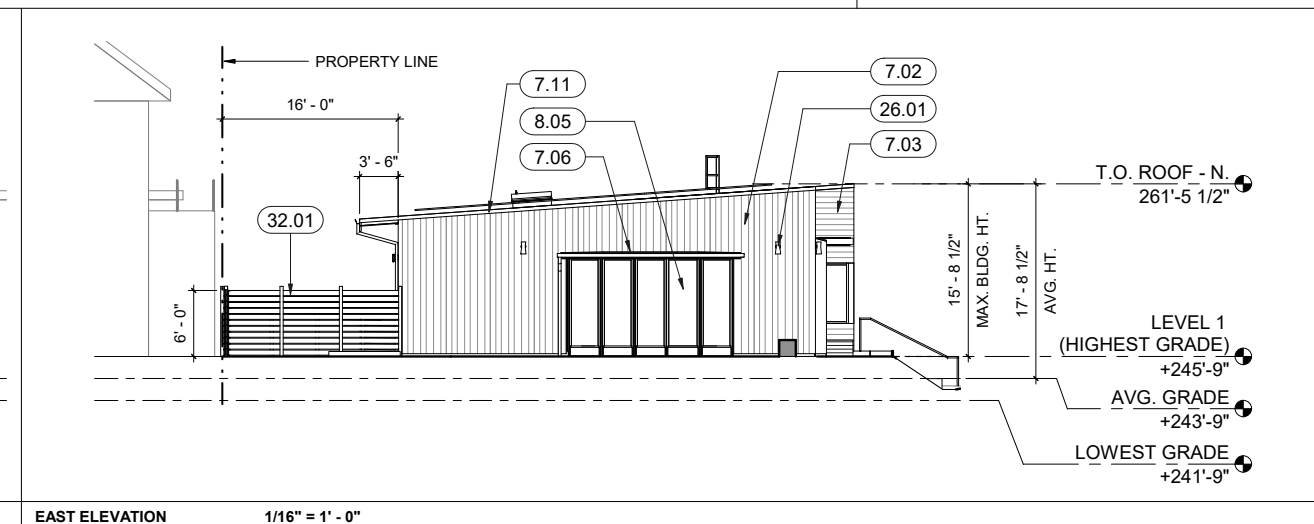
NORTH ELEVATION 1/16" = 1' - 0"



SOUTH ELEVATION 1/16" = 1' - 0"



WEST ELEVATION 1/16" = 1' - 0"



EAST ELEVATION 1/16" = 1' - 0"

KEYNOTE LEGEND - ZONING	
5.05	1 1/2" DIAMETER STEEL PIPE HANDRAIL, PTD, S.L.D.
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
7.06	S.S. GUTTER, PTD., CONNECT TO DOWNSPOUT
7.11	GALV. METAL COPING, PAINTED
7.12	ROOF HATCH, SEE DETAIL 11/A860
8.01	EXTERIOR WOOD & GLASS DOOR
8.02	ALUMINUM FRAMED WINDOWS
8.03	ALUMINUM FRAMED STOREFRONT SYSTEM
8.04	HOLLOW METAL DOOR
8.05	ALUMINUM FRAMED FOLDING GLASS STOREFRONT, REFER TO SPECS.
8.07	ALUM. WALL LOUVER, S.M.D.
26.01	WALL MOUNTED LIGHT FIXTURE, S.E.D.
26.02	PHOTOVOLTAIC SYSTEM, S.E.D.
32.01	1X6 TIMBER BOARD WOOD FENCE, SEE SPECS
32.05	METAL GUARDRAIL, S.L.D.
32.10	PLANTING, S.L.D.
32.14	CONCRETE SEAT WALL W/ WOOD TOP, S.L.D.

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OCCUPANCY: A-3, B, S-2

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CLIENT:  
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1947 CENTER STREET, 4TH FL,  
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PROJECT TEAM:  
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P: 510.549.2929

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DATE:  
**01/26/2023**



SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E1**

KEYNOTE LEGEND - ZONING	
3.02	CONCRETE CURB, S.S.D.
4.01	CONCRETE MASONRY UNIT, GROUND FACE, PAINTED
5.03	BRAKE METAL FASCIA, MATCH WINDOW FINISH
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
8.02	ALUMINUM FRAMED WINDOWS
8.04	HOLLOW METAL DOOR

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SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E2**

<p>PUBLIC RESTROOM - NORTH ELEVATION      1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - EAST ELEVATION      1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - WEST ELEVATION      1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - SOUTH ELEVATION      1/16" = 1' - 0"</p>



2734 HILLEGASS AVE

2732 HILLEGASS AVE

EXISTING CLUBHOUSE

WILLARD PARK

EXISTING CONDITION: STREET STRIP ELEVATION - EAST



2734 HILLEGASS AVE

2732 HILLEGASS AVE

CLUBHOUSE

WILLARD PARK

PROPOSED DESIGN: STREET STRIP ELEVATION - EAST 1/16" = 1' - 0"

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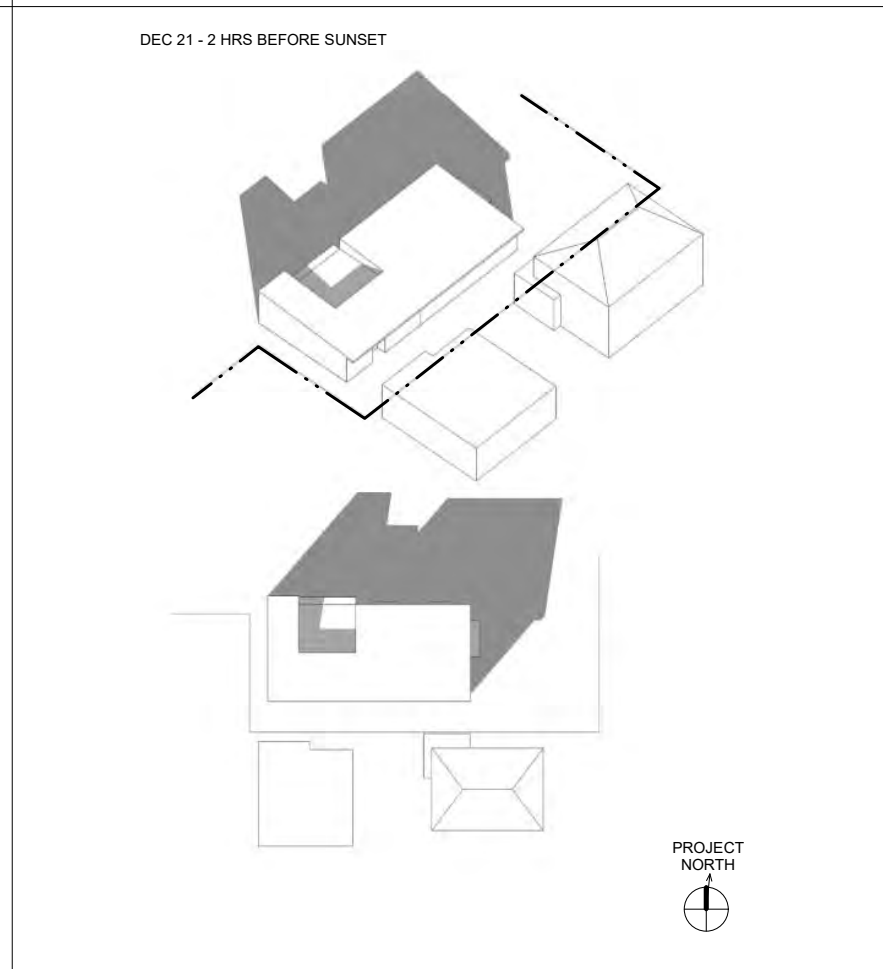
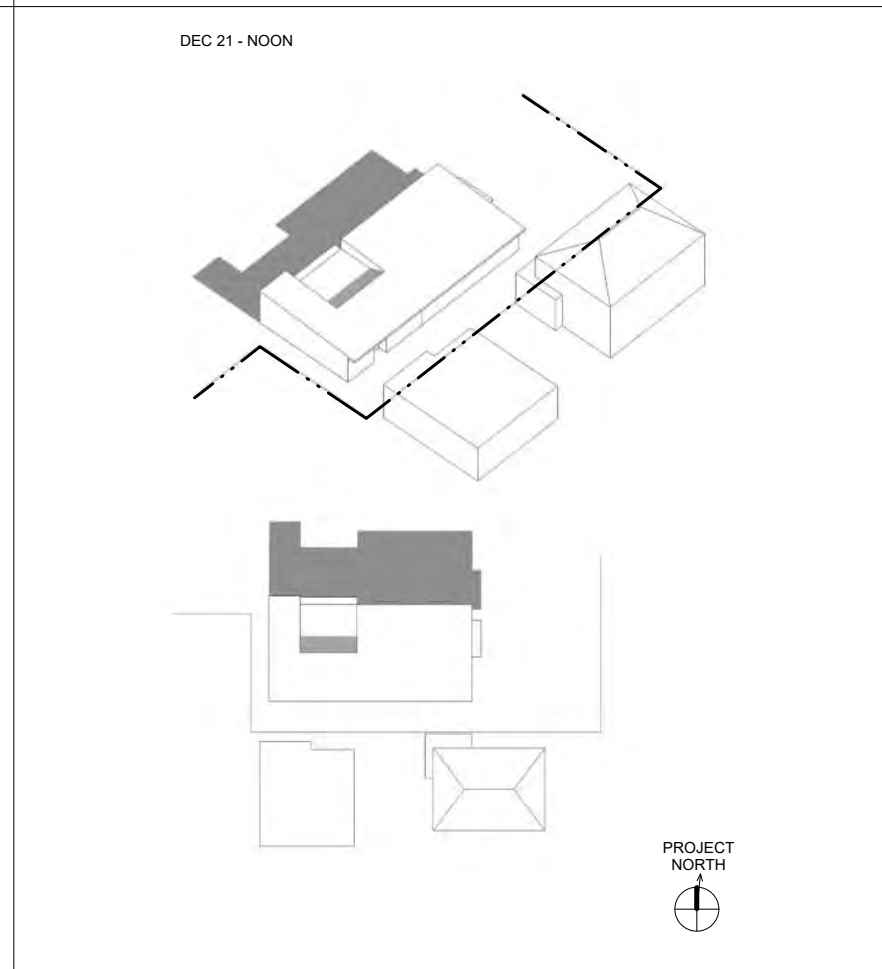
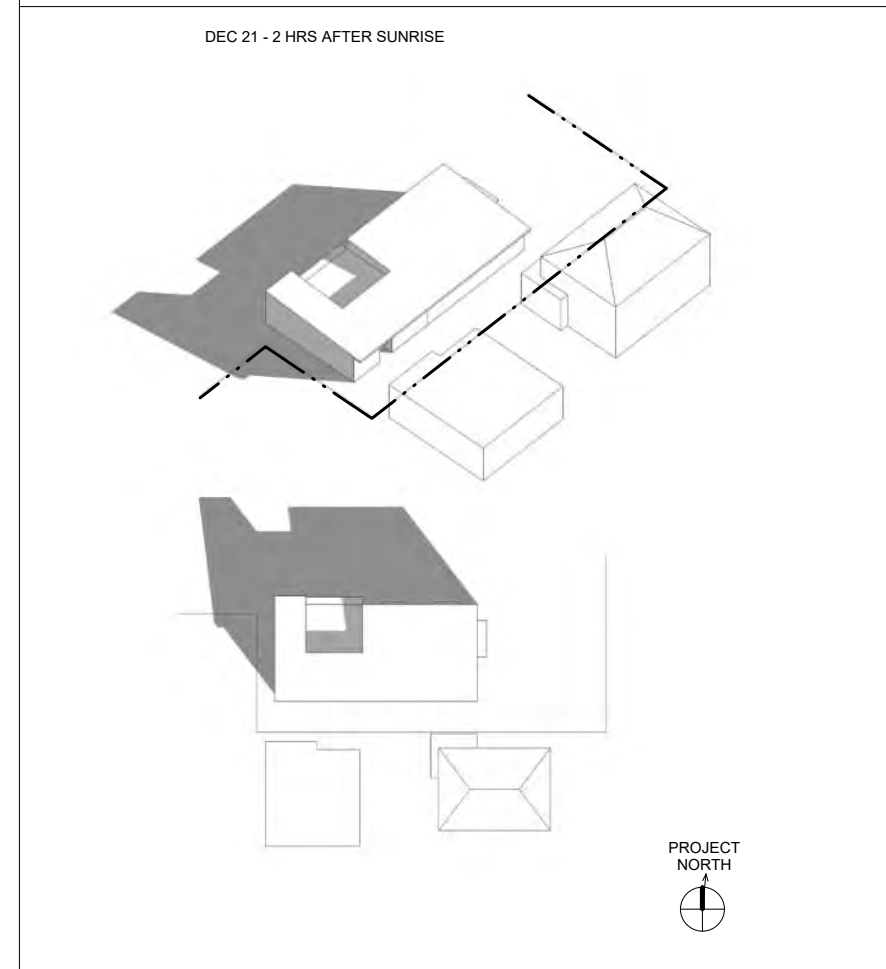
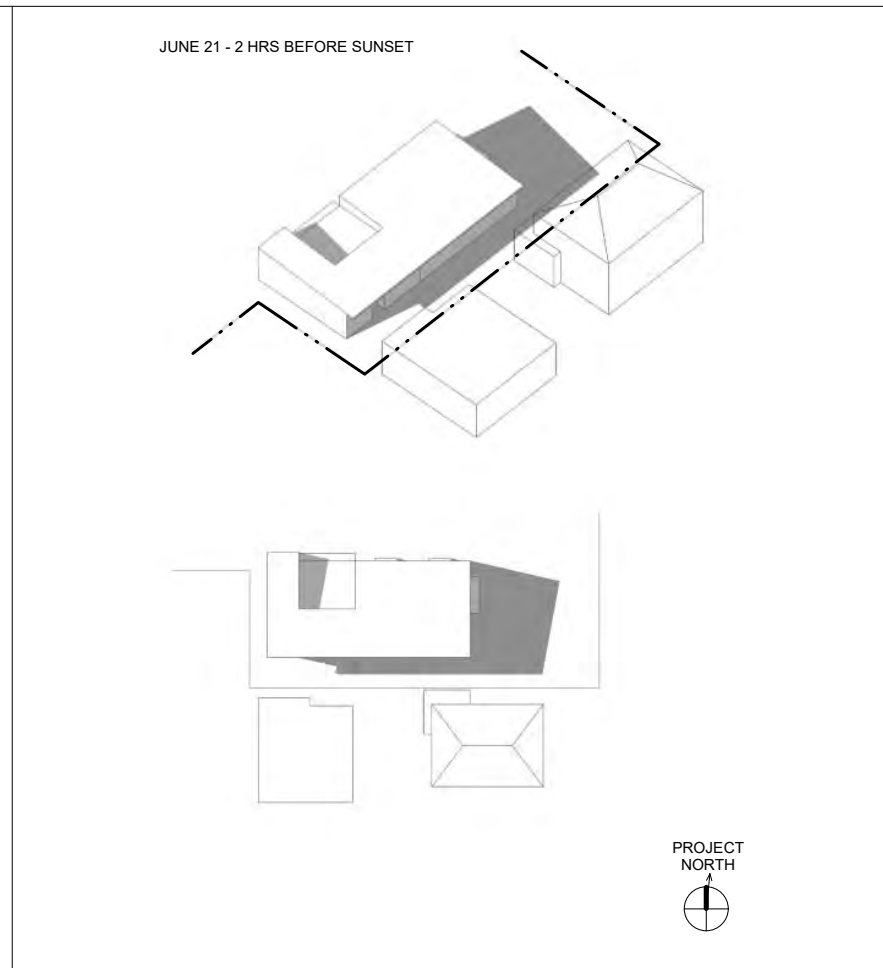
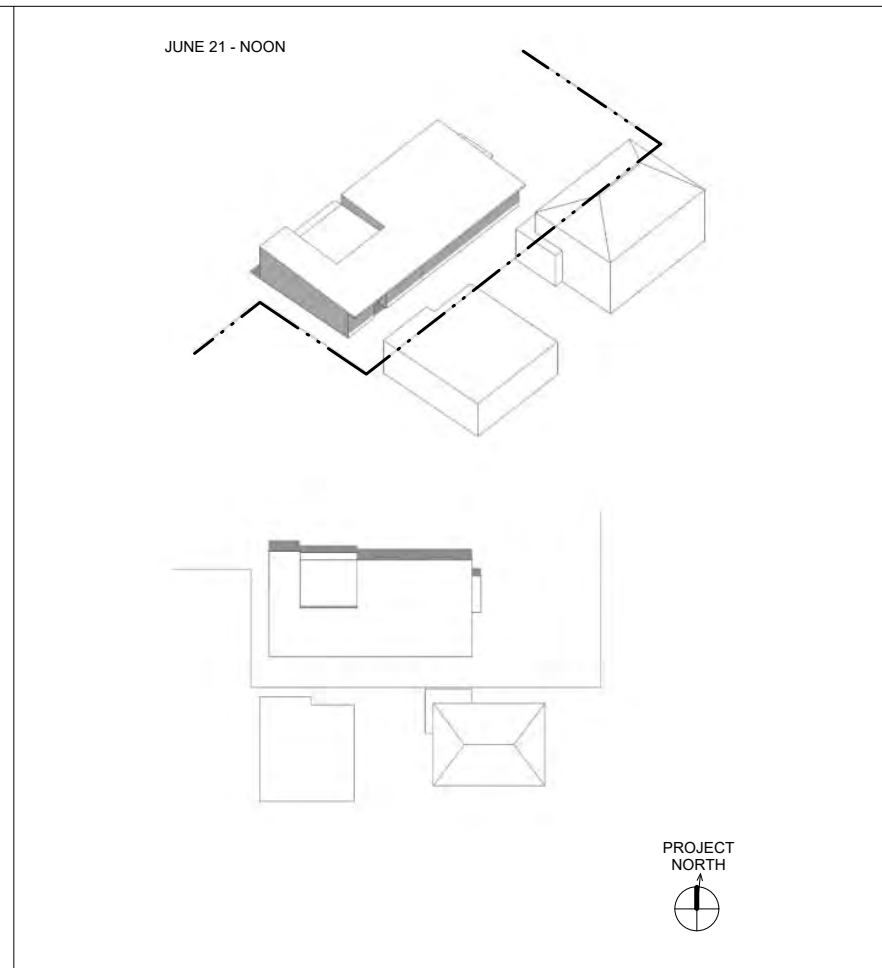
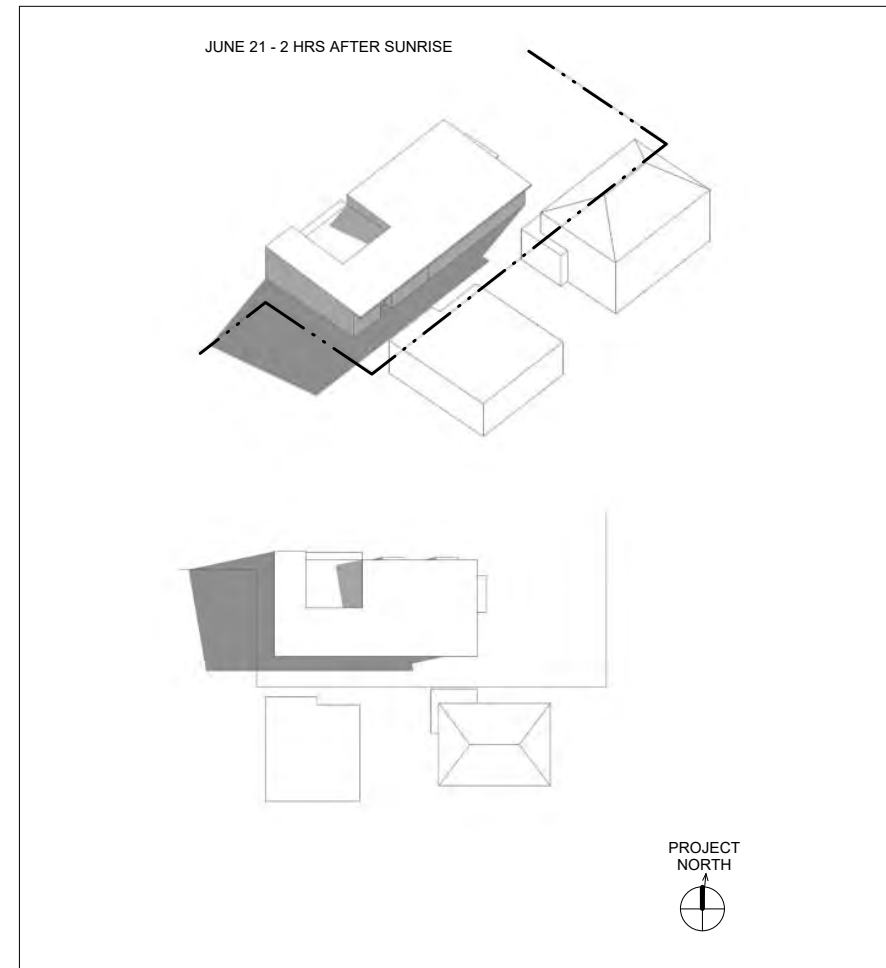
STAMP:



SHEET TITLE:  
**STREET STRIP ELEVATION**

SHEET NUMBER:  
**Z2-F1**





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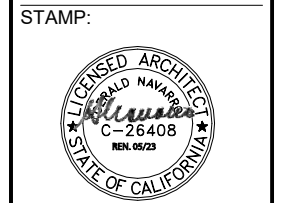
CLIENT:  
**CITY OF BERKELEY**  
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ARCHITECT:  
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REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**01/26/2023**



SHEET TITLE:  
**SHADOW STUDY**

SHEET NUMBER:  
**Z3-B**



Planning and Development Department  
Land Use Planning Division

March 6, 2023

Evelyn Chan  
City of Berkeley  
1947 Center Street, 5<sup>th</sup> Floor  
Berkeley, CA

Sent via email:  
[echan@cityofberkeley.info](mailto:echan@cityofberkeley.info)

Re: Variance #ZP2022-0095 for 2720 Hilegass

Dear Evelyn Chan,

On June 9, 2022 you submitted an application for a use permit to demolish the existing clubhouse and restroom, construct a 3,285 square-foot community center with a variance for a rear setback of 16 feet where 20 feet is required, and a new restroom. Based on my review, the following permits are needed for your project:

1. Variance pursuant to Berkeley Municipal Code (BMC) Section 23.406.050 to allow a rear setback of 16 feet where 20 feet is required.
2. Variance pursuant to Berkeley Municipal Code (BMC) Section 23.406.050 to provide no off-street parking for a community center.
3. Use Permit pursuant to BMC Section 23.326.070(A) to demolish a non-residential main building.
4. Use Permit pursuant to BMC Section 23.202.020(A) to construct a new community center.
5. Administrative Use Permit pursuant to BMC Section 23.304.060(C)(1) to add an accessory building (restroom).

I have reviewed your January 31, 2023 resubmittal package and determined that your application is incomplete and the following items are needed to complete our review of your application:

1. Site Plan: Per comments from the City's Traffic Engineer, update the plans to show the existing red curb, blue curb, curb ramp, and any existing white curb in the existing and proposed site plans. **Please dimension the lengths of the different colored curbs on sheets Z2-A1-A4.**

Advisory Comments

1. Drop-off and Pick-up Plan: The City's Traffic Engineer finds that the loading hours should be 7 AM to 6 PM year-round on weekdays, and signs at the loading area should say "NO PARKING – PASSENGER LOADING ONLY 7AM-6PM WEEKDAYS." The installation of the loading sign will be a Condition of Approval.

Please submit responses to all requested items at once, and not incrementally. In your resubmittal, include a letter stating how you have addressed the incomplete items. If you submit hardcopies of plans do not bring plans larger than 11x17 or 12x18.

Sincerely,

A handwritten signature in blue ink, appearing to read "Allison Riemer".

Allison Riemer, Associate Planner



Parks, Recreation & Waterfront Department

March 21, 2023

Allison Riemer  
City of Berkeley  
1947 Center Street, 2<sup>nd</sup> Floor  
Berkeley, CA

Subject: Responses to Review Comments – Submittal #5  
Variance #ZP2022-0095 for 2720 Hillegass

Dear Allison Riemer:

Please find below responses to the Review Letter, dated March 6, 2023.

Review Comment:

1. Site Plan: Per comments from the City's Traffic Engineer, update the plans to show the existing red curb, blue curb, curb ramp, and any existing white curb in the existing and proposed site plans. **Please dimension the lengths of the different colored curbs on sheets Z2-A1-A4.**

Response: Existing and proposed site plans were updated to include the curb colors and existing curb ramp. Dimensions of the existing colored curbs have been added on sheets Z2-A1-A4.

Advisory Comments

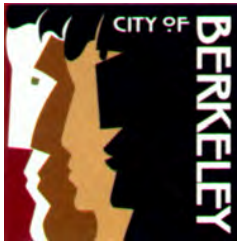
1. Drop-off and Pick-up Plan: The City's Traffic Engineer finds that the loading hours should be 7 AM to 6 PM year-round on weekdays, and signs at the loading area should say "NO PARKING – LOADING ONLY 7AM-6PM WEEKDAYS." The installation of the loading sign will be a Condition of Approval.

Response: Thank you.

Sincerely,

---

Evelyn Chan, Supervising Civil Engineer  
City of Berkeley Parks, Recreation and Waterfront Department



Parks, Recreation and  
Waterfront Department

## Applicant Statement

### Application for Use Permit, Administrative Use Permit, and Variance Willard Clubhouse and Restroom Replacement Project

#### **Project Overview and Intent**

The Willard Clubhouse in its current condition is difficult to maintain and needs various upgrades and facility improvements to be able to meet current building codes and the City's sustainability and resiliency goals. The community has expressed that the Willard Clubhouse is long overdue for an update to meet the evolving needs of the entire community.

The size and condition of the current building limits the type of programming that can be offered at the site. The Department of Parks, Recreation & Waterfront could provide more stable and reliable childcare options for participating and waitlisted families and a larger, flexible facility will support a multitude of programming options for the Berkeley community and foster positive community engagements.

The Use Permit specifically applies to the following project elements: demolition of an existing non-residential building, and construction of a new community center.

Willard Clubhouse is located on a 111,015 square feet parcel, or just over 2.5 acres and is located in the R-2 Restricted Two-Family Residential District. The proposed Willard Clubhouse and Restroom Replacement Project would demolish the existing Clubhouse building (approximately 565 SF in size), and an existing public restroom (approximately 114 SF in size) to allow room for a new 3,301 SF community center and outdoor patio adjacent to the building.

The Administrative Use Permit specifically applies to the following project element: construction of an accessory public restroom structure.

The community and City recreation staff have strongly expressed that the public restrooms be relocated to a different area of the park. To promote safety and sanitation for family and park users, the proposed restrooms will be fully accessible with two gender neutral stalls and doors that can automatically lock during off-hours.

The proposed location of the new 198 SF public restroom is tucked between the tennis courts and a gently sloping lawn where it is visible to the general public, centrally located within the

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

park, and easily accessible for cleaning and maintenance. The existing public restroom is located to the east of the Clubhouse along Hillegass Avenue. It is a single-stall restroom with an open roof. It does not have a door, but a chain that people can use for privacy and to indicate that the restroom is in use. Additionally, there is a gate to lock the restroom during non-park hours.

A variance is requested to construct the new community center 16 feet from the rear property line where a minimum setback of 20 feet is required, and a variance is requested to not provide off-street parking. The proposed findings for both variances are located later in this statement.

### **Project Update**

Since our previous submittal for entitlements on June 9, 2022, we have made several changes to the design of the proposed project. These were in response to the escalation of construction costs that resulted from the COVID pandemic, other world events, and the resulting supply chain issues.

Since the time of the initial conceptual estimate, construction costs have increased at an annual rate of approximately 15% per year, and this is anticipated to continue to increase by approximately 10%, from now until the proposed time of construction for the project.

In response to the unanticipated cost increase, the proposed Clubhouse has been reduced in size and scope. The revised design reduces the building area from 4,200 SF to 3,285 SF. In lieu of three community rooms, comprising approximately 2,360 SF of activity space, the new community building will include one, divisible community room comprising approximately 1,700 SF. All other features will remain.

The revised design provides an opportunity to create a multi-purpose outdoor plaza to the east of the building, similar in size to the existing outdoor plaza that is currently to the west of the building. In order to increase visibility of the new outdoor plaza from the park and Hillegass Avenue, the building has been rotated 180 degrees, placing the large community room adjacent outdoor plaza to the east. The new building configuration and design also maintains adequate separation and stays clear from the dripline of the existing coast live oak and redwood trees.

The transitional area between the main entry into the building and the park pathway has been slightly modified. A code compliant slope parallels the front of the building from the east to the entrance into the building, and stairs will connect the lower path to the entry area. Terraced planters will make up the grade transition on both sides of the stairs, creating a gentle transition from the park to the building.

To summarize, the three main changes to the Clubhouse design are as follows:

1. Approximately 25% reduction in the area of the building
2. Rotation of the building configuration by 180 degrees

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

3. Addition of a new accessible outdoor patio on the east end of the building, fully visible from the park and Hillegass Ave.

### **23.406.050(F) Findings for Variance Approval**

#### **Setback Variance**

The City is requesting a variance to reduce the rear yard setback for the new community center from the minimum required 20' to 16'.

*(a) There are exceptional circumstances applying to the property which do not apply generally in the same district.*

*(b) The Variance is necessary to preserve a substantial property right.*

Willard Park is the only City park in District 7 and Willard Clubhouse is the only community center serving Districts 7 and 8. The park has the largest public open space area in Districts 7 and 8. It has long been a staple of Berkeley's after-school and summer day camp programs. Each program serves a maximum of 45 elementary school aged children, and enrollment for programs quickly reaches the maximum capacity every year with a typical waitlist of approximately 25 children. Occupancy of the existing clubhouse is limited, therefore in order to accommodate 45 children, staff makes use of the adjacent patio, as well as the expansive open space area. A new community center will meet the needs of the current programs and allow the City to expand opportunities to accommodate families who need affordable and quality childcare and recreation programs.

The variance is requested to preserve public open space at the park. The most widely expressed concern from the community is losing any substantial amount of the large open lawn area in the park. The current location of the Clubhouse is the optimal location on the parcel for the new community center. Utilizing the current location and the existing adjacent outdoor patio minimizes impacts to all other areas and uses on the parcel including and most importantly the open space. The open lawn area is located directly to the north, and the coast live oak and redwood trees have large canopies located to the south and east. The variance would preserve the maximum amount of open space while maintaining adequate spacing between the new building, adjacent properties and existing heritage trees.

A means of egress will be provided in the rear yard for the new community center, however the rear yard is not currently or proposed to be used for programmatic purposes. The site slopes down to the southwest, and creation of any usable area would require extensive retaining walls. The remainder of the rear and side yard space to the south and west property lines will be landscaped.

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

*(c) The Variance will not adversely affect the health or safety of persons residing or working near the property.*

The variance will not impact either the health or safety of persons residing or working near the property. Its principal impact is to minimize the intrusion of the new walkways that front the new community center to the north and into the open space area.

*(d) The Variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements.*

The variance will not impinge on the neighboring properties. The proposed building is one-story, set at a level several feet lower than the adjacent 2-story buildings to the south, so the occupants of the new building would not look into the neighboring windows. Furthermore, the proposed building is located directly north of the adjacent properties, so shadows will be cast in directions going away from the adjacent properties and will not increase shading.

*(e) The Variance will promote the municipal health, welfare, and safety and benefit the city as a whole.*

*(f) Any other Variance findings required by Zoning Ordinance can be made.*

The proposed variance will promote the municipal health and welfare opportunities more equitably around the City and benefit the City and its residents as a whole. The City's affordable afterschool and summer childcare programs offered at this site are open to residents from throughout the City. However, enrollment capacity is constrained by the limited availability of indoor activity space in the existing Clubhouse. A new, larger community center in the current location will maintain the integrity of Willard Park and allow the City to expand programming and also offer a wide range of programs for residents of all ages and abilities.

Willard Park is home to a large number of heritage trees which are both tall and widespread, and these have become the foreground views of the existing homes. The sunset views from Willard Park are to the northwest and best viewed from the center of the open lawn area, which will not be impacted by the variance.

### **Parking Variance**

The City is requesting a variance to allow the new community center to be constructed without the addition of any new off-street parking spaces.

*(a) There are exceptional circumstances applying to the property which do not apply generally in the same district.*

*(b) The Variance is necessary to preserve a substantial property right.*

The existing Willard Clubhouse is not provided with any off-site parking, and the proposed new design does not include the provision of any new spaces. There is on-street parking available on the Derby Street which borders the park to the north and Hillegass Avenue which borders

Application for Administrative Use Permit, Use Permits/Variance  
Willard Clubhouse and Restroom Replacement Project

the park to the east. There is a designated drop-off zone and accessible parking space provided directly to the east of the building on Hillegass Ave.

The parcel consists primarily of a large open lawn area with clusters of heritage trees, and the site for the proposed Willard Clubhouse is in the southeast corner of the existing Willard Park. With the closure of People's Park, this is the only park serving District 7. It is located within walking distance of many residents who frequently use the park. Many children are bused from BUSD elementary schools to the afterschool program at the site. The BUSD bus drop off times are staggered, and the children are later picked up by parents and caregivers, some of whom do drive to the site, at staggered times.

*(c) The Variance will not adversely affect the health or safety of persons residing or working near the property.*

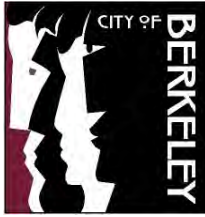
*(d) The Variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements.*

*(e) The Variance will promote the municipal health, welfare, and safety and benefit the city as a whole.*

*(f) Any other Variance findings required by Zoning Ordinance can be made.*

The proposed variance will not adversely affect the health or safety of people living or working near the parcel, or cause detriment to the public welfare. Rather, the variance would be beneficial to the community because in order to add parking spaces, the public open space will have to be reduced. Adding parking spaces would in fact have a detrimental impact on all who use the park for any purposes.





Department of Parks, Recreation, and Waterfront

**STUDENT DROP-OFF & PICK-UP MANAGEMENT PLAN**

**Property Information**

Project Address: Willard Clubhouse  
2720 Hillegass Avenue  
Berkeley, CA 94705

**Project Description**

PROJECT FEATURES	EXISTING	PROPOSED MAXIMUM AT BUILD OUT
Number of Students	45	60
Number of Staff	5	7
Number and Linear Feet of Off-and-On-Street Passenger Loading Spaces	0	One 60' passenger loading space

**Drop-Off & Pick-Up Management Information**

Describe morning and afternoon drop-off and pick-up operations and activities, including to the extent applicable: number and age of students dropped off by time window (e.g., 8:00-8:15 AM or 3:00-3:15 PM), persons available to assist with pick-up (e.g., staff, parents, students), and any associated vehicles (e.g., vans, buses).

The City of Berkeley Recreation Division offers a summer camp program at the Willard Clubhouse for elementary school age (TK-5<sup>th</sup>) children that runs during the months of June, July and August. The program typically enrolls up to 45 children with 5 staff from 7:30 AM-6:00 PM. With the new, larger Clubhouse, the summer camp program is expected to serve up to 60 children with 7 staff. Many of the children will walk with a caregiver to the site for drop-off between 7:15 AM – 7:30 AM. Others will be dropped off by vehicles with drivers utilizing available on-street parking. Children are picked up at various times by caregivers either by walking or by vehicles. Staff will be stationed at the site to check students in during morning drop-off and out during afternoon pick-up.

The City of Berkeley Recreation Division offers an afterschool program at the Willard Clubhouse for elementary school age (TK-5<sup>th</sup>) children that runs during the school year. The program typically enrolls up to 45 children with 5 staff from 1:30 PM-6:00 PM. With the new, larger Clubhouse, the afterschool program is expected to serve up to 60 children with 7 staff. The majority of children will be bussed to the site from local elementary schools, and picked up at various times by caregivers. Staff will be stationed at the site to check students in during drop-off and out during afternoon pick-up.

The project is proposing to provide a dedicated 60' passenger loading zone on Monday-Friday from 7 AM – 8 AM and 1 PM – 6 PM on Hillegass Avenue next to the Clubhouse to accommodate a school bus and vehicles during drop-off and pick up.

What other transportation-related measures would the facility take for efficient and safe travel for children, families, and staff during drop off and pick up?

Bicycle Parking for Staff and the Public  
Commuter Benefit Program for Staff



# PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704  
 Tel: 510.981.7410 TDD: 510.981.6903 Email: Planning@CityofBerkeley.info

## TABULATION FORM

Project Address: \_\_\_\_\_ Date: \_\_\_\_\_

Applicant's Name: \_\_\_\_\_

Zoning District: \_\_\_\_\_

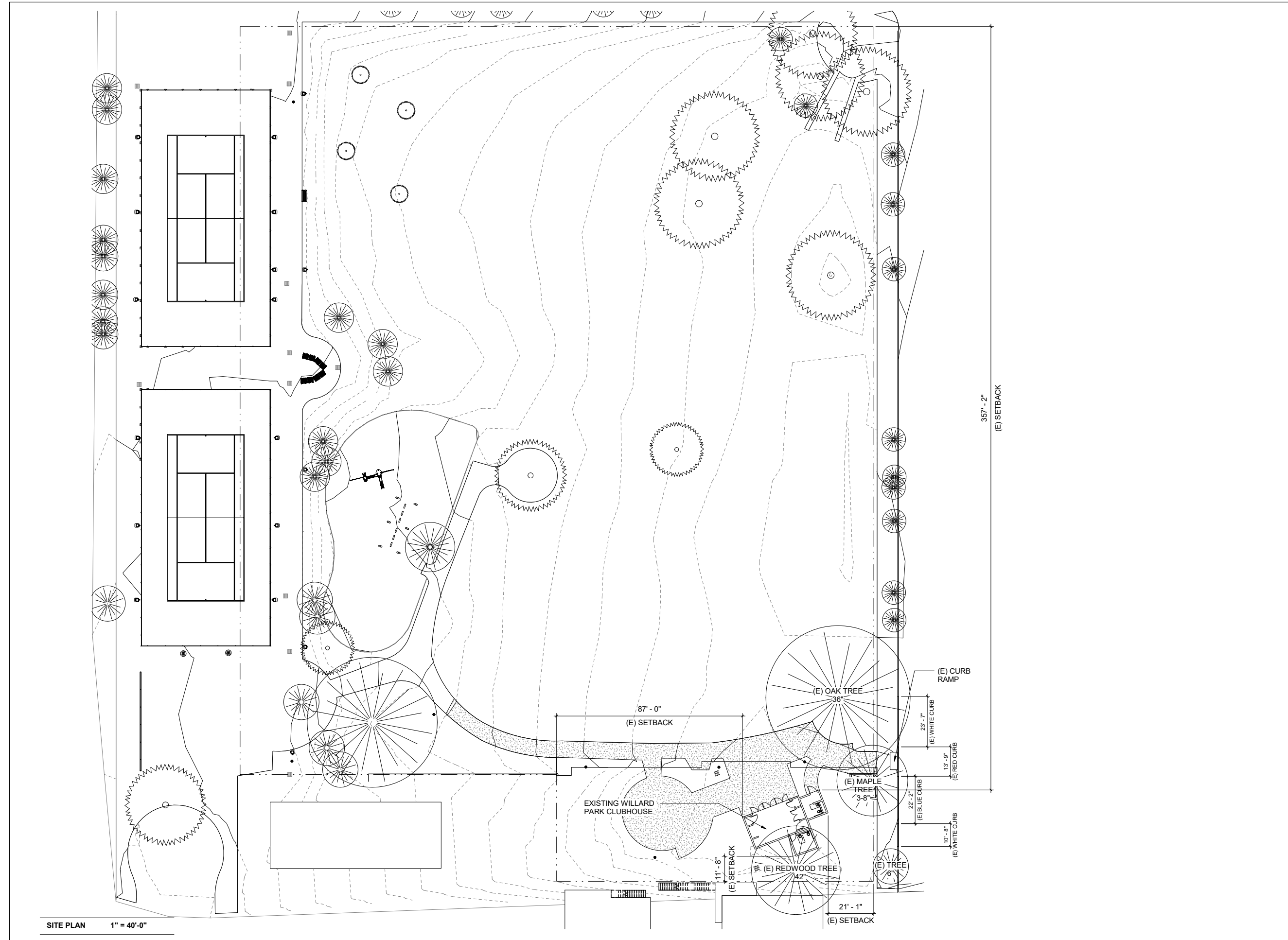
Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required<sup>1</sup></i>
<b>Units, Parking Spaces &amp; Bedrooms</b>			
Number of Dwelling Units (#)			
Number of Parking Spaces (#)			
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)			
<b>Yards and Height</b>			
Front Yard Setback (Feet)			
Side Yard Setbacks: (facing property)			
Left: (Feet)			
Right: (Feet)			
Rear Yard Setback (Feet)			
Building Height* (# Stories)			
Average* (Feet)			
Maximum* (Feet)			
<b>Areas</b>			
Lot Area (Square-Feet)		118,500	
Gross Floor Area* (Square-Feet)			
Total Area Covered by All Floors			
Building Footprint* (Square-Feet)			
Total of All Structures			
Lot Coverage* (%) Residential only (Building Footprint/Lot Area)			
Useable Open Space* (Square-Feet)			
Floor Area Ratio* Non-Residential only (Except ES-R)			

\*See Definitions – Zoning Ordinance Title 23F.

Revised: 11/19

<sup>1</sup> See development standards for your Zoning District, per the Berkeley Municipal Code, Sub-Titles 23D and 23E  
 g:\landuse\forms & instructions\land use planning forms\word files\forms\_zoning project application\zoning project application\_tabulation form.docx



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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
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SHEET TITLE:  
**EXISTING SITE PLAN**

SHEET NUMBER:  
**Z2-A1**

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NUMBER | DATE | DESCRIPTION

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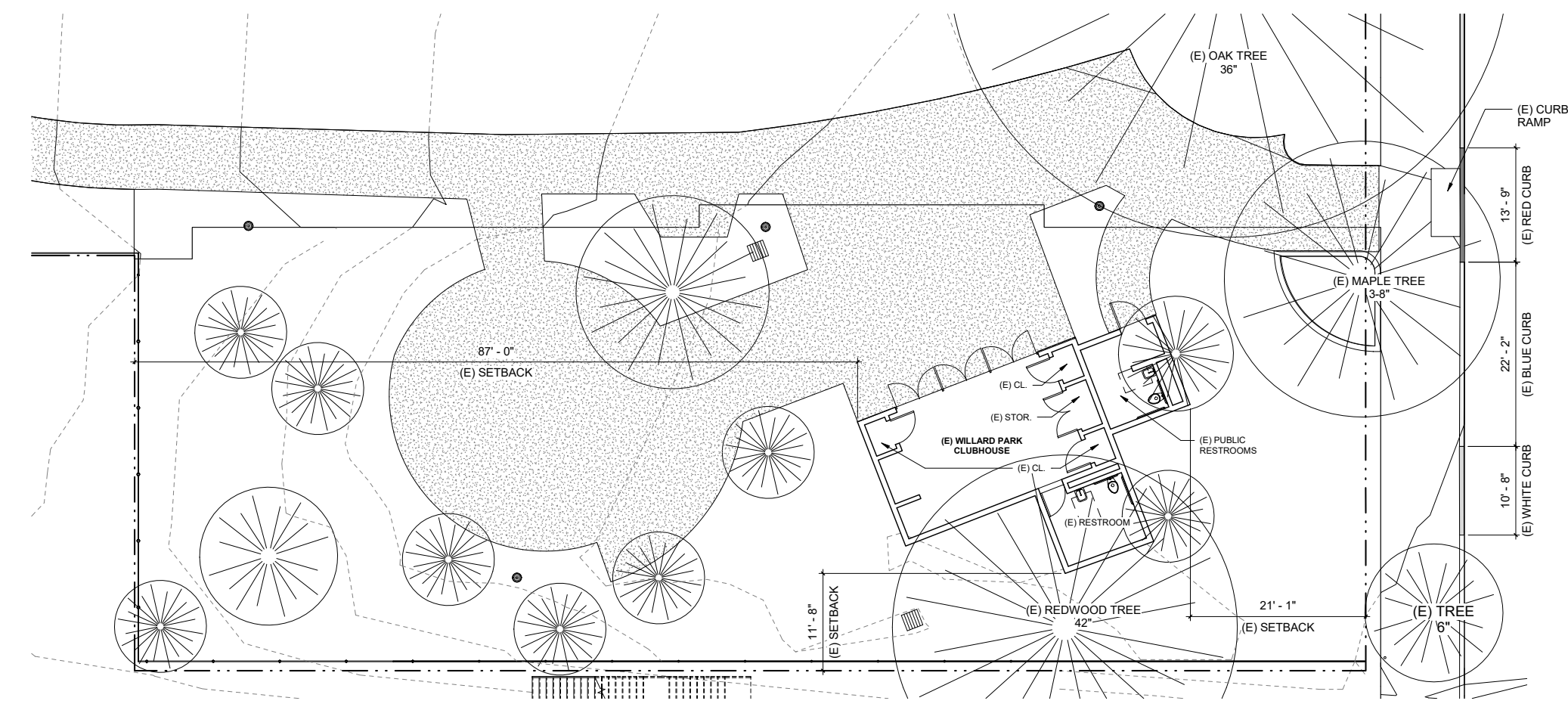
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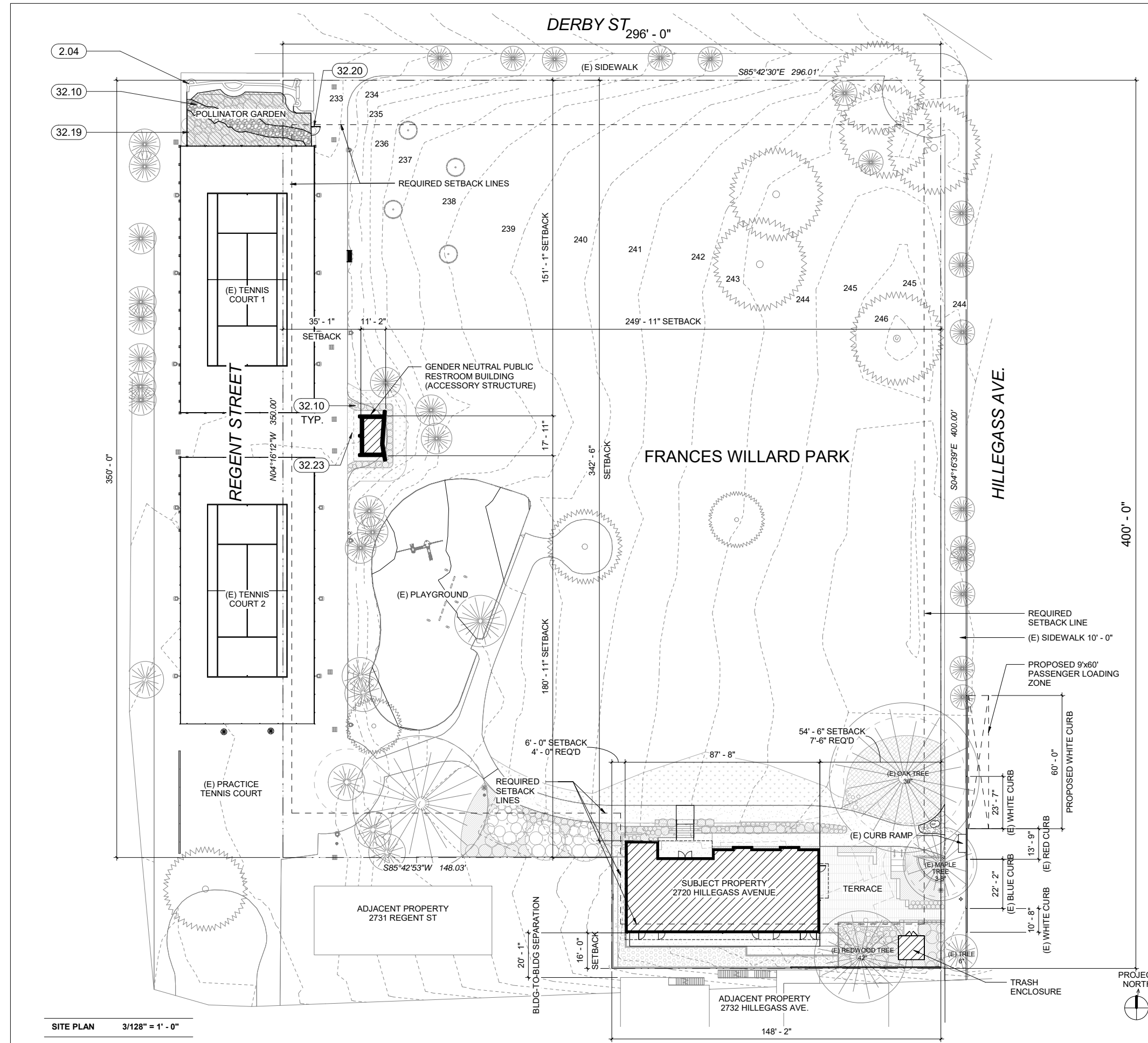


SHEET TITLE:  
**EXISTING  
FLOOR PLAN**

SHEET NUMBER:  
**Z2-A2**



1 EXISTING FLOOR PLAN  
1/16" = 1' - 0"



KEYNOTE LEGEND - ZONING	
2.04	(E) DECORATIVE "POTTERS" WALL TO REMAIN
32.10	PLANTING, S.L.D.
32.19	3'-0" HIGH CHAIN LINK FENCE, S.L.D.
32.20	3'-0" HIGH CHAIN LINK GATE, S.L.D.
32.23	PROVIDE PAVING

GROSS FLOOR AREA SF		
	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,301 SF	3,499 SF
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	

LEGEND	
	PROPERTY LINE
	EXISTING TOPOGRAPHY LINE
	PROPOSED TOPOGRAPHY LINE
	EXISTING ITEM TO REMAIN AND BE PROTECTED
	PROPOSED ITEM
	EXISTING TREE TO REMAIN AND BE PROTECTED
	PROPOSED TREE

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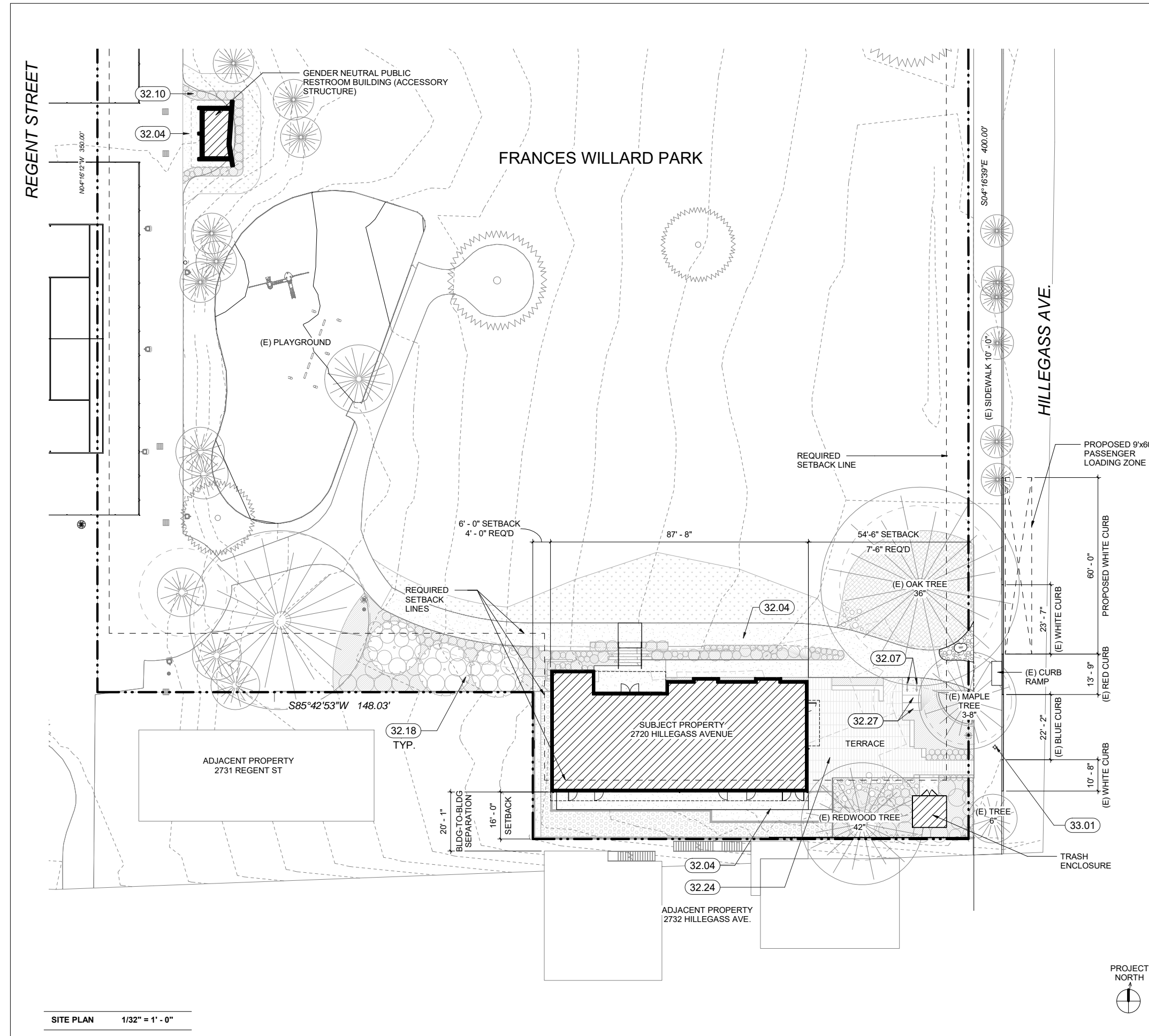
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**ZONING SUBMITTAL**

DATE:  
**03/20/2023**

STAMP:

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**Z2-A3**



KEYNOTE LEGEND - ZONING	
32.04	CONCRETE PAVING, S.L.D.
32.07	BICYCLE RACKS, S.L.D.
32.10	PLANTING, S.L.D.
32.18	PROPOSED TREE, S.L.D.
32.24	PERMEABLE PAVERS, S.L.D.
32.27	LONG-TERM BIKE LOCKERS, S.L.D.
33.01	FIRE HYDRANT, S.C.D.

GROSS FLOOR AREA SF		
	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,301 SF	3,499 SF
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	

LEGEND	
	PROPERTY LINE
	EXISTING TOPOGRAPHY LINE
	PROPOSED TOPOGRAPHY LINE
	EXISTING ITEM TO REMAIN AND BE PROTECTED
	PROPOSED ITEM
	EXISTING TREE TO REMAIN AND BE PROTECTED
	PROPOSED TREE

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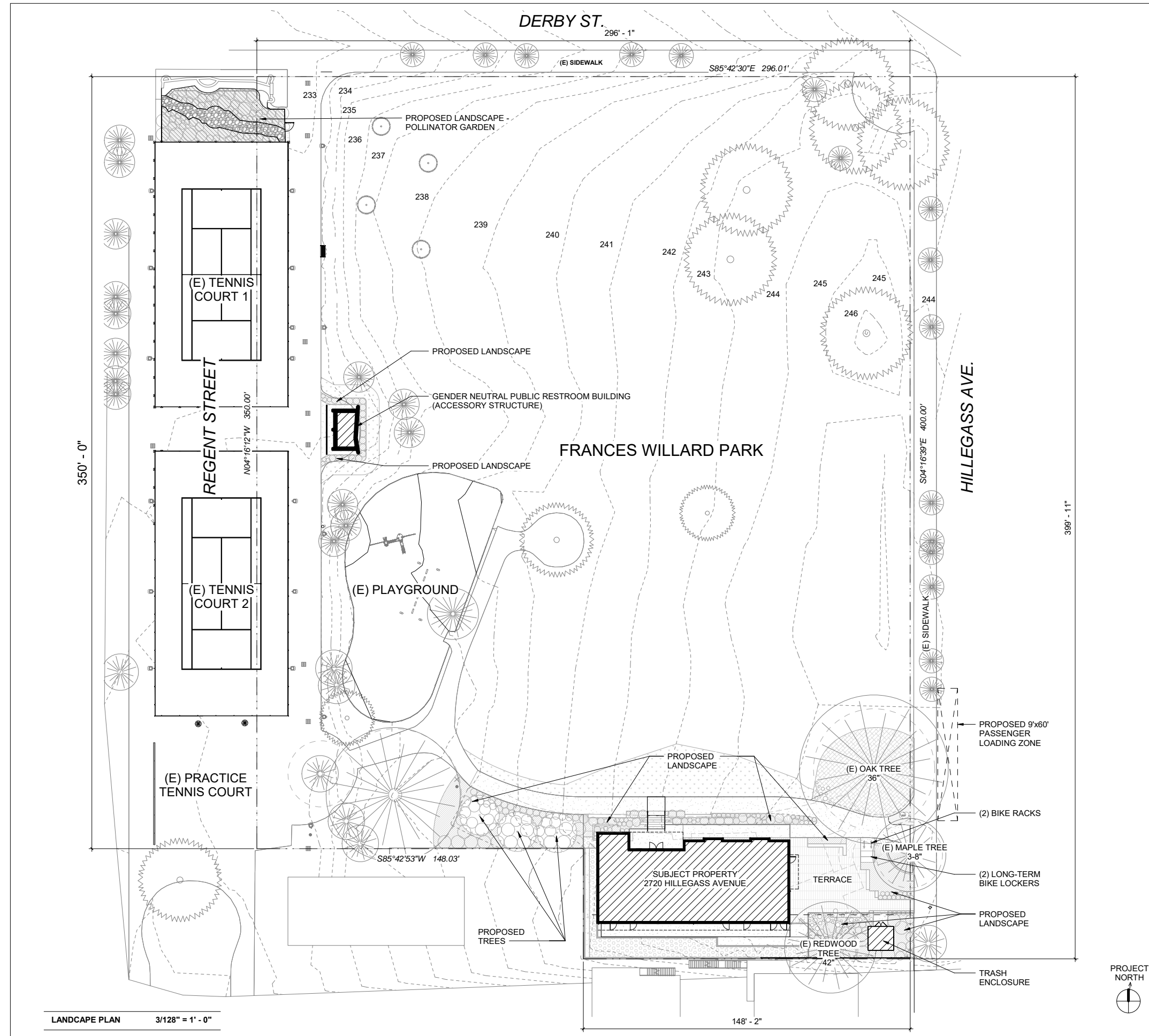
ISSUE:  
**ZONING SUBMITTAL**

DATE:  
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STAMP:

SHEET TITLE:  
**ENLARGED SITE PLAN**

SHEET NUMBER:  
**Z2-A4**



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OCCUPANCY: A-3, B, S-2

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Berkeley, CA 94704  
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REVISION	NUMBER	DATE	DESCRIPTION

**LEGEND**

- PROPERTY LINE
- - - - EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REMAIN AND BE PROTECTED
- PROPOSED ITEM
- EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE
- ▨ PROPOSED LANDSCAPE

ISSUE:  
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STAMP:

SHEET TITLE:  
**LANDSCAPE  
PLAN**

SHEET NUMBER:  
**Z2-B**





KEYNOTE LEGEND - ZONING	
6.05	QUARTZ COUNTERTOP WITH 4" BACKSPASH
8.05	ALUMINUM FRAMED FOLDING GLASS STOREFRONT, REFER TO SPECS.
10.01	FOLDING PANEL PARTITION, MANUAL
22.01	DUAL HEIGHT DRINKING FOUNTAIN WITH BOTTLE FILLER, S.P.D. AND SHEET A020

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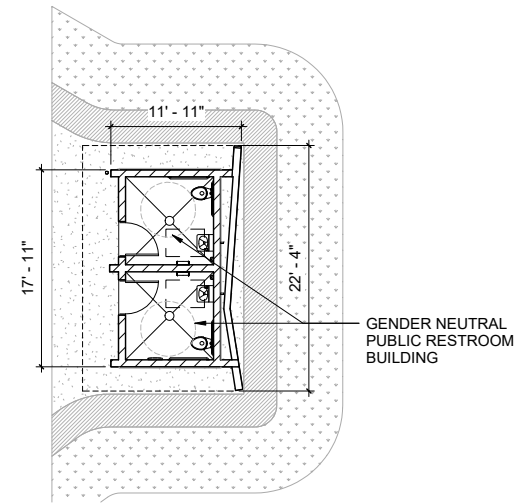
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**03/20/2023**

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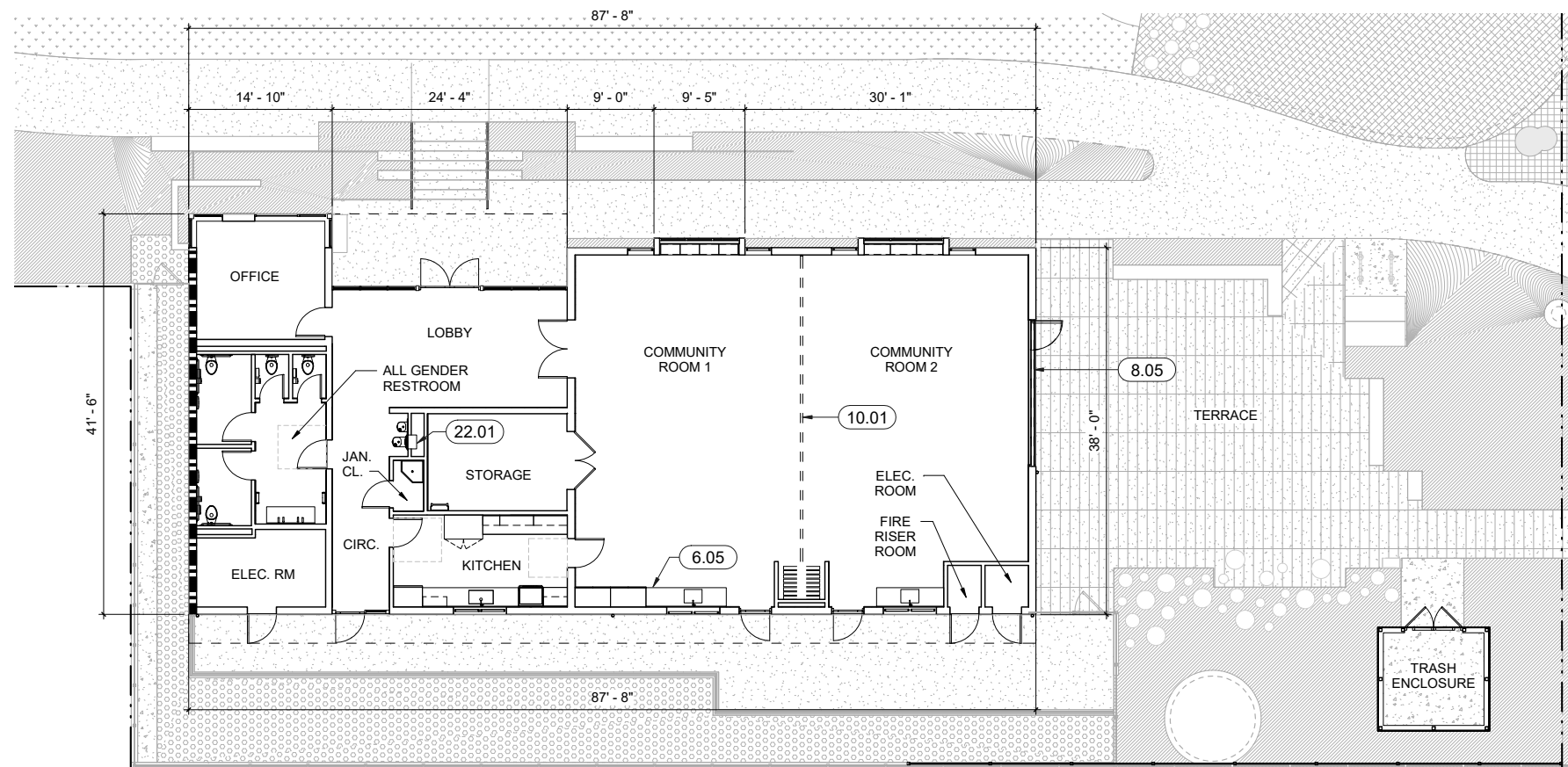


SHEET TITLE:  
**FLOOR PLANS**

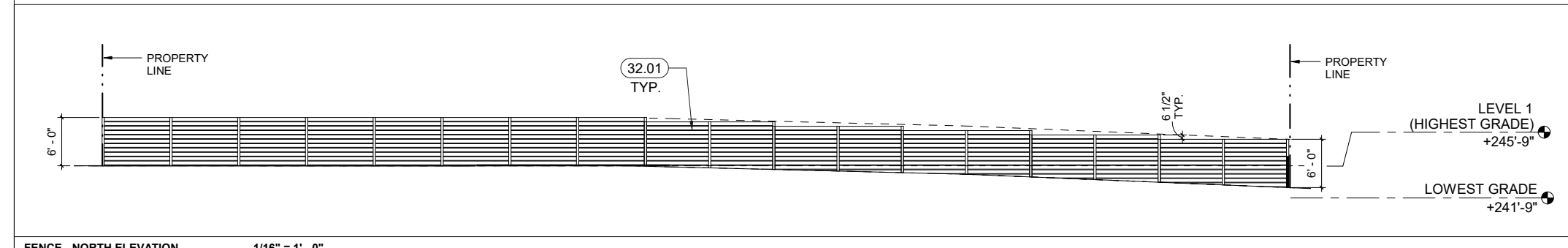
SHEET NUMBER:  
**Z2-D**



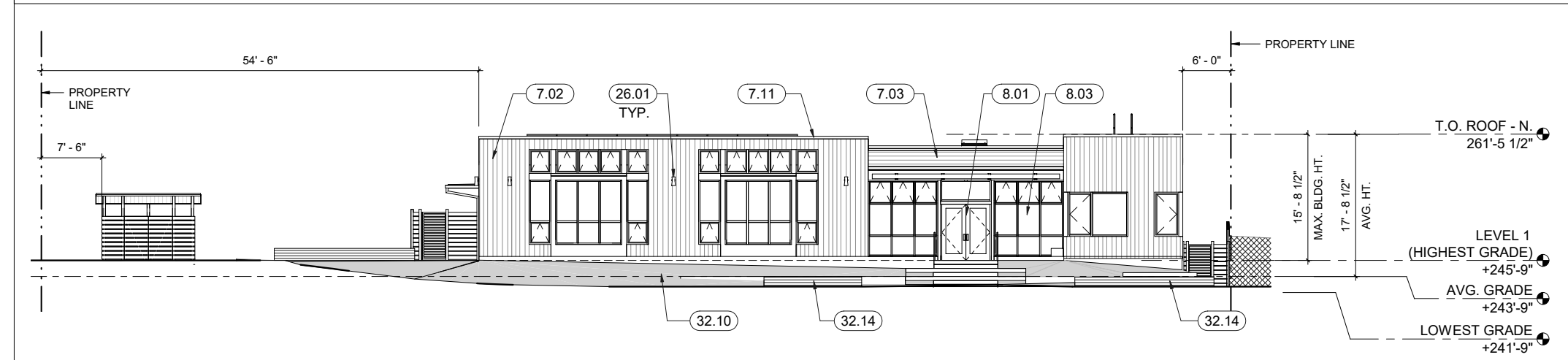
PUBLIC RESTROOM FLOOR PLAN 1/16" = 1' - 0"



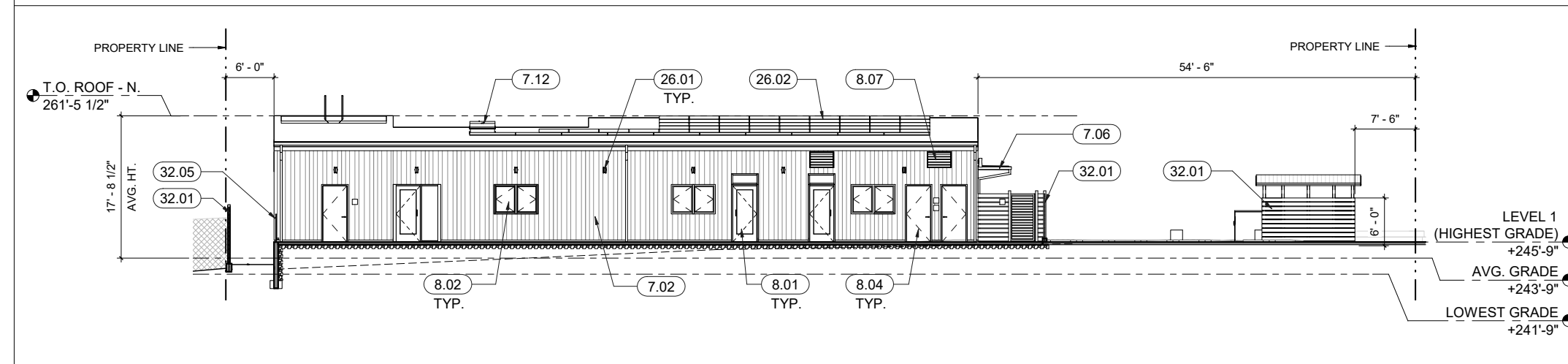
CLUBHOUSE FLOOR PLAN 1/16" = 1' - 0"



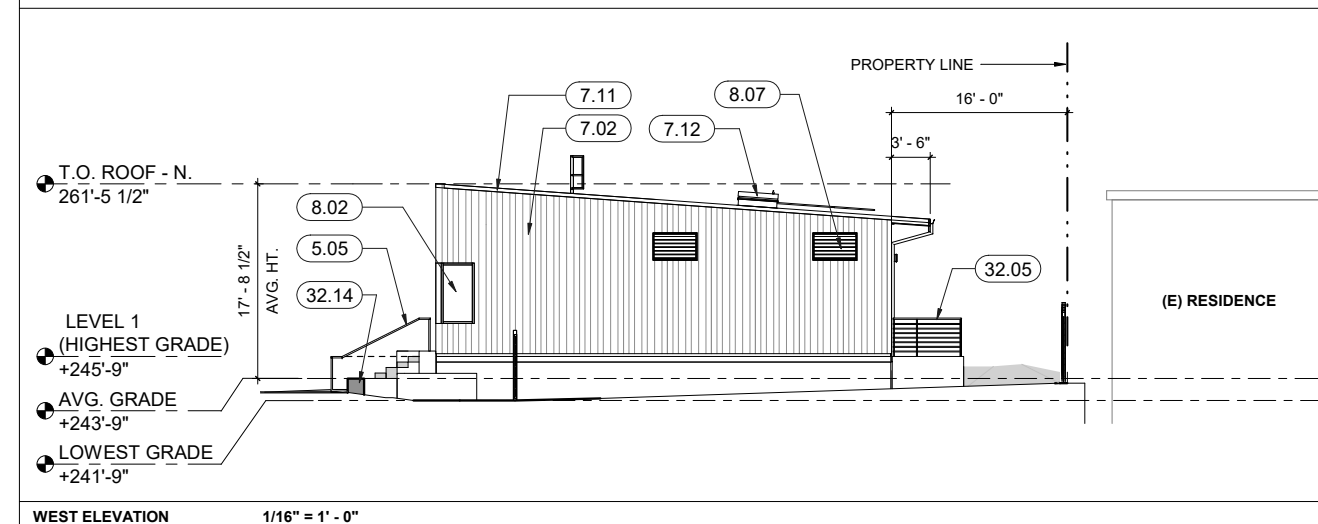
FENCE - NORTH ELEVATION 1/16" = 1' - 0"



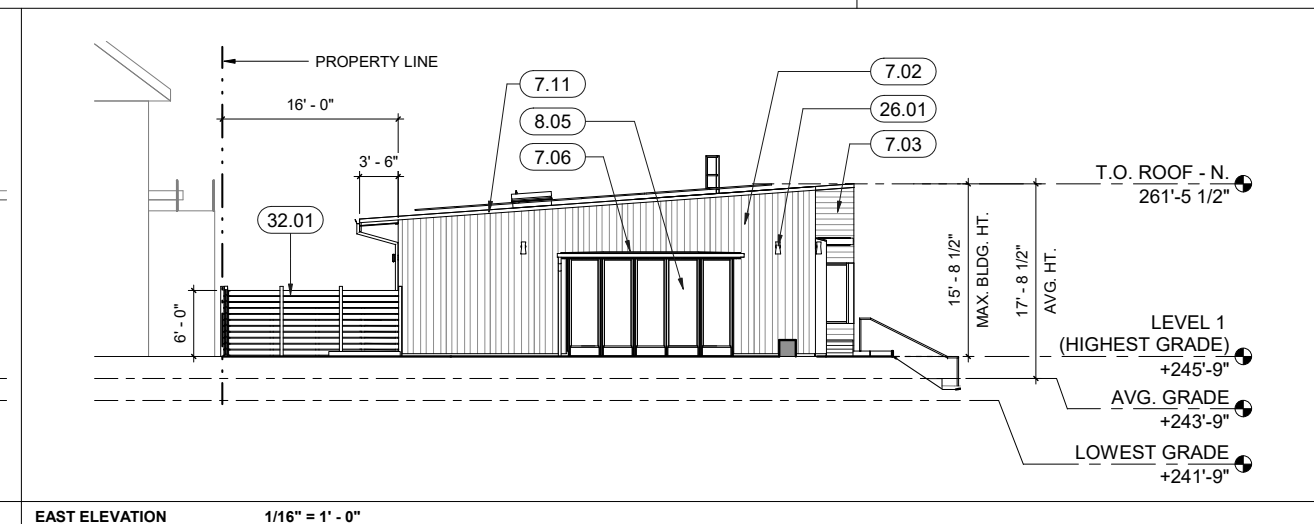
NORTH ELEVATION 1/16" = 1' - 0"



SOUTH ELEVATION 1/16" = 1' - 0"



WEST ELEVATION 1/16" = 1' - 0"



EAST ELEVATION 1/16" = 1' - 0"

KEYNOTE LEGEND - ZONING

5.05	1 1/2" DIAMETER STEEL PIPE HANDRAIL, PTD, S.L.D.
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
7.06	S.S. GUTTER, PTD., CONNECT TO DOWNSPOUT
7.11	GALV. METAL COPING, PAINTED
7.12	ROOF HATCH, SEE DETAIL 11/A860
8.01	EXTERIOR WOOD & GLASS DOOR
8.02	ALUMINUM FRAMED WINDOWS
8.03	ALUMINUM FRAMED STOREFRONT SYSTEM
8.04	HOLLOW METAL DOOR
8.05	ALUMINUM FRAMED FOLDING GLASS STOREFRONT, REFER TO SPECS.
8.07	ALUM. WALL LOUVER, S.M.D.
26.01	WALL MOUNTED LIGHT FIXTURE, S.E.D.
26.02	PHOTOVOLTAIC SYSTEM, S.E.D.
32.01	1X6 TIMBER BOARD WOOD FENCE, SEE SPECS
32.05	METAL GUARDRAIL, S.L.D.
32.10	PLANTING, S.L.D.
32.14	CONCRETE SEAT WALL W/ WOOD TOP, S.L.D.



PROJECT:  
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PROJECT INFO:  
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CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

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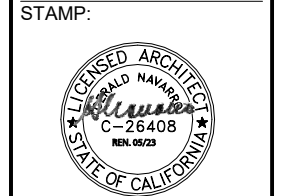
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1947 CENTER STREET, 4TH FL,  
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PROJECT TEAM:  
ARCHITECT:  
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REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/20/2023**



SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E1**

KEYNOTE LEGEND - ZONING	
3.02	CONCRETE CURB, S.S.D.
4.01	CONCRETE MASONRY UNIT, GROUND FACE, PAINTED
5.03	BRAKE METAL FASCIA, MATCH WINDOW FINISH
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
8.02	ALUMINUM FRAMED WINDOWS
8.04	HOLLOW METAL DOOR

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STAMP:



SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E2**

<p>PUBLIC RESTROOM - NORTH ELEVATION      1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - EAST ELEVATION      1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - WEST ELEVATION      1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - SOUTH ELEVATION      1/16" = 1' - 0"</p>
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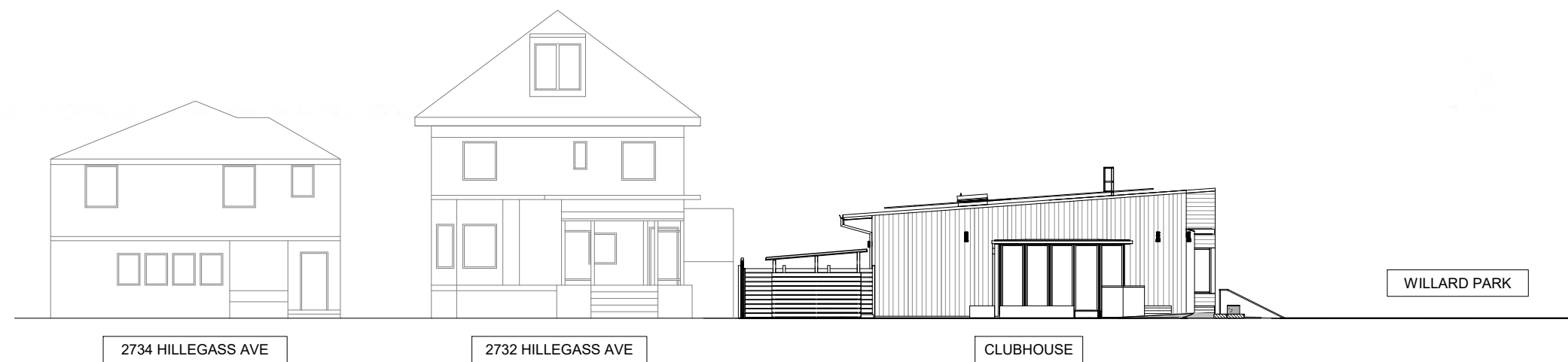
2734 HILLEGASS AVE

2732 HILLEGASS AVE

EXISTING CLUBHOUSE

WILLARD PARK

EXISTING CONDITION: STREET STRIP ELEVATION - EAST



2734 HILLEGASS AVE

2732 HILLEGASS AVE

CLUBHOUSE

WILLARD PARK

PROPOSED DESIGN: STREET STRIP ELEVATION - EAST 1/16" = 1' - 0"

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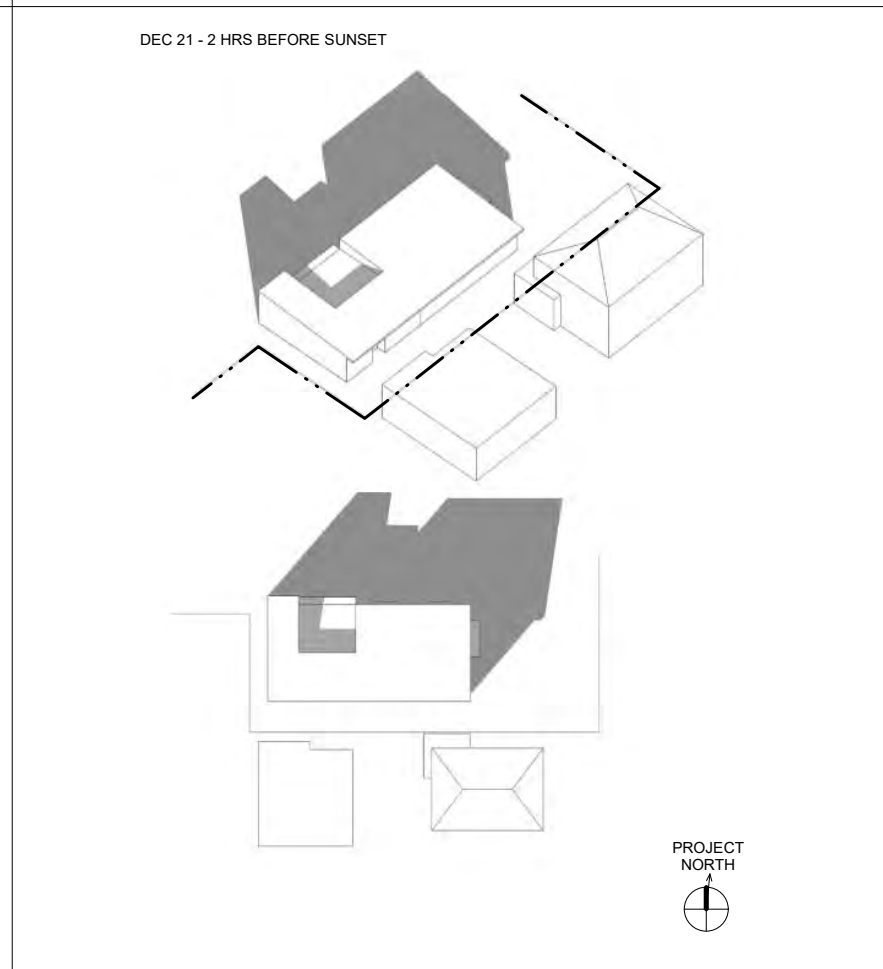
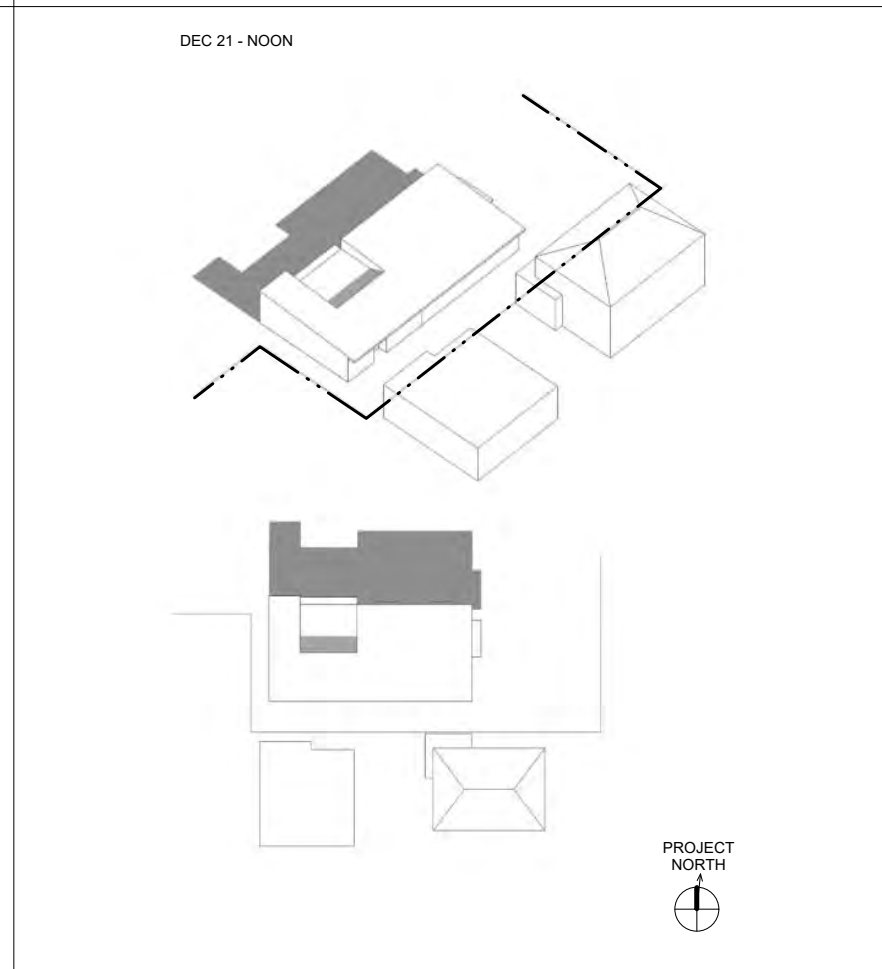
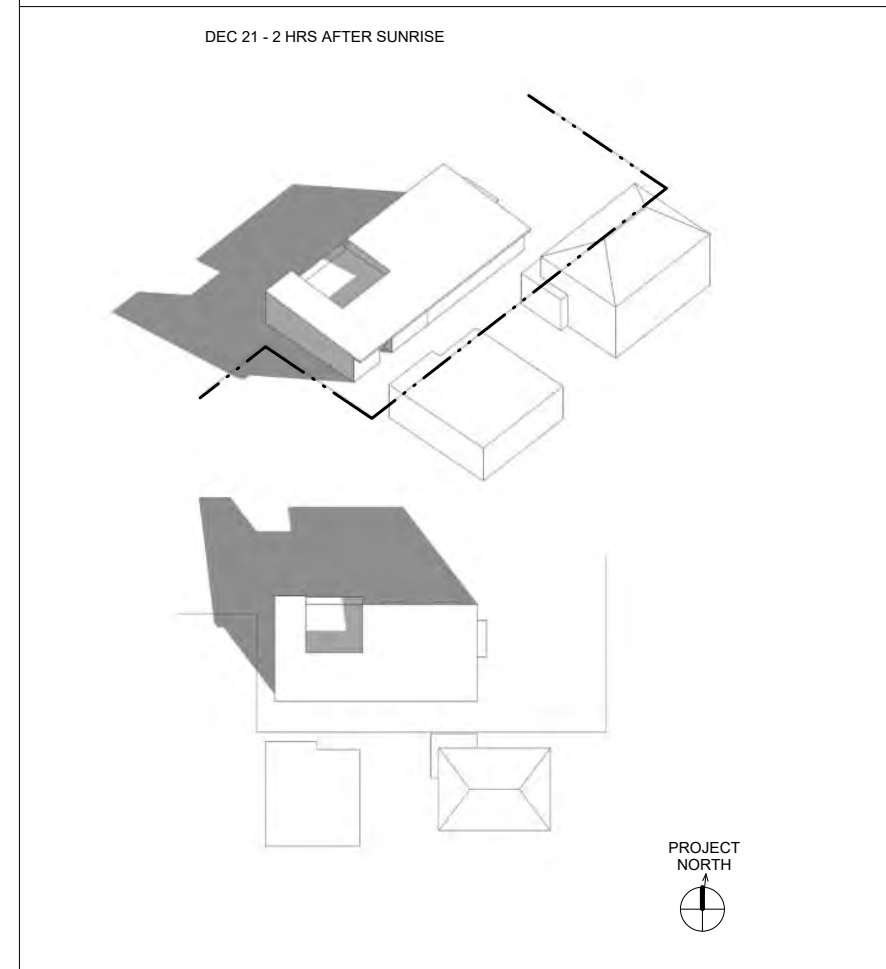
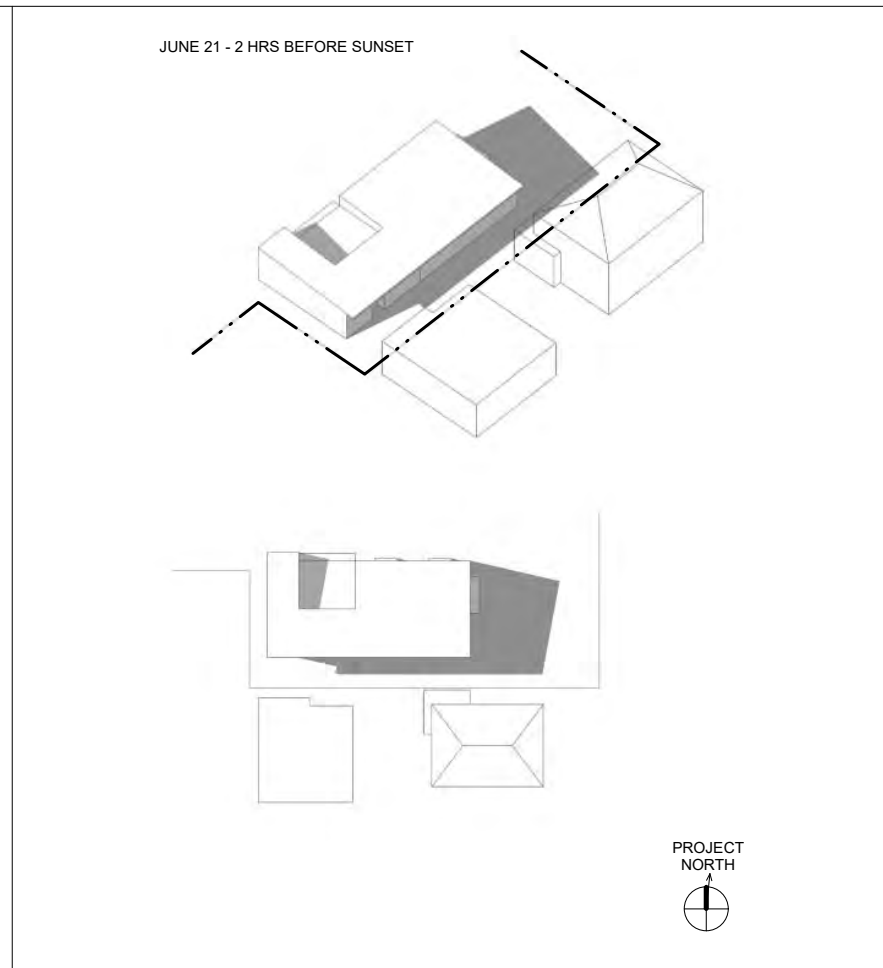
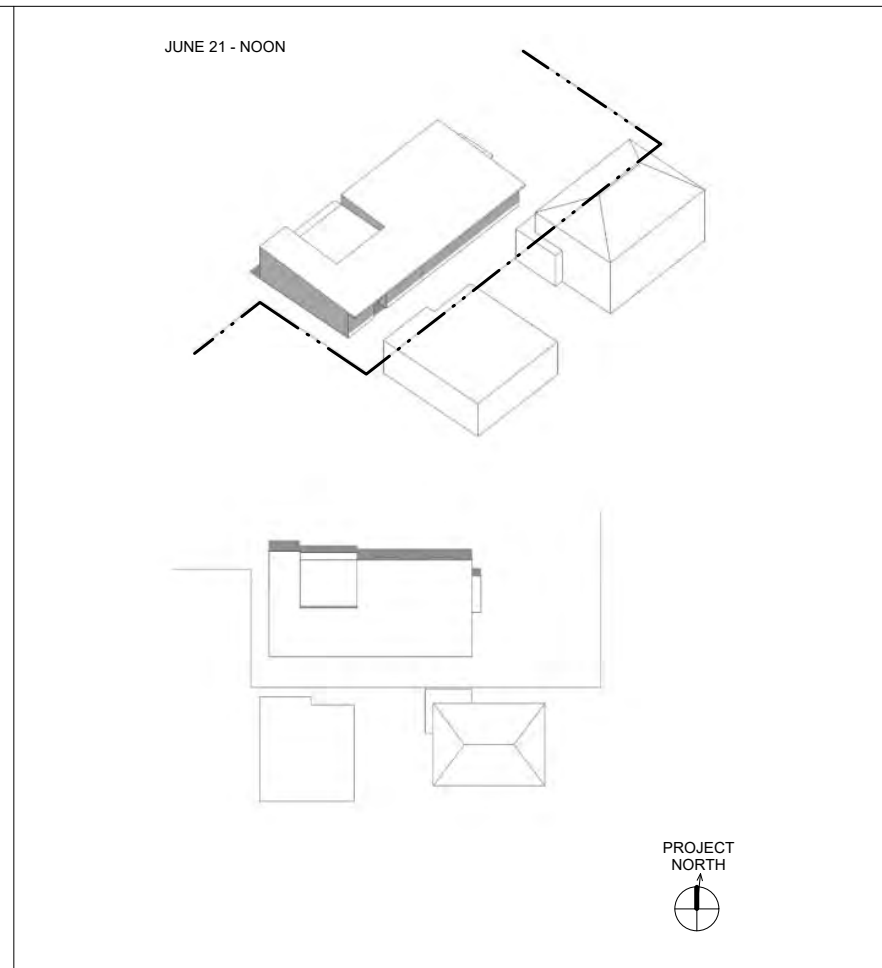
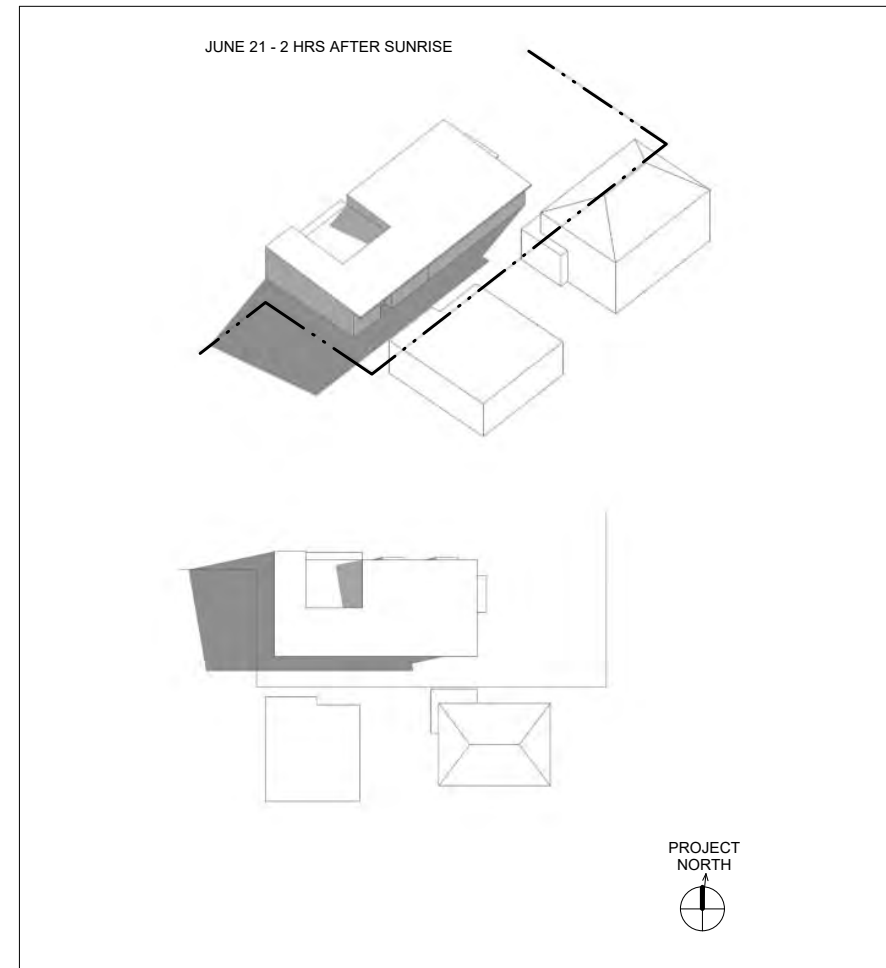
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SHEET TITLE:  
**STREET STRIP ELEVATION**

SHEET NUMBER:  
**Z2-F1**



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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
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NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
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SHEET TITLE:  
**SHADOW STUDY**

SHEET NUMBER:  
**Z3-B**



Planning and Development Department  
Land Use Planning Division

March 28, 2023

Evelyn Chan  
City of Berkeley  
1947 Center Street, 5<sup>th</sup> Floor  
Berkeley, CA

Sent via email:  
[echan@cityofberkeley.info](mailto:echan@cityofberkeley.info)

Re: Variance #ZP2022-0095 for 2720 Hillegass Avenue

Dear Evelyn Chan,

Thank you for the zoning permit application resubmitted on March 21, 2023 for a use permit to demolish the existing clubhouse and restroom, construct a 3,301 square-foot single-story (18 feet) community center with a variance for a rear setback of 16 feet where 20 feet is required, and construct a new single-story restroom building (12 feet). The application has undergone review for completeness according to the submittal checklist and application guidelines.

Pursuant to the Permit Streamlining Act (Government Code Chapter 4.5 Title 7), your application has been deemed complete as of March 28, 2023. Additional comments may be made at a later time if changes are made to the project.

Based on my review, the following approval requests apply to your application:

1. Variance pursuant to Berkeley Municipal Code (BMC) Section 23.406.050 to allow a rear setback of 16 feet where 20 feet is required.
2. Use Permit pursuant to BMC Section 23.326.070(A) to demolish a non-residential main building.
3. Use Permit pursuant to BMC Section 23.202.020(A) to construct a new community center.
4. Administrative Use Permit pursuant to BMC Section 23.304.060(C)(1) to construct an accessory building (restroom).

#### Level of Review Under the California Environmental Quality Act

Under the California Environmental Quality Act (CEQA), staff determines whether an environmental impact report, a negative declaration, or a mitigated negative declaration will be required, depending on the type of project. This determination will be made within 30 days of an application being deemed complete. If a project is exempt from CEQA, staff recommends an exemption determination to either the Zoning Officer or the Zoning Adjustments Board (ZAB).

Staff's recommendation is that this project meets the criteria for a **Categorical Exemption**, pursuant to CEQA Guidelines Section 15303 ("New Construction"). However, the final determination is made by ZAB.

#### Project Review

Now that your Variance application is deemed complete, I will work to finish my analysis of this project, and prepare the staff report and recommendations for consideration by the ZAB at the public hearing, within 60 to 90 days of the application being deemed complete. Under the Permit Streamlining Act, if the ZAB determines that the project is exempt from CEQA, they must act on the project within 30 days

2720 Hillegass Avenue  
Complete Letter

March 28, 2023  
Variance #ZP2022-0095

---

of their determination.

Next Steps

During the course of my review, additional information may be required to correct, clarify, or amplify the details provided in the application. This may result in additional fees for zoning permits, CEQA review costs, and other processes/reviews, as needed based on the City's adopted fee schedule.

Advisory Comments

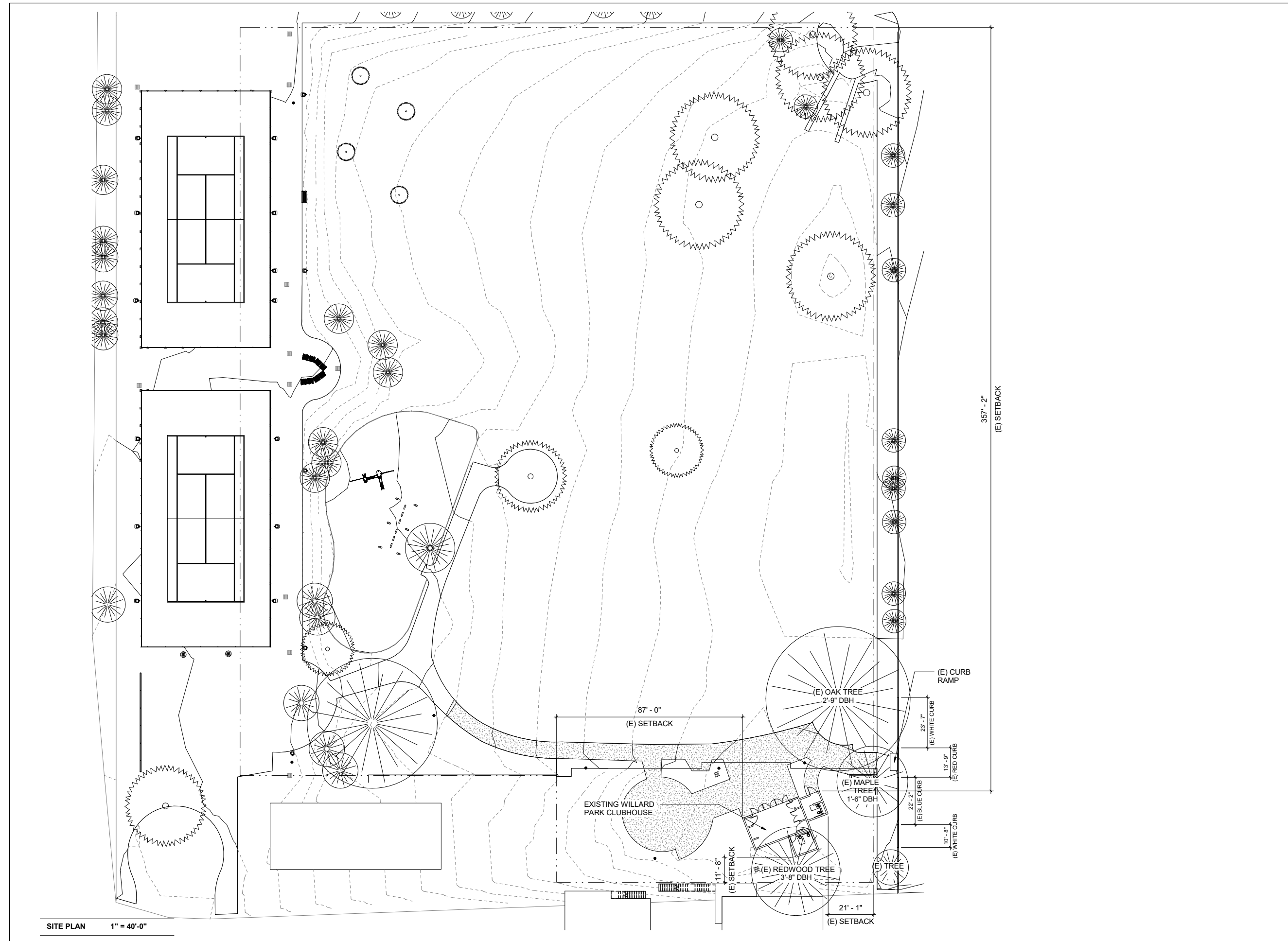
1. Landscaping: Please include the landscaping sheets in the final plans you submit for ZAB (L1.1, L1.2 and L1.3).

Sincerely,



Allison Riemer, Associate Planner





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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

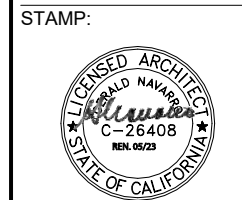
CLIENT:  
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1947 CENTER STREET, 4TH FL,  
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PROJECT TEAM:  
ARCHITECT:  
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SHEET TITLE:  
**EXISTING SITE PLAN**

SHEET NUMBER:  
**Z2-A1**

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PROJECT:

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CLUBHOUSE**  
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BERKELEY, CA 94705

PROJECT INFO:

ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:

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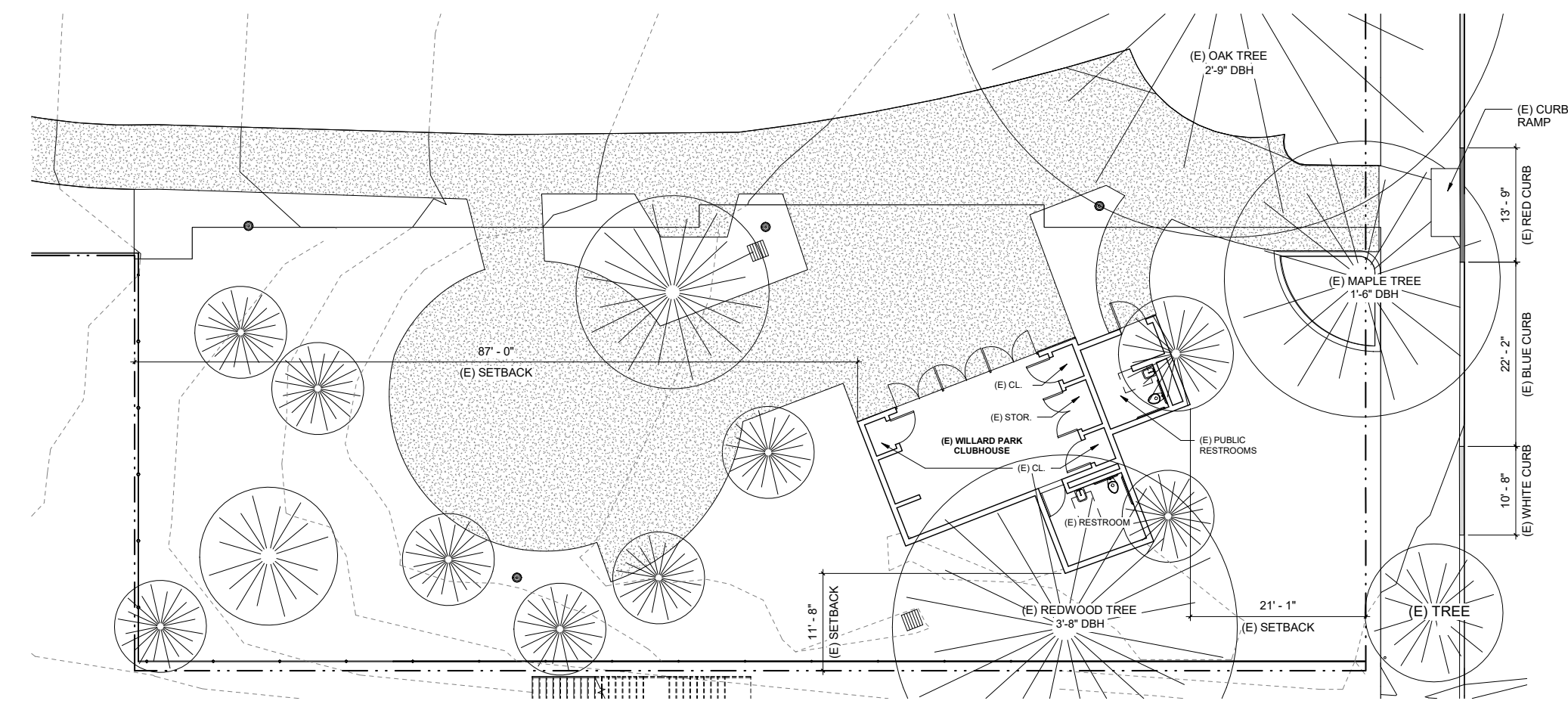
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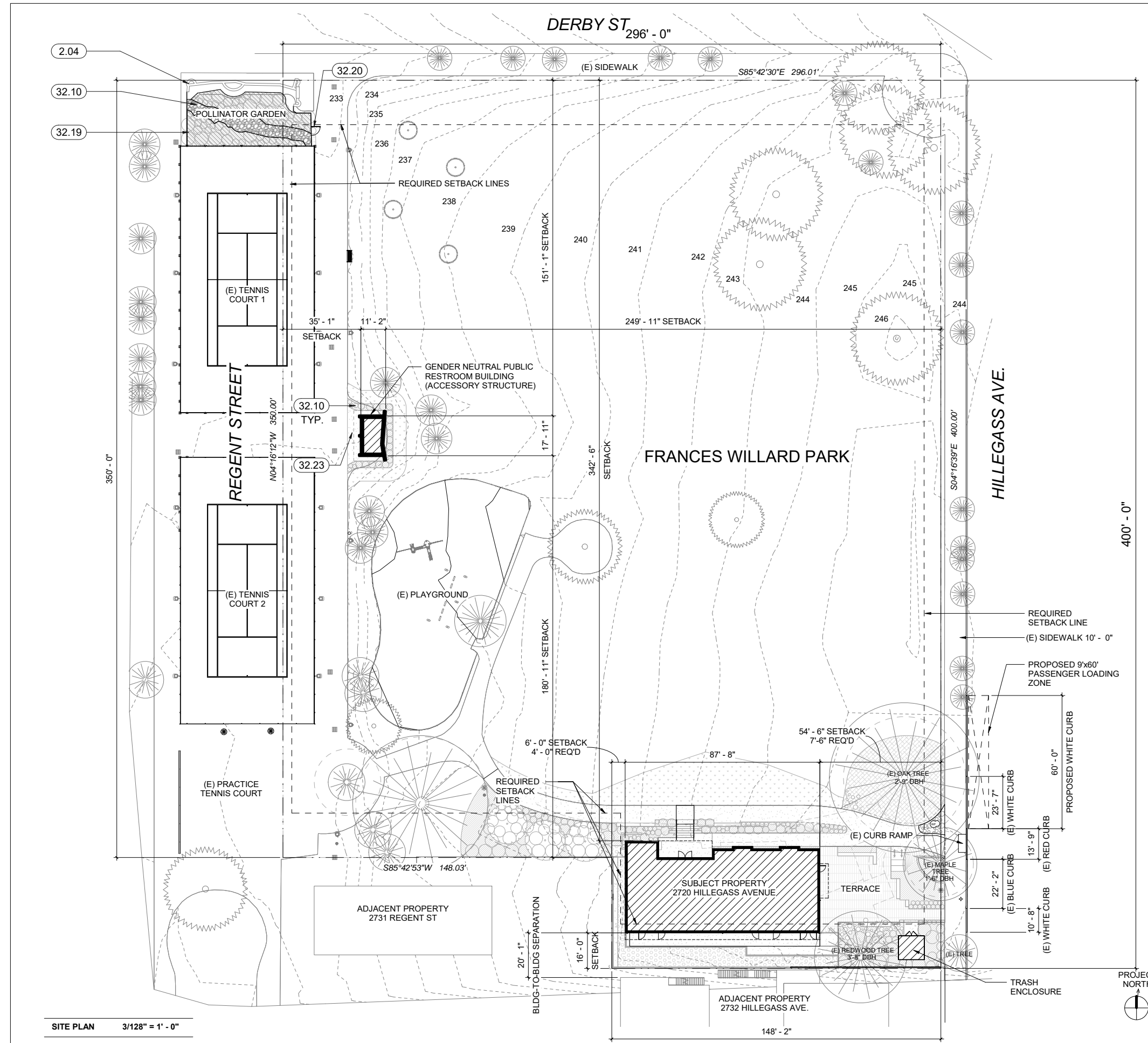


SHEET TITLE:  
**EXISTING  
FLOOR PLAN**

SHEET NUMBER:  
**Z2-A2**



1 EXISTING FLOOR PLAN  
1/16" = 1' - 0"



SITE PLAN 3/128" = 1' - 0"

KEYNOTE LEGEND - ZONING	
2.04	(E) DECORATIVE "POTTERS" WALL TO REMAIN
32.10	PLANTING, S.L.D.
32.19	3'-0" HIGH CHAIN LINK FENCE, S.L.D.
32.20	3'-0" HIGH CHAIN LINK GATE, S.L.D.
32.23	PROVIDE PAVING

GROSS FLOOR AREA SF		
	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,301 SF	3,499 SF
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	

LEGEND	
	PROPERTY LINE
	EXISTING TOPOGRAPHY LINE
	PROPOSED TOPOGRAPHY LINE
	EXISTING ITEM TO REMAIN AND BE PROTECTED
	PROPOSED ITEM
	EXISTING TREE TO REMAIN AND BE PROTECTED
	PROPOSED TREE

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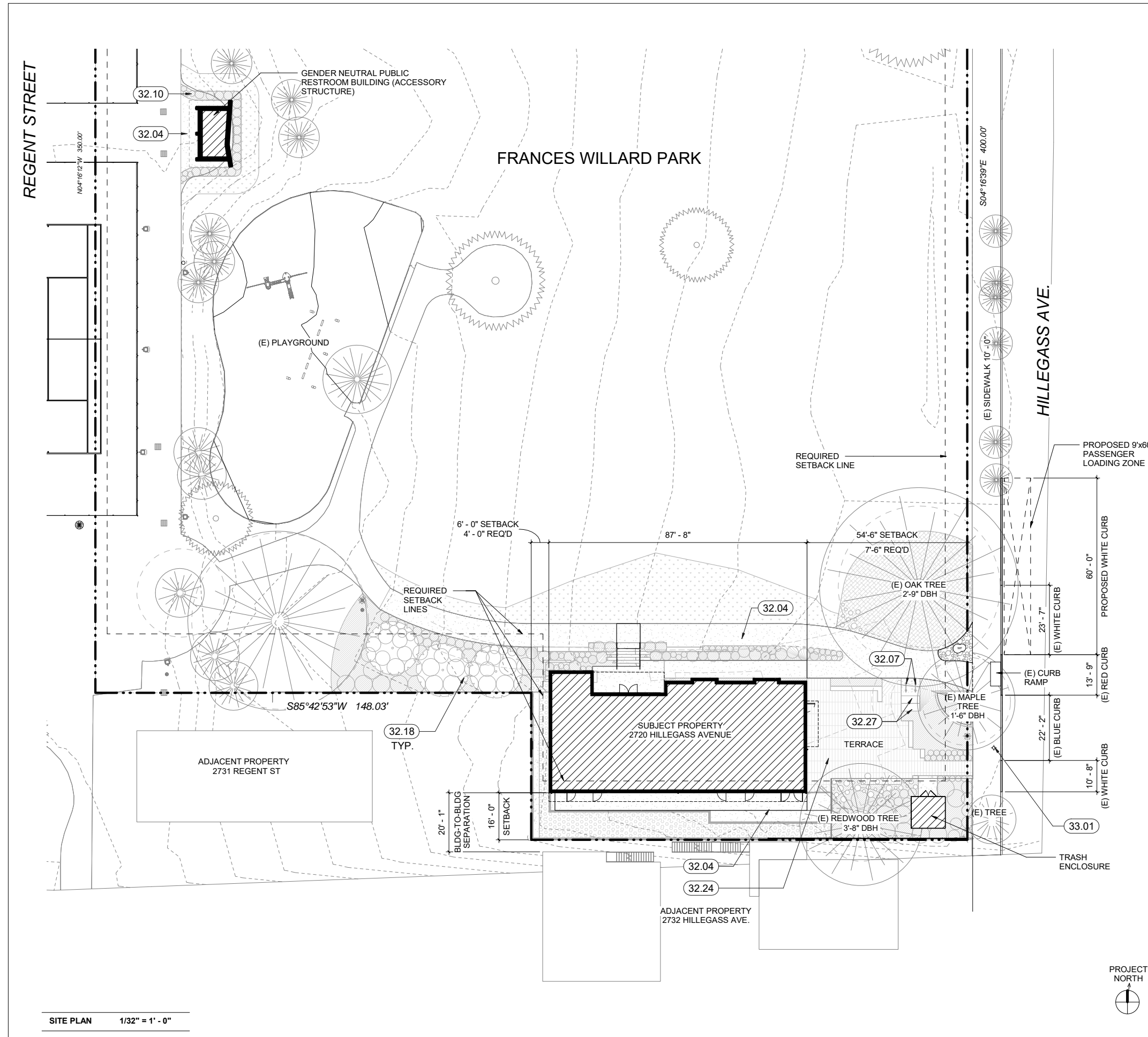
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SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**Z2-A3**



KEYNOTE LEGEND - ZONING	
32.04	CONCRETE PAVING, S.L.D.
32.07	BICYCLE RACKS, S.L.D.
32.10	PLANTING, S.L.D.
32.18	PROPOSED TREE, S.L.D.
32.24	PERMEABLE PAVERS, S.L.D.
32.27	LONG-TERM BIKE LOCKERS, S.L.D.
33.01	FIRE HYDRANT, S.C.D.

GROSS FLOOR AREA SF		
	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,301 SF	3,499 SF
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	

LEGEND	
	PROPERTY LINE
	EXISTING TOPOGRAPHY LINE
	PROPOSED TOPOGRAPHY LINE
	EXISTING ITEM TO REMAIN AND BE PROTECTED
	PROPOSED ITEM
	EXISTING TREE TO REMAIN AND BE PROTECTED
	PROPOSED TREE

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PROJECT:  
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PROJECT INFO:  
ZONING: R2  
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OCCUPANCY: A-3, B, S-2

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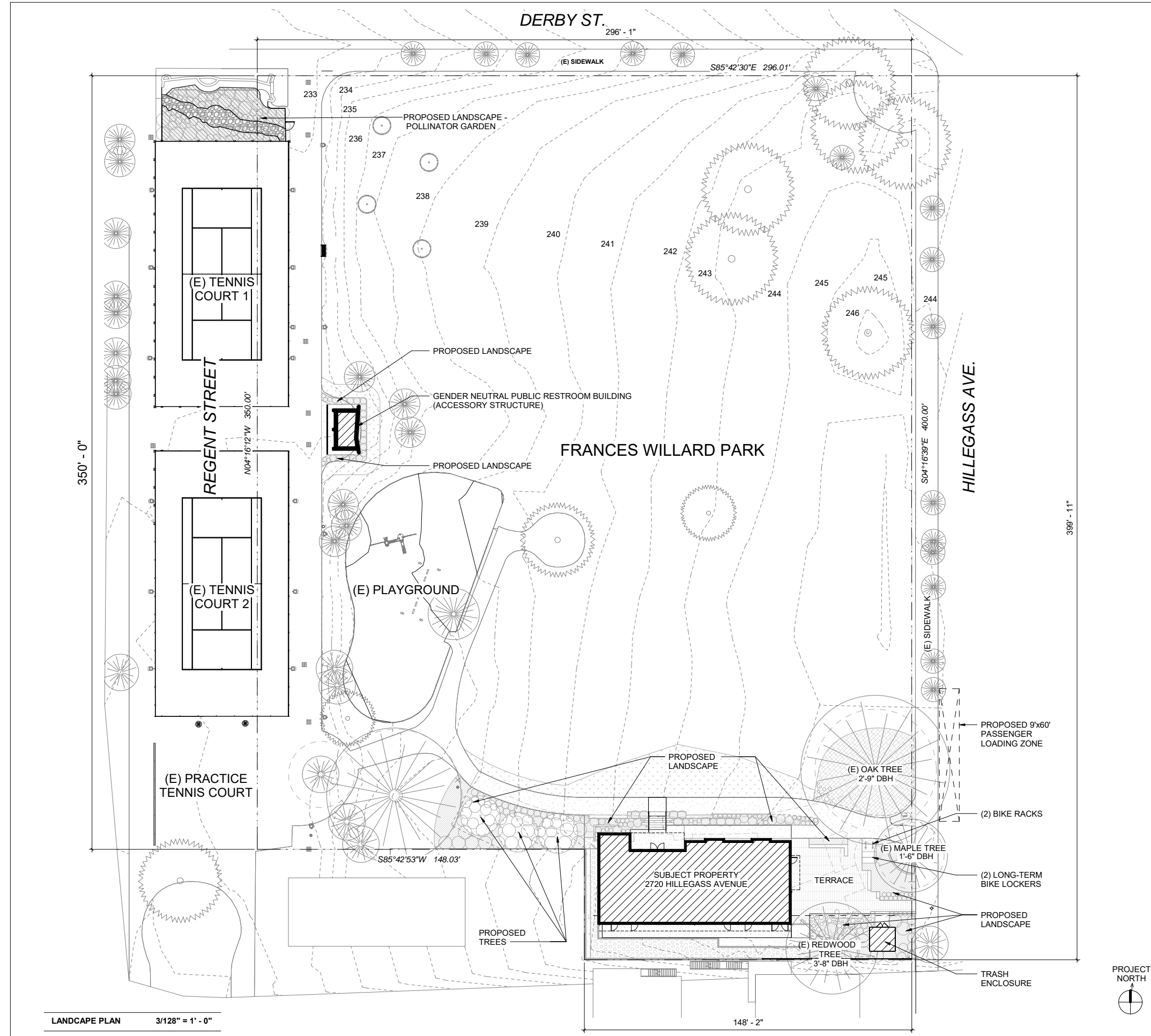
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SHEET TITLE:  
**ENLARGED SITE PLAN**

SHEET NUMBER:  
**Z2-A4**

SITE PLAN 1/32" = 1' - 0"





LANDSCAPE PLAN 3/128" = 1' - 0"

**LEGEND**

- PROPERTY LINE
- - - - EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REAMIN AND BE PROTECTED
- PROPOSED ITEM
- EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE
- ▨ PROPOSED LANDSCAPE

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PROJECT:  
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2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

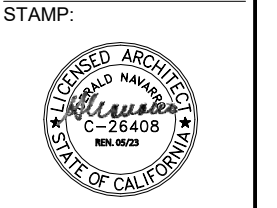
ELS PROJECT NUMBER:  
**201320.27**

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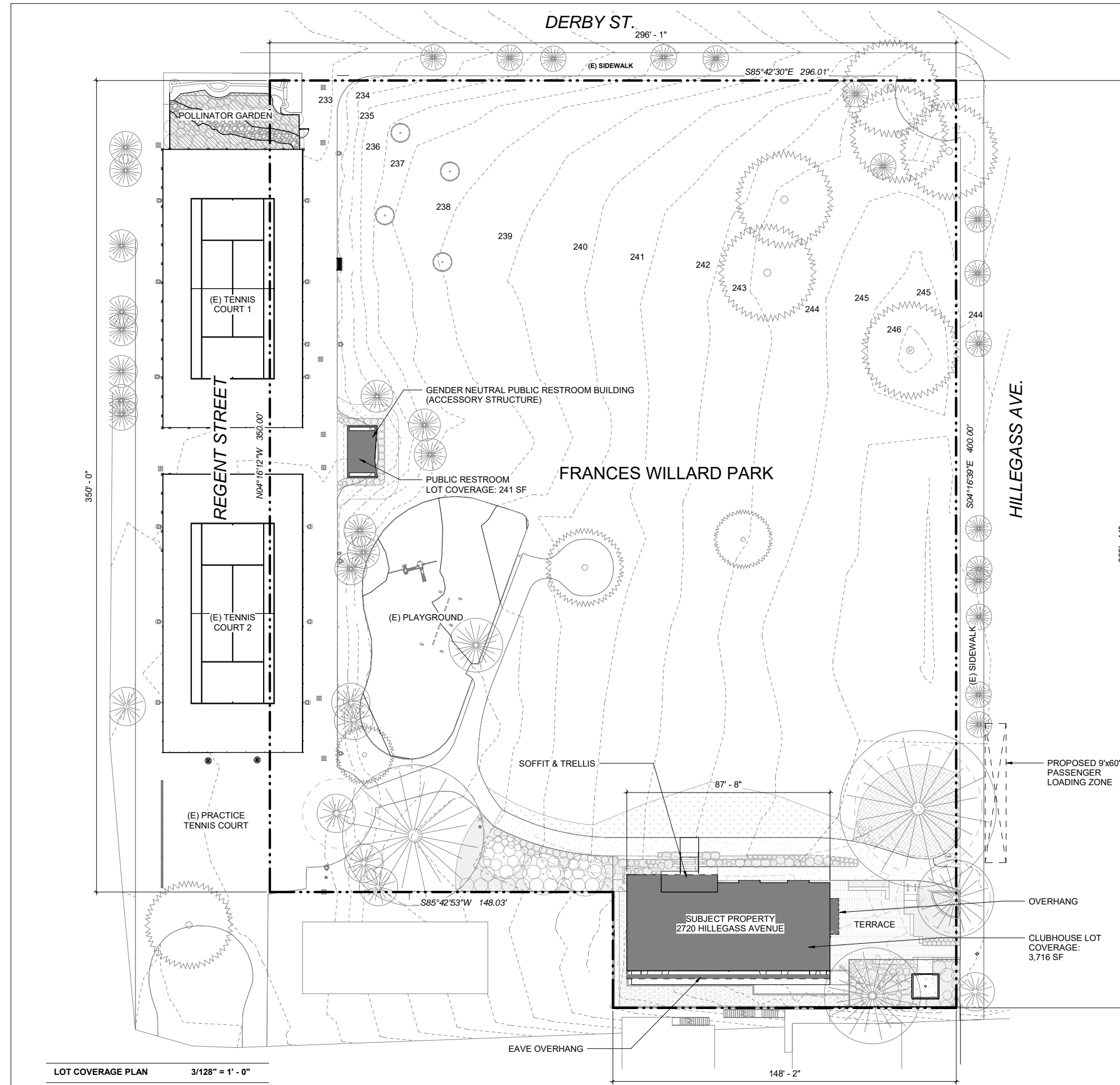
REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**  
DATE:  
**03/20/2023**



SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**Z2-B**



LOT COVERAGE PLAN 3/128" = 1' - 0"

**LOT COVERAE:**

CLUBHOUSE:	3,716 SF
PUBLIC RESTROOM:	241 SF
<b>TOTAL:</b>	<b>3,957 SF</b>

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**PROJECT:**  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

**PROJECT INFO:**  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

**ELS PROJECT NUMBER:**  
201320.27

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BERKELEY, CA 94704

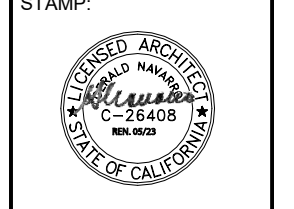
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REVISION NUMBER	DATE	DESCRIPTION

- LEGEND**
- · — · — PROPERTY LINE
  - - - - - EXISTING TOPOGRAPHY LINE
  - PROPOSED TOPOGRAPHY LINE
  - EXISTING ITEM TO REAMIN AND BE PROTECTED
  - PROPOSED ITEM
  - ⊗ EXISTING TREE TO REMAIN AND BE PROTECTED
  - PROPOSED TREE
  - AREA COUNTING AS LOT COVERAGE - UP TO 18" OF EAVE OVERHANG IS EXCLUDED FROM LOT COVERAGE

**ISSUE:**  
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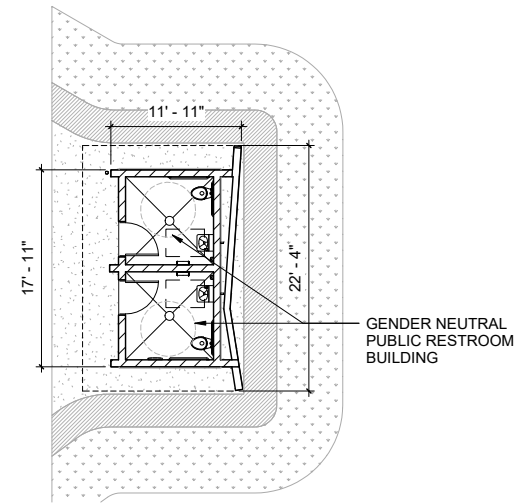


**SHEET TITLE:**  
**LOT COVERAGE**

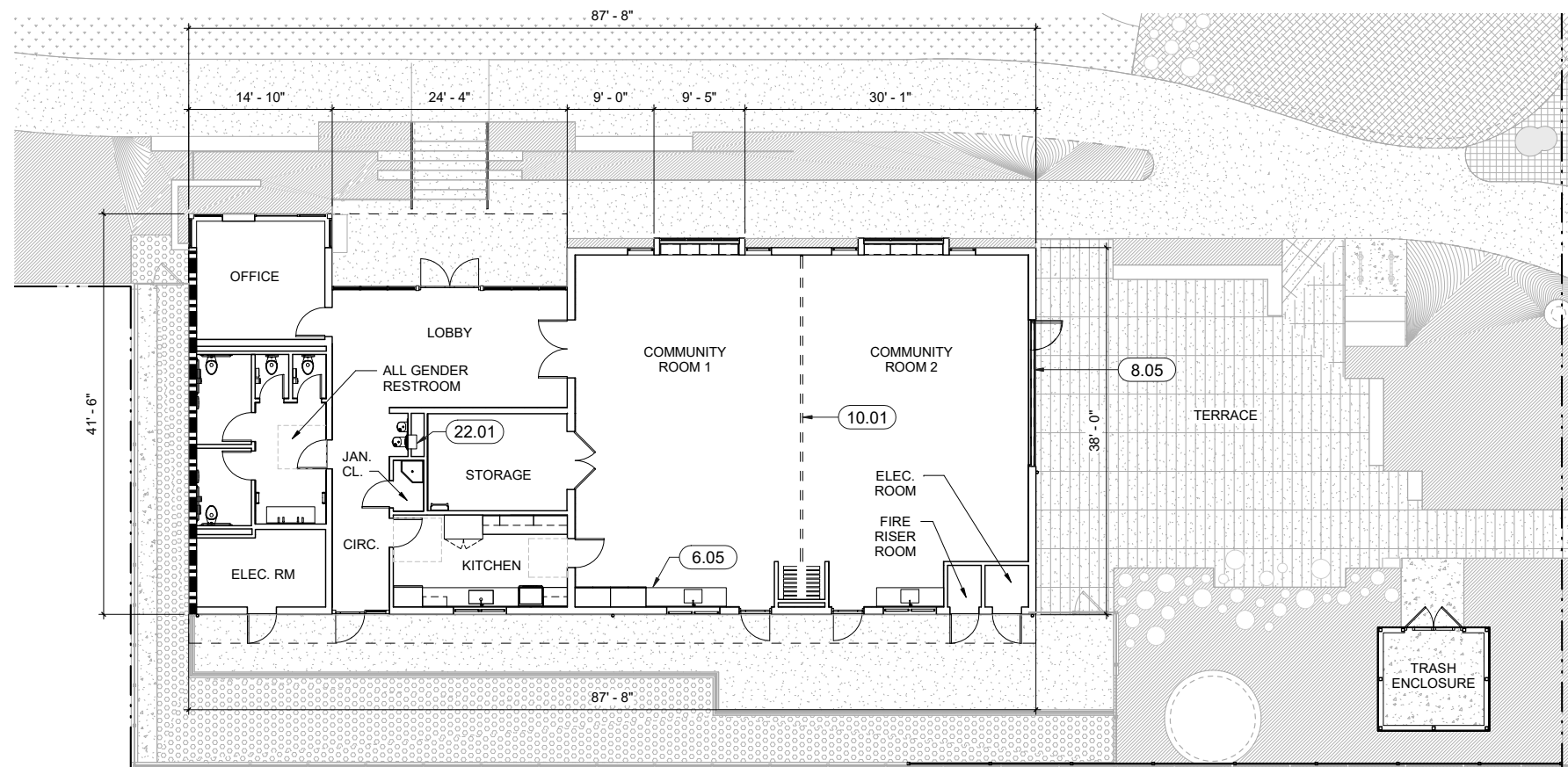
**SHEET NUMBER:**  
**Z2-C**



PUBLIC RESTROOM FLOOR PLAN 1/16" = 1' - 0"



CLUBHOUSE FLOOR PLAN 1/16" = 1' - 0"



KEYNOTE LEGEND - ZONING

6.05	QUARTZ COUNTERTOP WITH 4" BACKSPASH
8.05	ALUMINUM FRAMED FOLDING GLASS STOREFRONT, REFER TO SPECS.
10.01	FOLDING PANEL PARTITION, MANUAL
22.01	DUAL HEIGHT DRINKING FOUNTAIN WITH BOTTLE FILLER, S.P.D. AND SHEET A020

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

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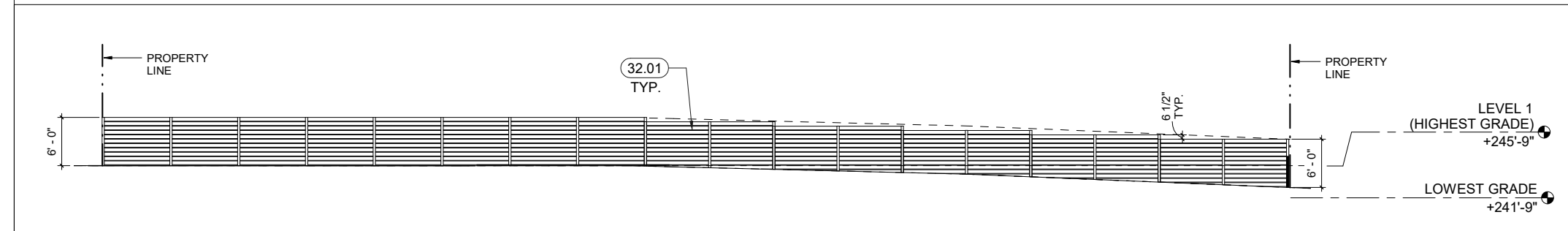
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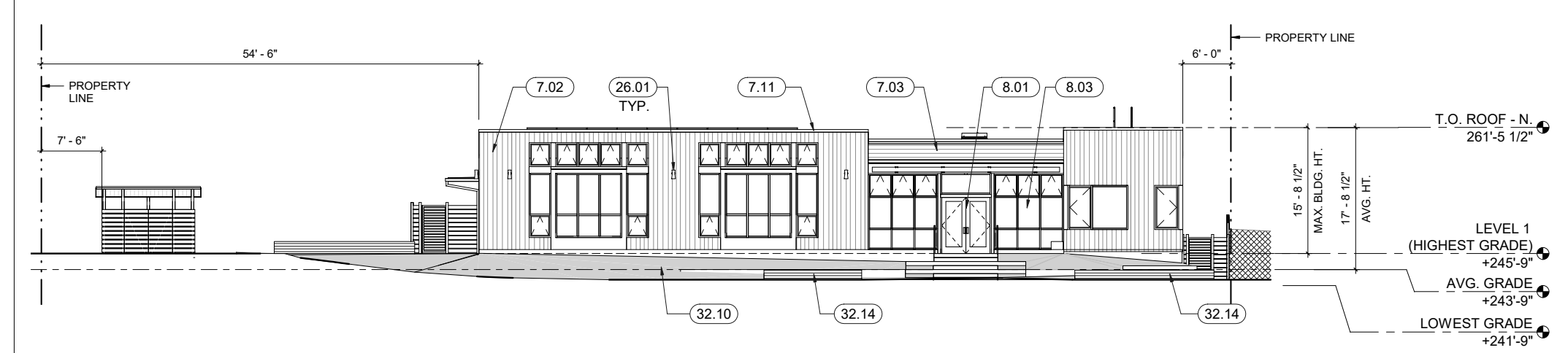


SHEET TITLE:  
**FLOOR PLANS**

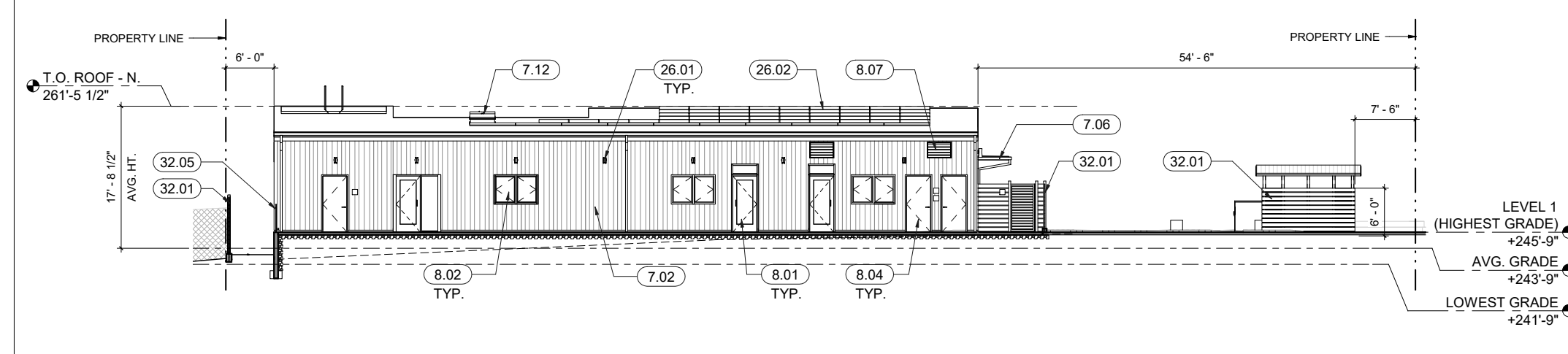
SHEET NUMBER:  
**Z2-D**



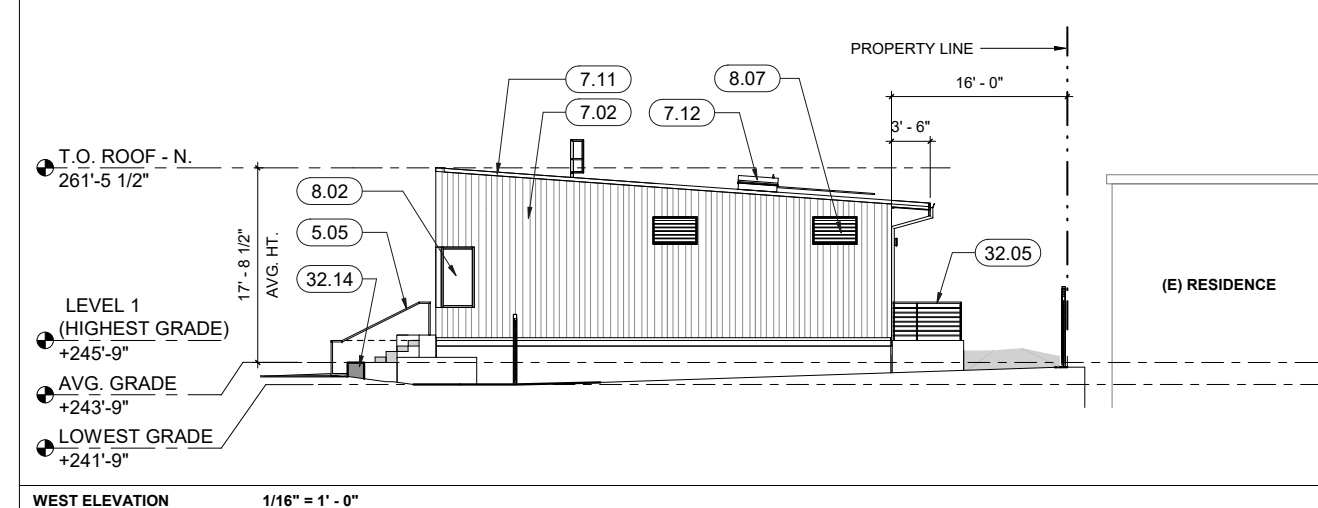
FENCE - NORTH ELEVATION 1/16" = 1' - 0"



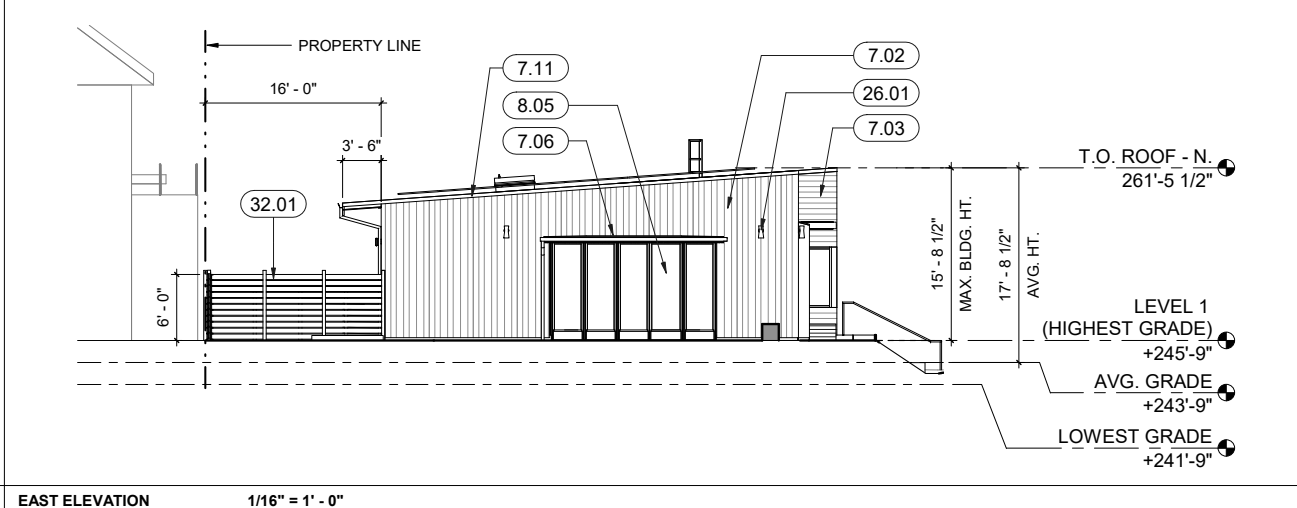
NORTH ELEVATION 1/16" = 1' - 0"



SOUTH ELEVATION 1/16" = 1' - 0"



WEST ELEVATION 1/16" = 1' - 0"



EAST ELEVATION 1/16" = 1' - 0"

KEYNOTE LEGEND - ZONING	
5.05	1 1/2" DIAMETER STEEL PIPE HANDRAIL, PTD, S.L.D.
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
7.06	S.S. GUTTER, PTD., CONNECT TO DOWNSPOUT
7.11	GALV. METAL COPING, PAINTED
7.12	ROOF HATCH, SEE DETAIL 11/A860
8.01	EXTERIOR WOOD & GLASS DOOR
8.02	ALUMINUM FRAMED WINDOWS
8.03	ALUMINUM FRAMED STOREFRONT SYSTEM
8.04	HOLLOW METAL DOOR
8.05	ALUMINUM FRAMED FOLDING GLASS STOREFRONT, REFER TO SPECS.
8.07	ALUM. WALL LOUVER, S.M.D.
26.01	WALL MOUNTED LIGHT FIXTURE, S.E.D.
26.02	PHOTOVOLTAIC SYSTEM, S.E.D.
32.01	1X6 TIMBER BOARD WOOD FENCE, SEE SPECS
32.05	METAL GUARDRAIL, S.L.D.
32.10	PLANTING, S.L.D.
32.14	CONCRETE SEAT WALL W/ WOOD TOP, S.L.D.



PROJECT:  
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2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
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APN: 54-1711-27  
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OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
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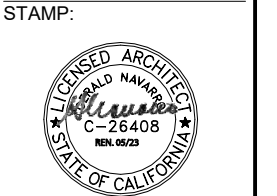
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REVISION NUMBER	DATE	DESCRIPTION

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DATE:  
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SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E1**



KEYNOTE LEGEND - ZONING	
3.02	CONCRETE CURB, S.S.D.
4.01	CONCRETE MASONRY UNIT, GROUND FACE, PAINTED
5.03	BRAKE METAL FASCIA, MATCH WINDOW FINISH
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
8.02	ALUMINUM FRAMED WINDOWS
8.04	HOLLOW METAL DOOR

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SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E2**

<p>PUBLIC RESTROOM - NORTH ELEVATION      1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - EAST ELEVATION      1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - WEST ELEVATION      1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - SOUTH ELEVATION      1/16" = 1' - 0"</p>
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2734 HILLEGASS AVE

2732 HILLEGASS AVE

EXISTING CLUBHOUSE

WILLARD PARK

EXISTING CONDITION: STREET STRIP ELEVATION - EAST



2734 HILLEGASS AVE

2732 HILLEGASS AVE

CLUBHOUSE

WILLARD PARK

PROPOSED DESIGN: STREET STRIP ELEVATION - EAST 1/16" = 1' - 0"

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ISSUE:  
ZONING SUBMITTAL

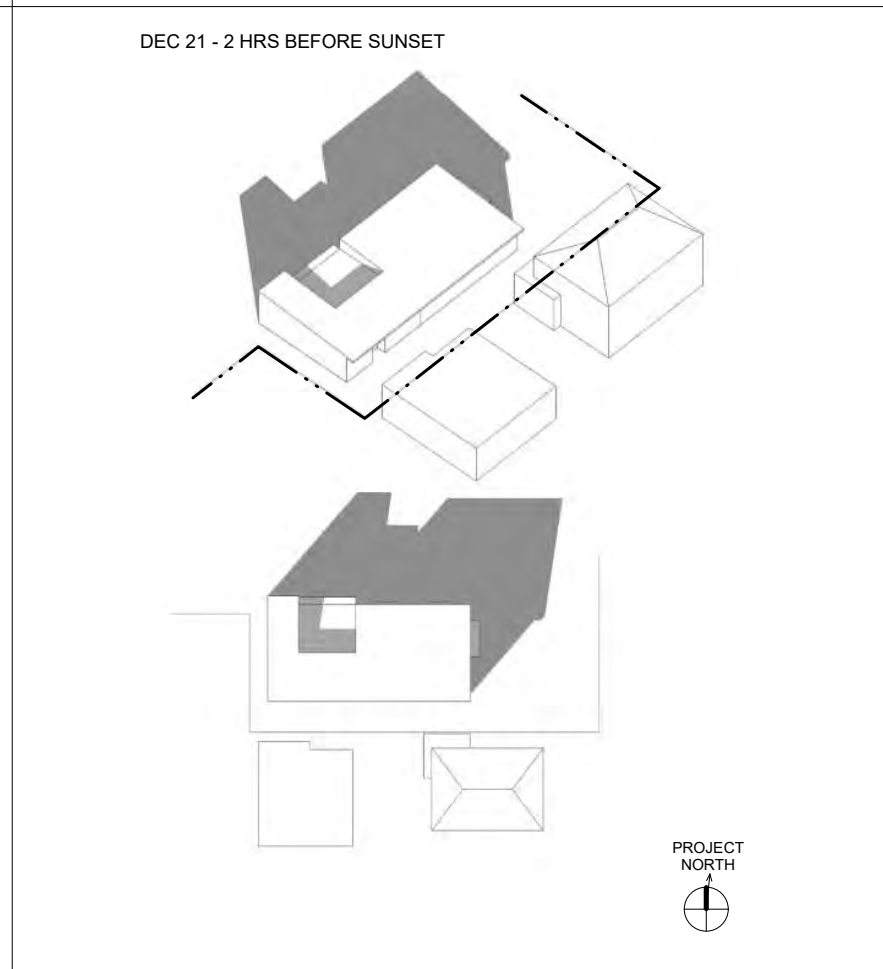
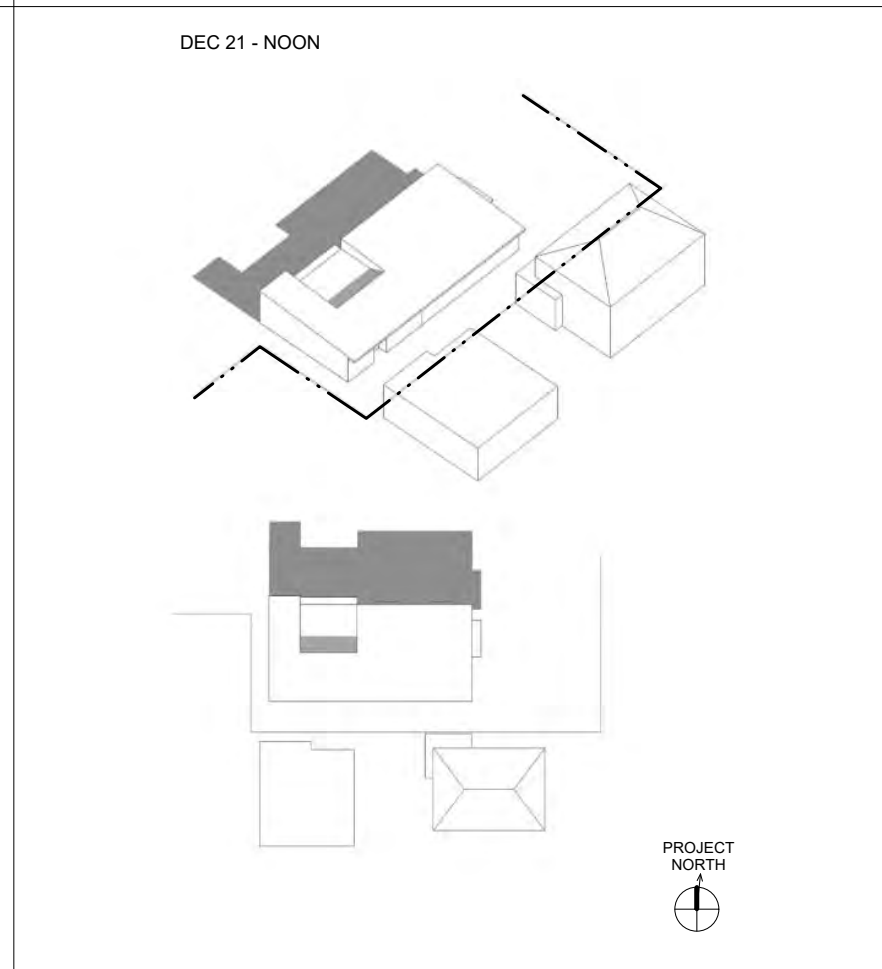
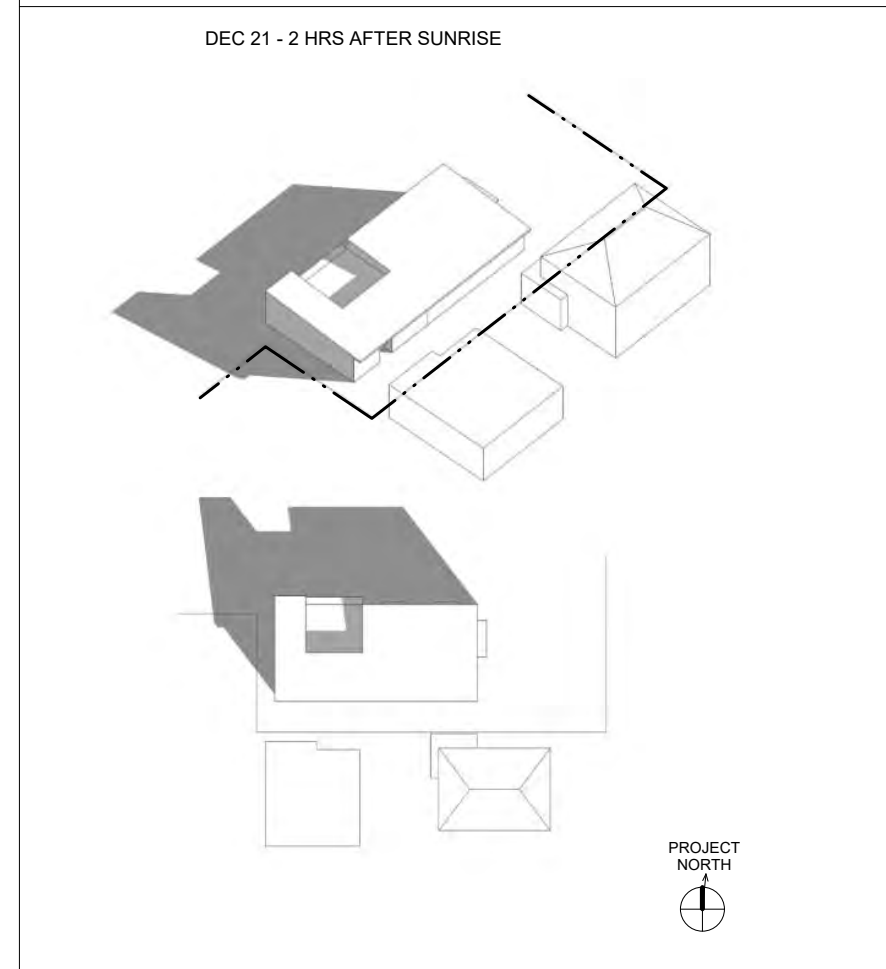
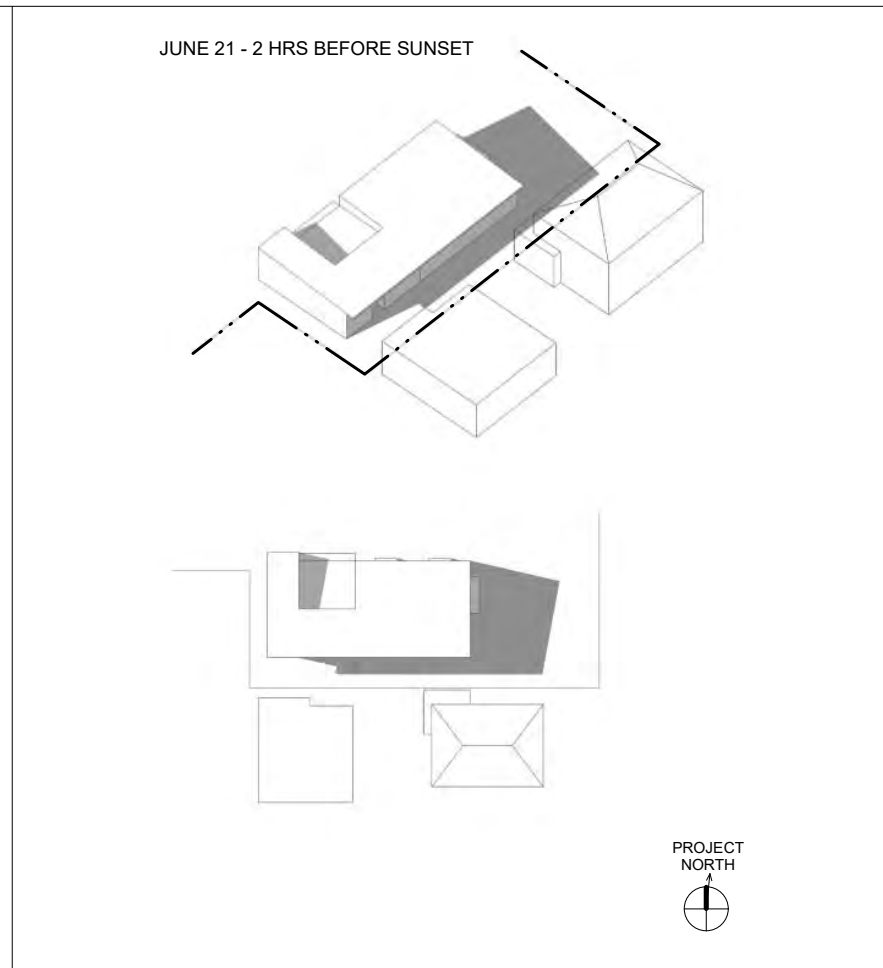
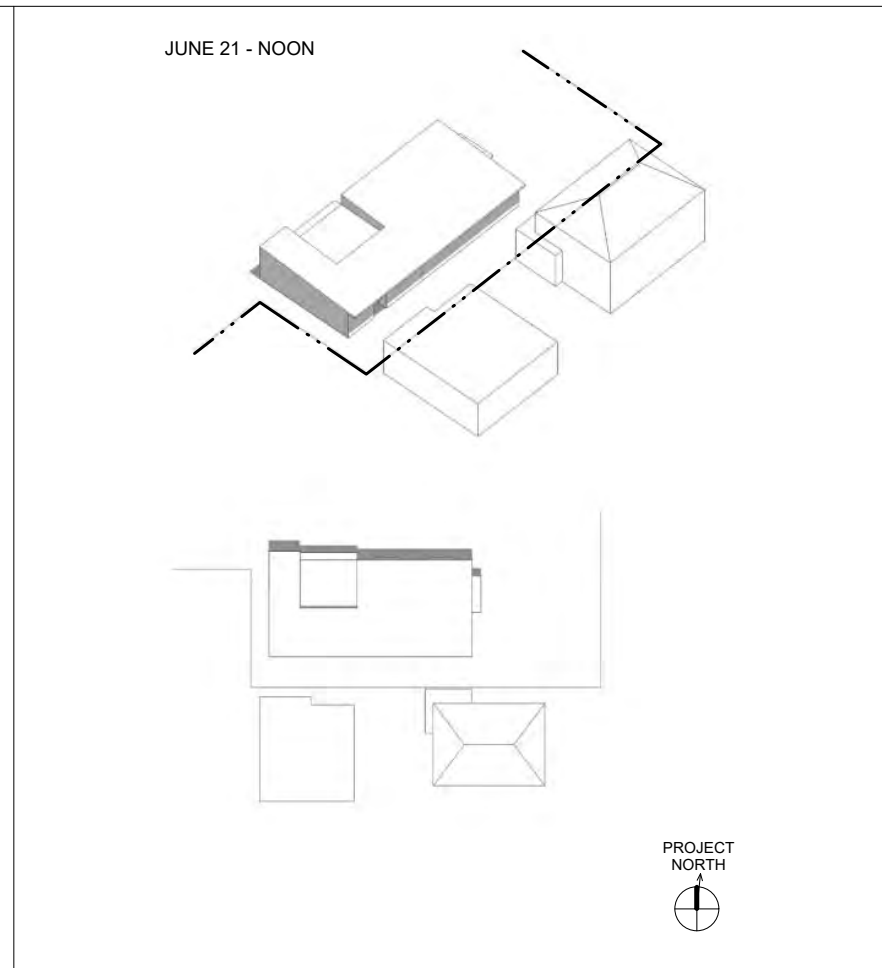
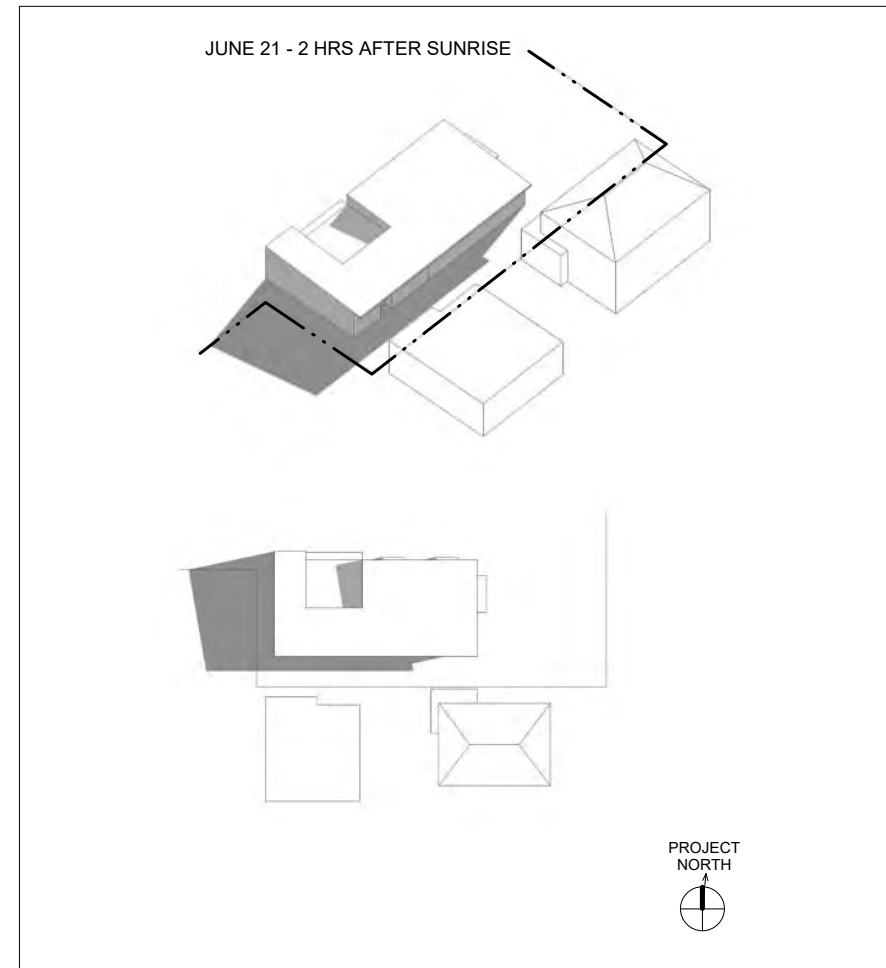
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03/20/2023

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SHEET TITLE:  
**STREET STRIP ELEVATION**

SHEET NUMBER:  
**Z2-F1**



**els** architecture+  
urban design  
2040 Addison St, Berkeley, CA 94704  
510.549.2929 | elsarch.com

PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

CLIENT:  
CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
ZONING SUBMITTAL

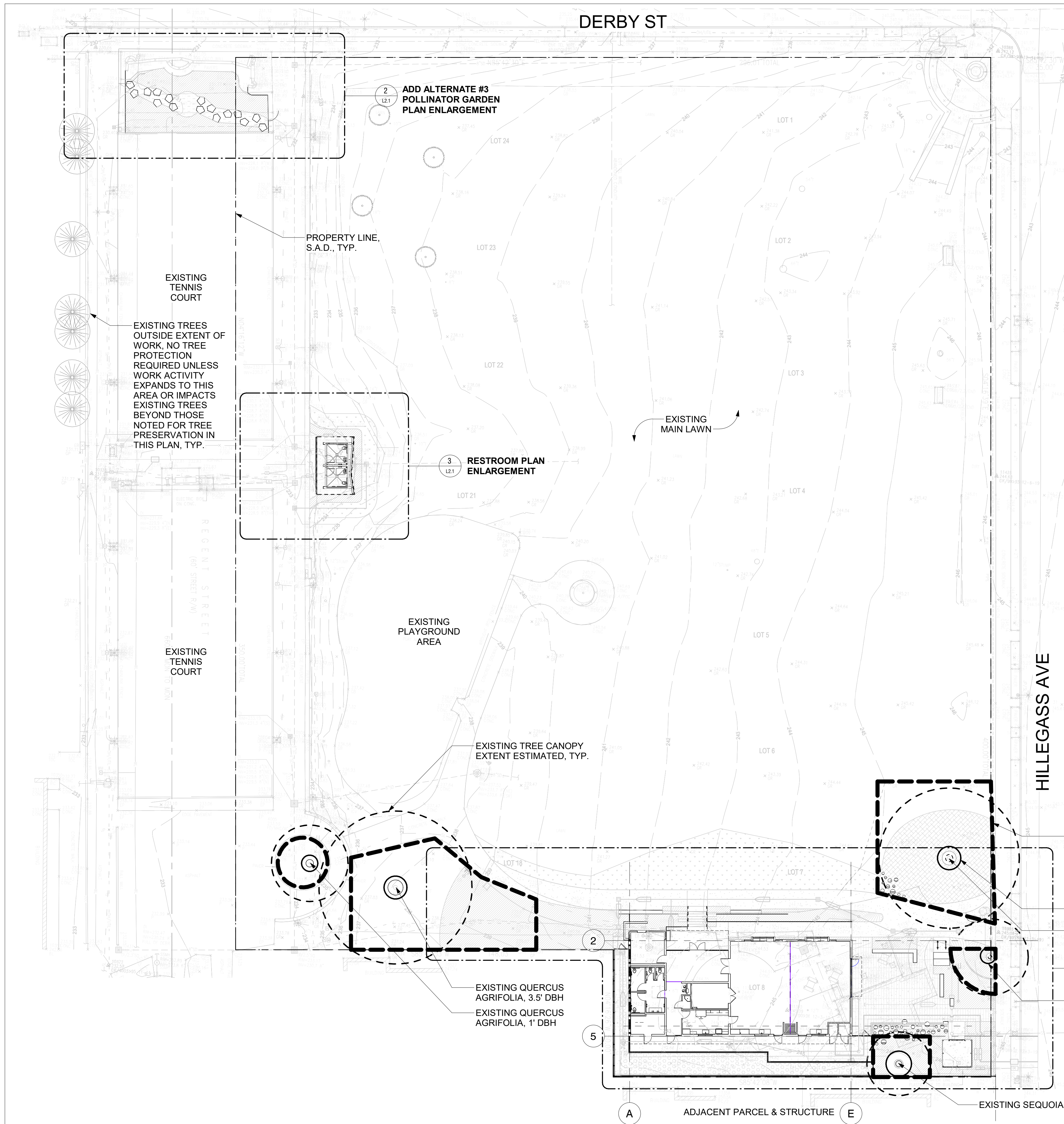
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11/18/2022

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SHEET TITLE:  
**SHADOW STUDY**

SHEET NUMBER:  
**Z3-B**



**GENERAL SYMBOLS & ABBREVIATIONS**

- — — — — PROPERTY LINE
- ⊕ POINT OF BEGINNING
- C — CENTERLINE
- EQ. EQUAL
- O.C. ON CENTER
- N.I.C. NOT IN CONTRACT
- NO. NUMBER
- TYP. TYPICAL
- QTY. QUANTITY
- V.I.F. VERIFY IN FIELD
- S.A.D. SEE ARCHITECTURAL DRAWINGS
- S.C.D. SEE CIVIL DRAWINGS
- S.S.D. SEE STRUCTURAL DRAWINGS
- S.M.D. SEE MECHANICAL DRAWINGS
- S.E.D. SEE ELECTRICAL DRAWINGS
- ① A101 DETAIL CALLOUT
- ① A101 SECTION CALLOUT

**LANDSCAPE GENERAL NOTES**

1. EXISTING SITE INFORMATION IS PROVIDED BY OTHERS. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY OR LIABILITY FOR COMPLETENESS OR ACCURACY OF PLANS PROVIDED BY OTHERS.
2. 'TYP' OR TYPICAL MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY NOTED 'TYP' ONLY ONCE WHEN THEY FIRST OCCUR.
3. NOTES AND SYMBOLS ON ONE DRAWING APPLY TO OTHER SIMILAR DETAILS AND CONDITIONS.
4. BECOME ACQUAINTED WITH SUBGRADE UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY OWNER'S REPRESENTATIVE. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN ON PLANS.
5. DIMENSIONS ARE FROM OUTSIDE FACE OF BUILDING OR WALLS, UNLESS OTHERWISE NOTED, AND ARE TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION AND MAJOR EXCAVATION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING.
6. UNLESS OTHERWISE NOTED, ANGLES TO BE RIGHT ANGLES, ARCS WHICH APPEAR TANGENT AND UNIFORM ARE TO BE TANGENT AND UNIFORM, LINES WHICH APPEAR PARALLEL ARE TO BE PARALLEL, AND ITEMS WHICH APPEAR CENTERED TO BE CENTERED, MAINTAIN LINES TRUE, LEVEL, PLUMB, AND SQUARE.
7. REFER TO GRADING PLANS FOR GRADING AND DRAINAGE STRUCTURES PRIOR TO INSTALLATION OF WALKS, WALLS, FOOTINGS, AND OTHER STRUCTURES.
8. LANDSCAPE ARCHITECT TO APPROVE LAYOUT IN THE FIELD PRIOR TO INSTALLATION OF FORMS OR GRADING FOR LANDSCAPE WORK.
9. LOCATE ELECTRICAL JUNCTION BOXES FOR LIGHTS IN PLANTING AREAS UNLESS SHOWN OTHERWISE. LAYOUT TO BE APPROVED BY THE CITY OF BERKELEY PRIOR TO TRENCHING.
10. CAREFULLY REVIEW LANDSCAPE IRRIGATION PLANS AND NOTES TO IDENTIFY LOCATIONS WHERE PIPE, SLEEVES, SANDBED OR CONDUIT MUST BE PLACED PRIOR TO PLACEMENT OF FORMWORK FOR INSTALLATION OF CONCRETE, OTHER PAVING, OR WALLS.
11. QUANTITIES PROVIDED ARE FOR INFORMATION ONLY, VERIFY QUANTITIES AND NOTIFY OWNER OF DISCREPANCIES.



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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE., BERKELEY, CA 94705  
CITY SPECIFICATION NUMBER:  
**201730.27**  
ELS PROJECT NUMBER:  
CLIENT:  
**CITY OF BERKELEY, CA**

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
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CIVIL ENGINEER:  
BK ENGINEERS  
1646 N. California Blvd., Suite 400  
Walnut Creek, CA 94596  
925.940.2200  
LANDSCAPE ARCHITECT:  
PGAdesign LANDSCAPE ARCHITECTS  
444 17th Street  
Oakland, CA 94612  
510.465.1284

STRUCTURAL ENGINEER:  
IDA STRUCTURAL ENGINEERS, INC.  
1629 Telegraph Avenue, Suite 300  
Oakland, CA 94612  
510.834.1629  
MECHANICAL AND PLUMBING ENGINEER:  
ALTER CONSULTING ENGINEERS  
1624 Franklin St. #1300  
Oakland, CA 94612  
510.474.0379  
ELECTRICAL ENGINEER:  
RJA INC.  
5515 Doyle Street, #7  
Emeryville, CA 94608  
415.730.7994  
ACOUSTICAL ENGINEER:  
SALTER ENGINEER  
130 Sutter Street, Floor 5  
San Francisco, CA 94104  
415.397.0442

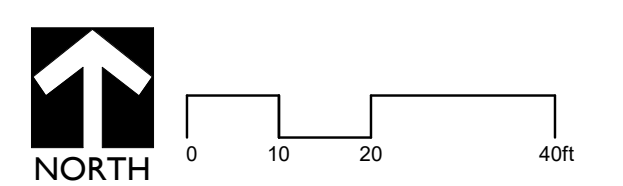
REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:  
**PERMIT SET**  
DATE:  
**04/07/2023**



SHEET TITLE:  
**LANDSCAPE OVERALL PLAN & TREE PROTECTION PLAN**  
SHEET NUMBER:

**L1.1**



**TREE PRESERVATION & REMOVAL NOTES**

- PROJECT ARBORIST TO BE PROVIDED AND IDENTIFIED BY OWNERS REPRESENTATIVE AT START OF PROJECT. PROJECT ARBORIST TO BE A CERTIFIED ARBORIST OR CERTIFIED TREE WORKER (INTERNATIONAL SOCIETY OF ARBORICULTURE). PROJECT ARBORIST TO MEET WITH THE CONTRACTOR, LANDSCAPE ARCHITECT AND CITY'S ARBORIST ON SITE TO DISCUSS TREE PRESERVATION, REVIEW THE LOCATION OF THE TREE PROTECTION FENCING, OTHER TREE PROTECTIONS AND WORK PROCEDURES AROUND TREES PRIOR TO CONSTRUCTION AND BE PRESENT ON SITE FOR ALL WORK WITHIN TREE PROTECTION ZONE OF EXISTING TREES.
- BEFORE ANY DEMOLITION OR CONSTRUCTION ACTIVITY BEGINS COMPLETELY ENCLOSE THE TREE PROTECTION ZONE (TPZ) AS SHOWN ON TREE PRESERVATION PLAN AND ARBORIST REPORT, INSTALL ALL SPECIFIED TRUNK PROTECTION AND ROOT BUFFERS. FENCING AND OTHER PROTECTIONS TO REMAIN IN PLACE UNTIL GRADING AND CONSTRUCTION IS COMPLETED.
- CONTRACTOR NOT TO ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TPZ WITHOUT THE APPROVAL OF THE PROJECT ARBORIST OF LANDSCAPE ARCHITECT INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT; STORING OR STAGING SUPPLIES OR MATERIALS. DO NOT PERMIT EMPLOYEES TO ENTER FENCED AREAS.
- DO NOT OPERATE OR PARK VEHICLES OR HEAVY EQUIPMENT WITHIN THE TPZ.
- STRICTLY MINIMIZE GRADING, CONSTRUCTION AND DEMOLITION WORK TO OCCUR WITHIN THE TPZ. ALL WORK WITHIN TPZ MUST BE MONITORED AND APPROVED BY THE PROJECT ARBORIST.
- ALL EXCAVATION AND OR TRENCHING WORK DONE WITHIN THE TPZ IS TO BE DONE BY HAND OR AIR TOOLS ONLY.
- ALL PRUNING, BRANCH TIE BACK, TREE REMOVAL, ROOT PRUNING AND STUMP REMOVAL IS TO BE DIRECTLY SUPERVISED BY AN ISA CERTIFIED ARBORIST.
- IMMEDIATELY REPORT ANY INJURY DONE TO A TREE DURING CONSTRUCTION TO THE PROJECT ARBORIST SO THAT APPROPRIATE TREATMENTS CAN BE APPLIED.
- TREE PRUNING NEEDED FOR CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A CERTIFIED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.
- ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES MUST RECEIVE THE PRIOR APPROVAL OF, AND BE SUPERVISED BY THE PROJECT ARBORIST.
- CONTRACTOR TO MINIMIZE DISTURBANCE TO EXISTING TREE ROOTS ON SITE. ANY ROOTS ENCOUNTERED LESS THAN 4" IN DIAMETER MAY BE PRUNED AS NECESSARY. ANY ROOT LARGER THAN 4" OBSTRUCTING CONSTRUCTION MAY BE PRUNED. ANY ROOTS GREATER THAN 4" ARE ENCOUNTERED STOP WORK AND CONTACT THE URBAN FORESTRY UNIT FOR REVIEW PRIOR TO PRUNING. ROOT PRUNING SHALL BE PERFORMED USING A STUMP/ROOT CUTTING MACHINE, SAW, AXE, OR ANY OTHER SHARP BLADE TOOL; RESULTING IN A FLAT SURFACE WITH THE ADJACENT BARK FIRMLY ATTACHED. NO ROOTS SHALL BE TORN OR PULLED USING ANY OTHER TOOLS OR MACHINERY UNLESS ALREADY SERVED ON EACH END BY ONE OF THE APPROVED PRUNING TOOLS

**AIRSPADE TRENCHING NOTES:**

- ALL TRENCHING AROUND TREES IS TO BE COMPLETED WITH THE USE OF AN AIRSPADE TO A DEPTH NEEDED TO EXPOSE ROOTS FOR REVIEW.
- ALL AIRSPADE WORK IS TO BE COMPLETED BY AN EXPERIENCED TREE COMPANY UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.
- SOIL FROM AIRSPADE WORK IS TO BE COLLECTED AND STORED ON SITE TO BE RETURNED TO THE EXPOSED ROOT AREAS ONCE TRENCHING WORK IS COMPLETED.
- REQUIRED CUTTING OF ANY ROOTS ENCOUNTERED DURING THE TRENCHING PROCESS IS ONLY TO BE DONE AFTER A CERTIFIED ARBORIST HAS MADE A VISUAL ASSESSMENT AND GIVEN DIRECTION ON THE CUTTING.
- ROOTS EXPOSED DURING THE TRENCHING PROCESS MUST BE PROTECTED AS MUCH AS POSSIBLE. COVER EXPOSED ROOTS WITH BURLAP AND KEEP MOIST. ONCE THE TRENCHING WORK HAS BEEN COMPLETED, RETURN THE EXCAVATED SOIL TO THE EXPOSED ROOTS AND INSTALL MULCH AS A PROTECTIVE LAYER.

**BAY-FRIENDLY PRACTICE NOTES**

BAY-FRIENDLY BASIC PRACTICES CHECKLIST FOR PRIVATE DEVELOPMENT IS REQUIRED FOR THIS PROJECT AND WITH THE SUBMISSION OF ALL DEVELOPMENT APPLICATIONS TO THE CITY OF FREMONT, EXCLUDING SINGLE FAMILY HOME PARCELS, BUT INCLUDING SUBDIVISION COMMON AREAS.

EACH PROJECT IS REQUIRED TO MEET THE FOLLOWING NINE PRACTICES.

IN ADDITION TO THIS REQUIREMENT, EACH PROJECT IS ENCOURAGED TO MEET 60 POINTS ON THE BAY-FRIENDLY CIVIC AND COMMERCIAL LANDSCAPE SCORECARD, WHICH IS AVAILABLE AT BAYFRIENDLY.ORG OR FREMONT.GOV. THE FORM IS REQUIRED TO BE SUBMITTED WITH THE DEVELOPMENT APPLICATION.

THE NINE REQUIRED PRACTICES ARE AS FOLLOWS:

- MULCH ALL SHRUB AREAS WITH 3 INCH THICK LAYER OF MULCH. ALL SOIL ON SITE IS PROTECTED WITH A MINIMUM OF 3 INCHES OF MULCH AFTER CONSTRUCTION. ALL MULCH IS ARBOR WASTE MATERIAL.
- AMEND SOIL WITH COMPOST BEFORE PLANTING. COMPOST IS SPECIFIED AS THE SOIL AMENDMENT, AT THE RATES INDICATED BY A SOIL ANALYSIS TO BRING THE SOIL ORGANIC MATTER CONTENT TO A MINIMUM OF 3.5% BY DRY WEIGHT OR 1 INCH OF COMPOST. OPTION 1: REQUIRE IMPORT TOPSOIL TO MEET ORGANIC MATTER CONTENT OF A MINIMUM 3.5% BY DRY WEIGHT. OPTION 2: SUBMIT SOILS REPORT THAT IDENTIFIES EXISTING TOPSOIL MEETS ORGANIC MATTER CONTENT OF 3.5% BY DRY WEIGHT OR GREATER.
- REDUCE AND RECYCLE LANDSCAPE CONSTRUCTION WASTE. DIVERT 50% OF LANDSCAPE CONSTRUCTION AND DEMOLITION WASTE BY VOLUME OR WEIGHT.
- CHOOSE AND LOCATE PLANTS THAT GROW TO NATURAL SIZE AND AVOID SHEARING. NO PLANT SPECIES WILL REQUIRE SHEARING. SELECT SPECIES AND SPACING TO ALLOW PLANTS TO GROW TO NATURAL SIZE AND SHAPE WITHOUT SHEARING AT ANY POINT IN THE LIFESPAN OF THE PLANT, EXCLUDING STRUCTURAL AND REGULAR MAINTENANCE.
- DO NOT PLANT INVASIVE SPECIES. NONE OF THE PLANT SPECIES LISTED BY CAS-IPC AS INVASIVE IN THE SAN FRANCISCO, BAY AREA ARE INCLUDED IN THE PLANTING DESIGN.
- GROW DROUGHT TOLERANT CALIFORNIA NATIVE, MEDITERRANEAN OR CLIMATE ADAPTED PLANTS. A MINIMUM OF 75% OF THE TOTAL NUMBER OF PLANTS IN THE NON-TURF AREAS MUST BE SPECIES THAT REQUIRE NO OR LITTLE SUMMER WATERING ONCE ESTABLISHED. SPECIES SHOULD BE ADAPTED TO THE CLIMATE IN WHICH THEY WILL BE PLANTED, AS REFERENCED BY A THIRD PARTY SOURCE. PLANT SHALL BE RATED FOR MODERATE OR OCCASIONAL WATER USE FOR THIS REGION AND CLIMATE.
- MINIMIZE TURF. A MAXIMUM OF 25% OF TOTAL IRRIGATED AREA IS SPECIFIED AS TURF, WITH SPORTS OR MULTI-USE FIELDS EXEMPTED.
- SPECIFY AUTOMATIC WEATHER-BASED CONTROLLER WITH SOIL MOISTURE AND/OR RAIN SENSOR A WEATHER-BASED IRRIGATION CONTROLLERS, SOIL MOISTURE BASED CONTROLLERS, OR OTHER SELF-ADJUSTING IRRIGATION CONTROLLERS, SHALL BE REQUIRED FOR ENTIRE IRRIGATION SYSTEM.
- SPRINKLER AND SPRAY HEADS ARE NOT SPECIFIED IN AREAS LESS THAN 8 FEET WIDE. SPRINKLER AND SPRAY HEADS ARE NOT SPECIFIED IN AREAS LESS THAN OR EQUAL TO 8 FEET WIDE TO PREVENT OVERSPRAY AND RUNOFF. ACCEPTABLE ALTERNATIVES INCLUDE BUBBLER OR DRIP WITH SUBSURFACE RIGID LATERAL PIPES. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER BUBBLER.



March 28, 2022

Re: Tree and Root Protection at Willard Park

Ms. Wellbrock,

I have reviewed the plans for the new clubhouse and additional renovations at Willard Park. All of the tree and root protection measures outlined in the plans are consistent with industry standards and are acceptable as designed.

The fencing will keep all activity beyond the drip line of the coast live oak except where there is existing hardscape and will protect the critical root zone of the other trees that are being retained. Any roots four inches in diameter or less that are encountered during the excavation may be pruned as necessary. If any roots greater than four inches are encountered, contact the Urban Forestry Unit for review prior to pruning. Root pruning shall be performed using a stump/root cutting machine, saw, axe, or any other sharp blade tool; resulting in a flat surface with the adjacent bark firmly attached. No roots shall be torn or pulled using any other tools or machinery unless already severed on each end by one of the approved pruning tools.

Thank you,

Thomas Dodge

Urban Forestry Technician,

City of Berkeley, PR&W

1326 Alston Way, Berkeley, CA 94702 Tel: 510.981-6660 TDD: 510.981-6903 Fax: 510.981-6665  
Email: trees@cityofberkeley.info

**PLANTING NOTES**

- VERIFY LOCATION OF SUBSURFACE UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY OWNER'S REPRESENTATIVE. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF UTILITIES NOT SHOWN ON PLANS.
- KEEP PLANTING CLEAN AND FREE FROM ALL CONCRETE, ASPHALTIC WASTE, LUMBER AND OTHER SUCH MATERIALS AND SHOULD BE REMOVED BY EXCAVATION OF THE SOIL AND REPLACED WITH CLEAN NATIVE TOP SOIL.
- CLEAR AND GRUB ALL AREAS TO RECEIVE NEW PLANTING AND PREPARE SOIL PER SPECIFICATION.
- DO NOT WORK SOIL WHEN WET TO AVOID COMPACTION.
- NO PLANT SPECIES SUBSTITUTIONS WILL BE ACCEPTED, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. SAME GENUS DIFFERENT SPECIES SUBSTITUTIONS ARE ACCEPTABLE PROVIDED THE VARIETY IS SIMILAR IN GROWTH HABIT AND SIZE TO THE SPECIFIED PLANT AND WATER USE IS THE SAME. EXAMPLE: ESCALLONIA 'TERRI' COULD SUB FOR 'RED ELF.' RHAPHIOLEPSIS CAN NOT SUBSTITUTE FOR ESCALLONIA AS THEY HAVE DIFFERENT WATER USE REQUIREMENTS. CERTIFICATES OF COMPLIANCE WILL NOT BE COMPLETED FOR PROJECTS WHICH EXCEED THE WATER USE OF SPECIFIED PLANT MATERIALS UNTIL CONFORMANCE WITH THE WATER EFFICIENT LANDSCAPE REQUIREMENTS IS ACHIEVED.
- CONTRACT GROW PLANTS AS REQUIRED. CONTRACT GROWN PLANTS MUST MEET INDUSTRY STANDARDS FOR SIZE IN ORDER TO BE ACCEPTED.
- ALL PLANTS AND LAYOUT TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION OF PLANTING HOLES.
- NOTIFY OWNER'S REPRESENTATIVE 36 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION MEETINGS.
- SPACE GROUND COVERS TRIANGULARLY IN PLANTING AREAS. GROUND COVER KEY INDICATIONS ARE SHOWN IN LEGEND. HOLD GROUND COVER BACK IN 18 IN. FROM THE EDGE OF NEW SHRUB PLANTS UNLESS OTHERWISE. PLANT GROUND COVER WHERE SHRUBS ARE PLANTED 2 1/2 FT. APART OR MORE.
- PROTECT EXISTING TREES TO REMAIN PER TREE PRESERVATION AND REMOVAL PLAN.
- PLANT QUANTITIES ARE FOR INFORMATIONAL PURPOSES AND CONSTRUCTION DOCUMENT WATER USE CALCULATIONS ONLY. CONTRACTOR TO VERIFY THE QUANTITY AND USE THE GRAPHIC PLANS AS A BASIS FOR QUANTITY OF PLANTS.
- SEE DETAILS AND SPECIFICATIONS FOR PROCEDURES, MATERIALS AND INSTALLATION REQUIREMENTS.
- PROVIDE SOILS REPORTS FOR ALL IMPORTED SOILS, PER SPECIFICATIONS AND WELO CONFORMANCE. SUBMIT REPORTS TO OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- KEEP ADJACENT STREETS, SIDEWALKS AND OTHER AREAS FREE OF MUD, DIRT OR SIMILAR NUISANCES RESULTING FROM EARTHWORK OPERATIONS.
- REPLACE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE ANY DAMAGED OR DESTROYED LANDSCAPING.
- FOR BEST RESULTS, NATIVE PLANT MATERIALS SHOULD NOT HAVE THEIR ROOTS DISTURBED. FOR PLASTIC CANS, REMOVE BOTTOM OF CAN, PLACE IN PLANT PIT AND CUT SIDES TO REMOVE. CUT METAL CANS IN THREE PLACES MINIMUM AND CAREFULLY SLIDE ROOT BALL INTO PLANT PIT, FOR LARGE MATERIAL, USE BOTTOM SUPPORT AS NECESSARY.
- AREAS IDENTIFIED AS BIORETENTION PLANTING ARE FUNCTIONAL STORM WATER PLANTERS WITH AN ENGINEERED IMPORTED SOIL MIX DESIGNED FOR SPECIFIC PERFORMANCE CRITERIA. AMEND ONLY PLANTING PITS AND ASSOCIATED PLANTING BACKFILL PER THE PLANTING INSTRUCTIONS. SEE CIVIL DRAWINGS FOR BIOFILTRATION MIX AND DRAINAGE.

**STATEMENT OF COMPLIANCE TO MWEO FOR DESIGN PLANS**

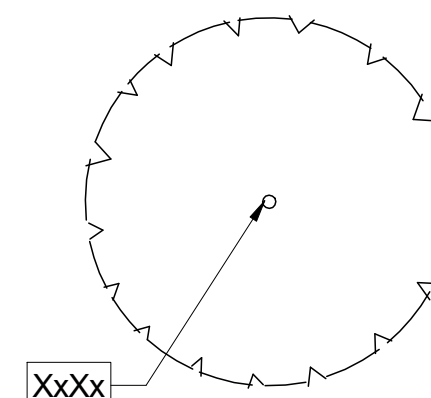
I HAVE COMPLIED WITH THE CRITERIA OF ARTICLE 19 OF THE ZONING CODE, INCLUDING ALL DESIGN STANDARDS OF SECTION 4-1908, AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

*Karen Koberstein*

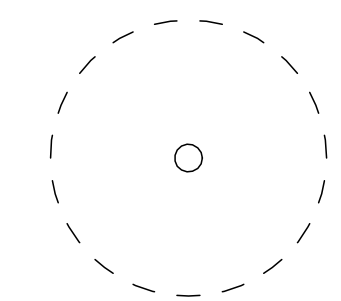
LANDSCAPE ARCHITECT SIGNATURE

PLANT LIST					
QTY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING	WATER USE
TREE					
4	LAGERSTROEMIA INDICA	CRAPE MYRTLE	24" BOX	20'-0"	LOW
TALL SHRUB					
1	CEANOTHUS 'FROSTY BLUE'	FROSTY BLUE CEANOTHUS	5 GAL	10'-0"	LOW
1	CERCIS OCCIDENTALIS	WESTERN REDBUD	5 GAL	10'-0"	VERY LOW
SHRUB					
1	ARCTOSTAPHYLOS 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	1 GAL	5'-0"	LOW
1	CEANOTHUS 'DARK STAR'	DARK STAR CEANOTHUS	1 GAL	8'-0"	LOW
1	CEANOTHUS 'RAY HARTMANN'	RAY HARTMAN WILD LILAC		10'-0"	LOW
1	CEANOTHUS GLORIOSUS 'ANCHOR BAY'	ANCHOR BAY CEANOTHUS	1 GAL	3'-0"	LOW
1	MAHONIA AQUIFOLIUM	OREGON GRAPE	5 GAL	3'-0"	LOW
15	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	3'-0"	MODERATE
7	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	COFFEEBERRY	1 GAL	6'-0"	LOW
1	RHAMNUS CALIFORNICUS 'SEA VIEW'	SEA VIEW COFFEEBERRY	15 GAL	4'-0"	LOW
3	RIBES SANGUINEUM 'CLAREMONT'	FLOWERING CURRANT	5 GAL	6'-0"	LOW
PERENNIAL					
19	HEUCHERA MAXIMA	ISLAND ALUM ROOT		1'-0"	MODERATE
1	ZAUSCHNERIA CALIFORNICA VAR. LATIFOLIA	EVERETT'S CALIFORNIA FUCHSIA	1 GAL	4'-0"	LOW
GROUND COVER					
1	ASCLEPIAS FASCICULARIS	NARROW LEAF MILKWEED	1 GAL	1'-6"	LOW
1	EPILOBIUM CANUM 'BOWMAN'S HYBRID'	BOWMAN'S CALIFORNIA FUCHSIA	1 GAL	1'-6"	LOW
1	LEONOTIS LEONURUS	LIONS TAIL	1 GAL	4'-0"	LOW
1	SALVIA 'ELK NOTE BLUE'	ELK NOTE BLUE SAGE	1 GAL	1'-0"	LOW
1	SALVIA CLEVELANDII 'WINNIFRED GILMAN'	CLEVELAND SAGE	1 GAL	3'-0"	LOW
14	SALVIA GREGGII 'MIRAGE SOFT PINK'	AUTUMN SAGE	1 GAL	1'-0"	LOW
1	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL	4'-0"	LOW
1	SALVIA X JAMENSIS 'NACHTYLINDER'	COAHUILA SAGE	1 GAL	2'-0"	LOW
1	TEUCRIUM FRUTICANS 'AZUREUM'	BUSH GERMANDER	1 GAL	3'-0"	LOW
GRASS					
1	BOUETOLOUA GRACILIS 'BLONDE AMBITION'	MOSQUITO GRASS	1 GAL	1'-6"	LOW
21	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH		2'-0"	LOW
1	LOMANDRA LONGIFOLIA 'NYALLA'	NYALLA MAT RUSH		3'-6"	LOW
1	MUHLENBERGIA DUBIA	PINE MUHLY	1 GAL	2'-0"	LOW
1	STIPA CERNUA	DESERT NEEDLE GRASS	1 GAL	2'-6"	LOW

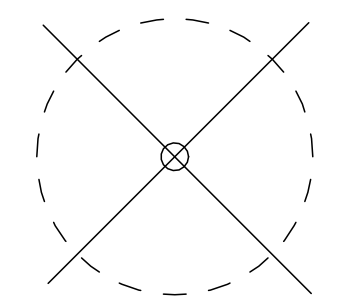
**PLANT LEGEND**



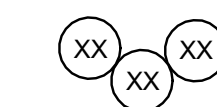
PROPOSED TREE AND SPECIES ABBREVIATION, SEE PLANT LIST FOR SPECIES



EXISTING TREE TO REMAIN, SEE TREE PRESERVATION PLAN



EXISTING TREE TO BE REMOVED, SEE TREE PRESERVATION PLAN OR DEMOLITION PLAN



SHRUB OR GROUND COVER, SEE PLANT LIST FOR SPECIES



ROOT BARRIER



2040 Addison St, Berkeley, CA 94704  
510.549.2929 | elsarch.com

PROJECT:

**WILLARD PARK CLUBHOUSE**

CITY SPECIFICATION NUMBER:  
**201730.27**

ELS PROJECT NUMBER:

CLIENT:  
**CITY OF BERKELEY, CA**

PROJECT TEAM:  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

**CIVIL ENGINEER:**  
BKF ENGINEERS  
1646 N. California Blvd., Suite 400  
Walnut Creek, CA 94596  
925.940.2200

**LANDSCAPE ARCHITECT:**  
PGAdesign LANDSCAPE ARCHITECTS  
444 17th Street  
Oakland, CA 94612  
510.465.1284

**STRUCTURAL ENGINEER:**  
IDA STRUCTURAL ENGINEERS, INC.  
1629 Telegraph Avenue, Suite 300  
Oakland, CA 94612  
510.834.1629

**MECHANICAL AND PLUMBING ENGINEER:**  
ALTER CONSULTING ENGINEERS  
1624 Franklin St. #1300  
Oakland, CA 94612  
510.474.0379

**ELECTRICAL ENGINEER:**  
RIA INC.  
5515 Doyle Street, #7  
Emeryville, CA 94608  
415.730.7994

**ACOUSTICAL ENGINEER:**  
SALTER ENGINEER  
130 Sutter Street, Floor 5  
San Francisco, CA 94104  
415.397.0442

REVISION		
NUMBER	DATE	DESCRIPTION

ISSUE:

DATE:

STAMP:



**PLANTING SCHEDULE & NOTES**

SHEET NUMBER:

**L1.5**



2040 Addison St, Berkeley, CA 94704  
510.549.2929 | elsarch.com

PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE., BERKELEY, CA 94705

CITY SPECIFICATION NUMBER:  
**201730.27**

ELS PROJECT NUMBER:

CLIENT:  
**CITY OF BERKELEY, CA**

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P. 510.549.2929

CIVIL ENGINEER:  
BKF ENGINEERS  
1646 N. California Blvd., Suite 400  
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ALTER CONSULTING ENGINEERS  
1624 Franklin St. #1300  
Oakland, CA 94612  
510.474.0379

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RLA INC.  
5515 Doyle Street, #7  
Emeryville, CA 94608  
415.730.7994

ACOUSTICAL ENGINEER:  
SALTER ENGINEER  
130 Sutter Street, Floor 5  
San Francisco, CA 94104  
415.387.0442

REVISION

NUMBER	DATE	DESCRIPTION

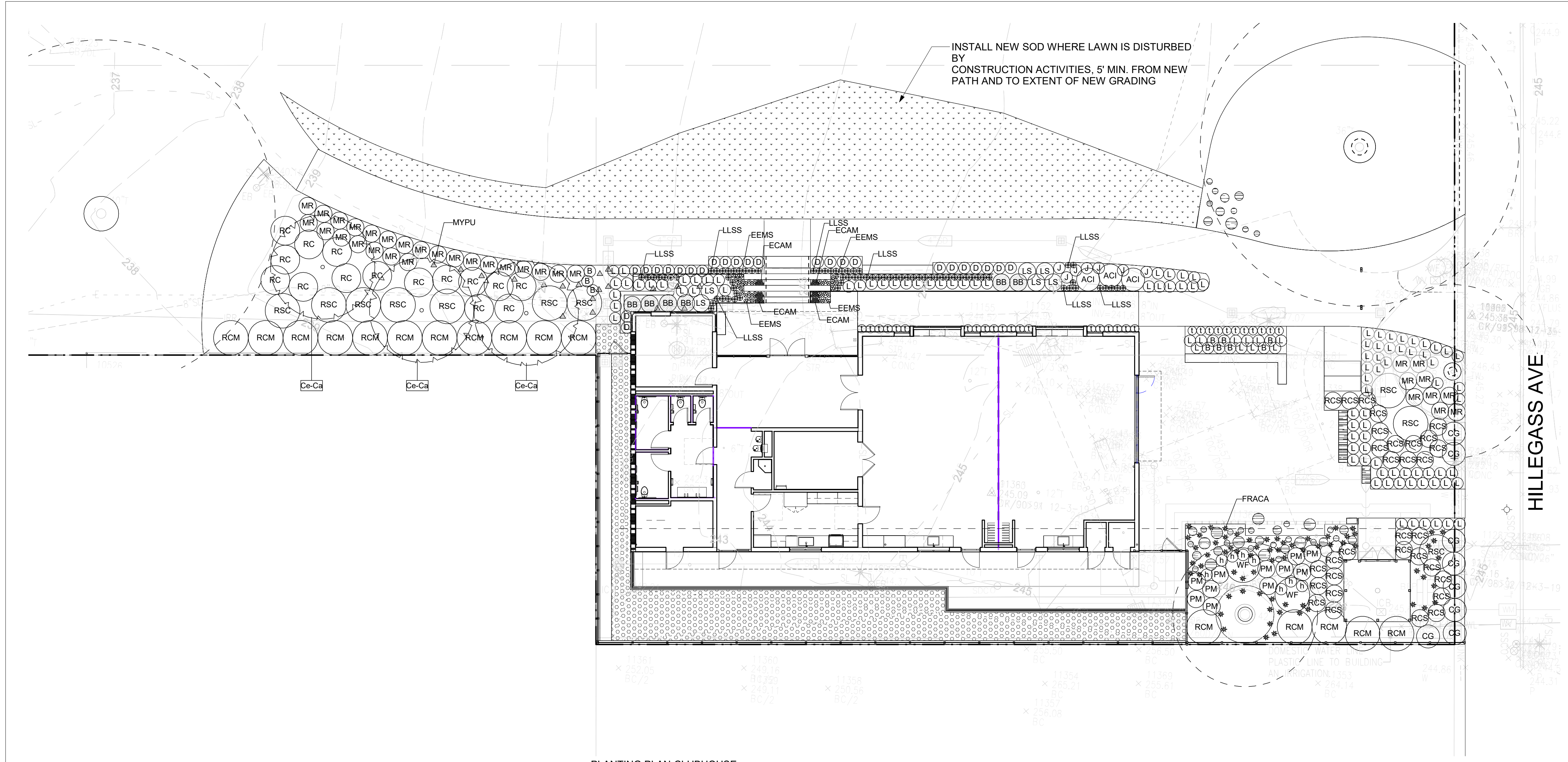
ISSUE:  
**PERMIT SET**

DATE:  
**04/07/2023**

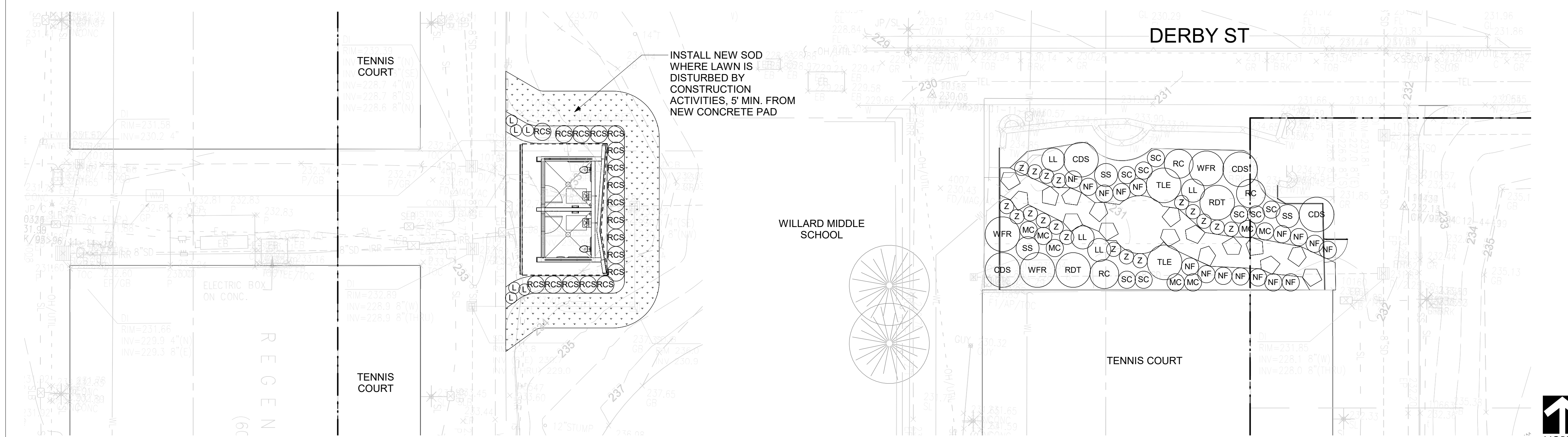


SHEET TITLE:  
**PLANTING PLAN**

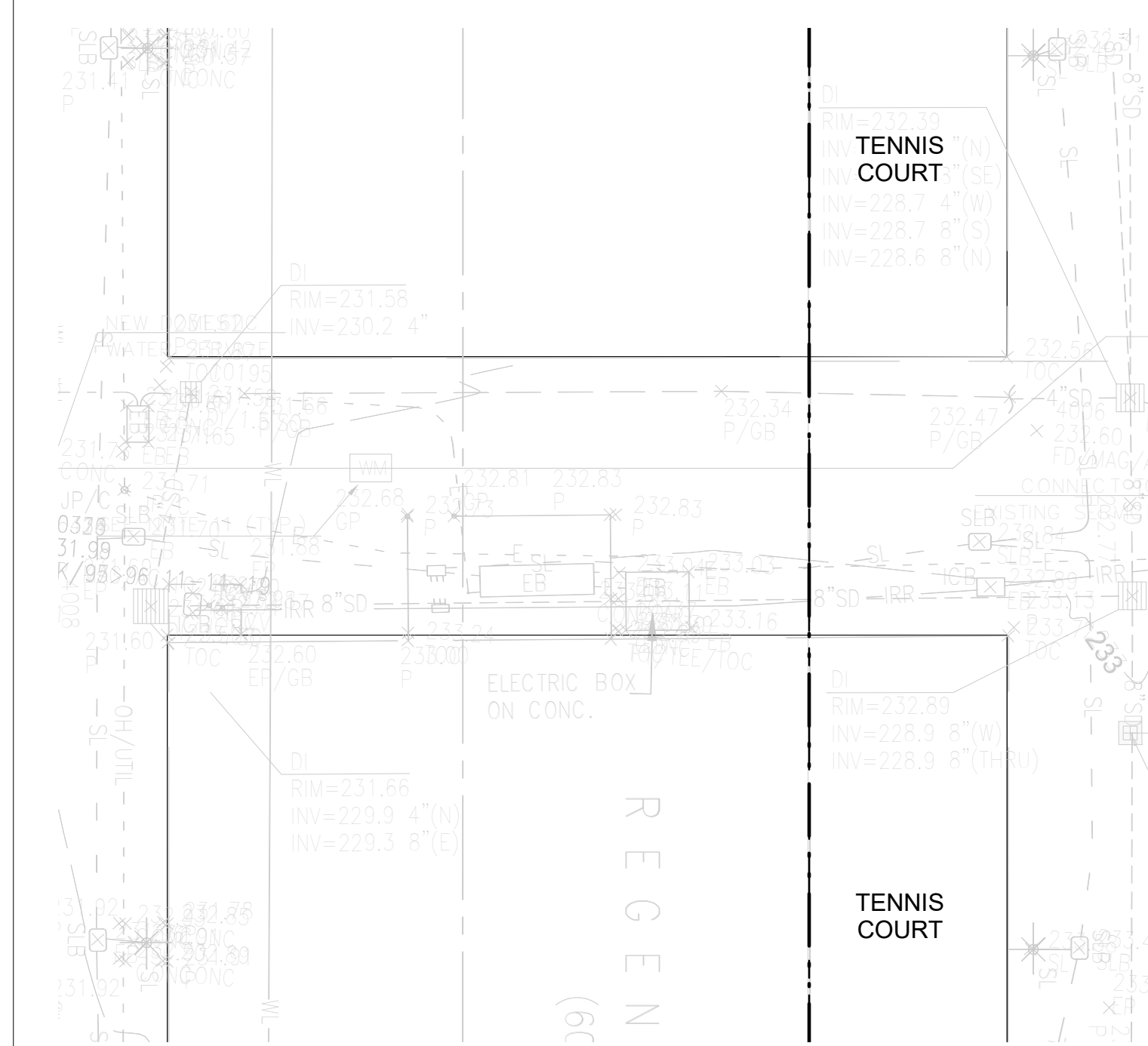
SHEET NUMBER:  
**L5.2**



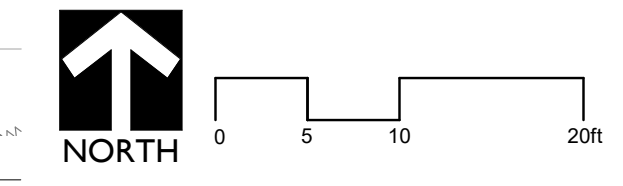
PLANTING PLAN-CLUBHOUSE  
1" = 10'-0"

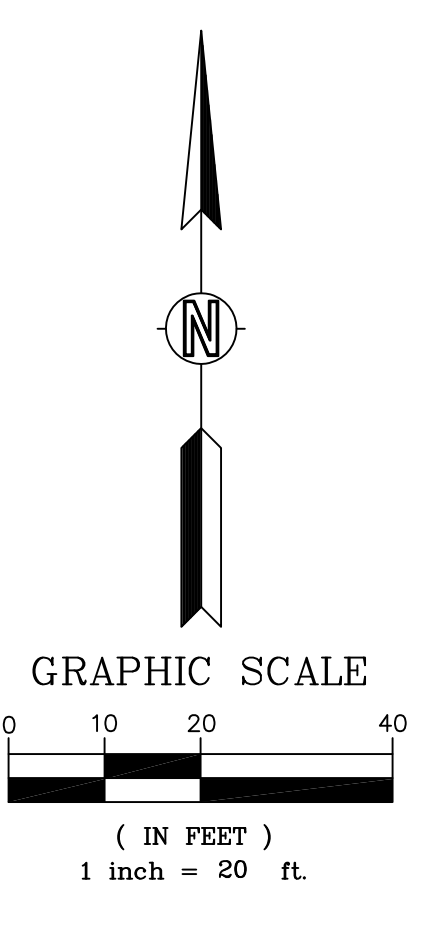


PLANTING PLAN-POLLINATOR GARDEN  
1" = 10'-0"



PLANTING PLAN-RESTROOM  
1" = 10'-0"





- LEGEND**
- T = TREE (APPROX. DIA. @ BREAST HEIGHT)
  - AD = AREA DRAIN
  - AF = ANGLE POINT
  - BC = BUILDING CORNER
  - BFP = BACKFLOW PREVENTER
  - BL = BUILDING LINE
  - BOX = BOLLARD
  - BRK = BRICK
  - BW = BOTTOM OF WALL
  - CP = TOP OF CURB
  - CB = CATCH BASIN
  - CL = CENTER LINE
  - COL = COLUMN
  - CONC = CONCRETE
  - DI = DRAIN INLET
  - DL = DAYLIGHT
  - DM = DRAIN MANHOLE
  - EL = ELEVATION
  - EB = ELECTRIC BOX
  - EP = EDGE OF PAVEMENT
  - F = FENCE
  - FDC = FIRE DEPARTMENT CONNECTION
  - FF = FINISH FLOOR
  - FL = FIRE HYDRANT
  - FL = FLOOR LINE
  - GL = GAS LINE
  - GB = GRADE BREAK
  - GL = GUTTER LIP
  - GM = GAS METER
  - GP = GAS POST
  - OP = OROUND ELEVATION
  - GW = GUY WIRE
  - GV = GAS VALVE
  - HB = HOSE BIB
  - HR = HANDICAP RAMP
  - INV = INVERT
  - JP = JOINT POLE W/CONDUIT
  - MH = MAN HOLE
  - P = PAVEMENT
  - PP = POWER POLE
  - PBB = PACIFIC BELL BOX
  - POE = PACIFIC GAS AND ELECTRIC
  - PLWTR = PLASTER
  - PSC = POINT ON CURVE
  - RET = RETURN
  - RMP = RAMP
  - R/W = RIGHT OF WAY
  - S = SIGN
  - SD = STORM DRAIN LINE
  - SDMH = STORM DRAIN MANHOLE
  - SL = STREET LIGHT
  - SLB = STREET LIGHT BOX
  - SSL = SANITARY SEWER LINE
  - SSMH = SANITARY SEWER MANHOLE
  - SSCO = SANITARY SEWER CLEAN OUT
  - STR = STAIRS
  - T = TOP OF SLOPE
  - TEL = UNDERGROUND TELEPHONE LINE
  - TEL = OVERHEAD TELEPHONE & ELECTRIC
  - TOB = TOP OF BRICK
  - TOC = TOP OF CONCRETE
  - TM = TOP OF WALL
  - UB = UTILITY BOX
  - VD = VALVE
  - VG = VALVE/GUTTER
  - W = WALK
  - WF = WATER FOUNDATION
  - WL = WATER LINE
  - WLF = WALK
  - WM = WATER METER
  - WV = WATER VALVE



- GENERAL NOTES**
1. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND MARKINGS PROVIDED. GREATEST UTILITY LOCATORS, LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
  2. CONTRACTORS AND OTHERS PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES.
  3. CONTOUR INTERVAL = 1'
  4. BASIS OF BEARINGS: THE ASSUMED BEARING S04°16'39"E BETWEEN TWO FOUND CITY OF BERKELEY MONUMENTS ON HILLCASS AVENUE.
  5. BENCHMARK: MONUMENT B0265, FOUND 7/8" IRON PIN IN MONUMENT WELL. ELEVATION = 230.02' Cgd.



Patrick M. Rei  
LS # 8178  
DATE 12/9/19

<p><b>REFERENCES</b></p> <p>FIELD BOOK NO. FILE MAP TITLE CO. POLY. NO. DATE, C.O.B. DESC. REF.</p>	<p><b>KISTER, SAVIO &amp; REI, INC.</b> LAND SURVEYORS - CIVIL ENGINEERS 825 SAN PABLO AVE PINOLE, CALIFORNIA 94564 PHONE: (510) 222-4020 FAX: (510) 222-3718 E-MAIL: info@ksrinc.net</p> <p style="text-align: center;"><b>TOPOGRAPHIC SURVEY</b></p> <p style="text-align: center;">WILLARD PARK</p> <p style="text-align: center;">BERKELEY, CALIFORNIA</p> <p>FORM: CITY OF BERKELEY SCALE: 1" = 20' DATE: 12/09/19</p> <p style="text-align: right;">JOB No. 19653-19-07 DWG No. 0-1431 TOPO</p>
<p><b>REVISIONS</b></p> <p>09/30/2022 REMOVED 36" TREE, PER EMAIL FROM CITY OF BERKELEY, SEPTEMBER 28, 2022.</p>	



Planning and Development Department  
Land Use Planning Division  
1947 Center Street, 2<sup>nd</sup> Floor  
Berkeley, CA 94704

## ZONING ADJUSTMENTS BOARD NOTICE OF PUBLIC HEARING

**SUBJECT:** 2720 Hillegass Avenue – Willard Park  
Use Permit #ZP2022-0095

**WHEN:** Thursday, April 27, 2023.  
Meeting starts at 7:00 pm.

**WHERE:** Berkeley Unified School District Board  
Room, 1231 Addison Street, Berkeley.  
*Wheelchair accessible*

***PUBLIC PARTICIPATION BY REMOTE  
VIDEO OR IN-PERSON. Please see the  
agenda for more details:***

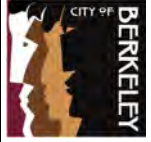
***[https://berkeleyca.gov/sites/default/files/docu  
ments/2023-04-27\\_ZAB%20Agenda.pdf](https://berkeleyca.gov/sites/default/files/documents/2023-04-27_ZAB%20Agenda.pdf)***

«NAME1»

«NAME2»

«ADDRESS1» «ADDRESS2»



	<p><b>SUBJECT: 2720 Hillegass Avenue, Use Permit #ZP2022-0095</b> to demolish the existing clubhouse and restroom, construct a 3,301 square-foot single-story (18 feet) community center with a variance for a rear setback of 16 feet where 20 feet is required, and add a new single-story restroom building (12 feet).</p> <p><b>CEQA RECOMMENDATION:</b> Categorically exempt pursuant to Section 15303 of the CEQA Guidelines ("New Construction").</p>
<p><b>NOTICE CONCERNING YOUR LEGAL RIGHTS:</b> If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing.</p>	<p>All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.</p> <p>Send written comments to the Land Use Planning Division (Attn: ZAB Secretary), 1947 Center Street, Second Floor, Berkeley, CA 94704 or via e-mail to: <a href="mailto:zab@cityofberkeley.info">zab@cityofberkeley.info</a>. For further information, see the Agenda at: <a href="https://berkeleyca.gov/sites/default/files/documents/2023-04-27_ZAB%20Agenda.pdf">https://berkeleyca.gov/sites/default/files/documents/2023-04-27_ZAB%20Agenda.pdf</a> or call the Land Use Planning division (510) 981-7410.</p>
<p><b>Post and Mail Date:</b> <b>April 13, 2023</b></p>	<p>To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6418(V) or 981-6347(TDD) at least three business days before the meeting date.</p> <p>PLEASE NOTE: If your contact information is included in any communication to the Board, it will become part of the public record, and will be accessible on the City Website.</p>
<p>All application materials are available at the Land Use Planning Division online at: <a href="https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx">https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx</a></p> <p>The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <a href="https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board">https://berkeleyca.gov/your-government/boards-commissions/zoning-adjustments-board</a></p>	

NAME1	NAME2	ADDRESS1	ADDRESS2
Willard Neighborhood Group	2440 STUART ST	BERKELEY CA 94705	
South Shattuck Neighbors	2133 DERBY ST	BERKELEY CA 94705	
Fulton-Russell Neighborhood Organization	2934 FULTON ST	BERKELEY CA 94705	
Benvenue Neighbors Association	2501 BENVENUE AVE APT 21	BERKELEY CA 94704	
University of California, Facilities Services	A&E Building, Room 300 University of California Berkeley	Berkeley, CA 94720-1382	
Urban Creeks Council	861 REGAL RD	BERKELEY CA 94708	
Willard Neighborhood Association	2617 DERBY ST	BERKELEY CA 94705	
Bananas Inc.	5232 CLAREMONT AVE	OAKLAND CA 94618	
Berkeley Central Library	2090 KITTREDGE STREET	BERKELEY CA 94704	
Adams Broadwell Joseph & Cardoza	601 GATEWAY BLVD. Su 1000	SOUTH SAN FRANCISCO CA 94080	
Berkeley Unified School District	2020 BONAR ST RM 202	BERKELEY, CA 94702	
CALIF ANN CONF METH CH	1 C V S DR	WOONSOCKET RI	2895
HAUSER RANDAL J & JILL C TRS	10017 TILTON MINE RD	REDDING CA	96001
REGENT STREET COMPANY LLC	108 ARLENE DR	WALNUT CREEK CA	94595
ZING VICTOR C & CHOW PAULINE Y TRS	11 SWIFT CT	ALAMEDA CA	94502
DEVUONO LANNY	1105 YORK ST 7	DENVER CO	80206
SPECHT LINDA H TR	14 CALVARY CT	NAPA CA	94558
HASHEMI FERESHTEH & SADEGHITEHRANI ALI TRS	1441 CAMINO ROBLES WAY	SAN JOSE CA	95120
COLE ROBERT TR	1544 OLYMPUS AVE	BERKELEY CA	94708
AHLBERG DAVID R	15560 LOMA VISTA AVE	LOS GATOS CA	95032
REDDY HANUMANDLA R & HANUMANDLA J TRS	1751 MUSCAT PL	HANFORD CA	93230
RJR PROPERTIES LLC	2000 ENGLISH OAK CT	DANVILLE CA	94506
STERN GABRIEL TR	2060 UNION ST 7	SAN FRANCISCO CA	94123
WEN ANDREW & ABIGAIL TRS	211 31ST AVE	SAN MATEO CA	94403
BERKELEY UNIFIED SCHOOL DISTRICT	2134 M L KING JR WAY	BERKELEY CA	94704
CITY OF BERKELEY	2180 MILVIA ST	BERKELEY CA	94704
TULEJA BARBARA M TR	22 PURCELL DR	ALAMEDA CA	94502
K & N ESTATE LLC	2278 SHATTUCK AVE	BERKELEY CA	94704
BAUTISTA HAIDIE	241 ARROWHEAD WAY	HAYWARD CA	94544
VERO PROPERTIES LLC	244 ALVARADO RD	BERKELEY CA	94705
AMORNPAN ATITAYA & MANSAWATAPHAIBOON CHAIRAT	2443 DERBY ST	BERKELEY CA	94705
WIESMANN DANIEL P	2509 DERBY ST	BERKELEY CA	94705
CHISHOLM BARBARA J & ZYKOVA ELENA	2509 STUART ST	BERKELEY CA	94705
COLLINS LELAND D & KISHIMOTO YORIKO TRS	251 EMBARCADERO RD	PALO ALTO CA	94301
HOLLANDER SAMUEL Z & ELEANOR M	2510 STUART ST	BERKELEY CA	94705
STAUFFER ZACHARY J & AMY M	2511 DERBY ST	BERKELEY CA	94705
MCCORMICK MICHAEL A & GUTHMAN JULIE H TRS	2515 DERBY ST	BERKELEY CA	94705
SARLATI SIAVASH & MOGHADAM AZIN	2519 DERBY ST	BERKELEY CA	94705
APPLE AARON F & CASSELMAN ASHLEY V TRS	2601 DERBY ST	BERKELEY CA	94705
WOOLEY ADAM D & ARITA LESLIE S	2608 DERBY ST	BERKELEY CA	94705

RICHARDS KENNA G TR	2610 DERBY ST	BERKELEY CA	94705
WILSON MICHON PI & TIMOTHY	2611 DERBY ST	BERKELEY CA	94705
LAGASCA CONRAD M	2615 DERBY ST A	BERKELEY CA	94705
HADDAD KHOSROW TR	2615 STUART ST 6	BERKELEY CA	94705
COMMON AREA OF PARCEL MAP 9170	2626 HILLEGASS AVE	BERKELEY CA	94704
DOUIRANI SEAN & KIKUCHI ANDREA K	2626 HILLEGASS AVE B	BERKELEY CA	94704
MELNYK YURIJ D	2626 HILLEGASS AVE C	BERKELEY CA	94704
KINRICH ALANA M & GORDON THEODORE A	2626 REGENT ST	BERKELEY CA	94704
WEINSTEIN DEBORAH L	2632 HILLEGASS AVE B	BERKELEY CA	94704
COMMON AREA OF PM 6831 32 THRU 35	2632 HILLEGASS AVE C	BERKELEY CA	94704
HALL NANCY A TR	2632 HILLEGASS AVE D	BERKELEY CA	94704
TSANG JONATHAN	2636 HILLEGASS AVE	BERKELEY CA	94704
VOLKERT SARAH TR	2636 REGENT ST	BERKELEY CA	94704
BROWN ANITHA TR	2638 BENVENUE AVE	BERKELEY CA	94704
LI WEIQING	2638 REGENT ST 4	BERKELEY CA	94704
WINEGER JOHN G	2640 BENVENUE AVE	BERKELEY CA	94704
COMMON AREA OF PM 6652 56 THRU 59	2640 REGENT ST	BERKELEY CA	94704
BEUTLER JOHN D & GOYAL VINITA	2642 REGENT ST	BERKELEY CA	94704
LOWE MARK & ANA	2643 HILLEGASS AVE	BERKELEY CA	94704
SAYAD ROBERT M & BARBARA W TRS	2644 BENVENUE AVE	BERKELEY CA	94704
COMMON AREA OF PM 7288 61 & 62	2646 REGENT ST A	BERKELEY CA	94704
AVILA LORENZO & DAI JING J	2647 REGENT ST	BERKELEY CA	94704
LERNER TAMARA I TR	2700 BENVENUE AVE	BERKELEY CA	94705
FELDMAN JULIANNE	2701 HILLEGASS AVE	BERKELEY CA	94705
KISCH SIMON E & IRENE TRS	2704 BENVENUE AVE	BERKELEY CA	94705
ORAM MARY E TR	2705 HILLEGASS AVE	BERKELEY CA	94705
BATTENBOWMAN KARL O	2707 HILLEGASS AVE	BERKELEY CA	94705
BORN STEPHEN C & NAOMI H TRS	2708 BENVENUE AVE	BERKELEY CA	94705
MINASI PETROS N JR	2709 CHANNING WAY 5	BERKELEY CA	94704
FRIES DANIEL J ETAL	2710 BENVENUE AVE	BERKELEY CA	94705
BIATCH JOEL A & BLACHMAN SUSAN J TRS	2712 BENVENUE AVE	BERKELEY CA	94705
HALPERIN JOAN U TR	2714 BENVENUE AVE	BERKELEY CA	94705
FLEURY THERESA TR	2715 HILLEGASS AVE	BERKELEY CA	94705
KNAUER GENE & LENNON JOANNA L TRS	2716 BENVENUE AVE	BERKELEY CA	94705
ROWLAND DAVID A & MARILYNN J TRS	2717 HILLEGASS AVE	BERKELEY CA	94705
BRADLEY CAROL L TR	2721 HILLEGASS AVE	BERKELEY CA	94705
TRANSUE BARBARA J TR	2725 HILLEGASS AVE	BERKELEY CA	94705
SHENG SHILU	2731 HILLEGASS AVE	BERKELEY CA	94705
STEC ALEXANDER & CHOMICZ KINGA M TRS	2731 REGENT ST	BERKELEY CA	94705
JONES JAY A & FERN R TRS	2734 BENVENUE AVE	BERKELEY CA	94705
HOFSETH TOR & KADONO TOMOKO	2735 HILLEGASS AVE	BERKELEY CA	94705

ZHANG YI C	2738 BENVENUE AVE	BERKELEY CA	94705
CARTER TIM & TIMOTHY J ETAL	2740 HILLEGASS AVE	BERKELEY CA	94705
SHEEHAN JAMES J & ANDERSON MARGARET L TRS	2742 BENVENUE AVE	BERKELEY CA	94705
WALSH BONNIE C	2747 HILLEGASS AVE	BERKELEY CA	94705
WOLLENWEBER EMILY B & BURCH ELIZABETH ETAL	2747 REGENT ST	BERKELEY CA	94705
SIMPSON RONN & MARCELA TRS	2800 HILLEGASS AVE	BERKELEY CA	94705
MACNEILLY ELAINE & LACEY CHRISTIAN	2800 REGENT ST	BERKELEY CA	94705
FIRESTONE NAAMA & LEVINE LESLEY R TRS	2803 HILLEGASS AVE	BERKELEY CA	94705
LEVINSON JOHN W & LEVINSON SALLY O TR ETAL	2941 TELEGRAPH AVE	BERKELEY CA	94705
OLCOTT MARIANINA D TR	300 CHARLES ST	LOS GATOS CA	95032
ZEMELMAN MARK S TR & ZEMELMAN MARK S TR	361 FRANKLIN ST	NAPA CA	94559
WANDER INGRID ETAL	45 LA CAMPANA RD	ORINDA CA	94563
CHOU FRANK & LAW BETTY	47723 PARKMEADOW DR	FREMONT CA	94539
BERKELEY MULTIFAMILY II PROPERTY OWNER LLC	49 POWELL ST 6TH FLR	SAN FRANCISCO CA	94102
LA VIVIAN N & WONG TAKLAM S	527 WYCOMBE CT	SAN RAMON CA	94583
TAYLOR ERIC W & YOVINOYOUNG DIANA J TRS	561 62ND ST	OAKLAND CA	94609
SUN MENG & MACLAY WENXIA W TR	690 BROCKHURST ST	OAKLAND CA	94609
KOSHLAND JAMES M & CATHERINE P TRS	73 MAPLE LEAF WAY	ATHERTON CA	94027
VATANNIA SHAHLA YAHYAVITAJABADI MEHDI TRS	7572 NORTHLAND PL	SAN RAMON CA	94583
GHIRARDELLI WILLIAM A III & JANICE K TRS	945 GROSVENOR PL	OAKLAND CA	94610
LI ZHAOYANG	P O BOX 7443	BERKELEY CA	94707
UNIQUE HOUSING LLC & ETAL	PO BOX 5453	BERKELEY CA	94705
COLLIER PAMELA & BATTI GREG TRS	PO BOX 5832	BERKELEY CA	94705
LOO SUSANNA & LOO LAWRENCE TR ETAL	PO BOX 591302	SAN FRANCISCO CA	94159
OCCUPANT(S)	2425 STUART ST	BERKELEY CA	94705
OCCUPANT(S)	2443 DERBY ST B	BERKELEY CA	94705
OCCUPANT(S)	2445 DERBY ST	BERKELEY CA	94705
OCCUPANT(S)	2445 DERBY ST 1	BERKELEY CA	94705
OCCUPANT(S)	2445 DERBY ST 2	BERKELEY CA	94705
OCCUPANT(S)	2445 DERBY ST 3	BERKELEY CA	94705
OCCUPANT(S)	2445 DERBY ST 4	BERKELEY CA	94705
OCCUPANT(S)	2447 DERBY ST	BERKELEY CA	94705
OCCUPANT(S)	2447 DERBY ST A	BERKELEY CA	94705
OCCUPANT(S)	2447 DERBY ST B	BERKELEY CA	94705
OCCUPANT(S)	2447 DERBY ST C	BERKELEY CA	94705
OCCUPANT(S)	2447 DERBY ST D	BERKELEY CA	94705
OCCUPANT(S)	2447 DERBY ST E	BERKELEY CA	94705
OCCUPANT(S)	2447 DERBY ST F	BERKELEY CA	94705
OCCUPANT(S)	2455 STUART ST	BERKELEY CA	94705
OCCUPANT(S)	2501 STUART ST	BERKELEY CA	94705
OCCUPANT(S)	2503 STUART ST	BERKELEY CA	94705

OCCUPANT(S)	2505 DERBY ST	BERKELEY CA	94705
OCCUPANT(S)	2505 STUART ST	BERKELEY CA	94705
OCCUPANT(S)	2507 STUART ST	BERKELEY CA	94705
OCCUPANT(S)	2509 STUART ST 1	BERKELEY CA	94705
OCCUPANT(S)	2509 STUART ST 2	BERKELEY CA	94705
OCCUPANT(S)	2509 STUART ST 2A	BERKELEY CA	94705
OCCUPANT(S)	2509 STUART ST 3	BERKELEY CA	94705
OCCUPANT(S)	2509 STUART ST 4	BERKELEY CA	94705
OCCUPANT(S)	2517 DERBY ST	BERKELEY CA	94705
OCCUPANT(S)	2517 DERBY ST 2	BERKELEY CA	94705
OCCUPANT(S)	2519 DERBY ST 1	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 101	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 102	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 103	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 104	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 201	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 202	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 203	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 204	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 301	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 302	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 303	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 304	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 401	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 402	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 403	BERKELEY CA	94705
OCCUPANT(S)	2525 STUART ST 404	BERKELEY CA	94705
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OCCUPANT(S)	2808 HILLEGASS AV A	BERKELEY CA	94705

Alexander Stec & Kinga Chomicz  
2731 Regent St,  
Berkeley, CA 94705

April 25, 2023

By Electronic Mail

City of Berkeley Land Use Planning Division  
ATTN: ZAB Secretary  
1947 Center Street, Second Floor  
Berkeley, CA 94704  
[zab@cityofberkeley.info](mailto:zab@cityofberkeley.info)

**RE: 2720 Hillegass Ave – Willard Park Use Permit #ZP2022-0095**

Dear Members of the Zoning Adjustments Board:

My wife and I have both lived in the Willard Neighborhood since 1983. Our children were born and raised here. We love the park, like the children, and appreciate park users. We happen to live in the immediate vicinity of the park. In the early '90's we engaged with neighborhood organization and actively participated in its activities. This gave us a chance to work on many park related initiatives. For example, the move of the old tot-lot to the new location, its design, and other improvements to the park. As many other neighbors, we worked closely with Bill Lipsky, who championed the tot-lot project, and with the city officials on making these changes happen.

All of this gives us a unique perspective on the park, its activities, its users, and the potential problems that may occur here, especially at night. Neither the City Planners, nor ELS architects, who have worked on the latest clubhouse design, live here and know what neighbors know. A comprehensive design process should have tapped this knowledge but neither we, nor our neighbors are aware that any such effort had been made.

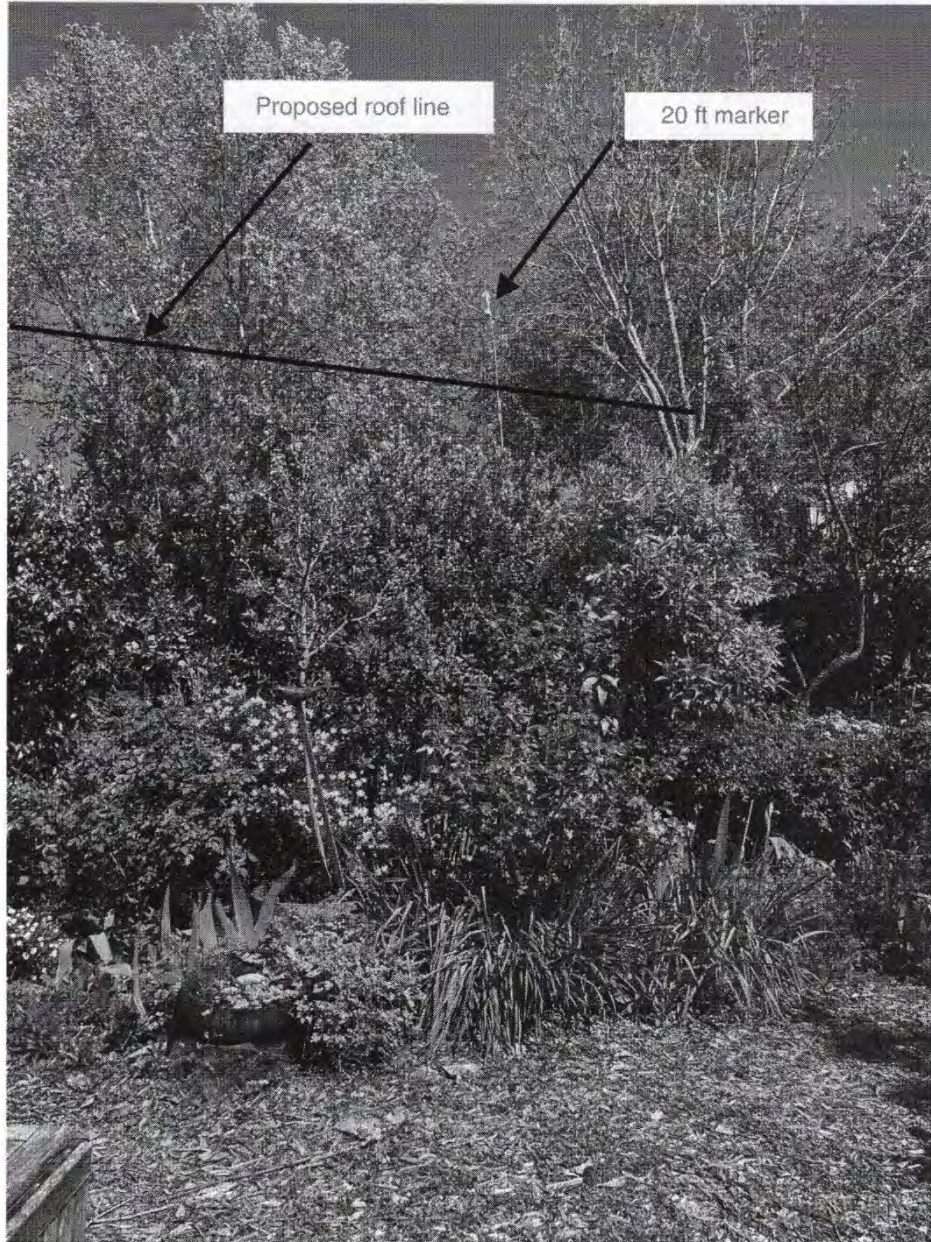
We assume that the park was designed with ample and reasonable consideration for well-being of the residents who live around the park and in its immediate vicinity. What follows is that expected park uses are assumed to be compatible with such policy. Consequently, park users, and neighbors can coexist in harmony. Deviation from that principle brings conflict.

Just to provide a bit more context, the daily programs for school children in the park generate a good amount of noise, so do the tennis courts (often used by skate boarders and for pickle-ball), as does the practice tennis court. Willard Junior High school located right next to the southwest corner of the park contributes to the noise levels by conducting music classes with open doors and sounds blaring across the neighborhood.

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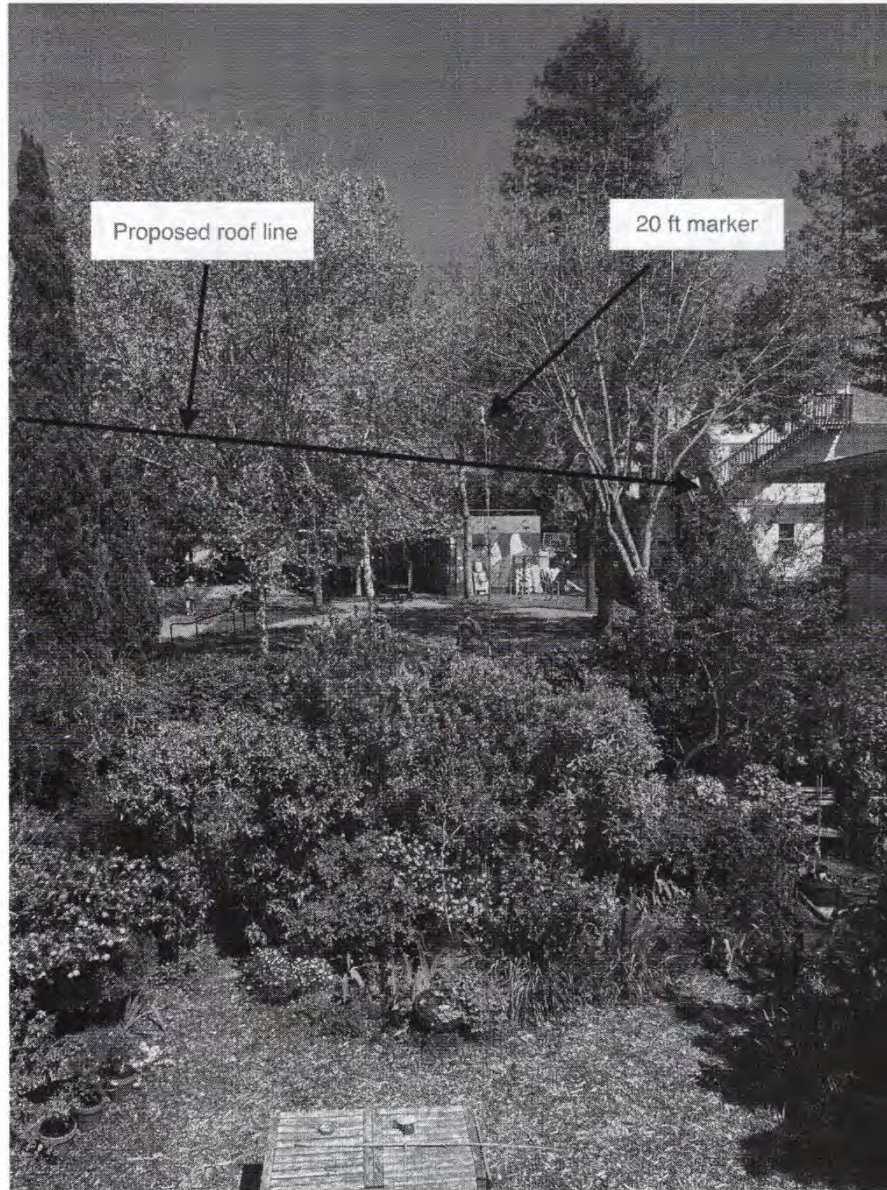
After careful review of the plans submitted for approval by ZAB on 4/27/2023, we decided to raise the following issues:

1. When the redesign of the tot-lot was completed in the early 90's, the question of what would happen with the vacated area west of the clubhouse was raised. (This is where today's circular plaza is located.) The city landscape architect who'd worked with the community on park improvements, Brad Ricards, stated very clearly that this area would remain open and would be available to all park users.  
The proposed design violates that agreement with the community.
2. Proposed design, although scaled down due to budgetary considerations, severely impacts on the amount of open, green space available in the park. It calls for construction of a large building along the south side of the park. The building is around 6 times the size of the existing clubhouse and so is its footprint.
3. Design of the building and its placement creates unusable dead space on the south side. If the area is not fenced off, it will provide an opportunity for illegal camping and illegal activities. It will also be not available for monitoring by BPD from their cars.
4. Current offset between the boundary of the property in Regent Street is being reduced from 87' to 6 feet. This seriously shrinks the "buffer zone" that separates our house from the clubhouse.
5. Proposed relocation of the plaza to the Hillegass side of the clubhouse is a bad idea because it will not be safe for children. The location is badly chosen because it is shady and under a redwood tree (messy). In addition, the trash dumpster will be located there as well.  
In contrast the existing plaza offers open space, is surrounded by trees that offer partial shade, offers a nice view of the park, and can be used by everyone.
6. We object to the proposed and unnecessary removal of mature trees in the area of the current plaza.
7. Separation of the restroom from the clubhouse building and constructing a new one in the middle of the western edge of the park causes an additional loss of open, green space. Today the proposed location has a semi-circular metal bench where people like to sit and enjoy the view of Berkeley Hills. The choice of the new location will most likely increase the cost of construction due to the need for the sanitary sewer line, whereas it already exists in the present bathroom location.
8. Placement of the proposed restroom makes it almost impossible for BPD to monitor it from their cars, especially at night.  
The Planning department should consult the selection of the proposed site with BPD.
9. The new building will be towering over the backyard of the 2731 Regent St lot. See photos below.



The above photo was taken when standing in the backyard. The light-colored marker pointed to by the arrow shows a point 20 ft off the ground. The pole is situated 6 feet behind the property line. The slanted line shows the roof edge of the proposed building situated 6 ft behind the property line.

In contrast the photo below shows the view from the second floor of the Regent St property with the same 20 ft marker, and the proposed roof line. The existing clubhouse and the plaza are in the background. Please note that the maximum height of the one-story building is almost equal to the height of the two-story building on the right of the photo. (2732 Hillegass Ave.)




10. Proposed one story building is almost twice as high as the existing clubhouse. Due to the formation of the terrain in the park the new one-story building will be almost as high as a two-story building located at 2731 Regent St (SW corner of the park) and 2732 Hillegass Ave (South side of the park).  
It will dominate the south-east corner of the park and change its character.
11. The 2720 Hillegass project was initially described to the community as the clubhouse upgrade. Most neighbors agree that a moderate upgrade should be done, as well as long neglected maintenance. For reasons unknown the project quickly morphed into a community center, which from the functional point of view, is very different from today's clubhouse that is used to run after-school programs for children.



12. The change of use for the new building, although not spelled out, is obvious.  
Our community never asked for the community center.  
Even the proposal to put an event place on Berkeley Marina with its huge amount of available open space, is causing a significant pushback from nature-lovers and Berkeley Marina users.  
What makes us think that placement of a Community Center in a tiny neighborhood park with a 16 ft setback from the nearest house is more acceptable?  
A Community Center in the proposed location will cause:
  - a. additional, possibly late evening/night noise
  - b. parking issues
  - c. loss of parking space for park users and neighbors (why were they never consulted?)
  - d. potential conflict with Bicycle Boulevard bicyclists on Hillegass Ave (due to double-parking)
  - e. possibly constant additional noise from installed appliances, e.g., A/C, fans, heating
  - f. late evening activities (party rental) past park closure at 10 pm
13. We are greatly concerned about the loss of the general park space, i.e., green, open space to new construction. This goes against the intent of measure "L". UC Berkeley is constantly increasing its student population and many students live on the south side of the campus, i.e., in our neighborhood. Many student groups come to the park to play volleyball and other games, to study, or just to sun-bathe. They compete for space with parents and children, dog-owners, and other users.
14. We are concerned that that the projected costs will run over the allocated budget. While some budgetary accommodations have been made, it is unclear that assumptions that have been made will hold.  
As a taxpayer I am concerned about cost overruns and the potential recession that we are facing in US.
15. The amount of temporary space needed during construction will require closure of a portion of the park in order to store materials and machinery. This space will need to be rehabilitated once the construction crews are gone. Are any funds allocated for this purpose?
16. Construction noise and dust will seriously disturb immediate neighbors for a prolonged period. How does the city plan to mitigate this?
17. We question the reason for huge expansion (beyond moderate, which the community supports) of the existing clubhouse because the school enrollment is down.  
(<https://www.sacbee.com/news/local/education/article273967380.html>)  
In addition, as taxpayers, we see an unnecessary duplication of facilities designated for use by children that BUSD already owns, that we have paid for through our taxes. These are safe and designed for children's' activities.  
If there is already enough school space for children during their school-day, there should be automatically sufficient space these children for their after-school activities.

18. We do not understand the CEQA recommendation stating that the project is “categorically exempt” from the CEQA process.

	<p><b>SUBJECT:</b> 2720 Hillegass Avenue, Use Permit #ZP2022-0095 to demolish the existing clubhouse and restroom, construct a 3,301 square-foot single-story (18 feet) community center with a variance for a rear setback of 18 feet where 20 feet is required, and add a new single-story restroom building (12 feet).</p>
<p><b>NOTICE CONCERNING YOUR LEGAL RIGHTS:</b> If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing.</p>	<p><b>CEQA RECOMMENDATION:</b> Categorically exempt pursuant to Section 15303 of the CEQA Guidelines (“New Construction”).</p> <p>All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.</p> <p>Send written comments to the Land Use Planning Division (Attn: ZAB Secretary), 1947 Center Street, Second Floor, Berkeley, CA 94704 or via e-mail to: <a href="mailto:zab@cityofberkeley.info">zab@cityofberkeley.info</a>. For further information, see the Agenda at: <a href="https://berkeleyca.gov/files/2022/04/27_ZAB%20Agenda.pdf">https://berkeleyca.gov/files/2022/04/27_ZAB%20Agenda.pdf</a> or call the Land Use Planning division (510) 981-7410.</p> <p>To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6418(V) or 981-6347(TDD) at least three business days before the meeting date.</p> <p><b>PLEASE NOTE:</b> If your contact information is included in any communication to the Board, it will become part of the public record, and will be accessible on the City Website.</p>
<p><b>Post and Mail Date:</b> April 13, 2023</p>	<p>All application materials are available at the Land Use Planning Division online at: <a href="https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx">https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx</a>. The Zoning Adjustments Board final agenda and staff reports will be available online 6 days prior to this meeting at: <a href="https://berkeleyca.gov/your-government/boards-and-commissions/zoning-adj-board/boards-and-commissions/zoning-adj-board">https://berkeleyca.gov/your-government/boards-and-commissions/zoning-adj-board/boards-and-commissions/zoning-adj-board</a></p>

Section 15303 of the CEQA Guidelines quoted as the basis for the decision is shown in its entirety below -

**15303. NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES**

Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include, but are not limited to:

- (a) One single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.
- (b) A duplex or similar multi-family residential structure, totaling no more than four dwelling units. In urbanized areas, this exemption applies to apartments, duplexes and similar structures designed for not more than six dwelling units.
- (c) A store, motel, office, restaurant or similar structure not involving the use of significant amounts of hazardous substances, and not exceeding 2500 square feet in floor area. In urbanized areas, the exemption also applies to up to four such commercial buildings not exceeding 10,000 square feet in floor area on sites zoned for such use if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.
- (d) Water main, sewage, electrical, gas, and other utility extensions, including street improvements, of reasonable length to serve such construction.
- (e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences.
- (f) An accessory steam sterilization unit for the treatment of medical waste at a facility occupied by a medical waste generator, provided that the unit is installed and operated in accordance with the Medical Waste Management Act (Section 117600, et seq., of the Health and Safety Code) and accepts no offsite waste.

**Note:** Authority cited: Section 21083, Public Resources Code; Reference: Sections 21084, Public Resources Code.

The project application does not specify on what grounds has the “categorically exempt” determination been reached.

Moreover the language of Section 15303 lists requirements that apply to projects to be exempted and, in our opinion, they have not been met. Which means that the CEQA process should be applied to the project.

19. We question the idea of putting a huge new building right next to existing residences along the south edge of the park. Well-designed and positioned Community Centers have an ample buffer zone that offers adequate separation between the building and its neighbors.

20. It is entirely unclear to us how well will the proposed building blend in with the historic homes in the neighborhood, many of them 100+ years old.  
Available drawings do not show the kind of finish detail that is needed to assess this.
21. We are seriously concerned about potential drainage issue that might affect our property: with the footprint of the new building being approximately 6 times the size of the existing building, i.e., 3499 SF, where is the rainwater during downpours like the ones we had last winter (2022/2023) going to go? Our lot is adjacent to the proposed development site, but is situated lower.  
We haven't found anything in the plans that would address the issue of water drainage.
22. We question the quality of the public review process as implemented by the City throughout the history of the project. Even though we live next to the park, we first found out about the initiative through a mailed postcard and when we joined the process (disrupted by covid), most decisions had apparently been made. As one of the city managers told the community in no uncertain terms: the "ship has sailed".  
There are many neighbors who share this perspective on the early process.  
The councilperson for district 8 at the time, Lori Droste, refused to meet with the neighborhood community to hear out the concerns.  
In addition, we feel that zoom meetings were run unprofessionally because despite numerous requests (even involving the City Clerk) no recordings were made. Also, through disabling certain Zoom software features by organizers (Parks and Recreation) the public was unable to converse with other participants and the organizers via chat and see questions posted by the public.  
The survey that the neighbors decided to conduct in a transparent and democratic way indicates that 75% of participants living within 6 blocks of the park wanted a clubhouse structure that was much smaller than the one that was initially proposed and the one being proposed right now.  
As taxpayers, we feel that the city government and its representatives were not willing to listen to our feedback and concerns.
23. The ZAB meeting announcement postcard that we received, contains links to various City of Berkeley resources related to the project.  
Navigating the linked websites is hard - I am stating this as a computer professional - and almost impossible for unsophisticated computer users.  
Moreover, once the desired resources are reached, e.g., application document with drawings, their interpretation raises many questions as most people are not used to reading technical drawings, which contain many symbols and numbers.  
We have spent some time studying the drawings but are having problems identifying some measurements. E.g., the roof drop-off from the highest point is not indicated on the building cross-section drawings – see page 8 at the bottom in the final document submission dated 4/7/23.  
Therefore, potential reviewers who managed to get the document might simply give up because it was hard to interpret their content.  
We do not think that such process constitutes a valid community review.  
Some of the files posted on the website are dated 4/7/23, yet were posted with a 10-day delay. Why?

2023-03-21_RESUB_2720 Hillegass.pdf	ZP2022-0095	Zoning Permit	Record	Archive	4.72 MB	03/23/2023
2023-04-13_MAIL_300_2720 Hillegass.pdf	ZP2022-0095	Zoning Permit	Record	Archive	105.68 KB	04/17/2023
2023-03-26_LTR_COMPLETE_2720 Hillegass.pdf	ZP2022-0095	Zoning Permit	Record	Archive	130.78 KB	04/17/2023
2023-04-13_ZAB_PHN Poster_2720 Hillegass.pdf	ZP2022-0095	Zoning Permit	Record	Archive	210.23 KB	04/17/2023
2023-04-13_ZAB_PHN Postcard_2720 Hillegass.pdf	ZP2022-0095	Zoning Permit	Record	Archive	292.23 KB	04/17/2023
2023-04-07_Final Plans_2720 Hillegass.pdf	ZP2022-0095	Zoning Permit	Record	Archive	6.16 MB	04/17/2023

In addition, for many students, who as a significant user group within the park would be interested in evaluation of the design, the end of April is the time when they work intensely to get ready for their finals. The timing for the public review was badly chosen.

- 24. Current design plans presented with the 4/27 ZAB application differ significantly from the material shared during public review meetings with the community. We have not had a chance to ask questions and provide feedback about the latest version of the design. It has not been reviewed by the community.

Thank you for your attention.

Sincerely,



Alexander Stec and Kinga Chomicz

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Parks Need Improvement-- Willard Park Needs a Better Clubhouse

-----Original Message-----

From: Dawson Morton <dawsonmorton@me.com>  
Sent: Thursday, April 27, 2023 11:50 AM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Parks Need Improvement-- Willard Park Needs a Better Clubhouse

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

I'm writing to express my support for improving the Willard Playhouse as proposed. As you know the current structure is decrepit and woefully inadequate for childcare and camp uses at the park. I feel sad that other neighbors have expressed opposition to building something better for kids— that's a mistake and we should not acquiesce to their concerns.

The proposed remodel of Willard Playhouse will greatly improve the access for numerous kids both to the park and to childcare. This is important as childcare is hard to find and Berkeley's schools are suffering from a drop in students which starts with allowing families to access our parks and receive childcare with in the City of Berkeley. Safe, healthy structures that allow access to the park, use of bathrooms, and room for kids are desperately need. This remodel will dramatically help children across Berkeley, and make Berkeley more welcoming to families.

I hope you will support this important project. Berkeley needs recreational improvements, community spaces, and welcoming spaces for children and families.

Regards,

Dawson Morton  
1813 Parker St.  
dawsonmorton@me.com

**Jacob, Melinda**

---

**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: Nathan Stahlhut <nstahlhut@hotmail.com>  
Sent: Thursday, April 27, 2023 12:42 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Nathan Stahlhut  
510.710.1235

**Jacob, Melinda**

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**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: rohinihaar@berkeley.edu <rohinihaar@berkeley.edu>  
Sent: Thursday, April 27, 2023 2:36 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,

Rohini

**Jacob, Melinda**

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**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

-----Original Message-----

From: David Lehrer <davidlehrer@gmail.com>  
Sent: Friday, April 28, 2023 10:08 PM  
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
Subject: Please support rec space for kids at Willard Park

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,

Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
David Lehrer



**Jacob, Melinda**

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**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for kids at Willard Park

**From:** yona abrams <yonaabrams@gmail.com>  
**Sent:** Friday, April 28, 2023 7:35 PM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for kids at Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Zoning Adjustments Board,  
Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.

The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.

We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.

Regards,  
Yona Abrams

**Jacob, Melinda**

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**From:** Zoning Adjustments Board (ZAB)  
**Subject:** FW: Please support rec space for Willard Park

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**From:** Katie Gunther <kgunther77@gmail.com>  
**Sent:** Sunday, April 30, 2023 9:35 AM  
**To:** Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>  
**Subject:** Please support rec space for Willard Park

**WARNING:** This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

***Dear Zoning Adjustments Board,***

***Due to parental obligations, I will be unable to attend the meeting this week as will the dozens, if not hundreds of parents who desperately need or rely on childcare in our city.***

***The proposed remodel of Willard Playhouse will not only be an aesthetic improvement and protect green space, it will dramatically help children across Berkeley, particularly low-income children and families.***

***We urge you to support this important project and remember that Berkeley needs these types of recreational improvements, community spaces, and childcare options in our city. Thank you for your dedication to Berkeley.***

***Regards,  
Katie Gunther***



Z O N I N G  
A D J U S T M E N T S  
B O A R D  
N O T I C E O F D E C I S I O N

**DATE OF BOARD DECISION:** April 27, 2023

**DATE NOTICE MAILED:** May 9, 2023

**APPEAL PERIOD EXPIRATION:** May 23, 2023

**EFFECTIVE DATE OF PERMIT (Barring Appeal or Certification)<sup>1</sup>:** May 24, 2023

## 2720 Hillegass Avenue– Willard Park

**Use Permit #ZP2022-0095 to demolish the existing clubhouse and restroom, construct a 3,301 square-foot single-story (18 feet) community center with a variance for a rear setback of 16 feet where 20 feet is required, and add a new single-story restroom building (12 feet).**

The Zoning Adjustments Board of the City of Berkeley, after conducting a public hearing, **APPROVED** the following permits:

- Variance, under Berkeley Municipal Code (BMC) Section 23.406.050, from BMC Section 23.202.080(D)(1) to allow a rear setback of 16 feet for the community center where 20 feet is required.
- Use Permit, under BMC Section 23.326.070(A), to demolish a non-residential main building.
- Use Permit, under BMC Section 23.202.020(A), to construct a community center.
- Administrative Use Permit, under Section 23.304.060(C)(1) to add an accessory building (restroom).

**ZONING:** R-2 – Restricted Two-Family Residential District

**APPLICANT:** Evelyn Chan, Supervising Civil Engineer, City of Berkeley Parks, Recreation and Waterfront Department, 1947 Center Street, 5<sup>th</sup> Floor, Berkeley CA 94704

**PROPERTY OWNER:** City of Berkeley, 2180 Milvia Street, Berkeley CA 94704

<sup>1</sup> Pursuant to BMC Section 23.410.050(C), the City Council may certify any ZAB decision for review during the 14-day appeal period after the notice of the ZAB's decision is issued. Certification has the same effect as an appeal. However, BMC Section 1.04.070 suspends or "tolls" the Council's deadline to certify when the Council is on recess. Thus, in cases where the 14-day appeal period is scheduled to *end* during a Council recess, the certification deadline is extended past the end of the recess for the remainder of the appeal period. In cases where the appeal period *begins* during a Council recess, the certification deadline is extended until 14 days after the first Council meeting after the recess. *Extension of the certification deadline has no effect on the appeal deadline.*

ZONING ADJUSTMENTS BOARD  
April 27, 2023

2720 HILLEGASS AVENUE  
Page 2 of 4

**INTERESTED PARTIES:** Vincent Casalaina, [ProBerk@aol.com](mailto:ProBerk@aol.com), 2619 Benvenue Avenue, Apt. A; Alex Stec, [alex\\_stec@hotmail.com](mailto:alex_stec@hotmail.com); Carla WoodWorth, [carla@tennypress.com](mailto:carla@tennypress.com), 2335 Parker Street, #2, Berkeley CA 94704; Kinga Chomicz, [kinusia@gmail.com](mailto:kinusia@gmail.com)

**ENVIRONMENTAL REVIEW STATUS:** Categorically exempt pursuant to Section 15303 of the CEQA Guidelines ("New Construction").

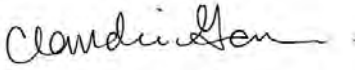
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**FINDINGS, CONDITIONS AND APPROVED PLANS ARE ATTACHED TO THIS NOTICE**

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	Yes	No	Abstain	Absent	Recused
DUFFY	x				
HAUSER	x				
YUNG	x				
O'KEEFE		x			
LUNAPARRA	x				
SANDERSON	x				
THOMPSON	x				
GAFFNEY	x				
TREGUB	x				
<b>BOARD VOTE:</b>	<b>8</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>0</b>

**ATTEST:**

  
Claudia Garcia, Zoning Adjustments Board  
Secretary

**PUBLICATION OF NOTICE:**

Pursuant to BMC Section 23.404.050, this notice shall be mailed to the applicant at the mailing address stated in the application and to any person who requests such notification by filing a written request with the Zoning Officer on or before the date of the Board action. This notice shall also be filed with the City Clerk. In addition, the notice shall be forwarded to the Zoning Adjustments Board and to the Main Library. The notice shall also be posted at a bulletin board at the Zoning Counter. The City Clerk shall make the notice available to interested members of the Council and the public.

**FURTHER INFORMATION:**

Questions about the project should be directed to the project planner, Allison Riemer, at (510) 981-7433 or [ariemer@berkeleyca.gov](mailto:ariemer@berkeleyca.gov). All project application materials, including full-size plans, may be viewed online at: <https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx>, or in the Permit Service Center at the Zoning Counter at 1947 Center Street, Third Floor, during normal office hours.

ZONING ADJUSTMENTS BOARD  
April 27, 2023

2720 HILLEGASS AVENUE  
Page 3 of 4

**TO APPEAL THIS DECISION (see Section 23.410 of the Berkeley Municipal Code):**

To appeal a decision of the Zoning Adjustments Board to the City Council you must:

1. Submit a letter clearly and concisely setting forth the grounds for the appeal to the City Clerk, located at 2180 Milvia Street, 1<sup>st</sup> Floor, Berkeley. The City Clerk's telephone number is (510) 981-6900.
2. Submit the required appeal fee (checks and money orders payable to "City of Berkeley"):
  - A. The fee for persons other than the applicant is \$1500. This fee may be reduced to \$500 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less.
  - B. The fee for all appeals by Applicants is \$5,520.
3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown on page 1 (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the permit will be issued on the first business day following expiration of the appeal period, and the project may proceed at that time.

ZONING ADJUSTMENTS BOARD  
April 27, 2023

2720 HILLEGASS AVENUE  
Page 4 of 4

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**NOTICE CONCERNING YOUR LEGAL RIGHTS:**

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If you object to this decision, the following requirements and restrictions apply:

1. If you challenge this decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Zoning Adjustments Board at, or prior to, the public hearing.
  2. You must appeal to the City Council within fourteen (14) days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
  3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
  4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
  5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must include the following information:
    - A. That this belief is a basis of your appeal.
    - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
    - C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.
-

**ATTACHMENT 1****FINDINGS AND CONDITIONS**

APRIL 27, 2023

**2720 Hillegass Avenue– Willard Park**

**Use Permit #ZP2022-0095 to demolish the existing clubhouse and restroom, construct a 3,301 square-foot single-story (18 feet) community center with a variance for a rear setback of 16 feet where 20 feet is required, and add a new single-story restroom building (12 feet).**

**PERMITS REQUIRED**

- Variance, under Berkeley Municipal Code (BMC) Section 23.406.050, from BMC Section 23.202.080(D)(1) to allow a rear setback of 16 feet for the community center where 20 feet is required.
- Use Permit, under BMC Section 23.326.070(A), to demolish a non-residential main building.
- Use Permit, under BMC Section 23.202.020(A), to construct a community center.
- Administrative Use Permit, under Section 23.304.060(C)(1) to add an accessory building (restroom).

**I. CEQA FINDINGS**

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15303 of the CEQA Guidelines (“New Construction”).
2. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.

**II. FINDINGS FOR APPROVAL**

1. As required by Section 23.406.040(E)(1) of the BMC, the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
  - A. The project is subject to the City’s standard conditions of approval regarding construction noise and air quality, waste diversion, toxics, and stormwater requirements as well as any other project specific conditions. These standard conditions will ensure the project will not be detrimental to adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City.

- B. Shadow studies submitted by the applicant document the addition's projected shadow angles and lengths at three times throughout the day during the summer and winter solstice. The studies show that the new building would not shade any nearby dwellings.
- C. The existing building has a rear setback of 11 feet 8 inches. The proposed building will not comply with the required 20-foot rear setback, but the proposed rear setback will be greater than the existing setback. The proposed clubhouse and restroom building will comply with all other required setbacks.
- D. The new clubhouse will not result in obstruction of significant views in the neighborhood as defined in BMC Section 23.502 (Glossary). This neighborhood is generally flat and developed with multi-story buildings that filter or obscure views that may be available of the Berkeley hills or the Golden Gate Bridge from off-site view angles.
- E. The existing oak, maple, redwood trees near the clubhouse will be retained.

### III. OTHER FINDINGS FOR APPROVAL

2. As required by Section 23.406.050(F) of the BMC, the, the Zoning Adjustments Board finds that the Variance from BMC Section 23.202.080(D) to allow a rear setback of 16 feet where 20 feet is required in the R-2 District is permissible because:
  - A. There are exceptional circumstances applying to the property which do not apply generally in the same district: The project site is unique in that it is relatively small for the number of uses at the site (2.72 acres, with a clubhouse, restroom, playground, and a large lawn). The site is a public park that provides open space and a community center, and contains several large, mature trees. The park is shared with the City and Willard Junior High School through a joint agreement. The clubhouse and park is the site of a City of Berkeley after-school and summer day camp program for 45 children. The park is one of the few places in the area that provides City-owned public open space. There are several mature trees at the park, including a 36-inch Coast Live Oak tree. Per BMC Section 6.52.010 there is a moratorium on the removal of Coast Live Oaks. The need to preserve existing City trees, especially oak trees, and the need for public open space limits the location of the proposed community center. The variance is necessary to add a new community center, while limiting impacts to trees and open space.
  - B. The Variance is necessary to preserve a substantial property right: The applicant, City of Berkeley Parks, Recreation, and Waterfront Department, has proposed a clubhouse that is larger than the existing clubhouse so that more children may enroll in after-school and summer day camp programs. Currently, the adjacent concrete patio and open lawn area are used by after school and summer day camp programs, in addition to the clubhouse. The existing clubhouse has a rear setback of 11.72 feet, and the proposed clubhouse would have a rear setback of 16 feet. The new community center has been designed to provide more space for after-school and summer day camp programs, while also adhering to the other required setbacks, and preventing negative impacts to City trees. The design of the park improvements is based on community meetings and focus group meetings with neighbors, parents, and Parks staff. Since the land is publicly owned the goals of the project are multi-faceted. Parks are important for everyone, and after-school and summer day camp programs are important to area families. The City is rapidly densifying, and public open spaces are needed. The proposed 16-foot setback allows for a building that meets the needs of all park users, without damaging or removing large trees.
  - C. The Variance will not adversely affect the health or safety of persons residing or working near the property: The Variance would not adversely affect the health or safety of



persons residing or working near the property since the new building would adhere to all requirements of the California Building Code, and all other applicable laws. The new clubhouse will allow after-school and summer camp programming to take place indoors, which will be beneficial in inclement weather, including when the outdoor air quality is poor due to wildfires.

- D. The Variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements: The new clubhouse would be compatible in terms of building height and the quality of materials with other buildings in the immediate neighborhood and therefore would not be materially detrimental to the neighborhood in terms of views, light, or air impacts. The new clubhouse would not cast shadows onto nearby residences, and at one story would be lower in height than area residences.
3. As required by Section 23.326.070 of the BMC, the Zoning Adjustments Board finds that the proposed demolition of the non-residential buildings is permissible because:
- A. At a duly noticed hearing, the Landmarks Preservation Commission (LPC) reviewed a demolition referral for the existing clubhouse and took no action to initiate a local historic designation.
  - B. The demolition of the clubhouse and restroom is not materially detrimental to the commercial and public interest of any affected neighborhood in the City. The new clubhouse would replace the existing 565 square foot clubhouse with a new 3,301 square-foot building for childcare and community use, and the new restroom building would replace the existing 114 square-foot restroom with a new 198 square-foot building near the tennis courts, a location that is preferred by staff and the community (based on surveys and public meetings).
  - C. Overall, demolition of the buildings will allow redevelopment of the park, while also meeting the needs of a variety of users, and preserving existing open space and trees.
  - D. Demolition is necessary to allow construction of the proposed buildings given the inclusion of a condition of approval that allows demolition of the existing buildings only after complete construction plans are submitted to the City for the replacement buildings (COA #12).
4. As required by Section 23.304.060(C)(1) of the BMC, the Zoning Adjustments Board finds that the request to construct an accessory building is permissible because:
- A. An existing bench would be removed to add the new restroom near the tennis courts, but there would be no impacts to the existing trees and lawn.
  - B. The building would comply with the accessory building development standards, and would have a right-side setback of 35 feet.

**IV. STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS**

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

**1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions.' *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

**2. Compliance Required (BMC Section 23.102.050)**

All land uses and structures in Berkeley must comply with the Zoning Ordinance and all applicable City ordinances and regulations. Compliance with the Zoning Ordinance does not relieve an applicant from requirements to comply with other federal, state, and City regulations that also apply to the property.

**3. Approval Limited to Proposed Project and Replacement of Existing Uses (BMC Sections 23.404.060.B.1 and 2)**

- A. This Permit authorizes only the proposed project described in the application. In no way does an approval authorize other uses, structures or activities not included in the project description.
- B. When the City approves a new use that replaces an existing use, any prior approval of the existing use becomes null and void when permits for the new use are exercised (e.g., building permit or business license issued). To reestablish the previously existing use, an applicant must obtain all permits required by the Zoning Ordinance for the use.

**4. Conformance to Approved Plans (BMC Section 23.404.060.B.4)**

All work performed under an approved permit shall be in compliance with the approved plans and any conditions of approval.

**5. Exercise and Expiration of Permits (BMC Section 23.404.060.C)**

- A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.
- B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.
- C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the ZAB in accordance with Chapter 23.410 (Appeals and Certification).
- D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.

**6. Permit Remains Effective for Vacant Property (BMC Section 23.404.060.D)**

Once a Permit for a use is exercised and the use is established, the permit authorizing the use remains effective even if the property becomes vacant. The same use as allowed by the original permit may be re-established without obtaining a new permit, except as set forth in Standard Condition #5 above.

**7. Permit Modifications (BMC Section 23.404.070)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Board. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project.

**8. Permit Revocation (BMC Section 23.404.080)**

The City may revoke or modify a discretionary permit for completed projects due to: 1) violations of permit requirements; 2) Changes to the approved project; and/or 3) Vacancy for one year or more. However, no lawful residential use can lapse, regardless of the length of time of the vacancy. Proceedings to revoke or modify a permit may be initiated by the Zoning Officer, Zoning Adjustments Board (ZAB), or City Council referral.

**9. Indemnification Agreement**

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

**V. ADDITIONAL CONDITIONS IMPOSED BY THE ZONING ADJUSTMENTS BOARD**

Pursuant to BMC 23.404.050(H), the Zoning Adjustments Board attaches the following additional conditions to this Permit:



of asphalt, concrete, excavated soil and land-clearing debris and a minimum of 65% diversion of other nonhazardous construction and demolition waste.

**18. Toxics.** The applicant shall contact the Toxics Management Division (TMD) at 1947 Center Street or (510) 981-7470 to determine which of the following documents are required and timing for their submittal:

**A. Environmental Site Assessments:**

- 1) Phase I & Phase II Environmental Site Assessments (latest ASTM 1527-13). A recent Phase I ESA (less than 2 years old\*) shall be submitted to TMD for developments for:
  - All new commercial, industrial and mixed use developments and all large improvement projects.
  - All new residential buildings with 5 or more dwelling units located in the Environmental Management Area (or EMA).
  - EMA is available online at: [http://www.cityofberkeley.info/uploadedFiles/IT/Level\\_3\\_-\\_General/ema.pdf](http://www.cityofberkeley.info/uploadedFiles/IT/Level_3_-_General/ema.pdf)
- 2) Phase II ESA is required to evaluate Recognized Environmental Conditions (REC) identified in the Phase I or other RECs identified by TMD staff. The TMD may require a third party toxicologist to review human or ecological health risks that may be identified. The applicant may apply to the appropriate state, regional or county cleanup agency to evaluate the risks.
- 3) If the Phase I is over 2 years old, it will require a new site reconnaissance and interviews. If the facility was subject to regulation under Title 15 of the Berkeley Municipal Code since the last Phase I was conducted, a new records review must be performed.

**B. Soil and Groundwater Management Plan:**

- 1) A Soil and Groundwater Management Plan (SGMP) shall be submitted to TMD for all non-residential projects, and residential or mixed-use projects with five or more dwelling units, that: (1) are in the Environmental Management Area (EMA) and (2) propose any excavations deeper than 5 feet below grade. The SGMP shall be site specific and identify procedures for soil and groundwater management including identification of pollutants and disposal methods. The SGMP will identify permits required and comply with all applicable local, state and regional requirements.
- 2) The SGMP shall require notification to TMD of any hazardous materials found in soils and groundwater during development. The SGMP will provide guidance on managing odors during excavation. The SGMP will provide the name and phone number of the individual responsible for implementing the SGMP and post the name and phone number for the person responding to community questions and complaints.
- 3) TMD may impose additional conditions as deemed necessary. All requirements of the approved SGMP shall be deemed conditions of approval of this Use Permit.

**C. Building Materials Survey:**

- 1) Prior to approving any permit for partial or complete demolition and renovation activities involving the removal of 20 square or lineal feet of interior or exterior walls, a building materials survey shall be conducted by a qualified professional. The survey shall include, but not be limited to, identification of any lead-based paint, asbestos, polychlorinated biphenyl (PBC) containing equipment, hydraulic fluids in elevators or lifts, refrigeration systems, treated wood and mercury containing devices (including fluorescent light bulbs and mercury switches). The Survey shall include plans on hazardous waste or hazardous materials removal, reuse or disposal procedures to be implemented that fully comply state hazardous waste generator requirements (22 California Code of Regulations 66260 et

seq). The Survey becomes a condition of any building or demolition permit for the project. Documentation evidencing disposal of hazardous waste in compliance with the survey shall be submitted to TMD within 30 days of the completion of the demolition. If asbestos is identified, Bay Area Air Quality Management District Regulation 11-2-401.3 a notification must be made and the J number must be made available to the City of Berkeley Permit Service Center.

**D. Hazardous Materials Business Plan:**

- 1) A Hazardous Materials Business Plan (HMBP) in compliance with BMC Section 15.12.040 shall be submitted electronically at <http://cers.calepa.ca.gov/> within 30 days if on-site hazardous materials exceed BMC 15.20.040. HMBP requirement can be found at <http://ci.berkeley.ca.us/hmr/>

**Prior to Issuance of Any Building (Construction) Permit**

19. HVAC Noise Reduction. Prior to the issuance of building permits, the project applicant shall submit plans that show the location, type, and design of proposed heating, ventilation, and cooling (HVAC) equipment. In addition, the applicant shall provide product specification sheets or a report from a qualified acoustical consultant showing that operation of the proposed HVAC equipment will meet the City's exterior noise requirements in BMC Section 13.40.050. The City's Planning and Development Department shall review the submitted plans, including the selected HVAC equipment, to verify compliance with exterior noise standards.
20. Solar Photovoltaic (Solar PV) and Battery Energy Storage Systems (ESS). A solar PV system shall be installed, subject to specific limited exceptions, as specified by the Berkeley Energy Code (BMC Chapter 19.36). Energy storage system (ESS) readiness (new single-family, duplex, and townhouse homes) or ESS installation (new multifamily and most nonresidential buildings) shall be completed as specified by BMC Chapter 19.36. Location of the solar PV system and the ESS, if applicable, shall be noted on the construction plans.
21. Water Efficient Landscaping. Landscaping, totaling 500 square feet or more of new landscaping or 2,500 square feet or more of renovated irrigated area, shall comply with the State's Model Water Efficient Landscape Ordinance (MWELo). MWELo-compliant landscape documentation including a planting, grading, and irrigation plan shall be included in site plans. Water budget calculations are also required for landscapes of 2,500 square feet or more and shall be included in site plans. The reference evapotranspiration rate (ET<sub>o</sub>) for Berkeley is 41.8.
22. Prohibition of Natural Gas Infrastructure in New Buildings. The project shall comply with the City of Berkeley Prohibition of Natural Gas Infrastructure in New Buildings (BMC Chapter 12.80). The building permit plan set submission shall both include a cover sheet declaration: 'Natural Gas-Free Design as required by BMC Chapter 12.80.
23. Recycling and Organics Collection. Applicant shall provide recycling and organics collection areas for occupants, clearly marked on site plans, which comply with the Alameda County Mandatory Recycling Ordinance (ACWMA Ordinance 2012-01).
24. Public Works ADA. Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.

**During Construction:**

- 25. Construction Hours.** Construction activity shall be limited to between the hours of 8:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and Noon on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.
- 26. Public Works - Implement BAAQMD-Recommended Measures during Construction.** For all proposed projects, BAAQMD recommends implementing all the Basic Construction Mitigation Measures, listed below to meet the best management practices threshold for fugitive dust:
- A. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
  - B. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
  - C. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
  - D. All vehicle speeds on unpaved roads shall be limited to 15 mph.
  - E. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
  - F. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
  - G. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
  - H. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
- 27. Construction and Demolition Diversion.** Divert debris according to your plan and collect required documentation. Get construction debris receipts from sorting facilities in order to verify diversion requirements. Upload recycling and disposal receipts if using [Green Halo](#) and submit online for City review and approval prior to final inspection. Alternatively, complete the second page of the original [Construction Waste Management Plan](#) and present it, along with your construction debris receipts, to the Building Inspector by the final inspection to demonstrate diversion rate compliance. The Zoning Officer may request summary reports at more frequent intervals, as necessary to ensure compliance with this requirement.
- 28. Low-Carbon Concrete.** The project shall maintain compliance with the Berkeley Green Code (BMC Chapter 19.37) including use of concrete mix design with a cement reduction of at least 25%. Documentation on concrete mix design shall be available at all times at the construction site for review by City Staff.
- 29. Transportation Construction Plan.** The applicant and all persons associated with the project are hereby notified that a Transportation Construction Plan (TCP) is required for all phases of construction, particularly for the following activities:
- Alterations, closures, or blockages to sidewalks, pedestrian paths or vehicle travel lanes (including bicycle lanes);

- Storage of building materials, dumpsters, debris anywhere in the public ROW;
- Provision of exclusive contractor parking on-street; or
- Significant truck activity.

The applicant shall secure the City Traffic Engineer's approval of a TCP. Please contact the Office of Transportation at 981-7010, or 1947 Center Street, and ask to speak to a traffic engineer. In addition to other requirements of the Traffic Engineer, this plan shall include the locations of material and equipment storage, trailers, worker parking, a schedule of site operations that may block traffic, and provisions for traffic control. The TCP shall be consistent with any other requirements of the construction phase.

Contact the Permit Service Center (PSC) at 1947 Center Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood. A current copy of this Plan shall be available at all times at the construction site for review by City Staff.

30. Avoid Disturbance of Nesting Birds. Initial site disturbance activities, including vegetation and concrete removal, shall be prohibited during the general avian nesting season (February 1 to August 30), if feasible. If nesting season avoidance is not feasible, the applicant shall retain a qualified biologist to conduct a preconstruction nesting bird survey to determine the presence/absence, location, and activity status of any active nests on or adjacent to the project site. The extent of the survey buffer area surrounding the site shall be established by the qualified biologist to ensure that direct and indirect effects to nesting birds are avoided. To avoid the destruction of active nests and to protect the reproductive success of birds protected by the MBTA and CFGC, nesting bird surveys shall be performed not more than 14 days prior to scheduled vegetation and concrete removal. In the event that active nests are discovered, a suitable buffer (typically a minimum buffer of 50 feet for passerines and a minimum buffer of 250 feet for raptors) shall be established around such active nests and no construction shall be allowed inside the buffer areas until a qualified biologist has determined that the nest is no longer active (e.g., the nestlings have fledged and are no longer reliant on the nest). No ground-disturbing activities shall occur within this buffer until the qualified biologist has confirmed that breeding/nesting is completed and the young have fledged the nest. Nesting bird surveys are not required for construction activities occurring between August 31 and January 31.
31. Archaeological Resources (Ongoing throughout demolition, grading, and/or construction). Pursuant to CEQA Guidelines section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:
- A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
  - B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to



scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.

- C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
- D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
- E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.

- 32. Human Remains (Ongoing throughout demolition, grading, and/or construction).** In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to Section 15064.5 (e)(1) of the CEQA Guidelines. If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of Section 7050.5 of the Health and Safety Code, and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.
- 33. Paleontological Resources (Ongoing throughout demolition, grading, and/or construction).** In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.
- 34. Halt Work/Unanticipated Discovery of Tribal Cultural Resources.** In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.

- 35. Stormwater Requirements.** The applicant shall demonstrate compliance with the requirements of the City's National Pollution Discharge Elimination System (NPDES) permit as described in BMC Section 17.20. The following conditions apply:
- A. The project plans shall identify and show site-specific Best Management Practices (BMPs) appropriate to activities conducted on-site to limit to the maximum extent practicable the discharge of pollutants to the City's storm drainage system, regardless of season or weather conditions.
  - B. Trash enclosures and/or recycling area(s) shall be covered; no other area shall drain onto this area. Drains in any wash or process area shall not discharge to the storm drain system; these drains should connect to the sanitary sewer. Applicant shall contact the City of Berkeley and EBMUD for specific connection and discharge requirements. Discharges to the sanitary sewer are subject to the review, approval and conditions of the City of Berkeley and EBMUD.
  - C. Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration and minimize the use of fertilizers and pesticides that contribute to stormwater pollution. Where feasible, landscaping should be designed and operated to treat runoff. When and where possible, xeriscape and drought tolerant plants shall be incorporated into new development plans.
  - D. Design, location and maintenance requirements and schedules for any stormwater quality treatment structural controls shall be submitted to the Department of Public Works for review with respect to reasonable adequacy of the controls. The review does not relieve the property owner of the responsibility for complying with BMC Chapter 17.20 and future revisions to the City's overall stormwater quality ordinances. This review shall be conducted prior to the issuance of a Building Permit.
  - E. All paved outdoor storage areas must be designed to reduce/limit the potential for runoff to contact pollutants.
  - F. All on-site storm drain inlets/catch basins must be cleaned at least once a year immediately prior to the rainy season. The property owner shall be responsible for all costs associated with proper operation and maintenance of all storm drainage facilities (pipelines, inlets, catch basins, outlets, etc.) associated with the project, unless the City accepts such facilities by Council action. Additional cleaning may be required by City of Berkeley Public Works Engineering Dept.
  - G. All on-site storm drain inlets must be labeled "No Dumping – Drains to Bay" or equivalent using methods approved by the City.
  - H. Most washing and/or steam cleaning must be done at an appropriately equipped facility that drains to the sanitary sewer. Any outdoor washing or pressure washing must be managed in such a way that there is no discharge or soaps or other pollutants to the storm drain. Sanitary connections are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
  - I. All loading areas must be designated to minimize "run-on" or runoff from the area. Accumulated waste water that may contribute to the pollution of stormwater must be drained to the sanitary sewer or intercepted and pretreated prior to discharge to the storm drain system. The property owner shall ensure that BMPs are implemented to prevent potential stormwater pollution. These BMPs shall include, but are not limited to, a regular program of sweeping, litter control and spill cleanup.
  - J. Sidewalks and parking lots shall be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry to the storm drain system. If any cleaning agent or degreaser is used, wash water shall not

discharge to the storm drains; wash waters should be collected and discharged to the sanitary sewer. Discharges to the sanitary sewer are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.

- K. The applicant is responsible for ensuring that all contractors and sub-contractors are aware of and implement all stormwater quality control measures. Failure to comply with the approved construction BMPs shall result in the issuance of correction notices, citations, or a project stop work order.

36. Public Works. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
37. Public Works. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
38. Public Works. The project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season to prevent on-site soils from being washed off-site and into the storm drain system. The project sponsor shall comply with all City ordinances regarding construction and grading.
39. Public Works. Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department. The applicant shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.
40. Public Works. The removal or obstruction of any fire hydrant shall require the submission of a plan to the City's Public Works Department for the relocation of the fire hydrant during construction.
41. Public Works. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

**Prior to Final Inspection or Issuance of Occupancy Permit:**

42. Compliance with Conditions. The project shall conform to the plans and statements in the Use Permit. The developer is responsible for providing sufficient evidence to demonstrate compliance with the requirements throughout the implementation of this Use Permit.
43. Compliance with Approved Plan. The project shall conform to the plans and statements in the Use Permit. All landscape, site and architectural improvements shall be completed per the attached approved drawings received April 7, 2023, except as modified by conditions of approval.

**At All Times:**

- 
44. Frances Willard Memorial Plaque. The brass Frances Willard memorial plaque currently attached to the clubhouse building shall be placed either on the new building, or remain elsewhere in the park.
  45. Interpretive Panels on Willard Park History. Interpretive panels shall be located in the park in locations accessible to the public.
  46. Exterior Lighting. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
  47. Rooftop Projections. No additional rooftop or elevator equipment shall be added to exceed the approved maximum roof height without submission of an application for a Use Permit Modification, subject to Board review and approval.
  48. Drainage Patterns. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
-

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

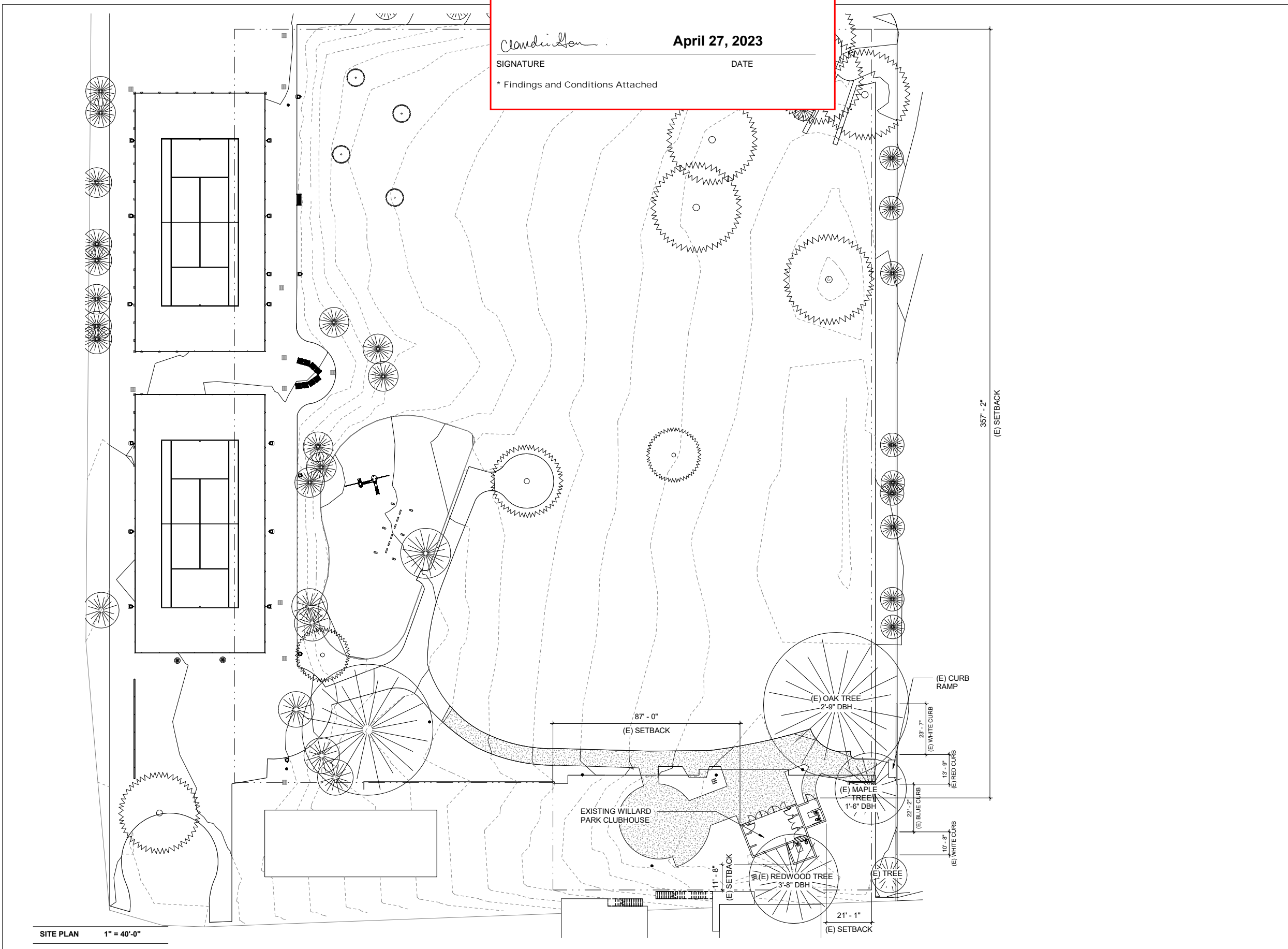
*Claudia Lee*

April 27, 2023

SIGNATURE

DATE

\* Findings and Conditions Attached



SITE PLAN 1" = 40'-0"



PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
**ZONING: R2**  
**APN: 54-1711-27**  
**CONSTRUCTION: V-B**  
**OCCUPANCY: A-3, B, S-2**

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
**ARCHITECT:**  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/20/2023**



SHEET TITLE:  
**EXISTING SITE PLAN**

SHEET NUMBER:  
**Z2-A1**

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

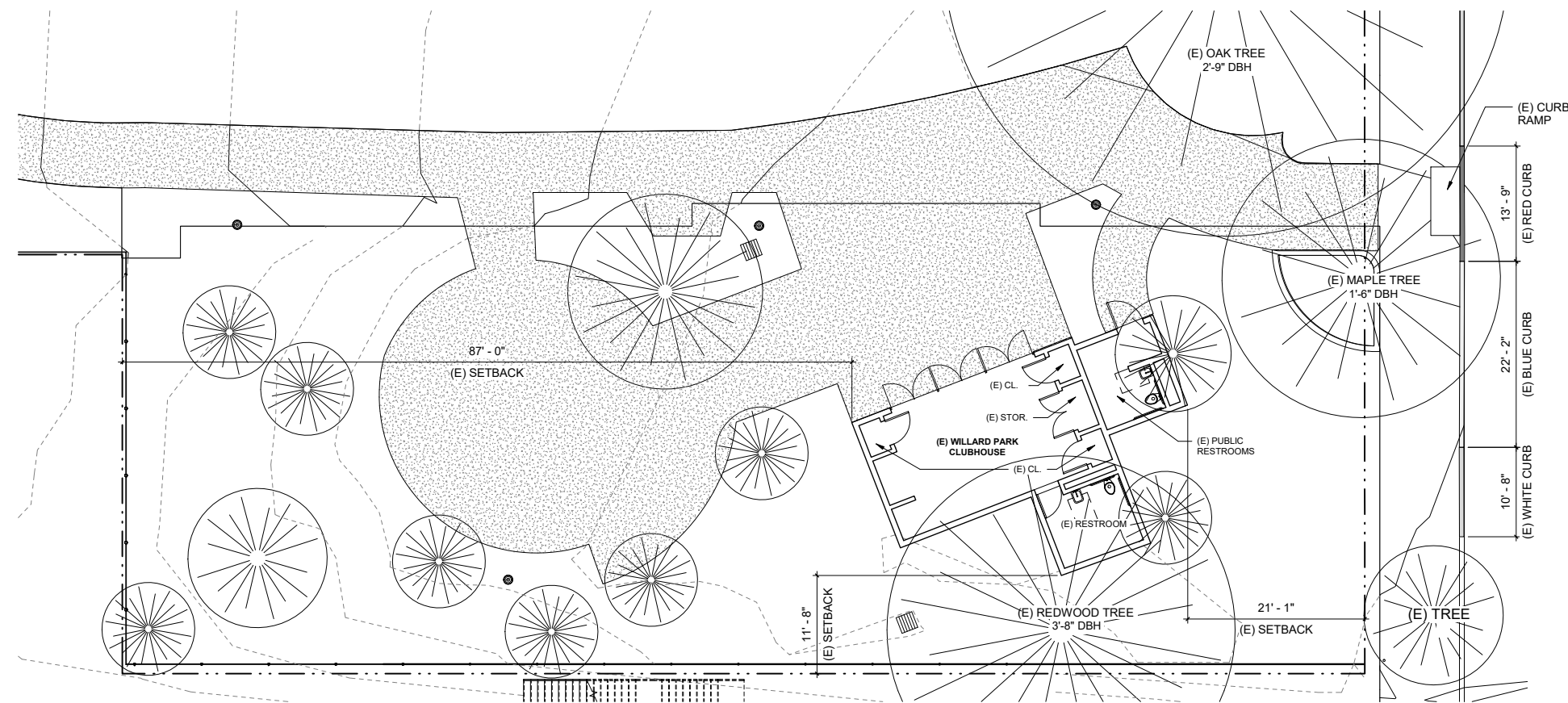
*Claudia Han*

April 27, 2023

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DATE

\* Findings and Conditions Attached



1 EXISTING FLOOR PLAN  
1/16" = 1'-0"

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PROJECT:

**WILLARD PARK  
CLUBHOUSE**

2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:

ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:

201320.27

CLIENT:

**CITY OF BERKELEY**  
1947 CENTER  
STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:

**ARCHITECT:**  
ELS ARCHITECTURE AND  
URBAN DESIGN  
2040 Addison Street  
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P: 510.549.2929

REVISION	NUMBER	DATE	DESCRIPTION

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**ZONING SUBMITTAL**

DATE:  
**03/20/2023**

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SHEET TITLE:  
**EXISTING  
FLOOR PLAN**

SHEET NUMBER:  
**Z2-A2**

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

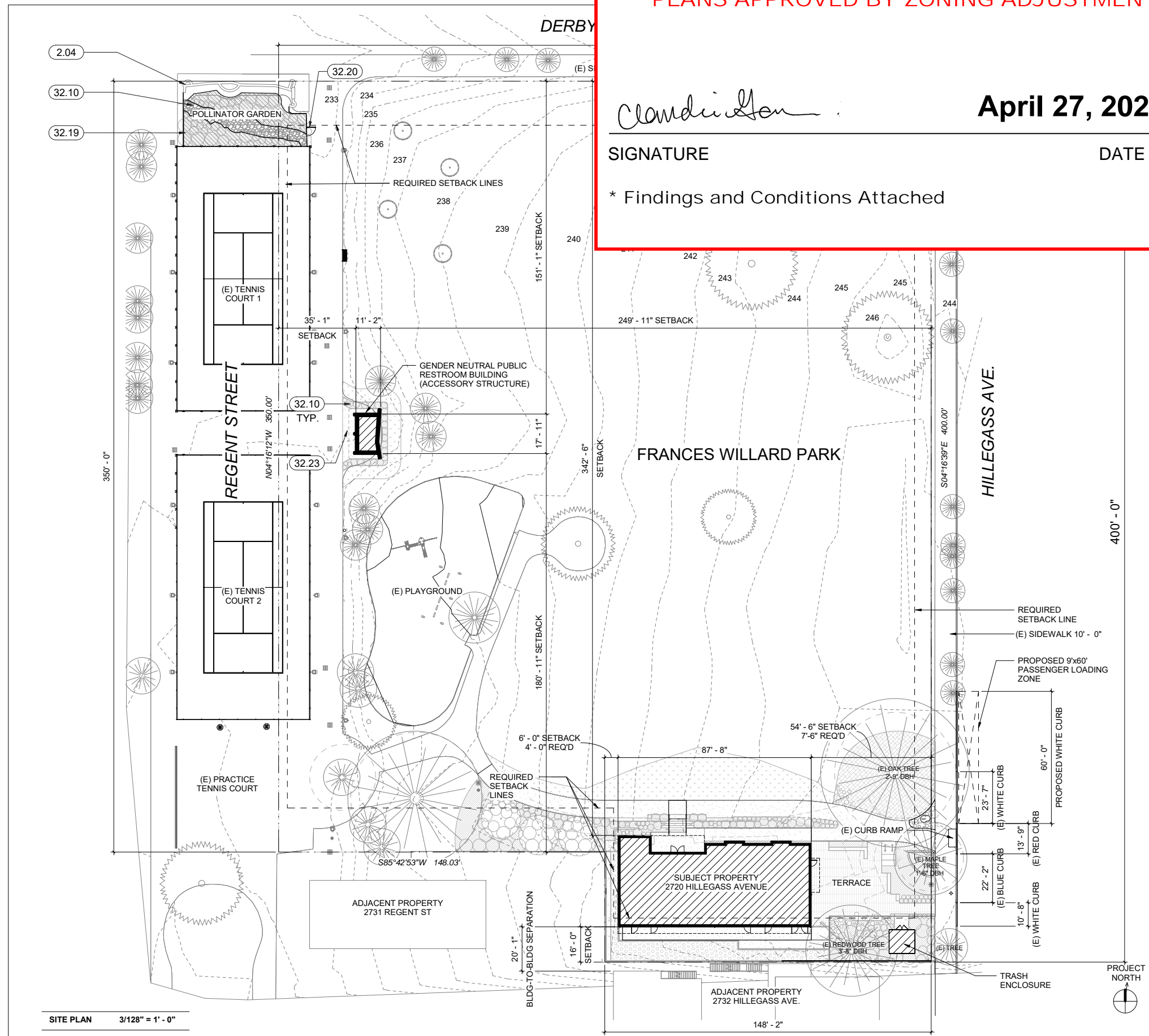
*Claudia Chen*

April 27, 2023

SIGNATURE

DATE

\* Findings and Conditions Attached



REGENT ST	REGENT ST
HILLEGASS AVE	HILLEGASS AVE
DERBY ST	DERBY ST
FRANCIS WILLARD PARK	FRANCIS WILLARD PARK
ADJACENT PROPERTY 2731 REGENT ST	ADJACENT PROPERTY 2731 REGENT ST
ADJACENT PROPERTY 2732 HILLEGASS AVE	ADJACENT PROPERTY 2732 HILLEGASS AVE

REGENT ST	REGENT ST
HILLEGASS AVE	HILLEGASS AVE
DERBY ST	DERBY ST
FRANCIS WILLARD PARK	FRANCIS WILLARD PARK
ADJACENT PROPERTY 2731 REGENT ST	ADJACENT PROPERTY 2731 REGENT ST
ADJACENT PROPERTY 2732 HILLEGASS AVE	ADJACENT PROPERTY 2732 HILLEGASS AVE

REGENT ST	REGENT ST
HILLEGASS AVE	HILLEGASS AVE
DERBY ST	DERBY ST
FRANCIS WILLARD PARK	FRANCIS WILLARD PARK
ADJACENT PROPERTY 2731 REGENT ST	ADJACENT PROPERTY 2731 REGENT ST
ADJACENT PROPERTY 2732 HILLEGASS AVE	ADJACENT PROPERTY 2732 HILLEGASS AVE

REGENT ST	REGENT ST
HILLEGASS AVE	HILLEGASS AVE
DERBY ST	DERBY ST
FRANCIS WILLARD PARK	FRANCIS WILLARD PARK
ADJACENT PROPERTY 2731 REGENT ST	ADJACENT PROPERTY 2731 REGENT ST
ADJACENT PROPERTY 2732 HILLEGASS AVE	ADJACENT PROPERTY 2732 HILLEGASS AVE

REGENT ST	REGENT ST
HILLEGASS AVE	HILLEGASS AVE
DERBY ST	DERBY ST
FRANCIS WILLARD PARK	FRANCIS WILLARD PARK
ADJACENT PROPERTY 2731 REGENT ST	ADJACENT PROPERTY 2731 REGENT ST
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REGENT ST	REGENT ST
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HILLEGASS AVE	HILLEGASS AVE
DERBY ST	DERBY ST
FRANCIS WILLARD PARK	FRANCIS WILLARD PARK
ADJACENT PROPERTY 2731 REGENT ST	ADJACENT PROPERTY 2731 REGENT ST
ADJACENT PROPERTY 2732 HILLEGASS AVE	ADJACENT PROPERTY 2732 HILLEGASS AVE

REGENT ST	REGENT ST
HILLEGASS AVE	HILLEGASS AVE
DERBY ST	DERBY ST
FRANCIS WILLARD PARK	FRANCIS WILLARD PARK
ADJACENT PROPERTY 2731 REGENT ST	ADJACENT PROPERTY 2731 REGENT ST
ADJACENT PROPERTY 2732 HILLEGASS AVE	ADJACENT PROPERTY 2732 HILLEGASS AVE

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
 2720 HILLEGASS AVE.  
 BERKELEY, CA 94705

PROJECT INFO:  
 ZONING: R2  
 APN: 54-1711-27  
 CONSTRUCTION: V-B  
 OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
**CITY OF BERKELEY**  
 1947 CENTER STREET, 4TH FL,  
 BERKELEY, CA 94704

PROJECT TEAM:  
 ARCHITECT:  
 ELS ARCHITECTURE AND URBAN DESIGN  
 2040 Addison Street  
 Berkeley, CA 94704  
 P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

GROSS FLOOR AREA SF		
	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,301 SF	3,499 SF
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/20/2023**

STAMP:

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**Z2-A3**

SITE PLAN 3/128" = 1' - 0"

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

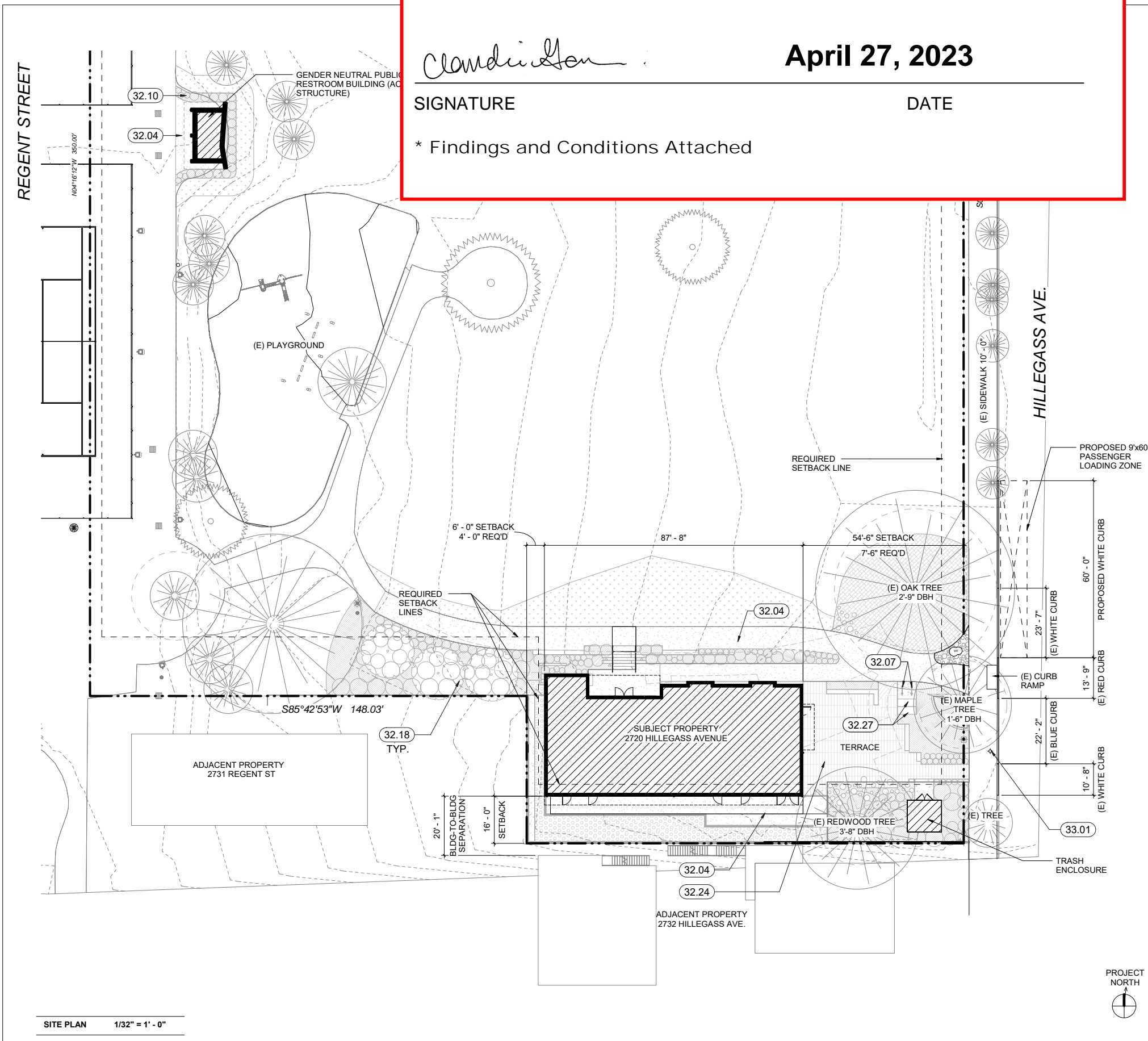
*Claudia Gon*

April 27, 2023

SIGNATURE

DATE

\* Findings and Conditions Attached



KEYNOTE LEGEND - ZONING

32.04	CONCRETE PAVING, S.L.D.
32.07	BICYCLE RACKS, S.L.D.
32.10	PLANTING, S.L.D.
32.18	PROPOSED TREE, S.L.D.
32.24	PERMEABLE PAVERS, S.L.D.
32.27	LONG-TERM BIKE LOCKERS, S.L.D.
33.01	FIRE HYDRANT, S.C.D.

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
 2720 HILLEGASS AVE.  
 BERKELEY, CA 94705

PROJECT INFO:  
 ZONING: R2  
 APN: 54-1711-27  
 CONSTRUCTION: V-B  
 OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
 201320.27

CLIENT:  
 CITY OF BERKELEY  
 1947 CENTER STREET, 4TH FL,  
 BERKELEY, CA 94704

PROJECT TEAM:  
 ARCHITECT:  
 ELS ARCHITECTURE AND URBAN DESIGN  
 2040 Addison Street  
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REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
 03/20/2023

STAMP:

SHEET TITLE:  
**ENLARGED SITE PLAN**

SHEET NUMBER:  
**Z2-A4**

GROSS FLOOR AREA SF

	SF	TOTAL SF
WILLARD PARK CLUBHOUSE	3,301 SF	3,499 SF
GENDER NEUTRAL PUBLIC RESTROOM BUILDING	198 SF	

LEGEND

- PROPERTY LINE
- - - EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REMAIN AND BE PROTECTED
- PROPOSED ITEM
- EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE

SITE PLAN 1/32" = 1' - 0"



PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

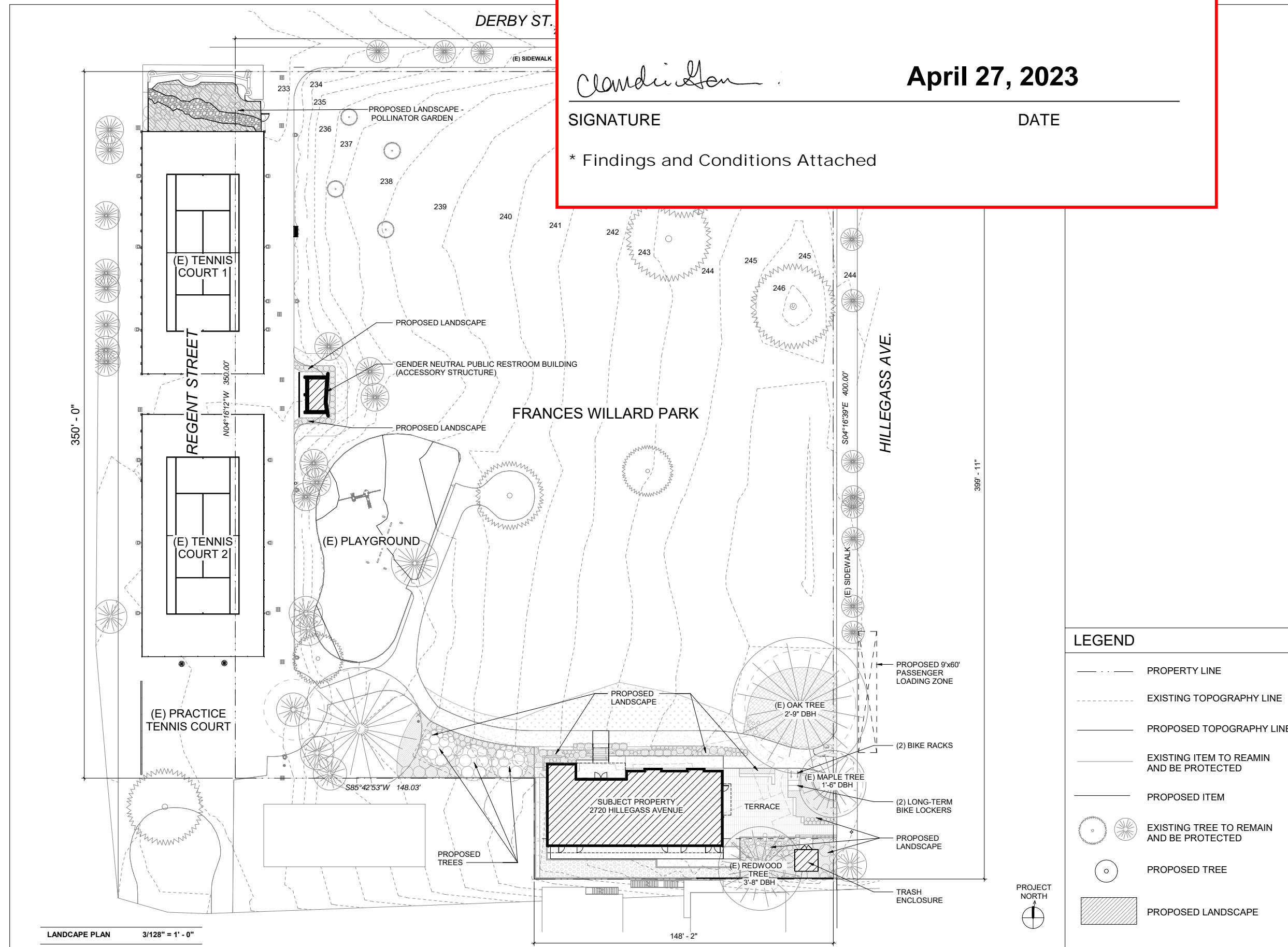
*Claudia Sen*

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
 2720 HILLEGASS AVE.  
 BERKELEY, CA 94705

PROJECT INFO:  
 ZONING: R2  
 APN: 54-1711-27  
 CONSTRUCTION: V-B  
 OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
**201320.27**

CLIENT:  
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 1947 CENTER STREET, 4TH FL,  
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PROJECT TEAM:  
 ARCHITECT:  
 ELS ARCHITECTURE AND URBAN DESIGN  
 2040 Addison Street  
 Berkeley, CA 94704  
 P: 510.549.2929

REVISION		
NUMBER	DATE	DESCRIPTION

**LEGEND**

- PROPERTY LINE
- - - - EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REMAIN AND BE PROTECTED
- PROPOSED ITEM
- EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE
- ▨ PROPOSED LANDSCAPE

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
**03/20/2023**



SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**Z2-B**

LANDSCAPE PLAN 3/128" = 1' - 0"



PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

*Claudia Lee*

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SIGNATURE

DATE

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3,716 SF  
241 SF  
3,957 SF

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PROJECT:

**WILLARD PARK  
CLUBHOUSE**

2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:

ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
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ELS PROJECT NUMBER:

201320.27

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BERKELEY, CA 94704

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REVISION

NUMBER | DATE | DESCRIPTION

NUMBER	DATE	DESCRIPTION

ISSUE:

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DATE:

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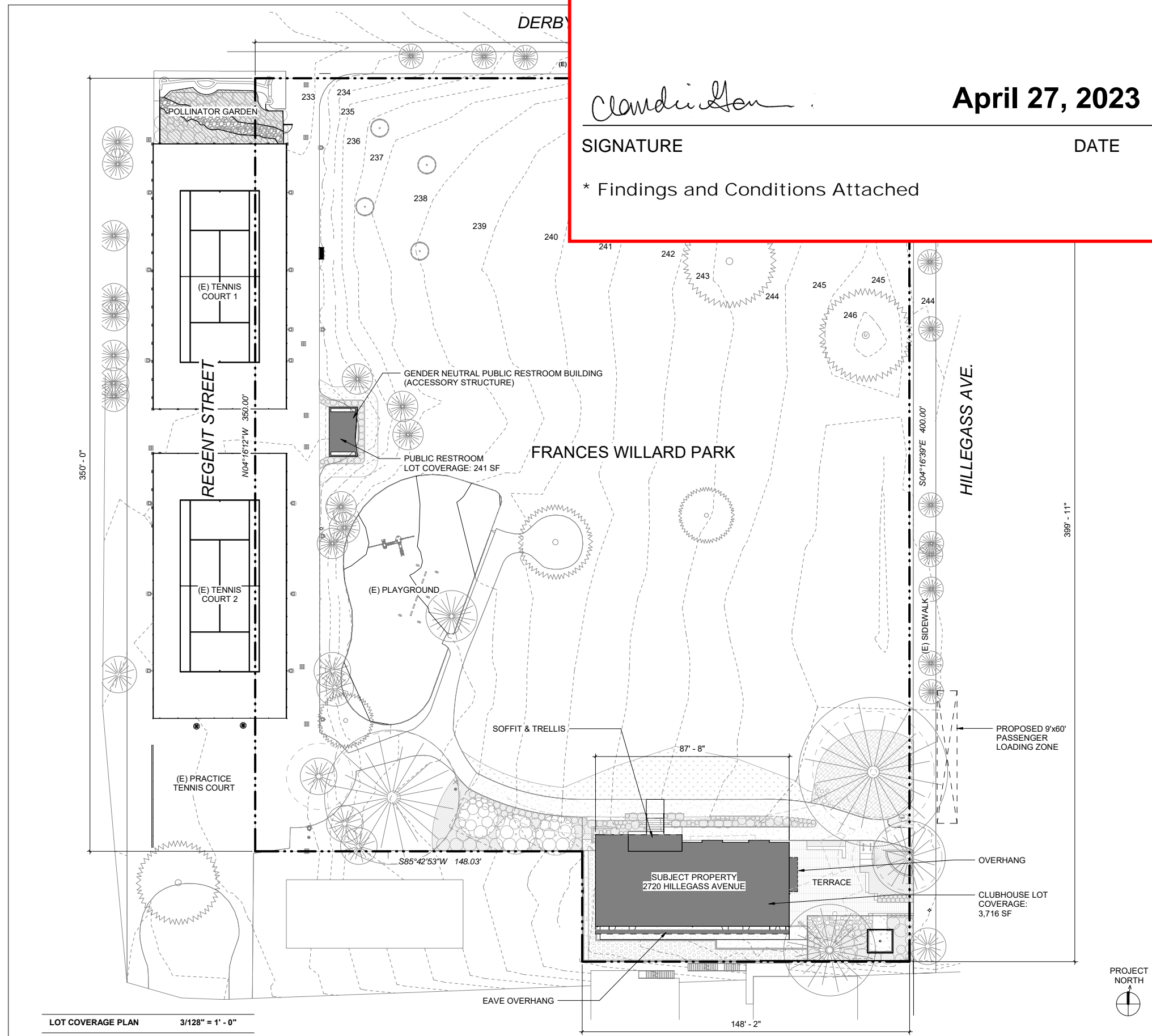


SHEET TITLE:

**LOT  
COVERAGE**

SHEET NUMBER:

**Z2-C**



LEGEND

- PROPERTY LINE
- - - EXISTING TOPOGRAPHY LINE
- PROPOSED TOPOGRAPHY LINE
- EXISTING ITEM TO REMAIN AND BE PROTECTED
- PROPOSED ITEM
- EXISTING TREE TO REMAIN AND BE PROTECTED
- PROPOSED TREE
- AREA COUNTING AS LOT COVERAGE - UP TO 18" OF EAVE OVERHANG IS EXCLUDED FROM LOT COVERAGE



LOT COVERAGE PLAN 3/128" = 1' - 0"

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

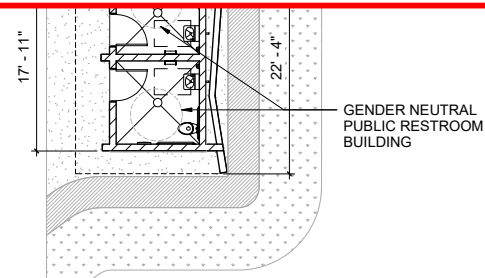
*Claudia Geronzi*

April 27, 2023

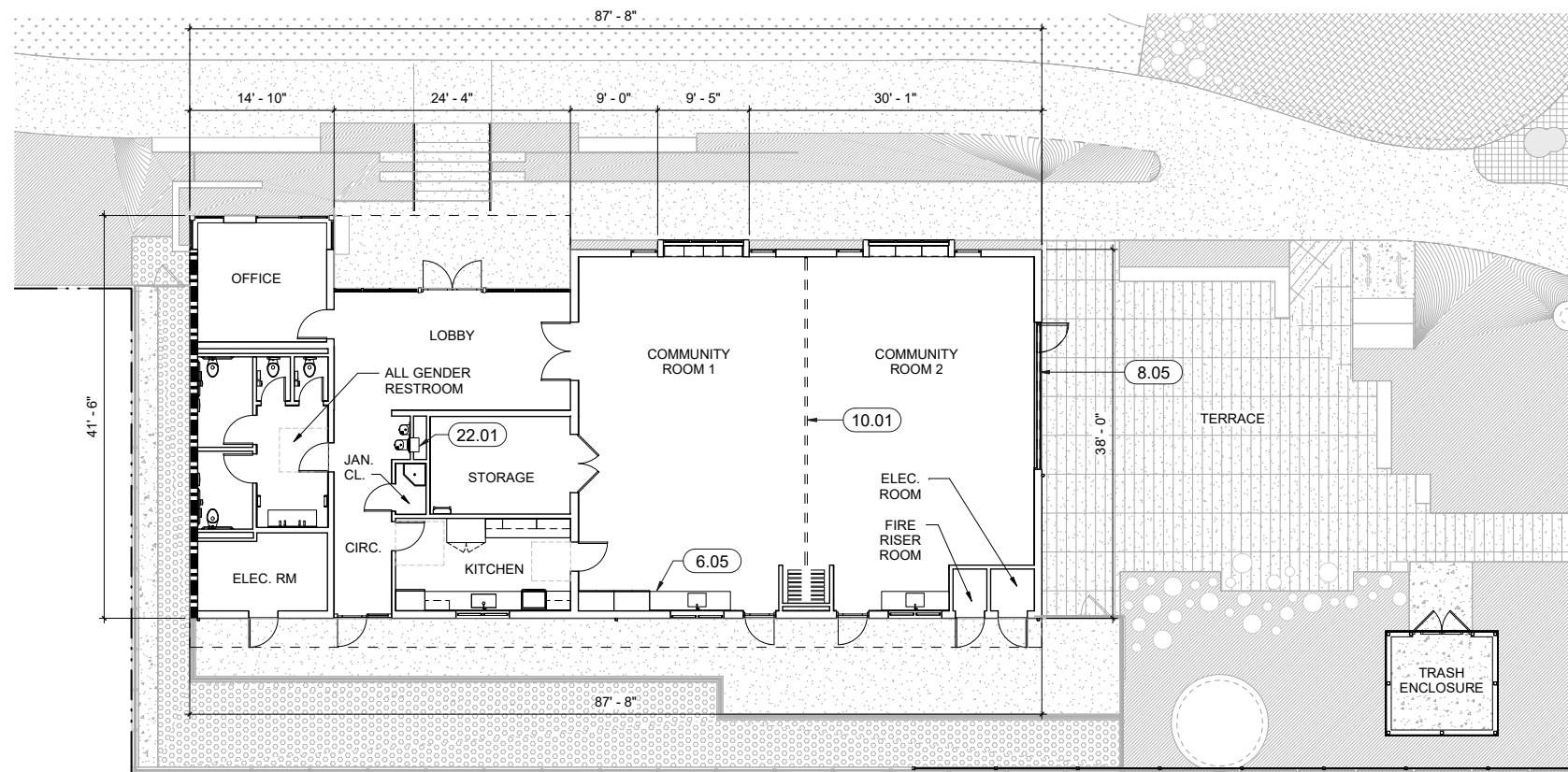
SIGNATURE

DATE

\* Findings and Conditions Attached



PUBLIC RESTROOM FLOOR PLAN 1/16" = 1' - 0"



CLUBHOUSE FLOOR PLAN 1/16" = 1' - 0"

KEYNOTE LEGEND - ZONING

6.05	QUARTZ COUNTERTOP WITH 4" BACKSPLASH
8.05	ALUMINUM FRAMED FOLDING GLASS STOREFRONT, REFER TO SPECS.
10.01	FOLDING PANEL PARTITION, MANUAL
22.01	DUAL HEIGHT DRINKING FOUNTAIN WITH BOTTLE FILLER, S.P.D. AND SHEET A020



PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:  
201320.27

CLIENT:  
CITY OF BERKELEY  
1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
ZONING SUBMITTAL

DATE:  
03/20/2023

STAMP:



SHEET TITLE:  
FLOOR PLANS

SHEET NUMBER:  
Z2-D

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

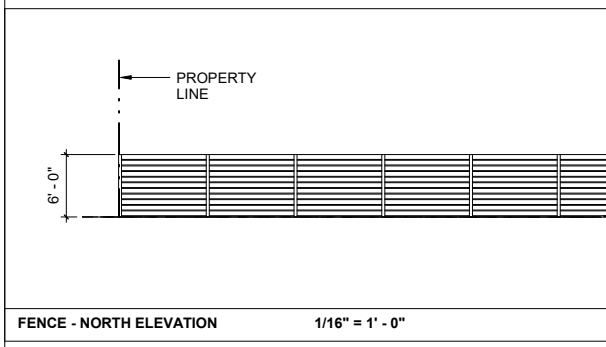
*Claudia Chen*

April 27, 2023

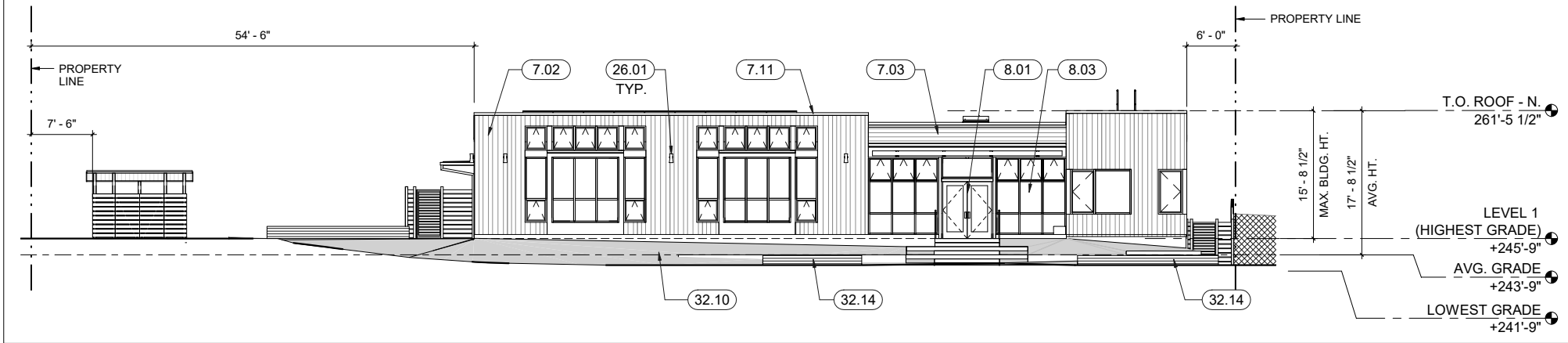
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DATE

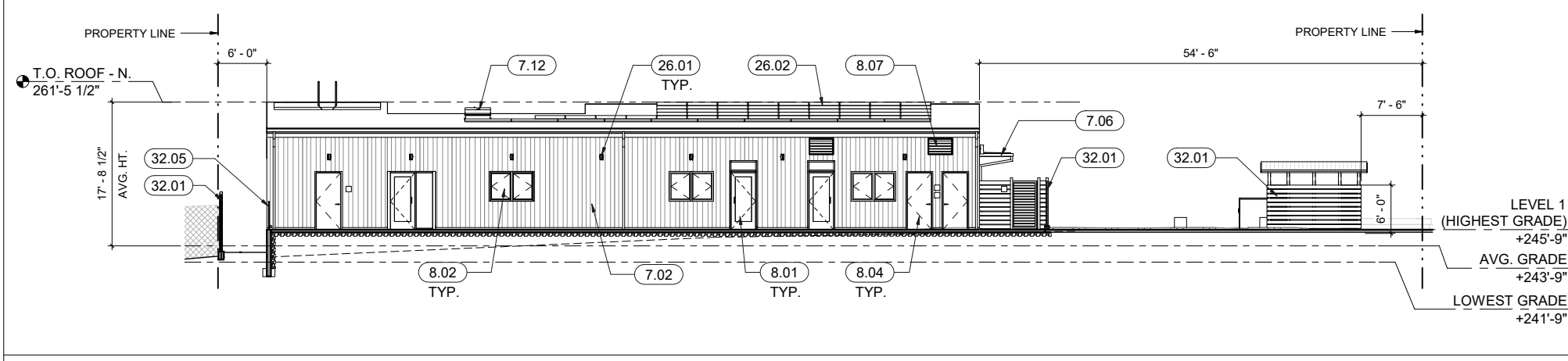
\* Findings and Conditions Attached



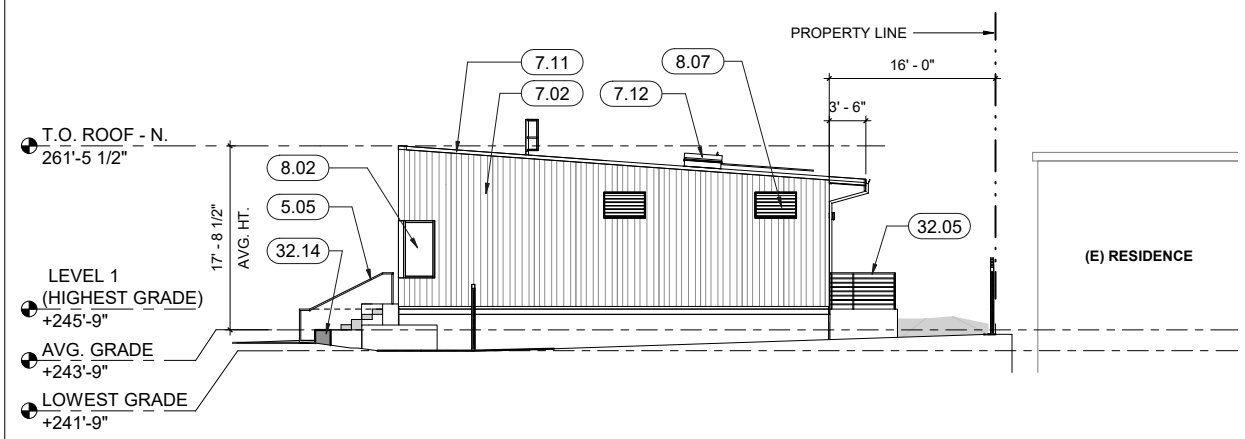
FENCE - NORTH ELEVATION 1/16" = 1' - 0"



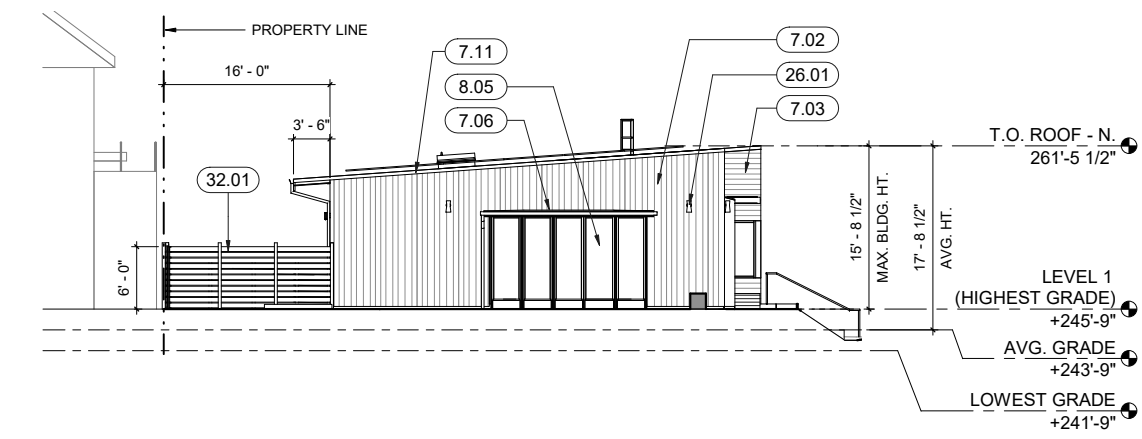
NORTH ELEVATION 1/16" = 1' - 0"



SOUTH ELEVATION 1/16" = 1' - 0"



WEST ELEVATION 1/16" = 1' - 0"



EAST ELEVATION 1/16" = 1' - 0"

KEYNOTE LEGEND - ZONING	
5.05	1 1/2" DIAMETER STEEL PIPE HANDRAIL, PTD, S.L.D.
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
7.06	S.S. GUTTER, PTD., CONNECT TO DOWNSPOUT
7.11	GALV. METAL COPING, PAINTED
7.12	ROOF HATCH, SEE DETAIL 11/A860
8.01	EXTERIOR WOOD & GLASS DOOR
8.02	ALUMINUM FRAMED WINDOWS
8.03	ALUMINUM FRAMED STOREFRONT SYSTEM
8.04	HOLLOW METAL DOOR
8.05	ALUMINUM FRAMED FOLDING GLASS STOREFRONT, REFER TO SPECS.
8.07	ALUM. WALL LOUVER, S.M.D.
26.01	WALL MOUNTED LIGHT FIXTURE, S.E.D.
26.02	PHOTOVOLTAIC SYSTEM, S.E.D.
32.01	1X6 TIMBER BOARD WOOD FENCE, SEE SPECS
32.05	METAL GUARDRAIL, S.L.D.
32.10	PLANTING, S.L.D.
32.14	CONCRETE SEAT WALL W/ WOOD TOP, S.L.D.

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PROJECT:  
**WILLARD PARK CLUBHOUSE**  
2720 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:  
ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
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PROJECT TEAM:  
ARCHITECT:  
ELS ARCHITECTURE AND URBAN DESIGN  
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Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
ZONING SUBMITTAL

DATE:  
03/20/2023

STAMP:

SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**Z2-E1**

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

*Claudia Gou*

April 27, 2023

SIGNATURE

DATE

\* Findings and Conditions Attached

KEYNOTE LEGEND - ZONING

3.02	CONCRETE CURB, S.S.D.
4.01	CONCRETE MASONRY UNIT, GROUND FACE, PAINTED
5.03	BRAKE METAL FASCIA, MATCH WINDOW FINISH
7.02	VERTICAL WESTERN RED CEDAR WOOD SIDING
7.03	HORIZONTAL WESTERN RED CEDAR WOOD SIDING
8.02	ALUMINUM FRAMED WINDOWS
8.04	HOLLOW METAL DOOR

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PROJECT:

**WILLARD PARK CLUBHOUSE**

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PROJECT INFO:

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CONSTRUCTION: V-B  
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ELS PROJECT NUMBER:

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CLIENT:

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1947 CENTER STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:

ARCHITECT:  
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P: 510.549.2929

REVISION

NUMBER	DATE	DESCRIPTION

ISSUE:

ZONING SUBMITTAL

DATE:

03/20/2023

STAMP:



SHEET TITLE:

**BUILDING ELEVATIONS**

SHEET NUMBER:

**Z2-E2**

<p>PUBLIC RESTROOM - NORTH ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - EAST ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - WEST ELEVATION 1/16" = 1' - 0"</p>	<p>PUBLIC RESTROOM - SOUTH ELEVATION 1/16" = 1' - 0"</p>
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PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

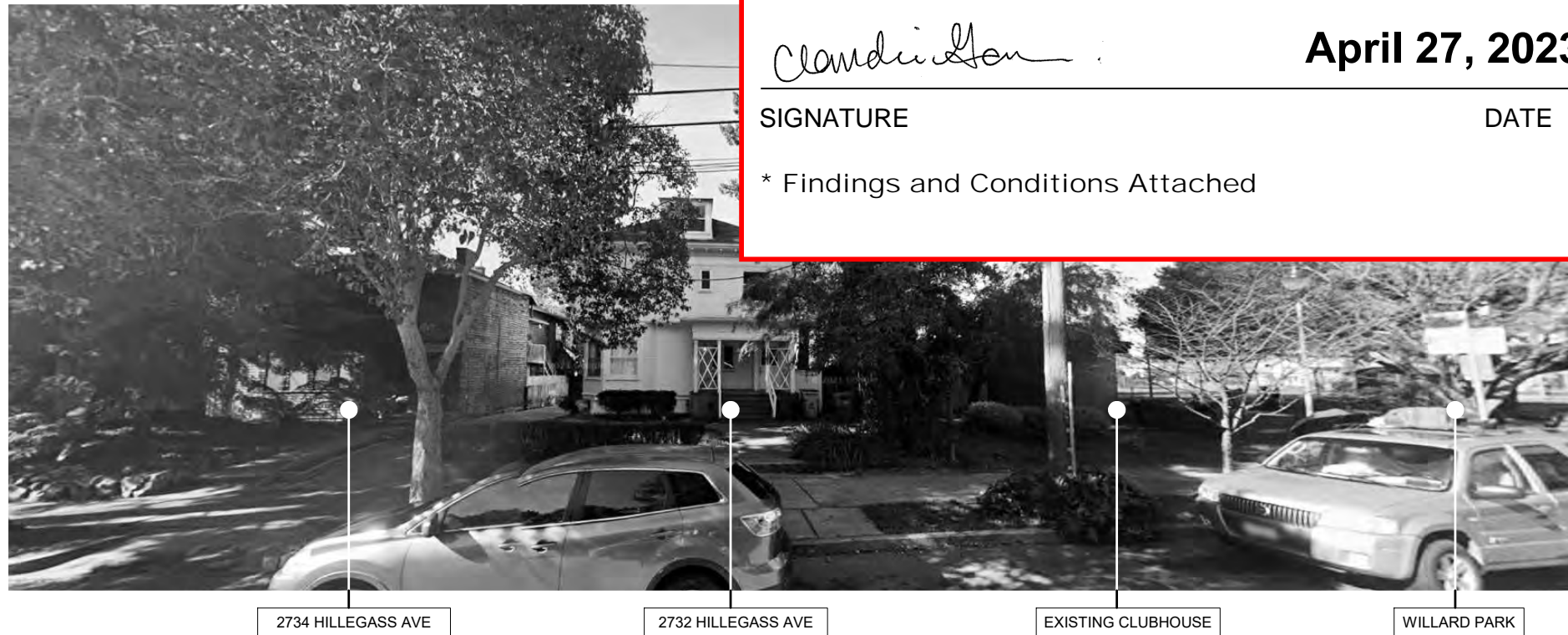
*Claudia Gen*

April 27, 2023

SIGNATURE

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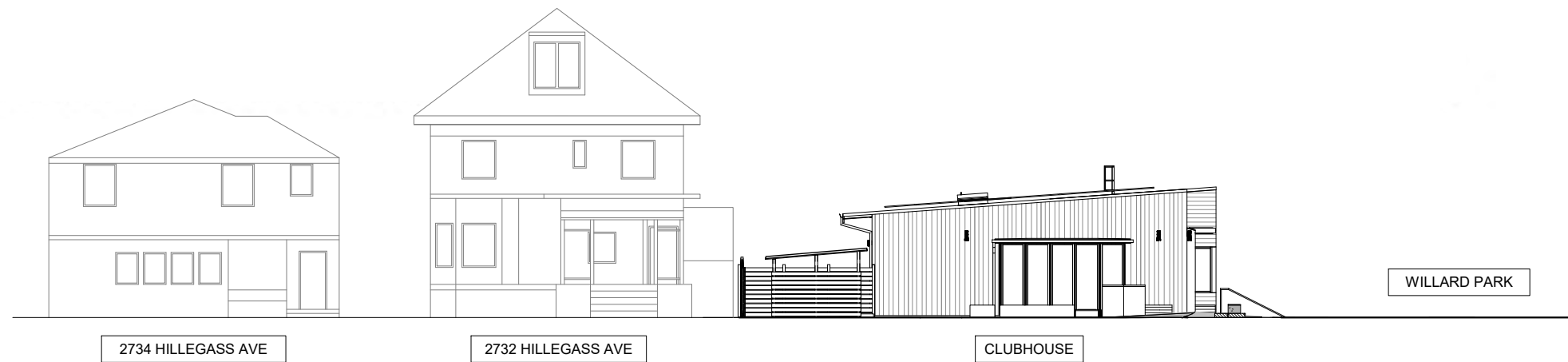
2734 HILLEGASS AVE

2732 HILLEGASS AVE

EXISTING CLUBHOUSE

WILLARD PARK

EXISTING CONDITION: STREET STRIP ELEVATION - EAST



2734 HILLEGASS AVE

2732 HILLEGASS AVE

CLUBHOUSE

WILLARD PARK

PROPOSED DESIGN: STREET STRIP ELEVATION - EAST 1/16" = 1' - 0"

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PROJECT:

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BERKELEY, CA 94704

PROJECT TEAM:

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P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
ZONING SUBMITTAL

DATE:  
03/20/2023

STAMP:



SHEET TITLE:  
**STREET STRIP ELEVATION**

SHEET NUMBER:  
**Z2-F1**

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

*Claudia Sen*

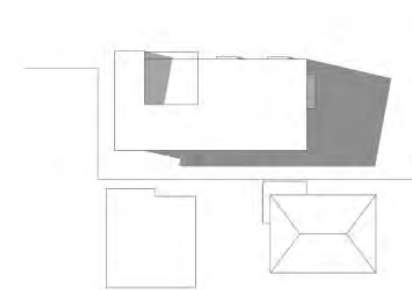
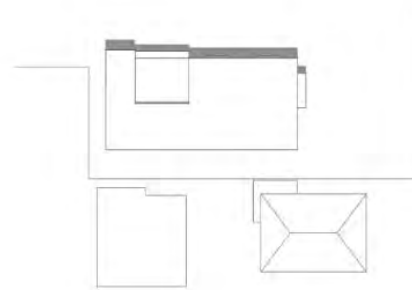
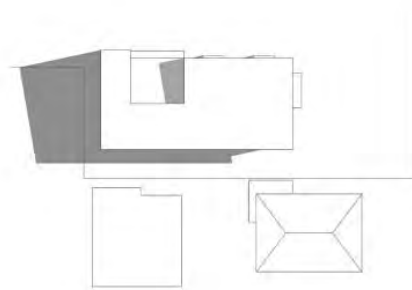
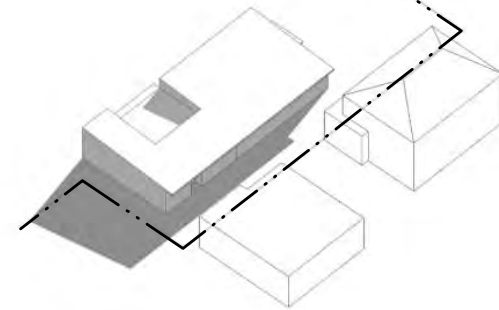
April 27, 2023

SIGNATURE

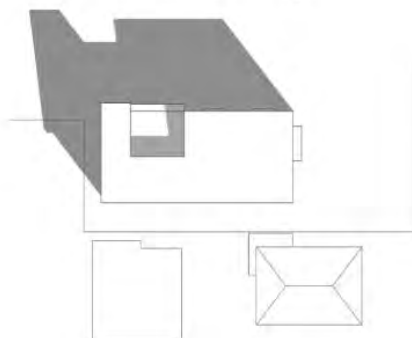
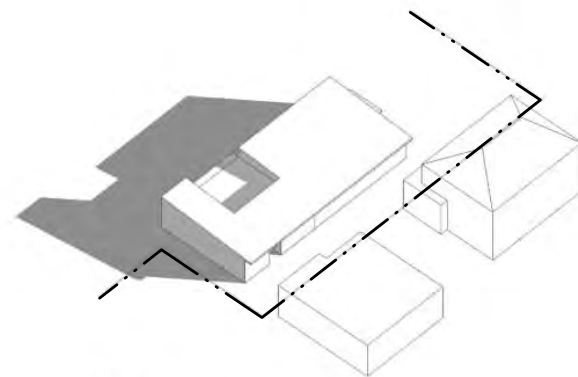
DATE

\* Findings and Conditions Attached

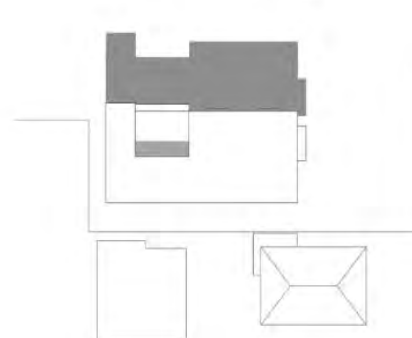
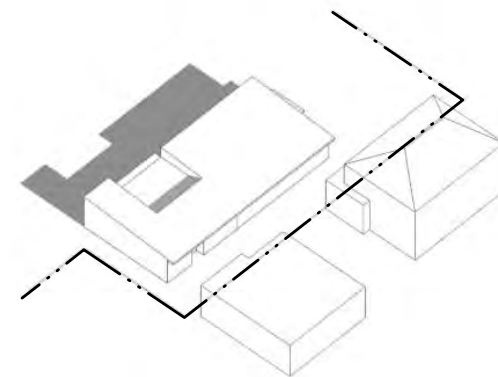
JUNE 21 - 2 HRS AFTER SUNRISE



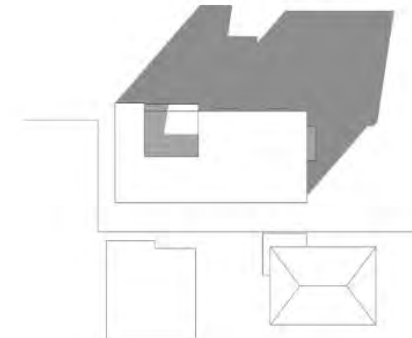
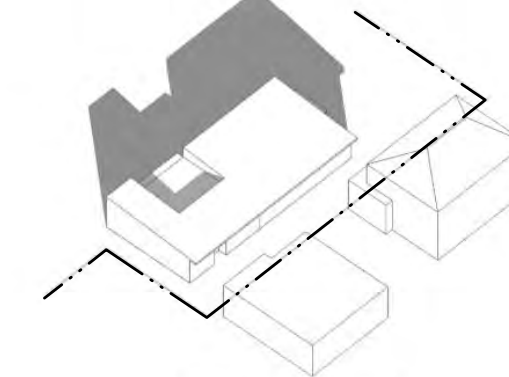
DEC 21 - 2 HRS AFTER SUNRISE



DEC 21 - NOON



DEC 21 - 2 HRS BEFORE SUNSET



**els** architecture+  
urban design  
2040 Addison St, Berkeley, CA 94704  
510.549.2929 | elsarch.com

PROJECT:

**WILLARD PARK  
CLUBHOUSE**

2730 HILLEGASS AVE.  
BERKELEY, CA 94705

PROJECT INFO:

ZONING: R2  
APN: 54-1711-27  
CONSTRUCTION: V-B  
OCCUPANCY: A-3, B, S-2

ELS PROJECT NUMBER:

201320.27

CLIENT:

CITY OF BERKELEY  
1947 CENTER  
STREET, 4TH FL,  
BERKELEY, CA 94704

PROJECT TEAM:

ARCHITECT:  
ELS ARCHITECTURE AND  
URBAN DESIGN  
2040 Addison Street  
Berkeley, CA 94704  
P: 510.549.2929

REVISION NUMBER	DATE	DESCRIPTION

ISSUE:  
**ZONING SUBMITTAL**

DATE:  
11/18/2022

STAMP:



SHEET TITLE:  
**SHADOW  
STUDY**

SHEET NUMBER:  
**Z3-B**



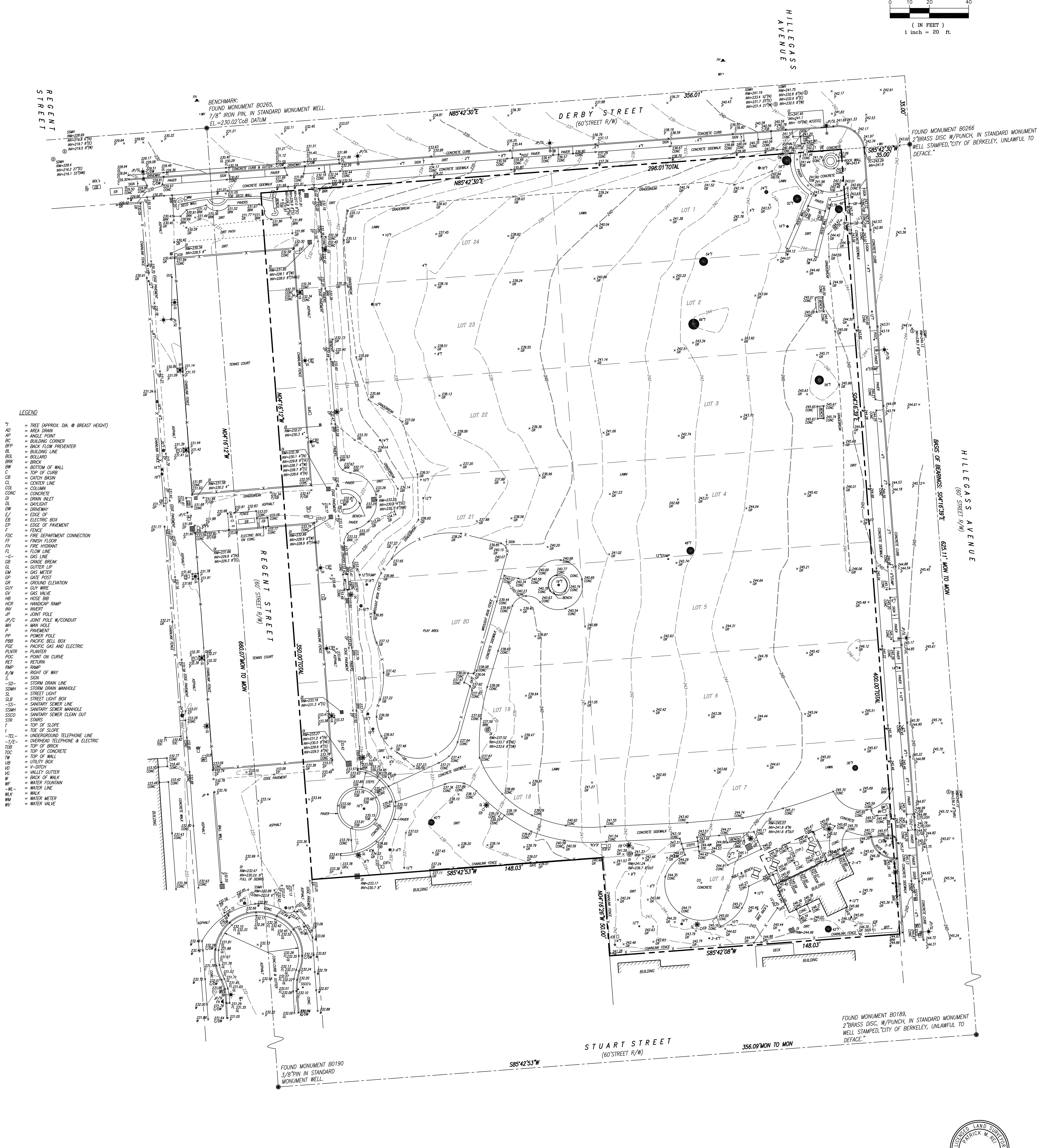
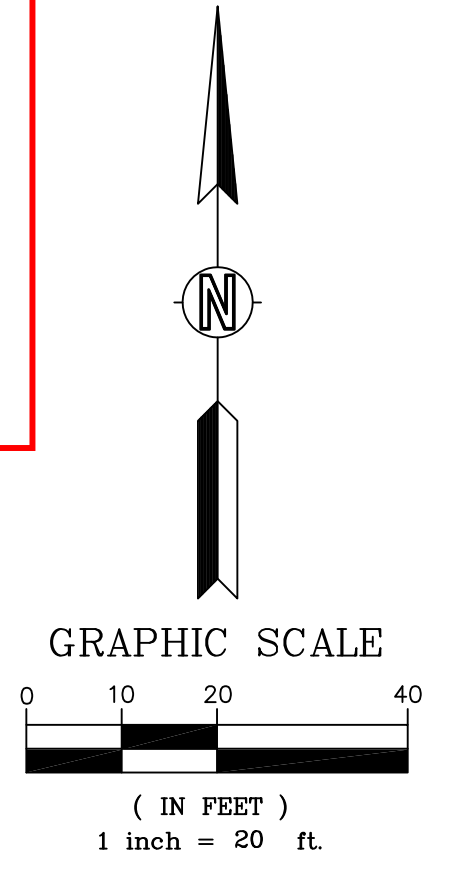






**PLANS APPROVED BY ZONING ADJUSTMENTS BOARD**

*Claudia S. ...*  
 SIGNATURE DATE  
 \* Findings and Conditions Attached



- LEGEND**
- T = TREE (APPROX. DIA. @ BREAST HEIGHT)
  - AD = AREA DRAIN
  - AP = ANGLE POINT
  - BC = BUILDING CORNER
  - BS = BACK SLOPE PROXENDER
  - BL = BUILDING LINE
  - BLD = BELLAND
  - BRK = BRICK
  - BRK = BOTTOM OF WALL
  - C = TOP OF CURB
  - CB = CATCH BASIN
  - CL = COVER LINE
  - COL = COLUMN
  - CONC = CONCRETE
  - CONC = DOWN INLET
  - DL = DRAINAGE
  - DM = DOWN MAIN
  - E = EDGE OF
  - E/ = ELECTRIC BOX
  - EP = EDGE OF PAVEMENT
  - F = FENCE
  - FDC = FIRE DEPARTMENT CONNECTION
  - FF = FINISH FLOOR
  - FIH = FIRE HYDRANT
  - FL = FLOW LINE
  - GP = GRADE BREAK
  - GL = GUTTER LIP
  - GM = GAS METER
  - GP = GATE POST
  - GE = GROUND ELEVATION
  - GW = GUY WIRE
  - GV = GAS VALVE
  - HCR = HANDICAP RAMP
  - HW = HOLE
  - JP = JOINT POLE
  - JP/C = JOINT POLE W/CONDUIT
  - MA = MAIN HOLE
  - P = PAVEMENT
  - PP = POWER POLE
  - PBB = PACIFIC BELL BOX
  - PGE = PACIFIC GAS AND ELECTRIC
  - PLNTR = PLANTED
  - POC = POINT ON CURVE
  - RET = RETURN
  - RMP = RAMP
  - R/W = RIGHT OF WAY
  - S = SIGN
  - SD = STORM DRAIN LINE
  - SDM = STORM DRAIN MANHOLE
  - SL = STREET LIGHT
  - SLB = STREET LIGHT BOX
  - SSD = SANITARY SEWER LINE
  - SSM = SANITARY SEWER MANHOLE
  - SSCO = SANITARY SEWER CLEAN OUT
  - STR = STAIRS
  - T = TOP OF SLOPE
  - T = TOE OF SLOPE
  - TEL = UNDERGROUND TELEPHONE LINE
  - TEL/E = OVERHEAD TELEPHONE & ELECTRIC
  - TOB = TOP OF BRICK
  - TOC = TOP OF CONCRETE
  - TW = TOP OF WALL
  - UB = UTILITY BOX
  - VC = VALVE
  - VC = VALVE CUTTER
  - WF = WATER FOUNTAIN
  - WL = WATER LINE
  - WK = WALK
  - WM = WATER METER
  - WV = WATER VALVE

- GENERAL NOTES**
1. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREIN ARE BASED ON ABOVE GROUND STRUCTURES AND MARKINGS PROVIDED. GEOTECH UTILITY LOCATORS, LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREIN. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
  2. CONTRACTORS AND OTHERS PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES.
  3. CONTOUR INTERVAL = 1'
  4. BASIS OF BEARINGS: THE ASSUMED BEARING S04°16'39"E BETWEEN TWO FOUND CITY OF BERKELEY MONUMENTS ON HILLEGASS AVENUE.
  5. BENCHMARK: MONUMENT B0265, FOUND 7/8" IRON PIN IN MONUMENT WELL. ELEVATION = 230.02' C.O.B.



*Patrick M. Rei*  
 PATRICK M. REI DATE 12/9/19  
 L.S. # 8178

<p><b>REFERENCES</b></p> <p>FIELD BOOK No.          FILE MAP          TITLE CO.          POLICY No.          DATUM: C.O.B.          MISC. REF.:</p>	<p style="text-align: center;"><b>KISTER, SAVIO &amp; REI, INC.</b>          LAND SURVEYORS - CIVIL ENGINEERS</p> <p style="text-align: center;">825 SAN PABLO AVE          PINOLE, CALIFORNIA 94564          PHONE: (510) 222-4020 FAX: (510) 222-3718          E-MAIL: info@ksrinc.net</p> <p style="text-align: center;">DESCRIPTION  <b>TOPOGRAPHIC SURVEY</b>          WILLARD PARK</p> <p style="text-align: center;">BERKELEY, CALIFORNIA</p> <p>FOR: CITY OF BERKELEY          SCALE: 1" = 20'          DATE: 12/09/19</p> <p style="text-align: right;">JOB No. 19653-19-07          DWG No. 0-1431 TOPO</p>
<p><b>REVISIONS</b></p> <p>09/30/2022          REMOVED 36" TREE PER EMAIL FROM CITY OF BERKELEY, SEPTEMBER 28, 2022.</p>	

CITY OF BERKELEY - CITY CLERK  
2023 MAY 23 PM3:23

**Appeal of Zoning Adjustments Board's decision  
Use Permit #ZP2022-095  
(2720 Hillegass Ave.)**

*May 23, 2023*

**Summary**

The appellants hereby appeal the decision of the Zoning Adjustments Board with respect to the Willard Clubhouse taken by ZAB on April 27, 2023.

Willard neighbors ("Neighbors") have a long history of contributing to Willard Park improvements, design, and maintenance.

Neighbors would like to continue working with the City on park improvements, particularly on the redesign of the Willard Clubhouse.

Neighbors feel that their opinions and concerns with regard to the project have been largely ignored by the City in spite of an extensive effort we have made.

Neighbors find several issues with the design approved by ZAB. Earlier attempts to communicate with the Applicant, and various levels of the City government failed. Therefore, we find it necessary to file this appeal.

The issues are as follows:

1. 1986 measure L violation: the Applicant failed to demonstrate that proper legal consideration was given to measure L. The opinion of the Applicant offered right before ZAB Commissioners took the vote appeared to be based on guesswork. Neither did ZAB commissioners follow up on obtaining the legal opinion.
2. Potential CEQA violation: the issue was brought up in writing and during the public hearing, but there was no discussion of it.
3. Neighbors feel that the proposed change in use of the new structure (implied by its Community Center status) will have a significant impact on the neighborhood, especially those who live next to it. That impact has not been properly considered.
4. Approved variance with respect to the setback related to 2732 Hillegass violates owner's property right.
5. The setback shown for the abutting property at 2731 Regent violates owner's property right.

6. The new building has been characterized to ZAB as a single story, but this is misleading; its actual height measured on the western lot boundary is that of a two-story building. This has severe impact on the view from the abutting properties.
7. The issue of rainwater drainage raised by owners of abutting lots has not been addressed.
8. We find the size and placement of the proposed restroom cause it not only to encroach on the green, open space of the park, but make it hard to monitor, especially at night. Willard Neighborhood Association presented an alternate solution, Portland Loo, and asked that the Applicant consider it. This request was ignored. The Portland Loo solution would minimize the cost, preserve open space, and would make it easy to monitor by law enforcement.
9. Updated Willard Community Center plans presented at the ZAB public hearing were never presented to the community for feedback.  
(It is worth noting that the change of plans was not motivated by public input but forced by the amount of T-1 funds available for the project in the high inflation economy.)
10. Despite several requests, the Applicant refused to deploy story poles that would make the general public aware of the project size.

For further details, discussion, drawings, and additional material, please see the main body of the Appeal document below.

Thank you.

The Appellants  
(See signature pages for list of names)



## APPEAL

Members of the Willard Neighborhood Association Steering Committee and Willard Park neighbors are appealing the decision of the Zoning Adjustment Board on 2720 Hillegass Ave., specifically ZAB's approval of the demolition of the current clubhouse in Willard Park and the construction of a new Community Center.

This appeal is not solely related to the motion to move forward with the construction of the new Community Center. We are also appealing out of concern that much broader issues which we, and other Willard Park neighbors, communicated to ZAB and raised at meetings with City officials.



**Willard Park was jointly designed and built by the City and Willard Neighbors.** Over the years we saw the Clubhouse and the original tot lot (see picture at left) next to the Clubhouse age.

It was clear that the tot lot was in need to repair or replacement. The Willard neighbors decided a new tot lot with current best practice play structures was the direction to go.

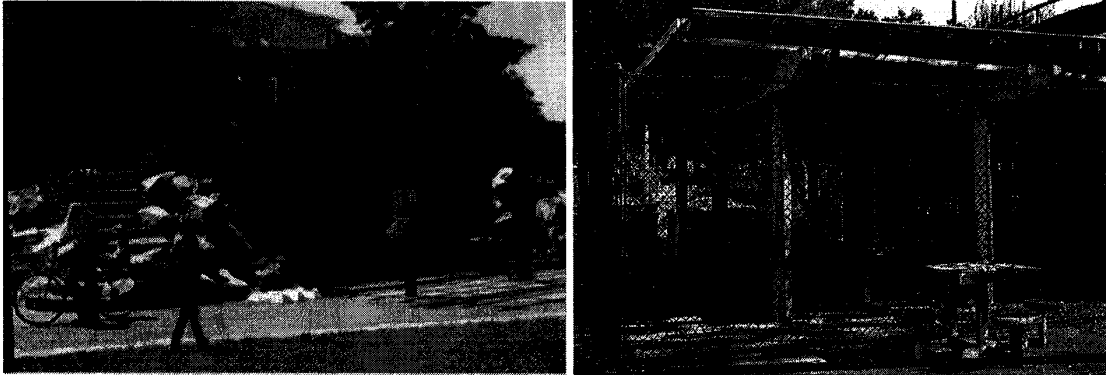


**“Over the course of six years beginning in 1990, dozens of neighbors came together as Friends of Willard Park to improve this park, which had fallen into a sad state. Groups of volunteers enlarged the playing field and created the Derby/Hillegass corner entrance before moving on to construct the cobble-lined concrete paths and this tot lot (see picture at left).**

**In the final phase of work neighbors contributed almost 5,000 hours on 88 days to install the pathway lights with stone bases, plant trees, and restore the circular bench”. (See Attachment 2 “Your Neighbors Built this Tot Lot” for more on this story)**

Today the Open Space in Willard Park has morphed into a vibrant place for small children and parents, dog lovers, soccer players, yoga classes, and people who come just to enjoy the grassy area on warm sunny days.

We have seen the Willard Clubhouse change too as times have changed. It was originally designed with very large boulders piled up to make it look like it grew organically out of the ground with a stairway to a parapet on the roof for people to overlook the entire park.



Now the boulders and the parapet are gone and there is a fence that isolates it from the rest of Willard Park making it accessible only for the after-school program and in the past for summer session kids. Willard Park is not currently listed as a site for a summer program this year nor was it a summer program site in 2022 as well, and we are concerned that it will not be the site of future summer programs.

The proposed Community Center continues the loss of open space in Willard Park that started with fencing in the current Clubhouse. The City plans to install a fence around the new Community Center that will cut off all access around the South and West faces of the building except for those people using the Community Center.

**"IN THE ACTION CALENDAR FOR THE CITY COUNCIL NOVEMBER 14th, 2017 (Council) ACKNOWLEDGE THAT SOUTHEAST BERKELEY HAS THE LEAST GREEN SPACE BOTH IN TERMS OF SQUARE FOOTAGE THAN ANY OTHER PLACE IN BERKELEY AND THE COMMITMENT WAS TO NOT ONLY PRESERVE WHAT GREEN SPACE WE HAD BUT TO ADD MORE. THAT SEEMS TO NOT HAVE BEEN CONSIDERED." Pamela (no last name given) from the 4/27/2023 ZAB meeting Transcript.**

We have always been in favor of seeing a new Clubhouse that serves the needs of the kids in the after-school and summer programs (should the summer programs return), especially if that was the sole use of the new building.

The issue that separates us is how big should the new clubhouse be. There's a clear tradeoff between open space in the park and the size of the building that will take the Clubhouse's

place. This was one of the specific issues we raised both in the public meetings in the park and at the ZAB meeting.

**“Rather than reduce the open space in Willard Park with such a large “Community Center”, the Willard Neighborhood Association urges the Parks Recreation & Waterfront Department to focus on a smaller clubhouse that could meet staff and children’s needs with emphasis on supporting outdoor learning, social interaction and the physical benefits of spending time in the open air.” (See Attachment 3, Rebecca Tracy’s OpEd in Berkeleyside for the full article.)**

The latest iteration of the plan for the Community Center and restroom, presented at the 4/27/23 public hearing, had never been presented to the public for comment before the ZAB meeting.

We feel that the minimal time allotted to speakers, both pro and con, was insufficient given the scope and complexity of the issues and changes made in the proposal. We would like to see a new more open-ended presentation and comment session held – ideally in the park, where story poles could give the public a sense of the building’s impact on Willard Park and its neighbors.

We feel our position has been unreasonably characterized by Councilmember Humbert and other presenters in multiple venues as being opposed to building something that will provide new opportunities for children in need of a safe place to be, and for the staff that supports that goal.

In a “Special Report” dated 4/27/23 (See *Attachment 4a* Willard Park Clubhouse Special Edition) Councilmember Humbert states **“I am re-sending former Councilmember Lori Droste’s special edition newsletter about the Willard Park clubhouse project”**. This statement suggests that Councilmember Humbert is sending a copy of what former Councilmember Droste sent regarding the new Clubhouse (See *Attachment 4b*).

A closer look at Councilmember Humbert’s email shows that he edited the copy in former Councilmember Droste’s email, leaving out portions, adding new pictures, and extensive new commentary of his own. If you don’t compare the two side by side, it’s extremely difficult to tell whether it is the former Councilmember Droste speaking, or if it is Councilmember Humbert speaking. Often both are speaking in the same paragraph of Councilmember Humbert’s email.

On pages 7 through 9 of the email, Councilmember Humbert cherry picked phrases from emails we sent out. We know that’s the case since this example never appeared in former Councilmember Droste’s email:

- **“The project is a bait and switch! It was once billed as a remodel and now staff is creating a community center.” (A quote from the Willard**



**Neighborhood Association email – taken out of context)**

At no time did anyone from the Willard Neighborhood Association Steering Committee argue that the clubhouse should not be renovated. The project description always included an expansion and replacement of the existing clubhouse because of concerns that the current size was insufficient for the community's needs. Community centers are intended for people in the community and not parties with "loud music." **(A quote from Councilmember Humbert's "Special Report")**

Councilmember Humbert would have you believe that our position was that nothing could be built that was not the exact same size as the current Clubhouse. That has never been, and never will be our position. We support after-school and summer programs in the park to the greatest extent possible given the available space. The Willard Neighborhood Association undertook a park user survey and we got 300 unique on line respondents mostly from flyers posted around the park. Of those 300 respondents over 50% wanted to see a bigger space and 76% of them live within 6 blocks of the park. (See *Attachment 1: Exhibit A "Willard Park Survey"* in the Greenfire letter to ZAB.)

A map of the immediate neighborhood marking addresses of neighbors who signed this appeal (red dot), whether as appellants or just signers, is shown in *Attachment 10*.

In the short period of time we had to prepare the appeal we collected in excess of 90 signatures.

The City of Berkeley General Rules for Community Centers do in fact allow for parties and specifically amplified music in Community Center spaces, subject to BMC 13:40 subsection 13.40.030:

C. If it is determined by the responding agency that a sound level violates this chapter, the following procedures shall be followed, except as otherwise provided in Section 13.40.070:

1. A warning shall be issued by a NCO to the person responsible for the violation.
2. If the violation persists following the warning or recurs within an eight-hour period, the person responsible shall be in violation of this chapter.

For those of us that live in the South Campus area, we are intimately aware of how limited the enforcement of Berkeley's Noise Ordinance is. We have often complained about loud parties, and often hours later a police officer has come to ask the offenders to hold the noise down. Rarely is a second response notice posted. Just because there is a BMC description of what can be done, that does not mean that the code section will actually be enforced. Yes, we fully understand that Noise Control is time consuming, and officers have other pressing issues to pursue. We would prefer not to rely on the sparsely enforced Noise Ordinance for this new

Community Center and request that these concerns be taken into consideration before project approval.

We urge you to read pages 7 through 9 of Councilmember Humbert's "Special Report" and compare them to the specific concerns we are raising in this appeal. Furthermore, we believe that Councilmember Humbert's "Special Report" shows throughout that he is predisposed to vote in favor of the project as it is currently proposed, notwithstanding his statement "I am keeping an open mind about the project".

When we asked to meet with Councilmember Humbert before he distributed his "Special Report" he was very clear that he would not speak with us. (See *Attachment 3c: Councilmember Humbert's refusal email.*)

Councilmember Bartlett did meet with us when we asked him to come to Willard Park and see what open space was being eliminated.

Based on Councilmember Humbert's refusal to meet with us prior to his release of his "Special Report", which clearly shows his position on the Community Center Project, we ask that Councilmember Humbert recuse himself from discussing and voting on this appeal based on his clear bias relating to the new Clubhouse. If he fails to agree, we hope that the Council will take some action.

We also feel there was unequal treatment of our concerns at the 4/27/2023 ZAB meeting. Former Councilmember Lori Droste was allowed to speak uninterrupted by Chair Duffy for over two minutes at the hearing regarding her unwavering support of the project as proposed. In addition, four of the Commissioners reported ex-parte communications with her regarding the project.

When former Councilmember Carla Woodworth was allowed to speak, she was only given 1 minute to raise her concerns. This seems to us as a bias by ZAB Chair Duffy, who voted in support of the project.

In 1986 Berkeley enacted Measure L, an initiative that was meant to keep park open space from being slowly chipped away. The measure asks the people of Berkeley to decide if new construction in the parks is in the best interests of Berkeley. In the Parks, Recreation and Waterfront presentation to ZAB by Scott Ferris he chose to consider only the small grassy area that would be taken out by the change in the walkway.

>> "I JUST WANTED TO GET SOME CLARIFICATION, . . . CAN YOU JUST CONFIRM, ARE YOU SAYING THE ENCROACHMENT WILL ONLY ENCROACH ON LESS THAN 1% OF THE OTHERWISE OPEN SPACE?" Board Member I. Tregub from ZAB Transcript

>> "LESS THAN 1%, CORRECT." Scott Ferris, Director of Parks, Recreation and Waterfront Dept. from ZAB Transcript

We challenged that at the ZAB meeting. Measure L (1986) (for the full text of Measure L including arguments for and against, see *Attachment 1: Exhibit B* in the Greenfire Law letter to ZAB) is clear that it is meant to protect open space not just green space. Open space would include the footprint of the new building as well as the space fenced off for all park users except those using the Community Center, as well as the construction of a new restroom near the tennis courts.

The California Environmental Quality Act (CEQA) specifies changes in use as one of the criteria requiring a review. The City deems this project “categorically exempt”, which means that voters who feel that traffic, parking, and noise issues won’t have a chance to challenge them. (See *Attachment 1, page 3 Traffic Item 3c* in the Greenfire Law letter to ZAB.)

We also feel that the change of use from the Clubhouse, used solely for after-school and summer programs, to a much larger Community Center, used for meetings, events and parties, needs to be addressed under Measure L as well as CEQA. (See *Attachment 1 Greenfire Law letter to ZAB: page 2 Item 1 paragraph 4* as well as *page 3 Open Space Reduction Item 3b.*)

The project architect when responding to Commissioners questions maintained that there is no change of use. For most of us, however, the concern for the change of use was very real.

Increasing the number of children will increase the need for a larger pickup and drop off zone. We understand that state law may not require it, nonetheless double parking on Hillegass Ave. in the afternoon during pickup time will be more serious for the neighbors than with the current number of kids. It also raises questions about children’s safety, entering and exiting double parked cars.

The issue of parking for events and parties to be held in the Community Center is a serious concern for neighbors where there are already more parking permits than there are parking spaces (as per Parking & Transportation Dept.). Since any citizen of Berkeley can rent the space for an event or party, there is a high likelihood that numerous cars from out of the Willard neighborhood will want to park nearby making a significant impact on our ability to park near our homes.

The street where the designated loading zone is to be created, Hillegass Ave., is actually designated a Bicycle Boulevard. Proposed change in use will be detrimental to the safety of bicycle riders.

The motion made by Commissioner Tregub that was debated and passed at the ZAB meeting failed to address most of the concerns we raised whether by speaking or in writing. The motion, as debated, dealt solely with the issue of the setback variance. The bulk of the discussion revolved around whether the variance for a 16’ set-back had a nexus for passage. Commissioner O’Keefe (appointed by Councilmember Hahn) made a strong case that no nexus was put forward.

**"I HAVE ALWAYS UNDERSTOOD THE EXCEPTIONAL CIRCUMSTANCE FINDING, WHATEVER THE CIRCUMSTANCE IS NAMED IN THAT FINDING HAS TO HAVE SOME SORT OF NEXUS WITH THE EXCEPTION BEING ASKED FOR. . . . TO ME,**

IT SEEMS IT'S A PARK, THAT'S UNUSUAL. WHAT DOES THAT HAVE TO DO WITH THE SETBACK? . . . . I DON'T SEE ANYTHING THAT JUSTIFIES CHANGING THE SETBACK, BECAUSE YOU HAVE A PARK IN THE AREA. YOU COULD DO THIS WITH ANY PARCEL" Commissioner O'Keefe from ZAB Transcript.

"THERE IS ANOTHER FINDING B THAT WE HAVEN'T ADDRESSED. VARIANCE NECESSARY TO PRESERVE A SUBSTANTIAL PROPERTY RIGHT. SO WHAT'S IN FRONT OF US RIGHT NOW, IT IS SAYING WE WANT A BIGGER CLUBHOUSE. IF WE ARE MAPPING THAT ONTO THIS SORT OF PUBLIC USE, THE USE, THE PROPERTY RIGHT WE ARE TRYING TO PRESERVE IS WHAT? HAVING A BIGGER VERSION OF SOMETHING WE ALREADY HAVE? THAT'S NOT A SUBSTANTIAL PROPERTY RIGHT. THAT'S SOMETHING THAT WE WANT. Commissioner O'Keefe from ZAB Transcript

"I THINK WHAT YOU ARE SAYING IS WHY CAN'T IT COMPLY WITH THE LAW? IF IT COMPLIED WITH THE LAW IT WOULD BE SMALLER. IF WE JUST SHRUNK IT, IT WOULDN'T VIOLATE THE SETBACK . . . AND WE WOULDN'T NEED A VARIANCE AND I WOULD VOTE FOR IT". Commissioner O'Keefe from ZAB Transcript

Other public speakers spoke against the variance including Paul Tuleya and Lucas Stec in their public comments.

"I LIKE BOARD MEMBER O'KEEFE'S COMMENT WHY IS THERE AN EXCEPTION BEING MADE, WE HAVE 5X BIGGER, IF YOU SHRINK THAT A LITTLE, YOU DON'T NEED VARIANCES OR AFFECT THE NEIGHBORS AS MUCH." Lucas Stec from ZAB Transcript

"I REPRESENT THE OWNER OF THE PROPERTY DIRECTLY TO THE SOUTH OF THE PROJECT. THE THING IS TO NOT ENCROACH ON THE GRASS THERE, NOW ENCROACHING ON MY FOUR FEET THAT THERE IS SUPPOSED TO BE A 20 FOOT (set back) BETWEEN MY PROPERTY AND THE PARK. THEY ARE TRYING TO ENCROACH FOUR FEET BACK TO MAKE IT 16 ft." Paul Tuleja from ZAB Transcript

The variance is based on a wish list of taking 4 feet off of the stipulated 20-foot setback, so the City can build a very large recreational center, a center that has been designed as too big for the confined space it is meant to fit in. As ZAB Board member O'Keefe stated, "**THERE IS NO EXCEPTIONAL CIRCUMSTANCE**" that justifies the setback. This variance is a "taking" from the property rights of the abutting property.

The one thing that clearly is unique in the plan for the Community Center, is that it is the only Community Center that backs up against residential housing. All the other Community Centers have a least a street separating them from the neighboring community – roughly 60 ft. or more of separation. In comparison that makes even the 20 ft. setback largely insufficient with respect to noise for neighbors whose property abuts the South boundary of the park as compared to other Berkeley parks with Community Centers.

We strongly oppose the setback variance issued as it effects property rights of the people living at 2732 Hillegass Ave.

Finally, the project as presented at the ZAB meeting has had major revisions since it was last presented to the public. We believe at a minimum that a public meeting where neighbors can raise concerns about the new configuration should be held.

It is worth noting that it is not the concerns of the neighbors that drove the recent change in design, but increased construction costs caused by high inflation and the scarcity of T-1 funds that affected the change.

Over the following pages, we will present more detailed discussion of these points with references to the letter from our lawyers. (See *Attachment 1: Greenfire Law letter to ZAB*)

### **Measure L**

In the distant past in 1980, the Berkeley Unified school District attempted to put portable classrooms onto Civic Center Park while the "C Building" was being seismic retrofitted. In the end they found it more expedient to place them elsewhere, but it was a wakeup call for the need for some legislation to protect Berkeley's parks. (See *Attachment 5: BUSD Bungalows from 6/23/80 Berkeley Gazette.*)

Berkeley voters approved Measure L in 1986. It was a citizens' initiative ordinance created to allow Berkeley voters to directly participate in decisions to change the use of Public Parks and Open Space.

It specifically prevents the City Council from using the existing public parks and open space for any new use without the approval of the community. If the Council wants to remove or develop existing public parks and open space, prior voter approval is required. (See *Attachment 1: Greenfire Law letter to ZAB page 2 item 1*)

In the past when the new City Hall needed seismic retrofiting, the City proposed putting temporary buildings on Civic Center Park for City staff. When Measure L concerns were raised by citizens of Berkeley, the City decided that the temporary buildings were inconsistent with Measure L, and other locations were found for the City staff.

The proposed Project involves demolition of the existing clubhouse that is approximately 565 square feet in size and an existing public restroom that is approximately 114 square feet in size.

It would allow the new construction of a new Community Center that is approximately 3,300 square feet in size and a restroom that is approximately 241 square feet in size. The community center is not only **6 times larger** than the existing facility, but it entails a change of use. We believe that both the size of the new Community Center and the Center's change of use should have triggered a CEQA review.

**“To provide the public with adequate opportunity to raise CEQA objections, the City must give notice of the grounds for making an exemption determination.” (See Attachment 1: Greenfire Law letter to ZAB page 2 item 2.)**

The City’s assertion that the project is “categorically exempt” from CEQA, besides quoting a specific section, does not give an adequate description of the grounds used in that determination.

The issue of CEQA was raised during the public hearing of the 4/27 meeting, yet Commissioners chose not to discuss it at all.

The demolition and new construction fall squarely within the 1986 Measure L, and therefore, we believe the City Council is legally mandated to place the Project before voters in the next general election. and the language of Berkeley City **ORDINANCE NO. 5785-N.S.** (*Attachment 1: Greenfire Law letter, Item 1 page 2.*)

Section 1. **VOTER AUTHORIZATION PROCEDURE.**

**That no public parks (hereinafter defined) or public open space (hereinafter defined) owned or controlled or leased by the City of Berkeley or agency thereof, shall be used for any other purpose than public parks and open space, without The Berkeley City Council first having submitted such use to the citizens for approval by a majority of registered Berkeley voters voting at the next general election.**

Former Councilmember Carla Woodworth raised this issue in her presentation to ZAB:

**>> THE COMMUNITY CENTER IS NOT ONLY MUCH LARGER THAN THE EXISTING FACILITY BUT ENTAILS A CHANGE OF USE. SUCH NEW CONSTRUCTION FALLS SQUARELY WITHIN 1986 MEASURE L AND THE COUNCIL IS MANDATED TO PLACE THIS PROJECT BEFORE THE VOTERS. Former Councilmember CARLA WOODWORTH from ZAB Transcript**

We believe that going from a facility that provides only after-school care and summer children’s programs to a facility that will host parties and events for hire is clearly a change of use. We believe this is exactly the kind of change of use that Measure L was enacted to prevent without voter approval.

We would also like to bring to your attention that there are other projects involving open space and the 1986 Measure L that are slated to come before you in coming months. A decision to not consider Measure L as it relates to Willard Park may well have ramifications on these other projects.

In fact, we question whether the City considered applicability of 1986 Measure L to the project

at all. In the *Questions to the Applicant* part of the hearing in response to Commissioner Tregub's question with regard to the applicability of Measure L to the project we heard:

>> SO I WILL SAY I'M NOT A LAWYER. BUT MY UNDERSTANDING OF MEASURE L THERE IS NOT A PROBLEM WITH THIS FACILITY IN THE PARK. THE A RECREATIONAL IN PARK USE ALREADY SO THERE ISN'T AN ISSUE. BUT I'M NOT THE CITY ATTORNEY.

PR&W manager, Scott Ferris, from ZAB Transcript

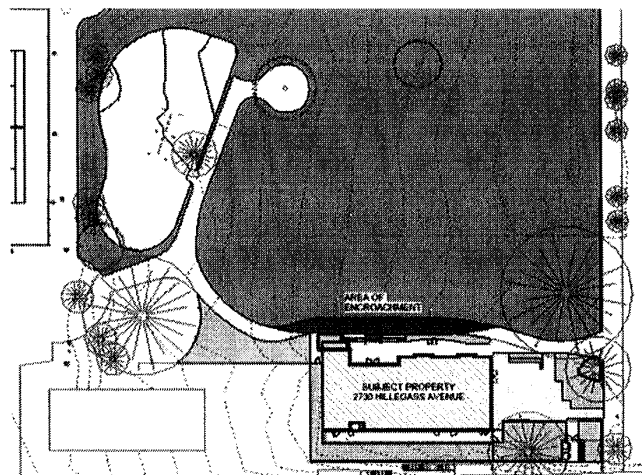
There was no further discussion of Measure L in the hearing and the vote was taken without consideration for Measure L (1986).

### Open Space In Willard Park

Willard Park is a small neighborhood park occupying just slightly more than half of a city block (see *Attachment 7: List of Neighborhood Parks in Berkeley*). As you can see from the list, there are 15 parks in Berkeley that are larger than Willard Park and 9 of them don't have a Community Center or some other significant structure. We are concerned about the fact that that our smaller neighborhood park needs a Community Center when so many other parks, many of them much larger than Willard Park, are not being considered for a Community Center.

Districts 7 & 8 have the smallest available green space area *per capita* in Berkeley and the housing density of our two districts are getting denser each year as new high rise multi-family house is being built and more students get enrolled by UC Berkeley. Two new buildings are in development now on Telegraph and three more on Shattuck. This increasing density will only make the open space in Willard Park that much more valuable to the community as a whole.

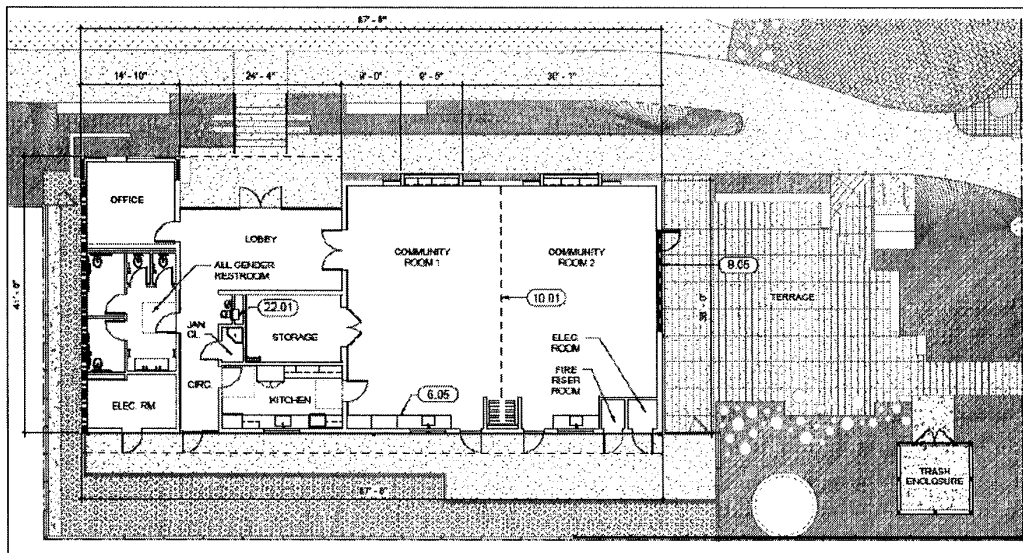
Based on the City's application data, the external footprint of the current clubhouse is 679 sf. The external footprint of the proposed Community Center is 3,499 sf. That comparison does not give you the real picture of the actual change in the loss of open space in the park. To compare apples to apples you need to look at the space that will no longer be open to park users. In the illustration on the right from the ZAB Packet, the area in red is the amount of encroachment the pathway in front of the proposed building



will take out of the grassy area of the park. That is the area the PR&W presentation at the ZAB meeting described as the loss of open space and was stated to be less than 1% of the park area.

To calculate the real loss of usable open space, you must start with the size of the new Community Center building (external footprint: 3,500 sf), add in the open space that will be fenced off behind and beside the building that will no longer be accessible except for those using the Community Center (1,600 sf), due to the fence and gates around the new building – see the greyed out portions on the West and South sides of the building, and finally add in the area for the new restroom (216 sf), then subtract the size of the old building 679 sf (external footprint) and the area in the SE corner of the park that will no longer be fenced in. This yields roughly 4,636 sf of open space that will no longer be part of the park. (See *Attachment 1: Greenfire Law letter to ZAB, page 3 item 3 Open Space Reduction.*)

**Figure 4: Community Center Floor Plan**



**“We would like to see a reasonably sized clubhouse designed for children’s use, playful and colorful, with new interior bathrooms, office and storage space, and enough indoor space for children’s daily use. The focus of the redesign should be primarily to promote active outdoor play for an increased enrollment of primary-school-aged children, understanding that indoor space is needed on rainy and cold days.” (From a WNA article published in the Claremont Elmwood Neighborhood Association newsletter.)**

That works out to be 3.9% of the entire park including the tennis courts, tennis backboard and the potters wall area (City owned Regent St. right of way). If you figure about 24 sf for someone lying on the grass on a sunny afternoon, you get 180 fewer people being able to use the park on crowded days in the future.

However, an argument can be made that the tennis courts and the wide asphalt path separating them from the green, open park space, should be excluded from the calculation, as the capacity of the tennis courts is fixed, and is dedicated to a specific use. This makes the total usable space 111,000 sf. Therefore, the loss of 4,636 sf will constitute the loss of 4.2% of park usable space.



**"WE BELIEVE NOW THIS IS ABOUT THE MINIMUM; THE SMALLEST IT COULD BE TO STILL ACCOMMODATE THE PROGRAMS THAT THE COMMUNITY NEEDS IN THIS SPACE." Scott Ferris, Director PR&W Dept. from ZAB Transcript**

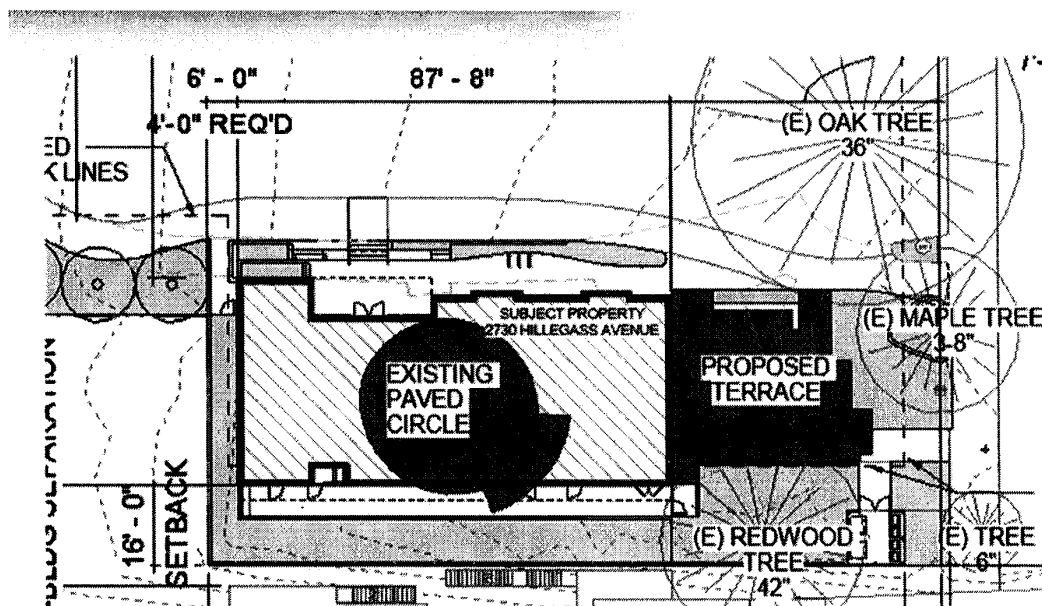
There was no further discussion by the City to support this statement in their presentation nor were there questions raised by any of the ZAB Commissioners asking for clarification of why the building could not be smaller.

We believe that a more robust discussion of the size of the space needed for the after school and summer programs would yield a very different answer. By way of comparison, the main assembly hall in the Burlingame Community Center can be divided, and the larger division is roughly 1,755 sf, which is just slightly larger than the proposed Community Room in the Community Center. The occupancy sign for the Burlingame space shows 159 people seated around 8' round tables.

DIVIDED ROOM	
TABLES & CHAIRS	159
ASSEMBLY CHAIRS	341

If Burlingame can get 159 people seated at tables in a space the size of the proposed Community Room, surely Berkeley would be able to get 60 kids at tables while leaving interior activity space for use during inclement weather all in a much smaller Community Room space. (See *Attachment 1: Greenfire Law page 3 item 3 Paragraph 2 Open Space Reduction.*)

The new terrace being built on the East side of the building is much less welcoming than the current plaza which is in filtered sun virtually all day. The terrace is shaded by the tall redwood and maple trees for the morning and mid-day and by the new Community Center in the afternoon. (See *Attachment 1 Greenfire Law page 3 Item 3 Paragraph 2 Movement of Plaza / Terrace*)



In addition, **moving the new Community Center to the West will require the destruction of the seven mature trees** that ring the current plaza (shown at the right). We understand the City will plant new trees but these 30 year old trees have many good years still to come.



That's an issue in that many days out of the year, even in the afternoon the wind blows in off the Bay and unless you are in the sun, the chill is very noticeable. Yes, the existing Plaza is replaced by a Terrace but it's not really as inviting to use. That's true whether it is groups holding a picnic with tables & BBQ's, the kids when the grass area is too damp, tai-chi classes, dancers, or public meetings.

The plans fail to show **the location of the proposed bicycle parking** and how it might impinge on the proposed terrace's ability to be used for organized activities.

We are also concerned about the safety of having young children playing on the terrace when the grass is too damp. The terrace will be just a few feet away from the street and a child running into the street to collect a runaway ball could well end up in tragedy. Having the existing paved circle protects the children from those hazards. (See *Attachment 1: Greenfire Law page 3 Item 3 Paragraph 3 Traffic Impacts*)

Another issue will be increased traffic and additional parking in and around Willard Park. That's especially true about double parking on Hillegass during drop off and pick up for the school and summer programs as well as for events and parties.

**>> THE BUILDING PLANS AS PROPOSED WOULD REDUCE THE AMOUNT OF ALREADY SCARCE GREEN SPACE IN THE PARK AND NEW PARKING DESIGNATIONS THAT WOULD LIMIT THE ALREADY TIGHT NEIGHBORHOOD PARKING ISSUES. Patrick Kehoe from ZAB Transcript**

Hillegass Avenue is a dedicated bike boulevard. Having to weave around cars and pedestrians crossing from the cars to the park are a real safety hazard -- not just to the people who bike but to the people who are getting into and out of the cars. With no CEQA review, these issues of safety have no venue for discussion other than as part of an appeal. (See *Attachment 1: Greenfire Law page 3 Item 3 Paragraph 3 Traffic Impacts*)

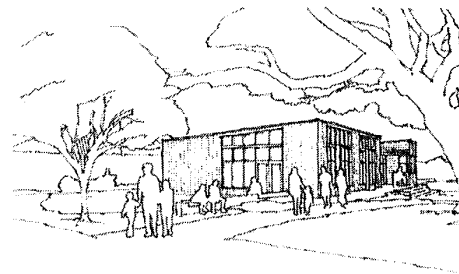


Willard Park is used by all kinds of people in all age groups for dozens of different outdoor activities.

Currently, the after-school program reserves a significant grassy area when it's in operation during the school year and during prior summers when the Summer Youth program was happening at Willard Park. Increasing the number of children in the program will call for a tradeoff: a larger area to be set aside for the children's program needs and consequently further diminishment of the open space available to other users.

As there is no easy access to the proposed construction site, heavy construction equipment and materials will require that a goodly part of the existing grass area be fenced off and used as a construction zone for months, or more likely several years, once the project commences. It will likely exclude nearly 1/3 of the open space in the park from use during construction.

The proposed height of the structure (16 ft. above grade on the East end of the building and 20 ft. on the West end park-facing side) would unnecessarily dominate the small park and completely change its character. The existing clubhouse is only 12 ft high and blends well with the park. The conceptual rendering of the current design (on the right) amply demonstrates why the building is out of scale to the people in the park.



*View of the building from the East*

In 2022 at one of the public meetings in the park, we requested that story poles be erected so that neighbors and park users could get a better grasp of just how out of scale this building in in relation to the park. At that meeting we were told by Scott Ferris that the City does not need install story poles.

At the ZAB meeting this issue was again raised by Paul Tuleja and was not discussed by the ZAB Commissioners.

"I WOULD LIKE TO SEE SOME POLES PUT UP TO SHOW US THE DIMENSIONS OF THE NEW BUILDING THAT IS SUGGESTED TO GO UP." **Paul Tuleja from ZAB Transcript** Noise issues are a real concern to the neighbors who live next to, or within a short distance from the proposed Community Center. Willard Park is the smallest neighborhood park in Berkeley. (See *Attachment 7: Parks in Berkeley.*) Of the 15 larger neighborhood parks, 9 of them do not have a Community Center, two have Community Centers, three have Recreation Centers, and one has a Nature Center. All of the parks with some sort of Center have one thing in common – all of them have at least the width of a street including sidewalks and parking between the building and the nearest residence. (See *Attachment 1: Greenfire Law Letter to ZAB page 3 Item 3 Paragraph 4 Noise Impacts*)

The proposed placement of the Willard Park Community Center in the South East corner of the park does not allow a "buffer zone" between the park and the immediate neighbors (along the south edge of the park, i.e., 2732 Hillegass, 2731 Regent St, 2735 Regent St) as was allowed in all other Community Centers. (See picture of Francis Albrier Community Center at right with a 100+ ft. buffer to the closest household.)



The closest neighbors' windows will be merely 20 ft. away from the Willard Park Community Center.

The proposed project will increase the noise level because changing the use of the Clubhouse, which only serves after-school and summer programs, to a Community Center means that rentals of the space will be available for parties and other events. As was stated earlier in this appeal, there will be no alcohol allowed, but amplified and live music will be allowed as per Berkeley Parks, Recreation and Waterfront rules.

There are 23 households within 50 feet of the back fence that will be impacted by the noise that will come from parties and events that could accommodate over 100+ people in the 1,700 sq. ft. Community Room. Three of the households' windows are within 20 feet of the proposed structure and even closer if the event uses the area behind the Community Room and the back fence.

We feel the placement of the new restroom building between the grass area and the tennis courts will be a safety issue both during the day and especially after dark. (See *Attachment 1: Greenfire Law Letter to ZAB page 4 Item 3 Paragraph 2 Moving Public Restroom*)

"WE CAME UP, INITIALLY WITH TWO DIFFERENT LOCATIONS (for bathrooms). ONE WHICH WAS ABOVE THE TENNIS COURTS RIGHT NEXT TO THE STREET RIGHT NEXT TO THE POTTER'S WALL IT WOULD HAVE CALLED FOR REPLACING THE POTTER'S WALL." Mark, Project Architect from ZAB Transcript

There is unused open space at the North end of the tennis courts that is 15' wide by 60' long between the Tennis Courts and the Potters Wall. The Portland Loo is 10'7"(L) x 6'(W) x 8' 6"(H).

That area has plenty of room to place two Bronze colored Portland Loos parallel to the North fence of the tennis court and leave a 9-foot unobstructed walkway between the Loo's and the demarcation of the Potters Wall.



"I (want) TO TALK ABOUT THE LOCATION AND ORIENTATION OF THE BATHROOM. IF IT'S MOVED ACROSS FROM THE WALKWAY FROM THE TENNIS COURTS AND THE DOORS ARE ORIENTED TOWARD THE WEST, THEY ARE NOT VISIBLE FROM HILLEGASS OR DERBY BY ANYONE WALKING BY OR THE POLICE AFTER THE PARK CLOSES." Mary Oram from ZAB Transcript

"Putting the restroom distant from the street like that, with areas where people can easily hide, seems like an invitation for various forms of assaults on people who just want to use the restroom. In the winter, when it gets dark early, I think a lot of people would not feel (or be) safe walking all the way from the street to a restroom that was located there."

Russel Tillman – letter to WNA

"WE TOOK A POLL, A COUPLE SURVEYS BUT WE ALSO TALKED TO THE POLICE AND THEY FELT LIKE . . . THIS WAS THE BEST LOCATION FOR IT." Mark, Project Architect from ZAB Transcript

"BACK TO THE ISSUE OF TALKING WITH THE POLICE. CAN I ASSUME YOU MET WITH OR WORKED WITH THE DEFENSIBLE SPACE PROGRAM IN THE POLICE DEPARTMENT?" Commissioner Sanderson from ZAB Transcript

If you look at the transcript of the ZAB meeting, this was the last statement by either staff or Commissioners before they made their motion to approve the variance. Commission Sanderson asked a question that we would very much like to have heard the answer to. No answer was provided. (See **Attachment 1: Greenfire Law page 4 Item 5 Paragraph 3 Movement of the Restroom.**)



We strongly urge that the issue of public safety with a restroom that will be virtually unseen, and unseeable, once darkness falls, needs to be addressed by the Berkeley Police Department. Without an answer we believe that drug dealing, and drug use will be probable with the restroom in its planned location. See picture of drug paraphernalia recently taken in the general location where the proposed restroom will be located.

We also urge that the architects look at the Portland Loo placed just to the North of the tennis courts. There is the space for it without impinging on the Potters Wall, and it will be very visible from people walking on Derby street. In a brief discussion after the ZAB meeting, the Project Architect seemed unaware of the new finishes to the Portland Loo that would make it blend in more with the neighborhood and how the Portland Loo's lighting is designed to discourage drug use in the restroom.

A strong feature of the Portland Loo is its cost. According to the Berkeley Wash Assessment 2020, the stand-alone Portland Loo (no utility connections needed) would be considerably cheaper than designing and constructing a one-off building that would need utility hook ups and would be considerably more susceptible to vandalism and graffiti. (See **Attachment 6c: "Berkeley Wash Assessment – Portland Loo"**.)

The Portland Loo was designed with the primary intent to prevent problems that are commonly experienced with public toilets. The modular construction of the restroom allows for easy installation, and it can be quickly repaired on site. (See **Attachment 6a & 6b: "Why a Portland Loo & FAQ"**)

The coated stainless-steel walls (bronze color in above picture) are sleek and modern, which also makes them hard to vandalize and easy to clean. Nothing can be ripped off the walls or damaged, because the hand-washing station is mounted on the exterior.

The entire unit can be off grid, operating totally on solar power. At night the exterior has gentle lighting that switches off when the unit is occupied. The interior lighting is blue and comes on when the unit is occupied. That color discourages use for shooting up as it makes the veins much harder to locate.

An added advantage for the beat officer during the day or a BPD patrol car at night would be to easily see if the unit was in use – allowing the bathroom to be available for much longer hours and making everyone using it feel safer.

**Building height, obstructed views**

During the City presentation we heard -

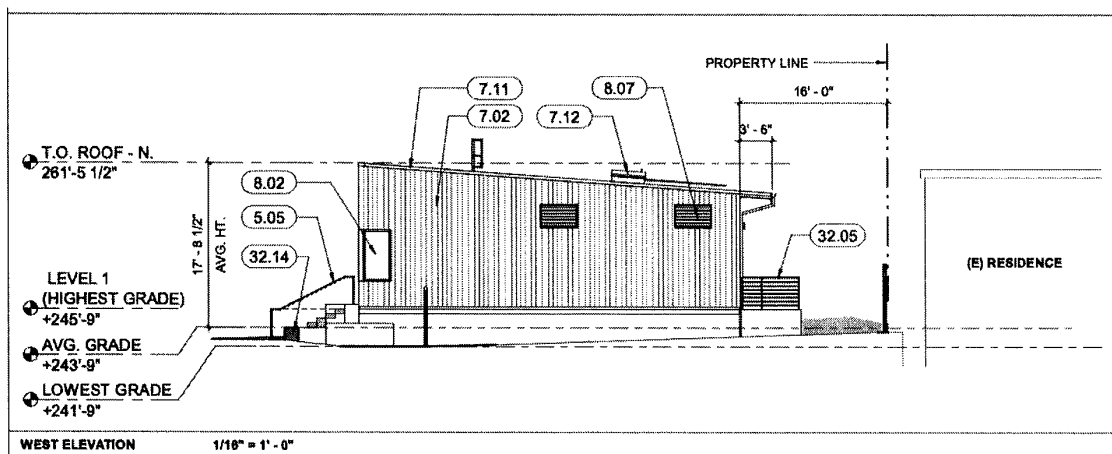
>>> FOR FINDING D, THE NEW CLUBHOUSE WOULD BE COMPATIBLE IN TERMS OF HEIGHT AND MATERIALS WITHIN THE NEIGHBORING BUILDINGS AND WOULDN'T BE DETRIMENTAL IN TERMS OF VIEWS, LIGHT AND AIR IMPACTS. IT WOULDN'T CAST SHADOWS ON NEARBY RESIDENTS AND ONE WOULD BE LOWER IN HEIGHT THAN AREA RESIDENCES, THIS FINDING CAN BE MADE. A.Riemer from ZAB Transcript

The proposed Community Center building has been described as a single-story structure and its average height has been declared as 18 ft. While this is true, it is also misleading. The highest point is 20 ft off the ground (see the drawing below: T.O.ROOF-N – LOWEST GRADE, i.e., 261'-5 1/2" – 241'-9") and is larger than the height of the two-story building located in the back of 2732 Hillegass – see (E) Residence shown on the drawing below.

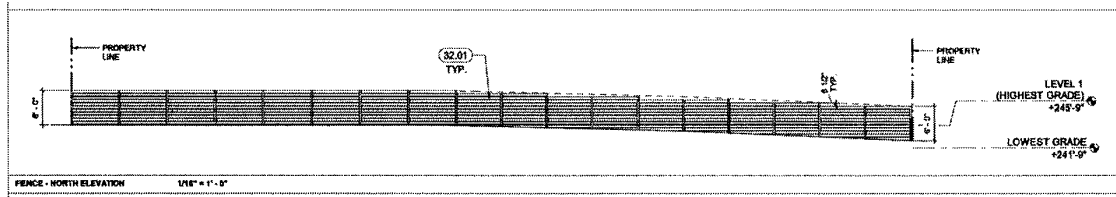
The new structure blocks the view of the park for several tenants who live at the said property. Existing views of the park and its open space will be replaced by a new building blocking the view, which will lead to lower economic returns and a less desirable place to live.

The new structure will increase the current height of the existing structure by 50% and by its proposed closer location, invades the privacy rights of the residents of the surrounding buildings.

Please note that the current single-story clubhouse, which has the height of 12 ft, is much shorter and is closer to Hillegass, thus the park view from residence (E) is unobstructed. (Sheet Z2-A1)



For the residence abutting on the west side, i.e., 2731 Regent, the problem is even more pronounced as the park terrain slopes down from Hillegass to Regent. The drawing below illustrates the slope just for the 2732 Hillegass lot.



Park terrain continues to slope down towards Regent St, which effectively amplifies the height of the proposed structure as perceived by immediate neighbors.

The effect of this on the views has been illustrated in the document submitted earlier to ZAB by email. Edited parts from it are attached as an Addendum for reference.

(See *Attachment 8: "ViewImpact 2731Regent"*)

### **Drainage**

Immediate neighbors, whose lots abut the proposed construction site, have raised the issue of drainage. The adjacent lots (2732 Hillegass and 2731 Regent St) lie lower than the site of the proposed structure and the question with respect to where the rainwater is going to go, raised via email, has not been addressed. This issue is particularly important because the proposed structure's footprint is several times the size of the old one.

### **Setback violation**

The setback with respect to the property at 2731 Regent St is being reduced from 87' to 6'. This is in clear violation of the historically determined setback for the lot on which the proposed building is going to be built. The issue was reported to ZAB via email, yet there was no discussion of the item by the time the vote was taken. The effect of the setback violation combined with the height of the proposed structure (perceived as an almost two-story building) has major impact on the property at 2731 Regent.

Historical Sanborn Fire Insurance map for the relevant portion of the Berry-Bangs tract, where Willard Park is located, shows orientation of original residences in the neighborhood.

(See *Attachment 9: "Berry Bangs Tract Map"*.)

In general, the front setback is defined by the front of the lot. For lot 2728 Hillegass (between 2732 and 2726), which is now a part of the park parcel, its front faces the street. Consequently, its back abuts the 2731 Regent lot. Therefore the "required setbacks" line on plan sheet Z2-A4 is incorrect as it violates R-2 setback requirements defined in the Berkeley Municipal Code.



**Material impact**

Several of the above enumerated issues related to the proposed construction, unless they are properly addressed, will have material impact on the value of the abutting properties. (2731 Regent, 2732 Hillegass.) In particular, the size, height and new evening intended uses of the project will deny the owners a reasonable economic use of their properties on many levels.

**In closing:**

Our park is heavily used by the public. Increasing population in our part of the city brought on by new ADUs, new apartment buildings recently completed, as well as proposed new multi-family housing construction on Telegraph and Shattuck Avenues as well as the up-zoning of Southside from Bancroft to Dwight. Those issues and the steadily growing population of UC students demand that we save as much of the existing outdoor space that we have as possible – unless the City wants to do what they did to create Willard Park, which was to take property by eminent domain to build a new park.

We continue to want to work with the City to help make Willard Park a better place for kids in need of after-school and summer programs.

We would prefer any new facility's sole function be continuing the after-school and summer programs currently run out of a slightly expanded Clubhouse.

If the new facility must be a Community Center (just like other Community Centers) it will be available at no cost for community meetings, City of Berkeley events, childcare and National Night Out as well as park related activities such as Willard Park Yoga Collective in inclement weather.

We do not want the new facility to be rented out for private events or parties, keeping it available for the community when not in use by childcare, after-school or summer programs.

We have presented a range of issues of various scope and weight, some effecting majority of park users, some just the people who live right on the other side of the fence from the proposed building.

We are optimistic that by working together we can overcome the issues we have identified and can create a solution that will work for everyone.

We hope that Council will send the proposal back to the Parks & Waterfront Department to allow for further discussion of the serious procedural and legal concerns we have raised in this appeal.

# **SIGNATURE PAGES**

**APL – appellant (7)**

**SFR - signer fee reduction (62)**

**Other signers – 32**

**Total – 101**

**Pages - 24**

Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

APL

1. BARBARA TOLEJA Barbara Toleja 5/19/23  
 Printed name Signature Date  
22 Porcell, Alameda, CA 94502  
 Mailing Address Apt. Zip  
2732 HILLEGASS, Berkeley, CA 94705  
 Owner of: Address Apt. Zip

2. \_\_\_\_\_ / / \_\_\_\_\_  
 Printed name Signature Date

\_\_\_\_\_ Apt. Zip  
 Mailing Address

\_\_\_\_\_ Apt. Zip  
 Owner of: Address

3. \_\_\_\_\_ / / \_\_\_\_\_  
 Printed name Signature Date

\_\_\_\_\_ Apt. Zip  
 Mailing Address

\_\_\_\_\_ Apt. Zip  
 Owner of: Address

4. \_\_\_\_\_ / / \_\_\_\_\_  
 Printed name Signature Date

\_\_\_\_\_ Apt. Zip  
 Mailing Address

\_\_\_\_\_ Apt. Zip  
 Owner of: Address

Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

1. Mary E. Oram Mary Oram 5/22/23  
Printed name Signature Date  
2705 Hillegass Ave. 94705  
Address Apt. Zip

APL

2. ALEXANDER STEC A Stec 05/23/2023  
Printed name Signature Date  
2731 REGENT ST, BERKELEY 94705  
Address Apt. Zip

APL

3. Kinga CHOMICZ K. Chomicz 05/23/2023  
Printed name Signature Date  
2731 Regent St Berkeley 94705  
Address Apt. Zip

APL

4. \_\_\_\_\_  
Printed name Signature Date  
\_\_\_\_\_  
Address Apt. Zip



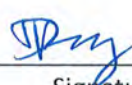



5. \_\_\_\_\_  
Printed name Signature Date  
\_\_\_\_\_  
Address Apt. Zip

6. \_\_\_\_\_  
Printed name Signature Date  
\_\_\_\_\_  
Address Apt. Zip

## Appeal of ZAB decision on 2720 Hillegass Ave. / demolition &amp; new construction

1. Yvonne Donnelly Yvonne Donnelly 5/20/2023  
 Printed name Signature Date  
235 Benvenue Ave  94705  
 Address Apt. Zip
2. Steven Dopkin Steve Dopk 5/20/2023  
 Printed name Signature Date  
2731 Benvenue  94705  
 Address Apt. Zip
3. Christi Tuleja Christi Tuleja 5/21/2023  
 Printed name Signature Date  
2918 Benvenue Ave.  94705  
 Address Apt. Zip
4. PAUL TULEJA [Signature] 5/21/2023  
 Printed name Signature Date  
2918 Benvenue AVE  94705  
 Address Apt. Zip  
 APL
5. Carla K. Woodworth Carla Woodworth 5/21/2023  
 Printed name Signature Date  
2335 Parker St. #2  94704  
 Address Apt. Zip  
 APL
6. Christine Schoefes [Signature] 5/21/23  
 Printed name Signature Date  
2600th St. 4 94704  
 Address Apt. Zip

Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

1. ELSA CAMPO  05/15/23  
Printed name Signature Date  
*SFR* 2525 Stuart St - B. 94705  
Address Apt. Zip  
#502
2. Berlyn Padilla  5/15/2023  
Printed name Signature Date  
*SFR* 2741 Hillegass Ave. 94705  
Address Apt. Zip
3. Dionisio Ramirez  5/15/2023  
Printed name Signature Date  
*SFR* 2741 Hillegass Ave 94705  
Address Apt. Zip
4. Samantha Grayjardi  4/15/23  
Printed name Signature Date  
*SFR* 2503 Stuart St 94705  
Address Apt. Zip
5. Paul Young  5/15/2023  
Printed name Signature Date  
*SFR* 2732 Hillegass 94705  
Address Apt. Zip
6. Angela Pile  05/15/2023  
Printed name Signature Date  
*SFR* 2717 Hillegass 94705  
Address Apt. Zip

## Appeal of ZAB decision on 2720 Hillegass Ave. / demolition &amp; new construction

1. Mark Weiman Mark Weiman 5/15/2023  
 Printed name Signature Date

SFR

2747 Regent St. 94705  
 Address Apt. Zip

2. Donna Pitetti Donna Pitetti 5/15/23  
 Printed name Signature Date

SFR

2735 Regent St. #5 94705  
 Address Apt. Zip

3. MARCIA LEVENSON Marcia Levenson 5/15/23  
 Printed name Signature Date

SFR

2507 Stuart St. 94705  
 Address Apt. Zip

4. Ronn Simpson Ronn Simpson 5/15/23  
 Printed name Signature Date

SFR

2800 Hillegass Ave 94705  
 Address Apt. Zip

5. Marcela Simpson Marcela Simpson 5/15/23  
 Printed name Signature Date

SFR

2800 Hillegass ave 94705  
 Address Apt. Zip

6. Bonnie Walsh Bonnie Walsh 5/15/23  
 Printed name Signature Date

SFR

2747 Hillegass 94705  
 Address Apt. Zip

## Appeal of ZAB decision on 2720 Hillegass Ave. / demolition &amp; new construction

1. *SFR* Lance Butten Lance Butten 5/16/23  
 Printed name Signature Date  
2707 Hillegass Ave 94705  
 Address Apt. Zip
2. *SFR* Susan Bowman Susan Bowman 5/16/23  
 Printed name Signature Date  
2707 Hillegass Ave 94705  
 Address Apt. Zip
3. *SFR* Paul T. Keenan Paul T. Keenan 5/16/23  
 Printed name Signature Date  
2735 Hillegass 94705  
 Address Apt. Zip
4. *SFR* Gloria Bonilla Gloria Bonilla 5/16/2023  
 Printed name Signature Date  
2727 Hillegass Ave 94705  
 Address Apt. Zip
5. *SFR* BELINDA JONES Belinda Jones 5/17/23  
 Printed name Signature Date  
2735 Regent St 8 94705  
 Address Apt. Zip
6. *SFR* ANITHA BROWN Anitha Brown 5/17/23  
 Printed name Signature Date  
2638 BENVENUS AVE 94704  
 Address Apt. Zip



Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

1. Han Emerson      Han Emer      5 / 15 / 2023  
Printed name      Signature      Date

*SFR*      2739 Regent St      94705  
Address      Apt.      Zip

2. David Emerson      David      5 / 15 / 2023  
Printed name      Signature      Date

*SFR*      2739 Regent St      94705  
Address      Apt.      Zip

3. Stephen Born      Amour      5 / 16 / 2023  
Printed name      Signature      Date

*SFR*      2708 Benvenue Ave      94705  
Address      Apt.      Zip

4. Tamara Lerner      Tamara L      5 / 16 / 2023  
Printed name      Signature      Date

*SFR*      2700 Benvenue Ave      94705  
Address      Apt.      Zip

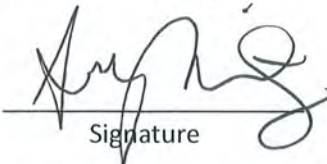

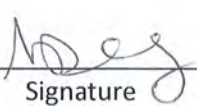

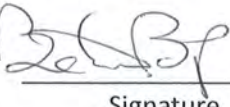
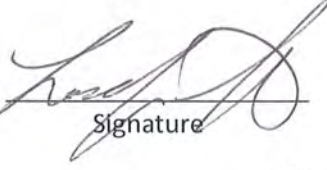
5. Nicolás Depetris      Nicolás      5 / 16 / 23  
Printed name      Signature      Date

*SFR*      2708 Benvenue Ave      94705  
Address      Apt.      Zip

6. Agatha AISSA      Agatha      5 / 16 / 23  
Printed name      Signature      Date

*SFR*      2708 Benvenue Ave      94705  
Address      Apt.      Zip

## Appeal of ZAB decision on 2720 Hillegass Ave. / demolition &amp; new construction

1. *SFR* Avery Redlitz  4, 14, 23  
 Printed name Signature Date  
 2719 A Hillegass 94705  
 Address Apt. Zip
2. *SFR* Ben Smith  5, 14, 23  
 Printed name Signature Date  
 2719 B Hillegass 94705  
 Address Apt. Zip
3. *SFR* Molly Bradley  5, 14, 2023  
 Printed name Signature Date  
 2721 Hillegass Ave 94705  
 Address Apt. Zip
4. *SFR* Theresa Flynn  5, 15, 2023  
 Printed name Signature Date  
 2715 Hillegass Ave. 94705  
 Address Apt. Zip
5. *SFR* Bettina Bergo  14, 05, 2023  
 Printed name Signature Date  
 2727 Hillegass 1 94705  
 Address Apt. Zip
6. *SFR* Lukasz Stec  5, 15, 2023  
 Printed name Signature Date  
 2731 REGENT SF 94705  
 Address Apt. Zip

Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

1. James Schaitzin [Signature] 5/15/23  
Printed name Signature Date  
*SFR* 2732-4 Hillegass C 94705  
Address Apt. Zip

2. SIVON KRONG [Signature] 05/15/23  
Printed name Signature Date  
*SFR* 2736 HILLEGASS  94705  
Address Apt. Zip

3. Friedrich Burk [Signature] 05/15/23  
Printed name Signature Date  
2505 Stuart St  94705  
Address Apt. Zip

4. barb scheitler [Signature] 05/15/23  
Printed name Signature Date  
*SFR* 2606 Stuart St.  94705  
Address Apt. Zip

5. DOXI DEL PILA [Signature] 5/15/23  
Printed name Signature Date  
*SFR* 2606 STUART ST  94705  
Address Apt. Zip

6. Inese Cirkulis [Signature] 5/15/23  
Printed name Signature Date  
*SFR* 2501 Stuart St  94705  
Address Apt. Zip

Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

1. Will Quinn [Signature] 05,16,23  
 Printed name Signature Date

SFR

2719 Hillegass Ave A 94705  
 Address Apt. Zip

2. Yuki Toyozumi [Signature] 5,17,23  
 Printed name Signature Date

SFR

2717 Hillegass Ave  94705  
 Address Apt. Zip

3. Shilu Sheng [Signature] 05,17,23  
 Printed name Signature Date

SFR

2731 Hillegass Ave  94705  
 Address Apt. Zip

4. \_\_\_\_\_  
 Printed name Signature Date

\_\_\_\_\_  
 Address Apt. Zip

5. \_\_\_\_\_  
 Printed name Signature Date

\_\_\_\_\_  
 Address Apt. Zip

6. \_\_\_\_\_  
 Printed name Signature Date


\_\_\_\_\_  
 Address Apt. Zip

Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

1. CHRISTOPHER BORN  5/16/23  
Printed name Signature Date

SFR

2708 BENVENUE AVE 94705  
Address Apt. Zip

2. NDOMI HIPOSHIGE BORN  5/17/2023  
Printed name Signature Date

SFR

2708 BENVENUE AVE, 94705  
Address Apt. Zip

3. MAIKO BORN  5/17/2023  
Printed name Signature Date

SFR

2708 Benvenue Ave. 94705  
Address Apt. Zip

4. Col Collia  20/5/2023  
Printed name Signature Date

2720 Benvenue Ave 94705  
Address Apt. Zip

5. \_\_\_\_\_ Signature \_\_\_\_\_ Date  
Printed name

\_\_\_\_\_ Zip  
Address Apt.

6. \_\_\_\_\_ Signature \_\_\_\_\_ Date  
Printed name

\_\_\_\_\_ Zip  
Address Apt.

Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

1. Evan N. Losito                                            05, 18, 23  
 Printed name                                      Signature                                      Date

SFR

2632 Hillegass Ave.                      C                      94704  
 Address                                      Apt.                                      Zip

2. \_\_\_\_\_                      \_\_\_\_\_                      \_\_\_\_/\_\_\_\_/\_\_\_\_  
 Printed name                                      Signature                                      Date

\_\_\_\_\_  
 Address                                      Apt.                                      Zip

3. \_\_\_\_\_                      \_\_\_\_\_                      \_\_\_\_/\_\_\_\_/\_\_\_\_  
 Printed name                                      Signature                                      Date

\_\_\_\_\_  
 Address                                      Apt.                                      Zip

4. \_\_\_\_\_                      \_\_\_\_\_                      \_\_\_\_/\_\_\_\_/\_\_\_\_  
 Printed name                                      Signature                                      Date

\_\_\_\_\_  
 Address                                      Apt.                                      Zip

5. \_\_\_\_\_                      \_\_\_\_\_                      \_\_\_\_/\_\_\_\_/\_\_\_\_  
 Printed name                                      Signature                                      Date

\_\_\_\_\_  
 Address                                      Apt.                                      Zip

6. \_\_\_\_\_                      \_\_\_\_\_                      \_\_\_\_/\_\_\_\_/\_\_\_\_  
 Printed name                                      Signature                                      Date

\_\_\_\_\_  
 Address                                      Apt.                                      Zip

Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

1. RUSSEU GREENE Russell Greene 5 / 16 / 23  
 Printed name Signature Date

SFR

2735 REGENT ST. 14 94705  
 Address Apt. Zip

2. Sabina Tuleja Sabina Tuleja 5 / 21 / 23  
 Printed name Signature Date

SFR

2732 Hillegass Ave 4 94705  
 Address Apt. Zip

3. Noah Faerber [Signature] 5 / 21 / 23  
 Printed name Signature Date

SFR

2732 Hillegass Ave 4 94705  
 Address Apt. Zip

4. Joseph Perkins Joseph Perkins 5 / 20 / 23  
 Printed name Signature Date

SFR

2745 Regent St  94705  
 Address Apt. Zip

5. Marilynn Rowland Marilynn Rowland 5 / 20 / 23  
 Printed name Signature Date

SFR

2717 Hillegass Ave  94705  
 Address Apt. Zip

6. \_\_\_\_\_ / / \_\_\_\_\_  
 Printed name Signature Date

\_\_\_\_\_  
 Address Apt. Zip

Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

SFR 1. Gregory FORTSON [Signature] 5/14/2023  
Printed name Signature Date  
2735 Regent St 12 94705  
Address Apt. Zip

SFR 2. Nassim Taibi [Signature] 5/14/23  
Printed name Signature Date  
2735 Regent St a 94705  
Address Apt. Zip

SFR 3. Lynn Bradley Lynn Bradley [Signature] 5/14/2023  
Printed name Signature Date  
2721 Hillegass  94705  
Address Apt. Zip

4. [Signature]  / /  
Printed name Signature Date  
    
Address Apt. Zip

SFR 5. MARGARET L. ANDERSON Margaret L. Anderson 17 May 2023  
Printed name Signature Date  
2742 BENVENUE AVE  94705  
Address Apt. Zip

SFR 6. JAMES SHEEHAN [Signature] 05/17/2023  
Printed name Signature Date  
2742 BENVENUE  94705  
Address Apt. Zip



Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

SFR

1. MARK LOWE [Signature] 5/15/23  
 Printed name Signature Date  
2643 Hillegass Ave [Apt.] 94704  
 Address Apt. Zip

SFR

2. ANA LOWE [Signature] 5/15/23  
 Printed name Signature Date  
2643 Hillegass Ave. [Apt.] 94704  
 Address Apt. Zip

3. \_\_\_\_\_ /\_\_\_\_\_/\_\_\_\_\_  
 Printed name Signature Date

\_\_\_\_\_  
 Address Apt. Zip

4. \_\_\_\_\_ /\_\_\_\_\_/\_\_\_\_\_  
 Printed name Signature Date

\_\_\_\_\_  
 Address Apt. Zip

5. \_\_\_\_\_ /\_\_\_\_\_/\_\_\_\_\_  
 Printed name Signature Date

\_\_\_\_\_  
 Address Apt. Zip

6. \_\_\_\_\_ /\_\_\_\_\_/\_\_\_\_\_  
 Printed name Signature Date

\_\_\_\_\_  
 Address Apt. Zip

Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

1. SASIKALA VENKATACHALAM V. Venkatala 5/17/2023  
 Printed name Signature Date

SFR

2638 DENVER AVE 94704  
 Address Apt. Zip

2. Jennifer Hudin Jennifer Hudin 5/18/2023  
 Printed name Signature Date

SFR

2732 W Hillegass A 94705  
 Address Apt. Zip

3. Angelica Drott Angelica Drott 5/18/2023  
 Printed name Signature Date

SFR

2736 Hillegass Ave 94705  
 Address Apt. Zip

4. Sven \_\_\_\_\_ / /  
 Printed name Signature Date

\_\_\_\_\_  
 Address Apt. Zip

5. \_\_\_\_\_ / /  
 Printed name Signature Date

\_\_\_\_\_  
 Address Apt. Zip

6. \_\_\_\_\_ / /  
 Printed name Signature Date

\_\_\_\_\_  
 Address Apt. Zip


## Appeal of ZAB decision on 2720 Hillegass Ave. / demolition &amp; new construction

1. Roberte ROUNTREE  05/15/23  
 Printed name Signature Date

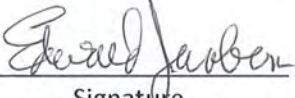
2630 Benvenue Ave. BERKELEY 94704.  
 Address Apt. Zip

2. FERA PETERSON  05/15/23  
 Printed name Signature Date

2505 DERRY ST. 94705  
 Address Apt. Zip

3. Julianne Feldman  05/16/2023  
 Printed name Signature Date

*SFR*  
*owner of* 2701 Hillegass ave 94705  
 Address Apt. Zip

4. Edward Jacobson  5/16/23  
 Printed name Signature Date

*SFR*  
2732 Hillegass # 3 Berkeley 94705  
 Address Apt. Zip

5. PIERRE JOHNSON  05/16/23  
 Printed name Signature Date

*SFR*  
2735 Regent St 1 8 94705  
 Address Apt. Zip

6. Tara Noonan  05/16/2023  
 Printed name Signature Date

*SFR*  
2632 HILLEGASS AVE. C 94704  
 Address Apt. Zip



**Appeal of ZAB decision on 2720 Hillegass Ave. Use Permit #ZP2022-0095**

All Not within 300' of Willard Park

I have read the appeal and agree to sign as a supporter of that appeal.

1. Deborah Dille Deborah Dille 5/16/23  
 Printed name Signature Date

2619 Benvenue Ave A 94704  
 Address Apt. Zip

2. Minam Casalaino M.C. 5/18/23  
 Printed name Signature Date

2418 Stuart St.  94705  
 Address Apt. Zip

3. Rahsaan Lehitney Rahsaan Lehitney 5/18/23  
 Printed name Signature Date

2619 Benvenue ave F 94704  
 Address Apt. Zip

4. CAROLYN CURRAN Carolyn Curran 5/18/23  
 Printed name Signature Date

2615 Benvenue #1 94704  
 Address Apt. Zip

5. Vincent CASALAINO V.C. 5/18/23  
 Printed name Signature Date

2619 Benvenue Ave A 94704  
 Address Apt. Zip

6. Kathryn E. Hamby Kathryn E. Hamby 05/18/2023  
 Printed name Signature Date

2627 Benvenue Ave  94704-3405  
 Address Apt. Zip

APL

## Appeal of ZAB decision on 2720 Hillegass Ave. / demolition &amp; new construction

1. VIRGINIA SIDDELLS  5/15/23  
 Printed name Signature Date

2808 Regent St 94705  
 Address Apt. Zip

2. LARRY SNYDER  5/15/23  
 Printed name Signature Date

2812 Regent St. 94705  
 Address Apt. Zip

3. Claine Hartmeyer  5/15/23  
 Printed name Signature Date

1130 Oxford St. 94707  
 Address Apt. Zip

4. Patrick Kenae  05/16/23  
 Printed name Signature Date

2412 Stuart St. #3 94705  
 Address Apt. Zip

5. Randy Fish  5/19/23  
 Printed name Signature Date

2600 Hillegass Ave 2 94704  
 Address Apt. Zip

6. RANDOLPH STARIN  5/19/23  
 Printed name Signature Date

2619 Hillegass Ave 94704  
 Address Apt. Zip

## Appeal of ZAB decision on 2720 Hillegass Ave. / demolition &amp; new construction

1. FRANCES STARO Frances Staro 5/19/23  
 Printed name Signature Date  
2619 HILLEGASS AVE 94704  
 Address Apt. Zip
2. Marian Snyder Marian Snyder 5/20/23  
 Printed name Signature Date  
2812 Regent St. 94705  
 Address Apt. Zip
3. ANDRE' DECARY AD 5/20/23  
 Printed name Signature Date  
2440 ORC CON ST 94705  
 Address Apt. Zip
4. Dolores Kohn Dolores Kohn 5/20/23  
 Printed name Signature Date  
2817 Regent St. 94705  
 Address Apt. Zip
5. KIM CRANNEY Kim Cranney 5/20/23  
 Printed name Signature Date  
2807 Regent St. 94705  
 Address Apt. Zip
6. Arija Plowright Arija Plowright 5/20/23  
 Printed name Signature Date  
2829 Regent 94705  
 Address Apt. Zip

Appeal of ZAB decision on 2720 Hillegass Ave. Use Permit #ZP2022-0095

Not within 300' of Willard Park

I have read the appeal and agree to sign as a supporter of that appeal.

1. SCOTT HAMBLBY [Signature] MAY 19, 2023

2622 Bonhomme Ave. 94704-3405

2. Armin Wulf [Signature] 5/21/23

2600 Etua Street #3 94704

3. Ellen Rosenberg [Signature] 5/21/23

2828 Regent St 94705

4. Howard Rosenberg [Signature] 5/21/23

2828 Regent St. 94705

5. Printed name Signature Date

Address Apt. Zip

6. Printed name Signature Date

Address Apt. Zip



Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

1. Chris Carlisle C. Carlisle 5/21/23  
 Printed name Signature Date  
2427 Ashby 94705  
 Address Apt. Zip

2. Antoinette Belt Antoinette Belt 5/21/2023  
 Printed name Signature Date  
2425 OREGON ST Bunk. 94705  
 Address Apt. Zip

3. \_\_\_\_\_  
 Printed name Signature Date  
 \_\_\_\_\_  
 Address Apt. Zip

4. \_\_\_\_\_  
 Printed name Signature Date  
 \_\_\_\_\_  
 Address Apt. Zip

5. \_\_\_\_\_  
 Printed name Signature Date  
 \_\_\_\_\_  
 Address Apt. Zip

6. \_\_\_\_\_  
 Printed name Signature Date  
 \_\_\_\_\_  
 Address Apt. Zip

Appeal of ZAB decision on 2720 Hillegass Ave. / demolition & new construction

1. MARY ENGLE Mary Engle 5/22/23  
 Printed name Signature Date  
2836 Regent St 94705  
 Address Apt. Zip

2. \_\_\_\_\_  
 Printed name Signature Date  
 \_\_\_\_\_  
 Address Apt. Zip

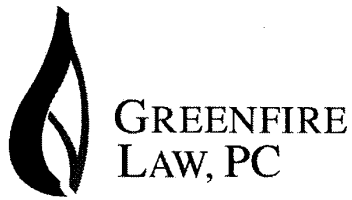
3. \_\_\_\_\_  
 Printed name Signature Date  
 \_\_\_\_\_  
 Address Apt. Zip

4. \_\_\_\_\_  
 Printed name Signature Date  
 \_\_\_\_\_  
 Address Apt. Zip

5. \_\_\_\_\_  
 Printed name Signature Date  
 \_\_\_\_\_  
 Address Apt. Zip

6. \_\_\_\_\_  
 Printed name Signature Date  
 \_\_\_\_\_  
 Address Apt. Zip

Attachment 1



RAE LOVKO  
2748 Adeline Street, Suite A  
Berkeley, CA 94703  
Phone: (510) 900-9502  
Email: [rlovko@greenfirelaw.com](mailto:rlovko@greenfirelaw.com)  
[www.greenfirelaw.com](http://www.greenfirelaw.com)

April 25, 2023

*By Electronic Mail*

City of Berkeley Land Use Planning Division  
ATTN: Zoning Adjustments Board Secretary  
1947 Center Street, Second Floor  
Berkeley, CA 94704  
[zab@cityofberkeley.info](mailto:zab@cityofberkeley.info)

City of Berkeley Land Use Planning Division  
ATTN: Zoning Adjustments Board Staff Planner  
1947 Center Street, Second Floor  
Berkeley, CA 94704  
[ARiemer@cityofberkeley.info](mailto:ARiemer@cityofberkeley.info)

City Council  
2180 Milvia Street  
Berkeley, CA 94704  
[council@cityofberkeley.info](mailto:council@cityofberkeley.info)

**RE:** Comments from the Willard Neighborhood Association Re: 2720 Hillegass Avenue (Willard Park), Use Permit #ZP2022-0095

Dear Members of the ZAB and City Council:

These comments on the application for Use Permit #ZP2022-0095 are made on behalf of the Willard Neighborhood Association (“WNA”), a group of concerned citizens that live near and use Willard Park.

Use Permit #ZP2022-0095 would allow the demolition of the existing clubhouse and restroom at Willard Park, the new construction of a 3,301 square-foot community center, and the new construction of a public restroom (the “Project”). While some changes to Willard Park may be warranted, the WNA objects that the City is considering approval of the Project without adhering to the requirements of Berkeley Municipal Code 6.42.010 and CEQA. Elements of the Project also are inconsistent with Berkeley’s General Plan. WNA’s opposition mirrors that of the neighboring Berkeley community, as evidenced by a 2021 survey conducted on WNA’s behalf in

Page 2 of 4

which 75% of the respondents identified as living within 6 blocks of the park. A copy of that survey is attached hereto as **Exhibit A**.

### **1. Consideration of the Project Without Voter Approval is in Violation of Berkeley Municipal Code 6.42.010**

Measure L was adopted in 1986 and is codified in Berkeley Municipal Code (“BMC”) Chapter 6.42. It requires that plans involving change to public parks and public open land must be submitted by the Berkeley City Council “to the citizens for approval by a majority of registered Berkeley voters voting at the next general election.” (BMC 6.42.010.)

The voter information pamphlet for Measure L, attached hereto as **Exhibit B**, establishes the intent and purpose of Measure L. Recognized as a “citizen’s initiative ordinance,” the measure was created to allow Berkeley Voters to directly participate in decisions to change the use of Public Parks and Open Space.” It “**prevents the City Council from using the existing public parks and open spaces for any new use without the approval of the community. If the Council wants to remove/develop existing public parks and open space, prior voter approval is required.**” (emphasis in the original.)

Berkeley City Councilmember Terry Taplin has affirmed the importance of BMC 6.42.010, noting that “Measure L provides for the protection of open space and requires any proposed construction on existing parks be approved by voters.” (Berkeley Community Members Discuss Importance of Protecting Urban Green Space, *Daily Californian*, April 22, 2021, <https://www.dailycal.org/2021/04/22/berkeley-community-members-discuss-importance-of-protecting-urban-green-space>.)

The proposed Project at Willard Park involves the demolition of an existing clubhouse that is approximately 565 square feet in size and an existing public restroom that is approximately 114 square feet in size. It would allow the new construction of a community center that is approximately 3,301 square feet in size and a restroom that is approximately 241 square feet in size. The community center is not only larger than the existing facility, but it entails a change of use. Such demolition and new construction falls squarely within BMC 6.42.010, and therefore, the City Council is legally mandated to place the Project before voters in the next general election.

### **2. The Project Has Not Been Properly Analyzed Under CEQA**

The agenda for the April 27, 2023 ZAB Meeting, wherein the proposed Project is to be addressed, recommends that it be “[c]ategorically exempt pursuant to CEQA Guidelines Section 15303 (‘New Construction’).”<sup>1</sup> To provide the public with adequate opportunity to raise CEQA objections, the City must give notice of the grounds for making an exemption determination. (*Los Angeles Dept. of Water & Power v. County of Inyo* (2021) 67 Cal.App.5th 1018, 1034.)

Nothing in the language of Section 15303 in and of itself demonstrates that the proposed Project should be considered exempt — it is larger than 2,500 square feet, and WNA objects that the City has not provided the public with grounds for this recommendation. As a result, WNA and the public are unable to raise CEQA objections and meaningfully participate in environmental review of the proposed Project.

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<sup>1</sup> The CEQA Guidelines are codified in title 14 of the California Code of Regulations.

Page 3 of 4

Relatedly, WNA objects that the information provided to the public does not address design specifications that might make the Project more environmentally friendly. For example, they would like to know whether solar panels will be installed or whether a water collection cistern will be utilized.

### **3. The Project is Inconsistent with Berkeley's General Plan**

Decisions made by ZAB and the Berkeley City Council must be consistent with the goals, objectives, and policies of the City's General Plan. Elements of the proposed project go against the Plan's goals and policies as regards to maximizing citizen participation, maintaining open space and parks, and reducing traffic impacts on the community. The public safety and welfare have not been properly addressed.

#### **Open Space Reduction**

The new community center, which is roughly six times the size of the existing clubhouse, and new restroom will result in a marked reduction of open space, critical to the community. The increased size of the school program in the community center also would further affect open space as the program routinely sequesters section of the park grounds for their activities.

The Project would significantly change the use and feel of a relatively compact park, in an area where there is little alternative open space. Also, the City is becoming increasingly dense, making shared green space ever more important.

In the past, the lawn areas of Willard Park have been used for concerts, movies, bouncy house events, and an annual Easter egg hunt. It is unclear that sufficient open space will remain post-construction to accommodate these important community traditions.

#### **Traffic Impacts**

The current clubhouse is used for a school program involving approximately 45 children. The new community center supposedly will allow the program to serve 60 children — but it is 6 times the size of the existing structure, so this seems like an undercount<sup>2</sup>. As a community center, the new building also may be used for additional community programs and events. All such increased use necessarily involves increased traffic that impacts the neighborhood. In addition to traffic congestion, the community center will increase the need for parking.

The proposed Project envisions adding a passenger loading zone on Hillegass Avenue. This addition does not ameliorate the amount of traffic or its impacts.

#### **Noise Impacts**

The new community center can handle a larger school program, and it can be rented out for parties and other events. This new and increased use will generate a substantial increase in noise levels for those living in the vicinity.

#### **Movement of Plaza/Terrace**

The new community center would allow for the expansion of the school program to include many more children. An open plaza area exists to the west of the existing clubhouse, which is utilized by the program. The proposed Project eliminates this area, and instead a terrace

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<sup>2</sup> The City has not articulated why an enlarged school program is necessary. WNA is aware that public school enrollment has been on the decline in Berkeley over the past 5 years. Further, the summer school program was cancelled in 2022 and is not scheduled for 2023.

Page 4 of 4

will be located east of the community center. WNA assumes the terrace would be utilized by the children in the school program.

The new terrace area abuts Hillegass Avenue, posing a safety risk to the children that are playing there. This risk is heightened by the fact that a passenger loading zone will be added to the street near the terrace.

**Movement of Public Restroom**

The new restroom is located in an area of the park not visible from any of the roadways that surround the park. This impacts the ability of law enforcement to conduct visual surveillance and provide for the public safety and welfare of park users and neighbors.

Thank you for your attention to these comments.

Sincerely,



Rae Lovko  
Greenfire Law, PC

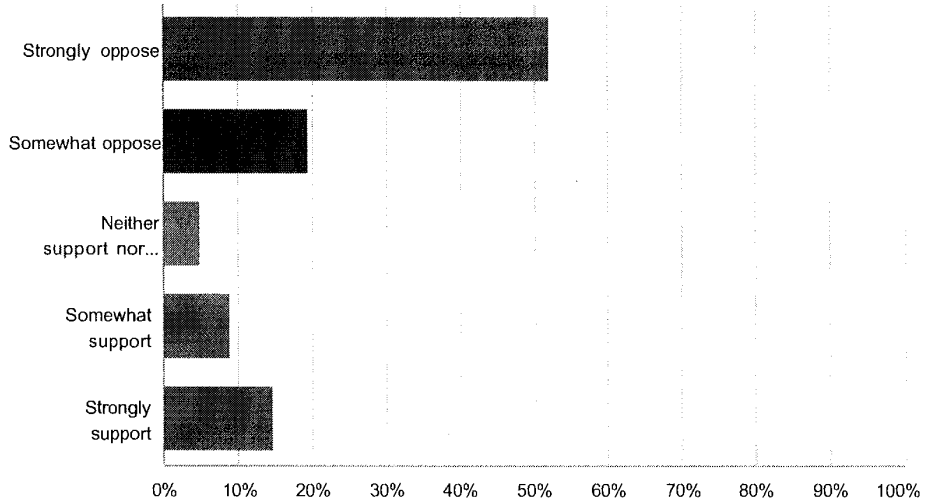
# **EXHIBIT A**

Willard Park Survey

SurveyMonkey

### Q1 How much do you support or oppose the expansion of the Club House?

Answered: 300 Skipped: 0



ANSWER CHOICES	RESPONSES	
Strongly oppose	52.00%	156
Somewhat oppose	19.33%	58
Neither support nor oppose	5.00%	15
Somewhat support	9.00%	27
Strongly support	14.67%	44
<b>TOTAL</b>		<b>300</b>

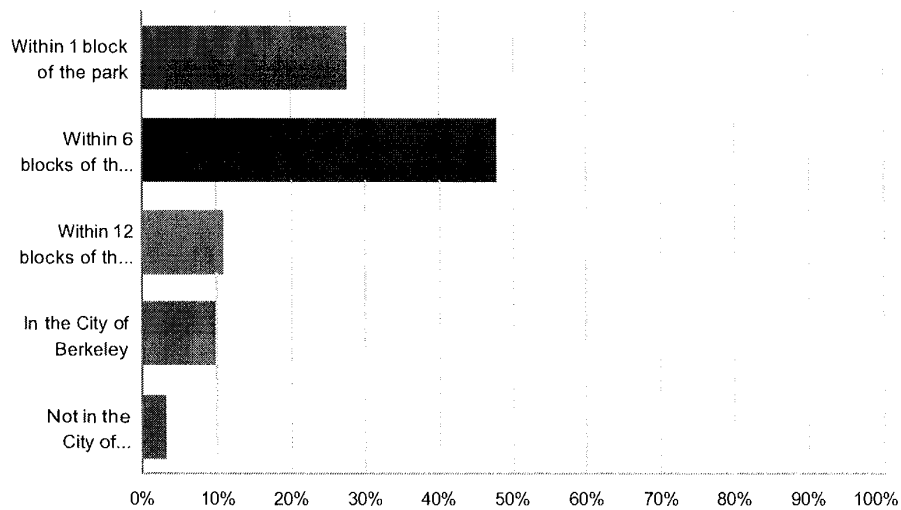


Willard Park Survey

SurveyMonkey

### Q2 Where to you live?

Answered: 300 Skipped: 0



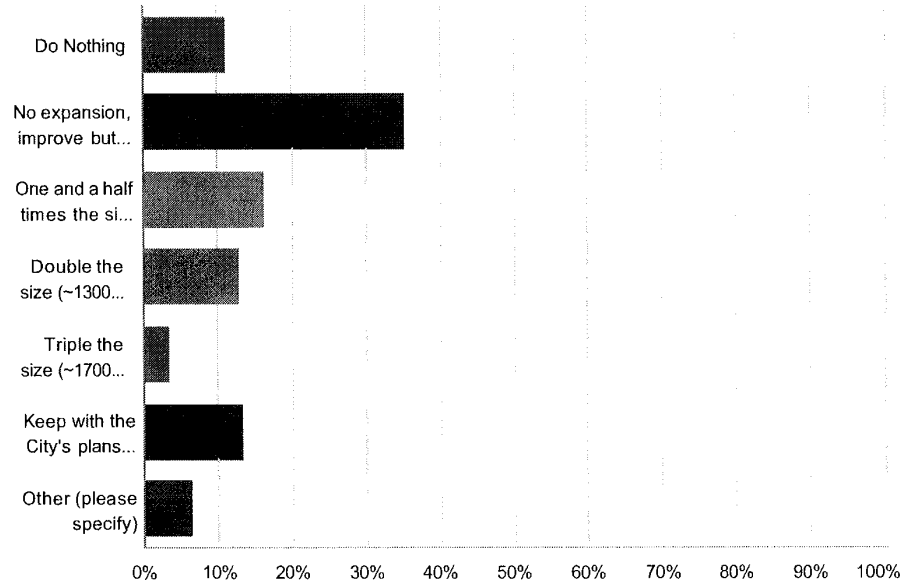
ANSWER CHOICES	RESPONSES	
Within 1 block of the park	27.67%	83
Within 6 blocks of the park	48.00%	144
Within 12 blocks of the park	11.00%	33
In the City of Berkeley	10.00%	30
Not in the City of Berkeley	3.33%	10
<b>TOTAL</b>		<b>300</b>

Willard Park Survey

SurveyMonkey

### Q3 What size Club House would you like to see?

Answered: 299 Skipped: 1



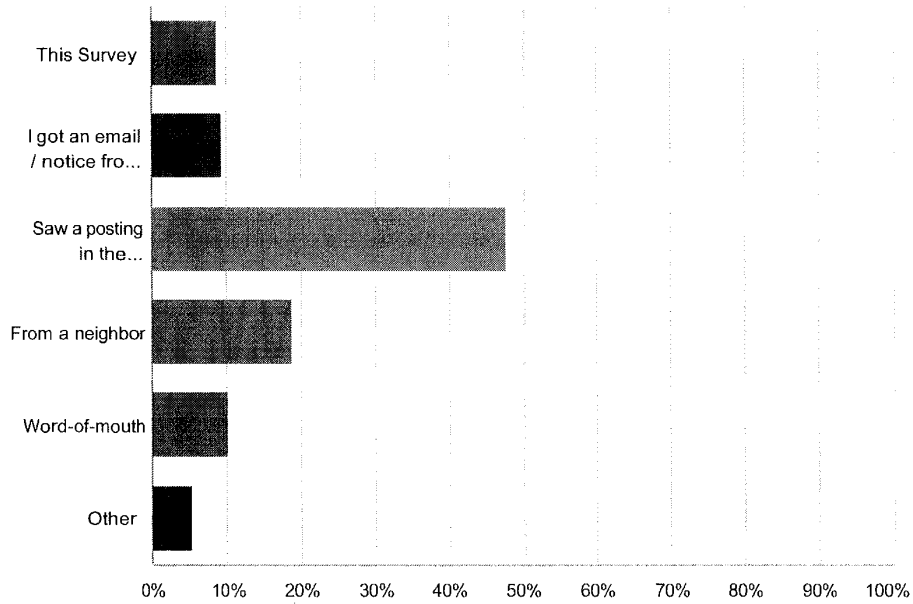
ANSWER CHOICES	RESPONSES	
Do Nothing	11.37%	34
No expansion, improve but keep the same size	35.45%	106
One and a half times the size ( ~850 square feet)	16.39%	49
Double the size (~1300 square feet)	13.04%	39
Triple the size (~1700 square feet)	3.68%	11
Keep with the City's plans (~5000 square feet)	13.38%	40
Other (please specify)	6.69%	20
<b>TOTAL</b>		<b>299</b>

Willard Park Survey

SurveyMonkey

### Q4 How did you find out that this is being planned?

Answered: 300 Skipped: 0



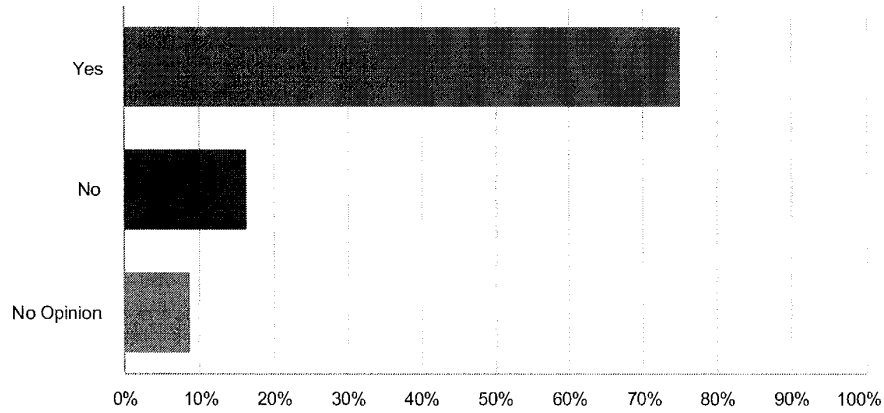
ANSWER CHOICES	RESPONSES	
This Survey	8.67%	26
I got an email / notice from the City	9.33%	28
Saw a posting in the neighborhood	47.67%	143
From a neighbor	18.67%	56
Word-of-mouth	10.33%	31
Other	5.33%	16
<b>TOTAL</b>		<b>300</b>

Willard Park Survey

SurveyMonkey

### Q5 Do you support a public bathroom in the park (separate from the Club House)?

Answered: 300 Skipped: 0



ANSWER CHOICES	RESPONSES	
Yes	75.00%	225
No	16.33%	49
No Opinion	8.67%	26
<b>TOTAL</b>		<b>300</b>

# **EXHIBIT B**

<b>TY OF BERKELEY INITIATIVE ORDINANCE</b>	
<p><b>L</b> MEASURE L: Shall an ordinance be adopted to require voter approval of non-recreational uses of parks or open space and require acquisition of open space controlled or leased by the City if acquisition is the only means of preserving the open space?</p> <p>Financial Implication: Increase in landscape assessment fees; acquisition costs unknown.</p>	YES
	NO

**FULL TEXT OF MEASURE L**

LET IT HEREBY BE ORDAINED that an Ordinance shall be passed which shall provide:

**THE BERKELEY PUBLIC PARKS AND OPEN SPACE PRESERVATION ORDINANCE:** PROPOSAL FOR AN ORDINANCE TO REQUIRE THE BERKELEY CITY COUNCIL TO PRESERVE AND MAINTAIN THE PUBLIC PARKS AND OPEN SPACE WHICH EXIST IN BERKELEY, AS WELL AS TO ACQUIRE AND MAINTAIN PUBLIC PARKS AND OPEN SPACE IN THE CENSUS TRACTS AND NEIGHBORHOODS OF BERKELEY HAVING LESS THAN THE MINIMUM AMOUNT OF OPEN SPACE RELATIVE TO POPULATION (2 ACRES PER 1,000) IDENTIFIED IN THE BERKELEY MASTER PLAN OF 1977; AND TO REQUIRE THE CITY TO SUBMIT TO A POPULAR VOTE ALL PROPOSALS TO WITHDRAW FROM RECREATIONAL USE PUBLIC PARKS OR PUBLIC OPEN SPACE.

**FINDINGS:**

WHEREAS the Berkeley Master Plan of 1977 (hereinafter Master Plan) provides for a minimum standard of two acres of public open space per 1,000 persons and identifies specific Berkeley census tracts as having high population density and high open space demands, and attainment of the minimum standard is jeopardized by continued loss of Public open spaces.

WHEREAS the City of Berkeley is the second most densely populated city in California, undeveloped land is at a high premium in Berkeley, there are significant pressures to convert City owned or controlled open space to permanent or long-term non-park, non-open space uses and there exists a clear and present emergency in that the threatened loss of open space, parks and recreational opportunities in the neighborhoods in Berkeley, will cause irreparable damage to the health and welfare of Berkeley residents.

WHEREAS the Berkeley City Council has failed to provide and fund the Master Plan minimum standard of public parks and open space in every Berkeley neighborhood, and in particular in those census tracts having high park and open space requirements.

WHEREAS, specific procedures and directives to the Berkeley City Council are necessary to insure that the Master Plan's minimum park and open space goals are not rendered impossible through the continued loss of public open spaces;

**VOTER AUTHORIZATION PROCEDURE**

Section 1: That no public parks (hereinafter defined) or public open space (hereinafter defined) owned or controlled or leased by the City of Berkeley or agency thereof, shall be used for any other purpose than public parks and open space, without The Berkeley City Council first having submitted such use to the citizens for approval by a majority of registered Berkeley voters voting at the next occurring general election.

**FUNDING LEVELS TO ALLOW FULL USE**

Section 2(a): That wherever public parks and open space currently exist in Berkeley, such use shall continue and be funded at least to allow the maintenance of the present condition and services. (b) That all undedicated or unimproved open space owned or controlled by the City of Berkeley (including land held by the City in trust) shall be retained and funded by the Berkeley City Council to enable public recreational use of those lands. (c) That those census tracts containing less than the Master Plan provision of two acres of parks and open space per 1,000 population shall be singled out as having a high priority for funding the acquisition, development and maintenance of parks and recreational facilities.

**(j) DEFINITIONS**

Section 3(a): **Public parks** shall be defined as City of Berkeley parks, public school playgrounds or lands held in trust by a public entity, which have been formally dedicated to permanent recreational use by the City of Berkeley, and funded for recreational use by City of Berkeley public funds.

Section 3(b) **Public open space** shall be defined as all City of Berkeley parks, public school playgrounds, and vacant public land, whether dedicated formally to park use or being used de facto as open space with recreational use or potential use on or after January 1, 1985.

**ADOPTION OF THIS ORDINANCE**

Section 4(a): If the petition accompanying this proposed ordinance is signed by the number of voters required by the Berkeley City charter, Article XIII, Section (3) or (4) or (5), the Berkeley City Council is hereby directed to submit this ordinance forthwith to the vote of the people pursuant to the appropriate Charter Section that applies to the highest number of voter signatures certified by the City Clerk, unless the Council passes this ordinance pursuant to the Charter, Article XIII, Section (3)(a).

**RETROACTIVITY**

Section 5(a): Upon passage of this initiative, all actions taken on or after January 1, 1985, by the Berkeley City Council, Housing Authority, or any agency of the City of Berkeley which contravene the provisions herein shall be declared null and void.

Section 5(b): Upon passage of this initiative, all actions, even administrative, taken by the Berkeley City Council, or Housing Authority or agency of the City of Berkeley occurring after the date this initiative is certified for placement on the next occurring general election ballot, which actions are not in full conformity with this Ordinance, shall be declared null and void.

**SEVERABILITY**

Section 6: If any provision of this Ordinance or the application thereof to any person or circumstances is held invalid, such invalidity, shall not affect other provisions or applications of the Ordinance which can be given effect without the invalid provision or application and, to this end, the provisions of this Ordinance are severable.

**BERKELEY CITY ATTORNEY ANALYSIS OF MEASURE L**

- The initiative ordinance would have the following effect:
1. Require that all existing public parks and vacant public land, either formally or informally devoted to recreational use after January 1, 1985, be retained and maintained at their present level of service. This requirement would only apply to land owned or controlled by the City of Berkeley, since the City does not have the authority to regulate land owned by other public entities such as the school district or the University of California. The Berkeley Redevelopment Agency and the Berkeley Housing Authority are independent state agencies and thus would be immune from regulation in this manner.
  2. Require prior voter approval if such City of Berkeley public parks or open space are to be used for any other purpose. This measure requires the City to acquire land it does not presently own, if acquisition is the only means to retain the land as open space or public park. As of the date this analysis was prepared, several City parks are owned by others, including: sections of Ohlone Park, leased from Bay Area Rapid Transit District; six school parks owned by the Berkeley Unified School District and maintained, in part, by the City; and Douglas Park on Dwight Way which is owned by the University. The City has plans underway to acquire the remaining section of Ohlone Park.
  3. Census tracts that do not meet the Master Plan open space requirements will have priority for the funding, acquisition, development and maintenance of parks and recreational facilities:

**Financial Implications**

Currently park maintenance is funded by fees through the Landscape Assessment District. Increase in fees will be required to maintain additional land. Costs to acquire land owned by others is unknown at this time, but may be significant.

**ARGUMENT IN FAVOR OF MEASURE L**

Approval of this citizen's initiative ordinance will allow Berkeley Voters to directly participate in decisions to change the use of Public Parks and Open Space.

Berkeley's parks and public open spaces are highly used and valued by all parts of the community. They help provide for the health, fitness, children's play, entertainment, and recreational needs of all citizens. Decisions to reduce our presently insufficient number of parks belong on the ballot where all citizens can express their opinion with their vote.

This initiative ordinance requires that the voters must approve new uses for city lands held in public trust. It does not limit or prohibit any potential new uses approved by the majority of the voters.

Approval of this ordinance would certify that Berkeley Census tracts that presently contain less public open space than the Master Plan standard of two acres per 1,000 residents be given priority funding in acquisition, development and maintenance of parks/recreational facilities. It will help make distribution of parks more equitable throughout Berkeley. This is a minimal standard, since Berkeley has fewer parks than state and national averages.

The provisions of the Master Plan combined with the approval of Measure Y (1974) park funding, strongly suggests that the Citizens of Berkeley believe that Public Parks and Open Space need expansion. Since there is no indication that Berkeley has changed its opinion, it is all the more appropriate to require voter approval when potential development removes parks and open space called for in the Berkeley Master Plan.

You can help Preserve Berkeley's parks and open space by voting YES on Measure L.

s/Martha Nicoloff, Co Author, Neighborhood Preservation Ordinance

s/Clifford Fred

s/Dorothy Bryant

s/Carroll B. Williams, Former Berkeley School Director

s/John G. Cecil, Chair, Preservation Initiatives Committee

**REBUTTAL TO ARGUMENT IN FAVOR OF MEASURE L**

The need for parks is a serious issue which should not be the subject of the scare tactics employed by the proponents of Measure L.

City parks are designated in the Master Plan for recreational use. Contrary to implications made by the proponents of this measure, no one can recall any City plan-past, present, or future-to reduce the number of parks serving Berkeley's recreational needs. Open space, sometimes a vacant lot, on the other hand, is usually held by owners other than the City. They may, or may not, have plans for future use of their property.

The real reason for Measure L is the Housing Authority's plan to build 12 single-family townhouses for low income families on a small portion of School District property at Savo Island (MLK, k Way between Derby and Ward). The remaining piece of land is large enough to accommodate a football field. The neighborhood will still be able to enjoy the use of this open space.

Measure L does more than require a vote for new uses for City lands held in public trust. It requires the City to acquire land. But where will the money come from? Given the tremendous federal budget cuts to municipalities and the demands on the City's budget, from what other City services will the trade-off come? And given the pressure of Measure L on the City, property owners would be foolish to negotiate.

If we want additional parks, someone has to pay. And since we will ultimately pay, we should know the cost before we make such an important decision.

Don't let the proponents of this measure scare you into believing that our parks will disappear. Quite honestly, they won't.

**VOTE NO ON MEASURE L**

s/Wesley E. Hester, Chair, Council Committee on Revenue and Finance

s/Arlene Irlando, Member, Berkeley Chicano/Latino Network

s/Maudelle Miller Shirek, Berkeley City Council

s/Stacy Wilson, Chair, Citizens Budget Review Commission

s/Carole K. Davis, Former Vice-Mayor

**ARGUMENT AGAINST MEASURE L**

On its face as a statement of community values, Measure L seems harmless. What could be wrong with wanting additional parks? However, the difference between the outcome of Measure L and the kind of program which can come from a thoughtful parks proposal such as Measure Y (1974) is a budget-a specific amount dedicated to acquiring and maintaining parks and open space.

In 1974 voters passed a park acquisition, renovation and development ordinance: Measure Y. It raised more than \$5 million. As a result, the City was able to create 9 new parks and 8 parks on school grounds. That measure was a direct result of the recognition that Berkeley was deficient in park space and was able to accomplish what it did because it included a budget.

As a community we are stretched thin in trying to fund a variety of City Services ranging from police services to sidewalk repair. New parks and additional open space cost money (if and when the City can get title to the property. In fact, this measure may well prejudice City negotiations with landowners who will use this measure in their bargaining. The proponents of Measure L are irresponsible in offering this proposal-without including the means by which to finance it. They have made promises but have not provided any way of keeping them. **The citizens deserve to know how the money will be obtained, and what the price tag will be.**

s/Hynetha Hewitt, Parks and Recreation Commissioner

s/Carole Davis, Former Vice-Mayor

s/Maudelle Shirek, Berkeley City Council

s/Carole Lewis, Social Services Director

s/Rich Illgen, President, Planning Commission

**REBUTTAL TO ARGUMENT AGAINST MEASURE L**

The opponents of Measure L have missed its major provision.

Measure L prevents the City Council from using the existing public parks and open spaces for any new use without the approval of the community.

If the Council wants to remove/develop existing public parks and open space, prior voter approval is required.

At this time, no law prevents our elected officials from making such decisions on the ballot.

Measure L also requires that the minimal standard for parks already in existence be observed in areas that presently have less than their "fair share" of parks called for in the Berkeley Master Plan of 1977.

We do not agree with the opponents financial argument.

Despite the impact of the proponent's argument, responsibility for implementation and financing the Master Plan has not shifted from Council and Staff to individual community members. It should be noted that **determined citizens who believe in the importance of parks and recreational facilities in everyone's quality of life**, have and will continue to assist in the search for sources of new and additional funding. Measure L ensures the **community will be directly involved** in decisions to re-use existing Public Parks and Open Space by placing every proposed development plan on the ballot and **letting the voters decide** between parks and development.

**Vote YES on Measure L.**

- s/Michael Winter, Executive Director, Center for Independent Living
- s/Pamela I. Ferguson
- s/Gloria A. Belsky
- s/John G. Cecil, Chair, Preservation Initiatives Committee
- s/Janet M. Maestre

CITY OF BERKELEY INITIATIVE ORDINANCE	
<b>M</b> MEASURE M: Shall an ordinance be adopted requiring voter approval for non-educational and/or non-recreational uses of Berkeley Unified School District property? Financial Implications: Unknown.	YES
	NO

**FULL TEXT OF MEASURE M**

BE IT ORDAINED BY THE PEOPLE OF THE CITY OF BERKELEY:

**FINDINGS:**

**WHEREAS** the Berkeley City Council and Berkeley Housing Authority have attempted to acquire, develop, use or approve Berkeley Unified School District property for non-educational purposes.

**WHEREAS** the Berkeley Unified School District (hereinafter School District) has been given a public trust in real property to use for the educational benefit of the Citizens of Berkeley.

**WHEREAS** the School District has purchased and developed real property with monies received in trust and intended to be expended for the educational benefit of the citizens of Berkeley, which property, if lost to the originally intended and dedicated educational and related recreational uses, will be unavailable or irreplaceable when needed for those uses.

**WHEREAS** there is a potential that use or development of School District property for non educational uses will ultimately act to the detriment of the Citizens of Berkeley and will violate the wishes of a majority of the Citizens of Berkeley regarding the use of that property.

**WHEREAS** these actions have been proposed and are being undertaken without the approval of the voters of Berkeley.

**WHEREAS** there exists a clear and present emergency in that the threatened sale or long-term lease of School District real property and buildings for non-educational or non-recreational use will cause irreparable damage to the health and welfare of Berkeley residents.

**LET IT BE ENACTED BY THE PEOPLE OF THE CITY OF BERKELEY THAT AN ORDINANCE BEADOPTED, ENTITLED "VOTER AUTHORIZATION PROCEDURE"**

Section 1: That should the Berkeley City Council, Housing Authority or any other agency of the City of Berkeley propose to acquire, or approve the use of, School District property (hereinafter defined) for other than educational or existing recreational purposes, and should that approval or use require the purchase, sale or long-term encumbrance (hereinafter defined) of that property, the Berkeley City Council shall first submit that specific proposal, detailing the specific use, transaction sought and the site involved, after being approved officially by the appropriate City agency and the Berkeley City Council, to the Citizens for approval by a majority of registered Berkeley voters voting at the next occurring general election.

**DEFINITIONS**

Section 2(a): **School District property** shall be defined to include the land and buildings which have been used by the Berkeley Unified School District for educational purposes, child-care, recreation or School District support services (including maintenance) at any time since January 1980.

Section 2(b): A **long-term encumbrance** shall include a lease whose term is greater than five years or where options are granted such that the term may be extended beyond five years by option of the lessee. In addition, a long-term encumbrance shall include any mortgage transaction which pledges the property as security.

**ADOPTION OF THIS ORDINANCE**

Section 3(a): If the petition accompanying this proposed ordinance is signed by the number of voters required by the Berkeley City Charter, Article XIII, Section (3) or (4) or (5), the Berkeley City Council is hereby directed to submit this ordinance forthwith to the vote of the people pursuant to the appropriate Charter Section that applies to the highest number of voter signatures certified by the City Clerk, unless the Council passes this ordinance pursuant to the Charter, Article XIII, Section (3) (a).

**RETROACTIVITY**

Section 4(a): Upon passage of this initiative, all actions taken on or after January 1, 1985, by the Berkeley City Council, Housing Authority or any agency of the City of Berkeley which contravene the provisions herein shall be declared null and void.

Section 4(b): Upon passage of this initiative, all actions, even administrative, taken by the Berkeley City Council, Housing Authority or agency of the City of Berkeley occurring after the date this initiative is certified for placement on the next occurring general election ballot, which actions are not in full conformity with this Ordinance, shall be declared null and void.

**SEVERABILITY**

Section 5: If any provision of this Ordinance or the application thereof to any person or circumstances is held invalid, such invalidity shall not affect other provisions or applications of the Ordinance which can be given effect without the invalid provision or application and, to this end, the provisions of this Ordinance are severable.

**BERKELEY CITY ATTORNEY ANALYSIS OF MEASURE M**

The initiative ordinance would have the following effect:

1. Require the City Council to submit to the voters for prior approval any proposal to acquire, encumber or lease for a period longer than five years, or approve the use of property owned by the Berkeley Unified School District, if the property is not intended to be devoted to educational or recreational uses. Under current law, voter approval of such a proposal would be required only if the property was to be used for specified kinds of public housing and the City had exhausted its current voter approved authority to construct such units. The Housing Authority is an independent state agency implementing statewide laws and is not subject to this ordinance. Zoning or other City land use approvals of projects proposed by other private or public persons or entities would not be subject to prior voter approval under current case law.
2. Provide that any actions taken by the City Council or the Berkeley Housing Authority or other City agency after January 1, 1985, which contravene the ordinance in the above respect, are null and void. The Berkeley Housing Authority has entered into a long-term lease with the Berkeley Unified School District



*Attachment 2*

Attachment 2

## Your Neighbors Built this Tot Lot



Over the course of six years beginning in 1990, dozens of neighbors came together as Friends of Willard Park to improve this park, which had fallen into a sad state. Groups of volunteers enlarged the playing field and created the Derby/Hillegass corner entrance before moving on to construct the cobble-lined concrete paths and this tot lot. In the final phase of work neighbors contributed almost 5,000 hours on 88 days to install the pathway lights with stone bases, plant trees, and restore the circular bench at your right.

This work would not have been accomplished, and this lot would not be here for our children, without support from city staff, UC students, paid contractors, \$53,000 donated by the community and local businesses, \$253,000 from state and county funds, the design wisdom and guidance of landscape architect Michael O'Leary, and the vision and tenacity of one remarkable man. Bill Lipsky, a sometime salesman, programmer and student of Gurjieff, launched the Friends' efforts, organized meetings and work parties, made phone calls, cajoled contributors, found funds, and never gave up.



Bill Lipsky 1933-2011

Attachment 5

Opinion: Creating ample space for play at Willard Park

**OPINION****Opinion: Creating ample space for play at Willard Park**

The Willard Neighborhood Association urges the parks department to focus on a smaller clubhouse that could meet staff and children's needs.

By Rebecca Tracy

Feb. 04, 2022, 8:00 a.m.

**The T1 bond measure passed in 2016** allocates public funds for rebuilding the Willard Park clubhouse in Berkeley's south campus area. The design phase of this project is currently going forward, following the planning phase that included two periods for public commentary and input.

The current one-room clubhouse supports a robust after-school activity program, run by Berkeley Parks and Recreation Department, for elementary school-age children (accommodating up to 45), plus a summer recreation program for the same age group. Historically these programs fill up quickly once they are opened online for enrollment. The indoor clubhouse space at 580 square feet is small. The children spend most of their time outdoors. Organized games, active exploratory play, art and table games happen on the park's open lawn or the paved patio beside the clubhouse.

The children's program integrates with the many other daily uses of the park's open space — space that provides visual and physical respite to an increasingly densely populated neighborhood. Even with the children present, at least half the open space is available for informal adult games (soccer, volleyball, frisbee, etc.), small-group gatherings, martial-arts practice, sunset watching. At least three neighborhood preschool programs also use the park in the mornings for outdoor play.

Berkeley Parks Recreation & Waterfront Department preferred alternative for the clubhouse project calls for a much larger building that would provide three "community rooms," both for the children and additional community activities, that would entail 2,300 square feet of interior space. Additional elements include an office, storage space, restrooms, utility room and circulation space, making a total building area of 4,195 square feet, according to Wendy Wellbrock, project manager for the parks department. This proposed construction is seven times the footprint of the existing 580 square feet building and will reduce the open space in the park by 20%.

Rather than reduce the open space in Willard Park with such a large "community center," the Willard Neighborhood Association (WNA) urges the Parks Recreation & Waterfront Department to focus on a smaller clubhouse that could meet staff

Privacy - T

Opinion: Creating ample space for play at Willard Park

and children's needs, with emphasis on supporting outdoor learning, social interaction, and the physical benefits of spending time in the open air.

Specific concerns voiced by the neighborhood association at public hearings (three Zoom meetings and two in-person meetings in Willard Park during the summer and fall of 2021) called for a significantly reduced clubhouse footprint, both to preserve the outdoor emphasis of the children's programs and to retain maximal open space for public use.

These concerns were echoed in a survey conducted by the WNA that generated 347 responses (more than 70% of the respondents live within six blocks of Willard Park). The vast majority of the respondents asked for a significantly smaller clubhouse than the preferred alternative presented to the city council by the parks department in December. The council voted to approve moving the project forward to the design phase at that meeting.

Outdoor play is a key developmental component. Based on my 27 years of experience as center director in UC Berkeley's Early Childhood Education Program, I can verify that children who have spent six hours in a schoolroom need space to run, play, explore and try new physical and interpersonal skills. To plan a park clubhouse around "classroom" activities is not appropriate. Instead, the outdoor setting can be configured to provide space for quiet self-directed occupations (reading, drawing, exploring materials like clay and water) as well as for active supervised games (ball games, tag and relay races, etc.) or games of the children's own devising that build on their imaginative and negotiation skills.

An example of such a "fresh-air" environment can be seen at UC Berkeley's Harold Jones Child Study Center (2425 Atherton St.), built in 1960 by Joseph Esherick, where extended semi-shelters in each of two play yards allow all sorts of active learning to take place outdoors, even on rainy days. The California Academy of Science's newly opened "**Wander Woods**" is another example of a learning environment free of "classroom" constraints.

WNA hopes the City Council will reconsider their vote and send the project back to the Berkeley Parks, Recreation & Waterfront Department for further work in planning a clubhouse that more nearly matches the neighborhood's demonstrated desires for open space.

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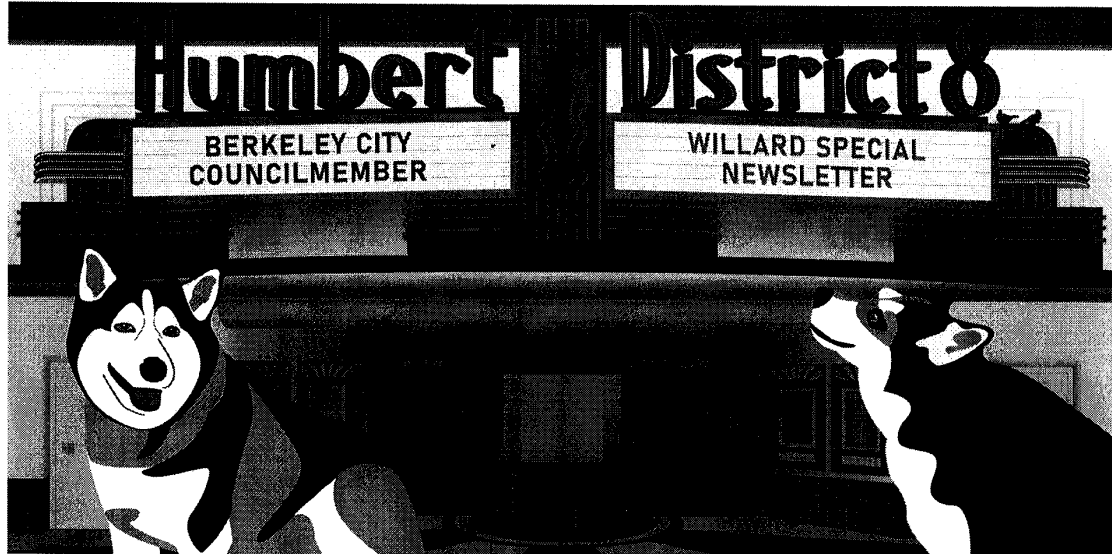
*Rebecca Tracy is on the Steering Committee of the Willard Neighborhood Association. She has lived in the Willard Park neighborhood since 1968 and worked in the field of Early Childhood Education since 1963, much of it as a center director with UC Berkeley's Early Childhood Education Program.*

Willard Park Clubhouse Special Redux

## Attachment 4a

**From:** mhumbert@cityofberkeley.info,  
**To:** ProBerk@aol.com,  
**Subject:** Willard Park Clubhouse Special Redux  
**Date:** Wed, Apr 26, 2023 11:54 am

Having trouble reading this email? [View this email in your browser](#)



## Willard Park Clubhouse Special Edition

Hello, Vincent!

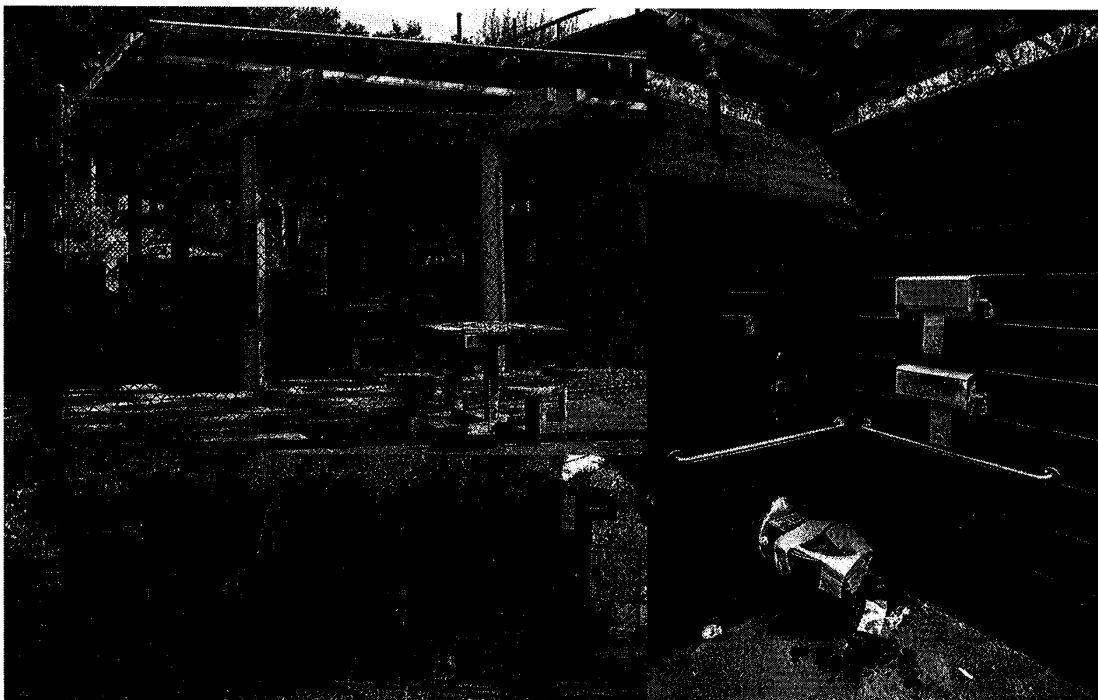
I am re-sending former Councilmember Lori Droste's special edition newsletter about the Willard Park clubhouse project because a few of you have some questions. Unfortunately, some false information has been circulated so I want to make sure you have the facts. I am going to provide a lot of detail in the second part of this newsletter, but please feel free to read the first few paragraphs to get a summary of the project's history, present status, and the current clubhouse plans.

I have not expressed a position on this project yet but I encourage you to contact ZAB at [zab@cityofberkeley.info](mailto:zab@cityofberkeley.info) if you would like. The meeting is on Thursday, April 27, at 7:00. You can log on remotely here: <https://us06web.zoom.us/j/82805274623>

Willard Park Clubhouse Special Redux



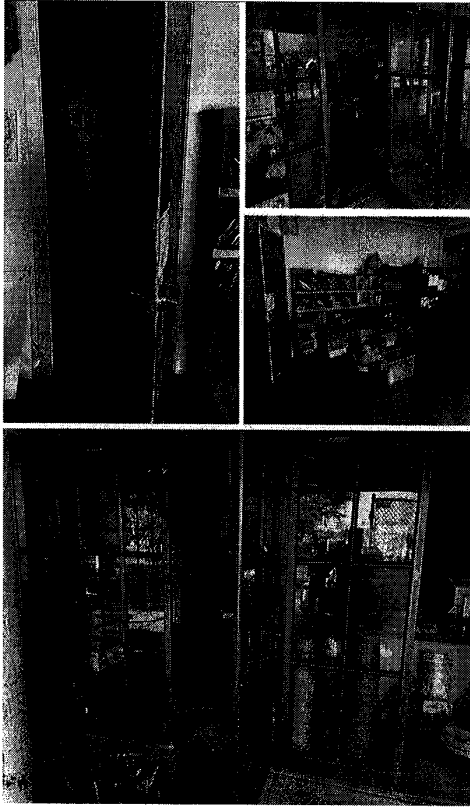
City staff and the District 8 office have been engaged in an ongoing, multi-year public engagement process to learn what parents, kids, neighbors, and other residents of South Berkeley would like to see with the Willard Clubhouse redesign.



The existing clubhouse has scarcely changed since it was completed in 1971 and only manages to serve 45 kids at a time by using the outdoor space. With only one room and 565 square feet total, the indoor space alone only has capacity for about 25 kids.

## Willard Park Clubhouse Special Redux

The proposed new design preserves green space at Willard Park, while offering an expanded indoor space with a kitchen, an office, improved ADA accessibility, a new public restroom, and new fully indoor restrooms.



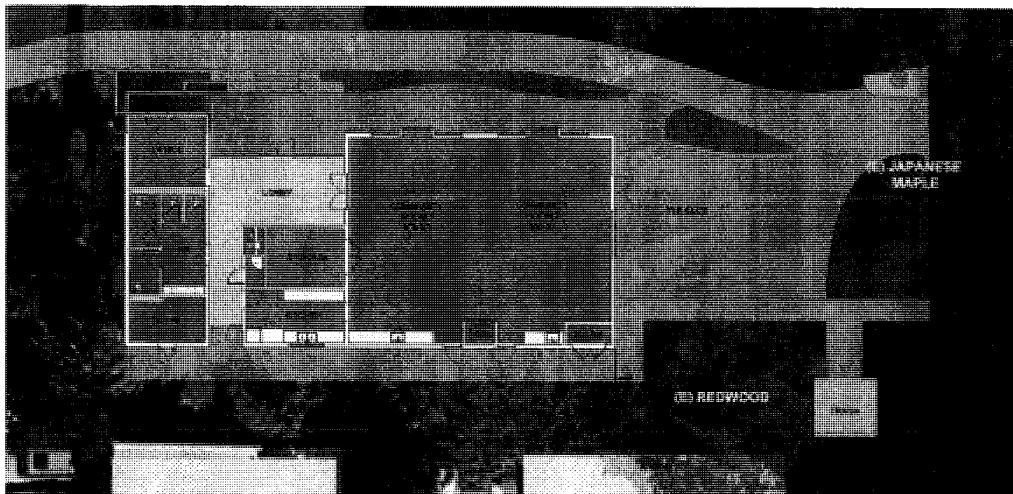
A few immediate neighbors expressed a desire for a smaller space. Across the board, the City heard strong support for preserving green space at Willard, which was always part of the plan. Staff took these initial comments and ongoing feedback to heart as they undertook an iterative design process with neighbors, other stakeholders, and project architects.

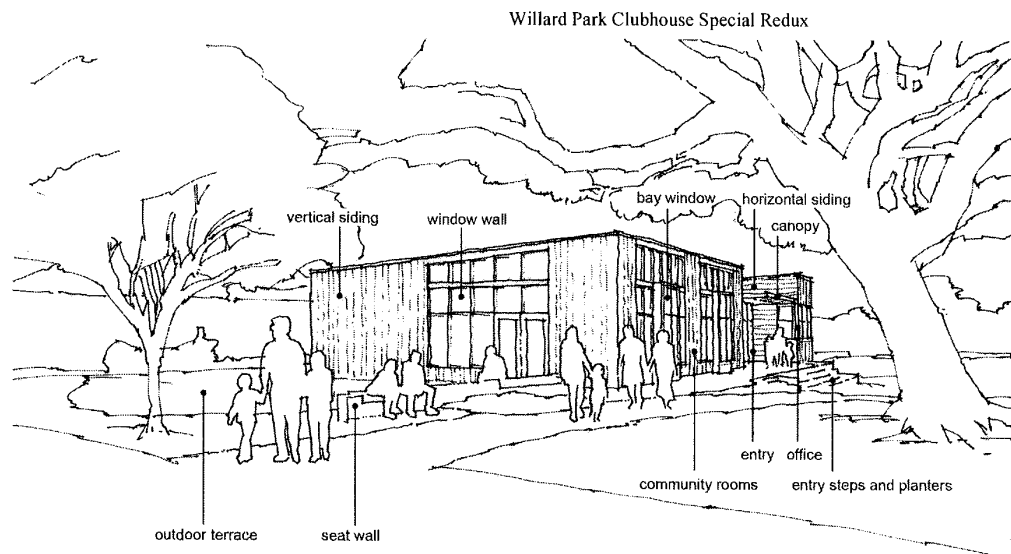
Although the initial design was bigger, city staff have scaled back the project due to construction costs. (You can visit the [project webpage here](#).) This updated design accounts for increased construction costs by slightly reducing the overall footprint of the building, while still maintaining key new features and adequate space for the envisioned programming.

The City heard broad support from parents, PTAs, and others in South Berkeley for a larger and improved space that would be capable of hosting more afterschool programs and community events. These programs are vital to Berkeley's low-income children and families. City staff and the majority of community participants believe the proposed upgrades will make the clubhouse a stronger asset for the neighborhood, and a better and safer place for afterschool activities, which are currently scarce in Berkeley.

The Clubhouse will also serve the Willard neighborhood and South Berkeley by creating a more usable community space. This project is a centerpiece of the City's efforts to achieve recreational equity for South Berkeley children—something Councilmembers Ben Bartlett and Lori Droste and parks commissioner Caitlin Lempres Brostrom advocated for many years ago. At the same time, the project proposes to preserve the green space at Willard Park, with the new clubhouse remaining tucked into a corner of the park.

Willard Park Clubhouse Special Redux





Thank you to everyone who has participated in the community process to envision this space. While no community process ever has 100% agreement, the resulting proposal represents what City staff heard from the majority of participants in the public process. I also want to thank City staff and the project architects, who have shown incredible dedication to this process and sensitivity to the community's desires and concerns for the project. It is very important to me that we continue to hear from you about this project!

If you would like additional information about the new clubhouse, and to see replies to some common questions and myths, please read on!

As I mentioned, I am keeping an open mind about this proposed project but I would love to hear from you as well! Please feel free to email me at [mhumbert@cityofberkeley.info](mailto:mhumbert@cityofberkeley.info)

Best,  
Mark

## Why is a new clubhouse being proposed?

- The Clubhouse was built in 1971 and has one room and 565 square feet of space. The current clubhouse can serve up to 45 children in its programs, even when fully using its outdoor space—the interior space only has a capacity of 25.
- With a larger space, the Clubhouse could potentially meet more community needs. Enrollment for after school and day camp programs typically fills up fast, with a wait list of typically around 25 children. Staff, parents, PTA equity liaisons, and community members all emphasized the need for a larger space to support the children's programs, and potentially be a place for other community meetings, classes, and activities.
- Recreational programs at Berkeley's parks, community centers, and clubhouses are among the most affordable and accessible to under-resourced communities



## Willard Park Clubhouse Special Redux

in Berkeley.

- This project will include new public restrooms and a new indoor restroom. Currently, there is a one-stall, open roof restroom with just a chain to indicate if it is in use. This project would make the public restroom more accessible to the community by relocating it away from the clubhouse and changing it into a prefabricated building with two gender-neutral stalls. Meanwhile, children and others using the clubhouse will have fully indoor restrooms.
- The current clubhouse is not fully ADA compliant. Ensuring that City facilities are accessible to all is an equity issue and essential for complying with federal law.

## What exactly is being proposed?

Community members and staff identified priorities and concerns about a new clubhouse and created three initial designs based on that feedback. After extensive community outreach, the current design includes:

- Expanding the footprint of the single story clubhouse to meet greater demand and serve more children. It will not take over the park's central green space and it is **not two stories**.
- Maintaining a similar patio size but relocating it to make it more visible and integrate it with the adjacent clubhouse and surrounding green spaces.
- Moving and updating the public restrooms to make them more accessible.
- Additional amenities such as a kitchenette, an office, a lobby area, increased storage, community meeting rooms with a removable divider to create one large room, and new landscape features.
- Restrooms within the new clubhouse space specifically for after school and summer camp participants and other building users.
- A terrace area for outdoor programming. Classrooms will still have direct access to park lawn space.

## Who took part in the community feedback process?

Staff gathered feedback through community meetings, focus groups, online surveys, and emails from:

- Members of the general public
- Families enrolled in the afterschool care programs
- Friends of Willard Park
- City Councilmembers
- Parks Commissioners
- Parks and Recreation staff

## Willard Park Clubhouse Special Redux

- Maintenance staff

## What are some myths about the project?

- **“The project is a bait and switch! It was once billed as a remodel and now staff is creating a community center.”**

At no time did anyone suggest that the clubhouse was going to remain the same size. The project description always included an expansion and replacement of the existing clubhouse because of stated concerns that the size was insufficient for the community's needs. Community centers are intended for people in the community and not parties with “loud music.”

- **"The project includes a ‘corporate-style office park.’”**

This claim is categorically false. At no point were there any plans for an office park on the site, and claims to the contrary are pure misinformation.

- **The proposed clubhouse will "take over green space," "reduce open space by 20%," have a “significant impact on open space in the park,” or "result in a net loss of trees."**

This is not, nor was it ever, correct. The project's impact to the amount of green open space in the park is negligible. In a small section, a path is moved northward a couple feet—less than 1% of the open green space in the park. The ZAB hearing on Thursday requests a variance to increase the amount of green space by pulling the building back four feet. Additionally, the city plans on planting over 30 trees in the area. The design was specifically created to save the oak, the maple, and the redwood trees.

- **“The proposal is too big and against community wishes!”**

While a handful of people didn't want a size increase, focus group participants were in overwhelming support of the project and many community members and parents wanted an even bigger project than what was initially envisioned. Now, with the recent revisions, the footprint is even smaller.

- **“The new space is unsafe for children.”**

Children currently are obscured from view in the current configuration. The new design will place children in view of adult supervision and is protected from the street. PTA presidents from Malcolm X, Emerson, John Muir, and Sylvia Mendez have all expressed support for the project and would not have done so if it were unsafe for kids.

- **“Only 58 people were surveyed.”**

Over the course of planning for this project, hundreds of community members and parents took part in the public engagement for this project. There were five

## Willard Park Clubhouse Special Redux

public meetings and eight focus group meetings. Groups that were consulted included Parent Teacher Associations, the Willard Neighborhood Association, Friends of Willard Park, city commissioners, councilmembers, neighbors, families in the program, and park maintenance staff. Staff mailed 2,685 notices and consultants went door to door as well. Lori Droste also sent emails to her list of thousands of constituents asking for feedback and participation. Staff also canvassed park visitors during recreational events. The overwhelming sense from the majority of these participants was that they wanted an expanded and improved clubhouse at Willard Park.

- **“These resources could have been used to open Willard Pool”**

Sadly, no. The Willard Pool property is owned by the Berkeley Unified School District, which has given no indication that it intends to sell or re-lease the property back to the City for pool use. Additionally, when given the option to fund re-opening of Willard Pool in 2010 and 2012 (through aquatic-focused bond measures), Berkeley voters sadly declined to support the ballot measures. On the other hand, Berkeley voters did support T1, which is the source of funding for the Willard Clubhouse update. There is not funding to reopen the pool in Willard Park and the funds for the Willard Clubhouse cannot be used for that purpose.

- **“The facility is only available if you pay for it.”**

The City frequently makes free and reduced-cost programming and use of its buildings available for community events and for low-income families. The City of Berkeley Recreation Division has among the least expensive childcare in the city.

- **“The new bathroom is against community wishes and takes up green space.”**

The new separate bathroom will not take up green space and was the favored location selected in the multitude of public meetings. Currently, the recreational staff and children have to share a bathroom with park goers and the new configuration allows the children in recreational programs to have a new bathroom inside the facility and a separate bathroom for the public.

- **“The city is planning on creating an extensive 60 foot drop off zone, eliminating parking.”**

The city currently has white curb drop off zone already in the area so the additional new drop off space is 37', a loss of about two parking spaces. But it is unclear even if the 60' drop off zone is needed. I have asked staff for more information on this.

- **“The new plans do not have a budget attached and funds are not sufficient.”**

Willard Park Clubhouse Special Redux

This project has always had a budget attached with a cost estimate and there is currently enough money to cover the project.



**Office of District 8  
Councilmember Mark Humbert**

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2180 Milvia Street, Fifth Floor  
Berkeley, CA 94704  
United States

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*In an Emergency: Dial 911, or (510) 981-5911*

*Police Non-Emergency: (510) 981-5900*

*Sign up for emergency notifications on [AC Alert](#)  
and crime prevention/updates on [Nixle](#)*

*For more information, visit [the City of Berkeley website](#)*

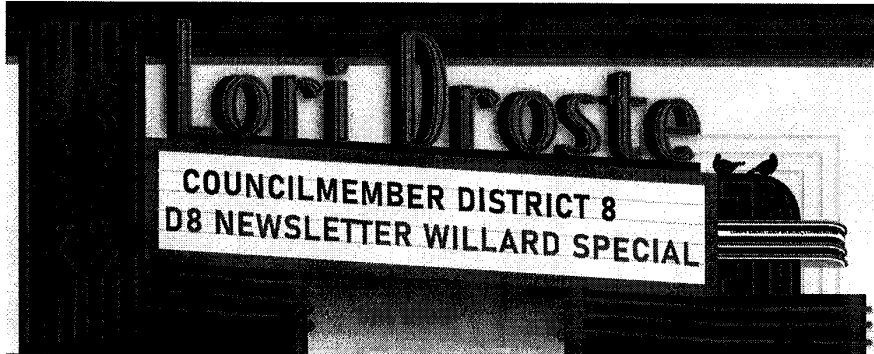
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## Attachment 46

**From:** ldroste@cityofberkeley.info,  
**To:** ProBerk@aol.com,  
**Subject:** Willard Park Clubhouse Special Edition! 🌿  
**Date:** Thu, Sep 29, 2022 10:17 am

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## Willard Park Clubhouse Special Edition

Hello, Vincent!

I am sending this special edition newsletter because I'm excited to give you an update about the planned improvements to the Willard Park clubhouse! I am going to provide a lot of detail in the second part of this newsletter, but please feel free to read the first few paragraphs to get a summary of the project's history, present status, and the current clubhouse plans.



City staff and my office have been engaged in an ongoing multi-year public engagement process to learn what parents, kids, neighbors, and other residents of South Berkeley would like to see with the Willard Clubhouse renovation. We heard broad support from parents, PTAs, and others in South Berkeley for a larger and improved space that would be capable of hosting more afterschool programs and community events. We heard from a few immediate neighbors a desire for a smaller space. Across the board, we heard strong support for

preserving green space at Willard, which was always part of the plan. (Unfortunately, we also heard utterly false and unfounded accusations that the project could create a “homogenized corporate office” campus overtaking the grassy park.) Staff took these initial comments and ongoing feedback to heart as they undertook an iterative design process with neighbors, other stakeholders, and project architects.



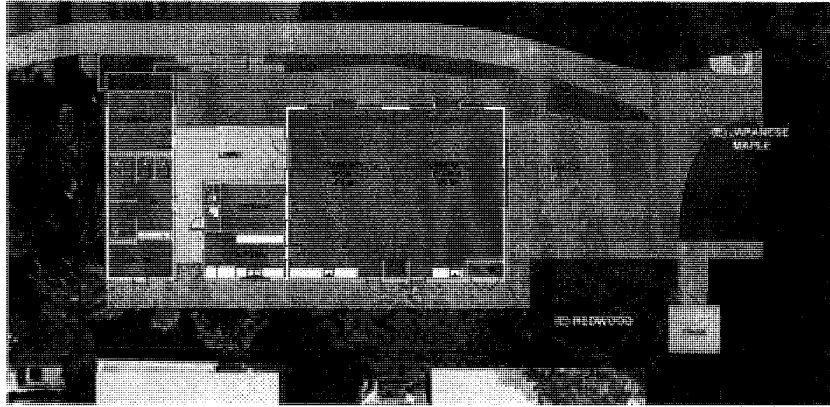
The existing clubhouse has scarcely changed since it was completed in 1971. It is only 565 square feet and with only one room, it can only serve about 45 kids at a time through the use of outdoor space—but the capacity of that room is only about 25. These programs are vital to Berkeley’s low-income children and families. The proposed new design preserves green space at Willard Park, while offering a dramatically improved indoor space with a kitchen, an office, improved ADA accessibility, and new public restrooms, as well as new fully indoor restrooms.

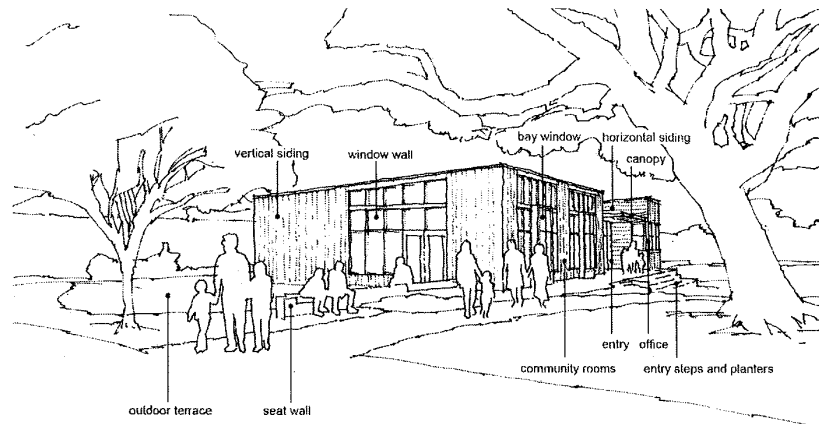
These changes will make the clubhouse a stronger asset for the neighborhood, and a better and safer place for afterschool activities for children, which are currently scarce in Berkeley. The Clubhouse will also serve the Willard neighborhood and South Berkeley by establishing a community space. At the same time, the project preserves the green space at Willard Park, with the new clubhouse remaining tucked into the corner of the park. The new clubhouse will also be better integrated with surrounding open areas. This will help beautify the southern boundary of the park and encourage more indoor/outdoor play and activities.



In consultation with the project architects, staff have just completed and are about to share a new design for the proposed clubhouse (new documents will be active on the [project webpage](#) on Friday). This updated design accounts for increased construction costs by slightly reducing the overall footprint of the

building, while still maintaining key new features and adequate space for the envisioned programming.





Thank you to everyone who has participated in the community process to envision this space. And an enormous thank you to City staff and the project architects, who have shown incredible dedication to this process and sensitivity to the community's desires and concerns for the project. It is very important to me that we continue to hear from you about this project—even if it is just to share how excited you are to see it finally complete!

If you would like additional information about the new clubhouse, and to see replies to some common questions and myths, please read on! Otherwise, thank you again for your feedback and involvement, and I look forward to seeing you in our new neighborhood clubhouse at Willard!

Best,  
Lori

### Why do we need a new clubhouse at Willard Park?

- The Clubhouse was built in 1971 and is long overdue for an update. With only one room and 565 square feet of space, the current clubhouse can only serve up to 45 children in its programs, even when using its outdoor space—the interior space only has a capacity of 25.
- With a larger space, the Clubhouse could meet more community needs. Enrollment for after school and day camp programs typically fills up fast, with a wait list of typically around 25 children. If the space were roomier, there would be greater capacity to meet that demand. Staff, parents, PTA equity liaisons, and community members all emphasized the need for a larger space to support the children's programs, and potentially be a place for other community meetings, classes, and activities.
- These programs are vital to under-resourced communities in Berkeley. Recreational programs at Berkeley's parks, community centers, and clubhouses are among the most affordable and accessible.
- This project will include new public restrooms and a new indoor restroom. Currently, there is a one-stall, open roof restroom with just a chain to indicate if it is in use. This project would make the public restroom more accessible to the community by relocating it away from the clubhouse and changing it into a prefabricated building with two gender-neutral stalls. Meanwhile, children and others using the clubhouse will now have the comfort, privacy, and convenience of fully indoor restrooms.
- The current clubhouse is not fully ADA compliant. Ensuring that City facilities are accessible to all is an equity issue and essential for complying with federal law.



## What exactly is being proposed?

Community members and staff identified priorities and concerns about a new clubhouse and created three initial designs based on that feedback. After extensive community outreach, the preferred design includes:

- Expanding the footprint of the single story clubhouse to meet greater demand and serve more children. It will **not** take over the park's central green space.
- Maintaining a similar patio size but relocating it to make it more visible and better integrate it with the adjacent clubhouse and surrounding green spaces.
- Moving and updating the public restrooms to make them more comfortable and accessible.
- Restrooms within the new clubhouse space specifically for after school and summer camp participants and other building users.
- A terrace area for outdoor programming. Classrooms will still have direct access to park lawn space.
- Additional amenities such as a kitchenette, an office, a lobby area, increased storage, community meeting rooms with a removable divider to create one large room, and new landscape features.

## Who took part in the community feedback process?

Staff gathered feedback through community meetings, focus groups, online surveys, and emails from:

- Members of the general public
- Families enrolled in the afterschool care programs
- Friends of Willard Park
- City Councilmembers
- Parks Commissioners
- Parks and Recreation staff
- Maintenance staff

## What are some myths about the project?

- **"The project includes a 'corporate-style office park.'"**

This claim is categorically false. At no point were there any plans for an office park on the site, and claims to the contrary are pure misinformation.

- **"The proposed clubhouse will take over green space," reduce open space by 20%, or have a "significant impact" on open space in the park.**

This is not, nor ever was, correct. The project's impact to the amount of green open space in the park is negligible. It actually enhances existing open space by better integrating the proposed clubhouse and its patios into the surrounding areas of the park.

- **"The proposal is too big!"**

Focus group participants were in overwhelming support of the project and

many parents wanted an even bigger project than what was initially envisioned. Now, with the recent revisions, the footprint is smaller but will still be able to serve community members far better than the current clubhouse.

- **“Only 58 people were surveyed.”**

Over the course of planning for this project, hundreds of community members and parents took part in the public engagement for this project. There were five public meetings and eight focus group meetings. Groups that were consulted included Parent Teacher Associations, the Willard Neighborhood Association, Friends of Willard Park, city commissioners, councilmembers, neighbors, families in the program, and park maintenance staff. Staff mailed 2,685 notices and consultants went door to door as well. Staff also canvassed park visitors during recreational events. The overwhelming sense from the majority of these participants was that they wanted an expanded and improved clubhouse at Willard Park.

- **“These resources could have been used to open Willard Pool”**

Sadly, no. The Willard Pool property is owned by the Berkeley Unified School District, which has given no indication that it intends to sell or re-lease the property back to the City for pool use. Additionally, when given the option to fund re-opening of Willard Pool in 2010 and 2012 (through aquatic-focused bond measures), Berkeley voters sadly declined to support the ballot measures. On the other hand, Berkeley voters did support T1, which is the source of funding for the Willard Clubhouse update. There is not funding to reopen the pool in Willard Park and the funds for the Willard Clubhouse cannot be used for that purpose.

- **“The facility is only available if you pay for it.”**

The City frequently makes free and reduced-cost programming and use of its buildings available for community events and for low-income families. Without a doubt, this project will dramatically help families throughout Berkeley, many of whom are struggling with childcare options as recently reported by Berkeleyside. The City of Berkeley Recreation Division has among the least expensive childcare in the city. It is important that park users in South Berkeley have access to updated, affordable, beautiful, and safe facilities.

- **“Kids won’t be able to play outside.”**

Of course children need to play outside. Thankfully, the proposed clubhouse will in no way reduce opportunities for outside play. The clubhouse will actually enhance them by better integrating the clubhouse with adjacent outdoor areas. Sometimes kids need to play inside as well, especially during inclement weather or increasingly common days with smoke. Children may also need to have an ADA accessible bathroom as well. This clubhouse offers better and safer opportunities for indoor play when it is preferred/necessary.

**Once the city website goes live on Friday, even more questions will be addressed so stay tuned!**



ldroste@cityofberkeley.info (510) 981-7180  
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## Attachment 4C

**From:** MHumbert@cityofberkeley.info,  
**To:** proberk@aol.com,  
**Cc:** markh@humbertlaw.us,  
**Date:** Wed, Apr 19, 2023 4:26 pm

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Dear Vincent - I encourage you to submit your comments to ZAB. I cannot engage on this; if there is an appeal of ZAB's determination it will come to Council in its quasi-adjudicatory role. Best, Mark

---

**From:** Vincent Casalaina <proberk@aol.com>  
**Sent:** Tuesday, April 18, 2023 6:40 PM  
**To:** Humbert, Mark <MHumbert@cityofberkeley.info>  
**Cc:** markh@humbertlaw.us <markh@humbertlaw.us>  
**Subject:**

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Councilmember Mark Humbert

2180 Milvia Street, 5<sup>th</sup> Floor

Berkeley, CA 94704

Subject: New plans for Willard Park Clubhouse

Dear Councilmember Humbert,

The Willard Park Clubhouse is on the agenda for the Zoning Adjustments Board on Thursday, April 27. However the last minute plans are **radically different** from the plans that were presented to the community two years ago. The current plaza area is adjacent to the existing clubhouse, just to the west of the club house building. Today the plaza serves children in the after-school program as well as the community park users. The plaza is sunny and is in a very protected area of the park. When the grass is wet, this is the area that many people use for tai-chi, or small impromptu birthday parties or other lowkey activities. However, the plans just revealed by the City Staff reveals that the building has shifted to the West, moving the terrace area towards Hillegass instead. This entry area is very close to car traffic which makes it **much less safe for children playing**. It is also in a shady area which makes it darker, harder to keep clean. It will also be located next to a trash enclosure! The new plans shifts the outdoor plaza into a much less desirable area.

The City also did not respond to the neighborhood request to install a "Portland Loo" restroom where the current restroom exists today. Instead the City is planning to build a bathroom structure in the open space adjacent to the tennis courts. This removes much needed open space in the park as well as places the restroom in a area without the eyes and ears of neighbors. I think this placement ignores the safety issues of an urban park where park goers could be assaulted.

I served three terms as President of the Willard Neighborhood Assoc. I had the privilege of working with Michael O'Leary, a local landscape architect, Bill Lipsky (Friends of Willard Park leader), city staff and a large cross section of the community in designing the tot-lot area. It took months of discussion among everyone but as a result Willard Park has a tot-lot that is well used and enjoyed by families from all over Southside.

The process around the updating of the Willard Club House is quite the opposite. & now the Zoning Adjustments Board is poised to approve plans that no one but the staff has seen. If this plan goes forward, Berkeley residents and park users will be shocked at what this \$7 million project in Willard Park - the only park in the Southside.

I would like to meet with you to discuss these new plans for the Willard Clubhouse. Please let me know when I could schedule an appointment at your earliest convenience to discuss the neighborhood concerns about this last minute and radical change in approach.

Sincerely,

Vincent Casalaina

Attachment 5

*Publish Weekly 6/23/11 9:30*  
**Council to seek truce  
in bungalow battle**

By BARBARA ERICKSON

**BENKLEY** — The city council will hold a special session at 8:30 p.m. Tuesday to discuss moving bungalows for high school classrooms into Civic Center.

The school district is searching for a way to house Berkeley High students while earthquake reconstruction work is done on the 4.5-building Civic Center. Plans to place the students in Washington School and on a vacant district-owned lot on McKinley Street have run into opponents' opposition.

City Manager Wes Allen said the council briefly discussed the proposal Thursday night during another special meeting. The council members invited

school district staff to attend the Tuesday night meeting and asked the city attorney to look into the legality of closing the park down for the use of the district.

Meanwhile, the school district is running out of time in its efforts to prepare a place for nine history and English classrooms which will have to relocate off campus during the two years of reconstruction work. Nearly 1,000 students a day will use the classrooms.

This February the school district proposed to place the students in the second floor of Washington School and house some of the kindergarten through third-grade Washington students in bungalows on the play yard. But when Wash-

ington parents complained that the high school students would disrupt the school program, the administration decided to place nine bungalows on a lot formerly used for child care and adult school classes. The lot is on McKinley Street across from Washington School.

But three weeks ago residents of McKinley Street heard of the plan and threatened to block the district by court action. They said the schools failed to get a use permit from the city and argued environmental impact requires a hearing.

A steering committee of the neighborhood group said its residents would be willing to accept four bungalows on the site, but the administration says it

must place at least six there to also move the high school students into Washington School.

The possibility of using some of the park for some of the bungalows was another option to the already complex issue and was rejected because the district is trying to avoid a violation of the city's zoning code.

School District Superintendent Glen G. Smith said he will call a meeting Tuesday to discuss the moving of the classrooms. The school district is planning to place at least six bungalows on the McKinley Street lot.



## THE ONLY LOO PROVEN TO KEEP CLEAN AND CRIME-FREE

Portland's public toilets have succeeded where  
others failed.

**The secret is in the design.**

The Portland Loo® was designed with the primary intent to prevent problems that are commonly experienced with public toilets, such as crime, vandalism, and deterioration. This freed The Portland Loo® from becoming a beaten-down haven for illegal activity, while also enduring wear and use over time.

**The design is timeless.**

The Portland Loo® is constructed of materials that last! Initially installed over 10 years ago, the first one still looks new today. The innovative shape and presentation integrates beautifully with the city environment.

## Attachment 6a

Why Loo - The Portland Loo

### **The design is more than it appears.**

The Portland Loo® is attractive and durable, but it's functional too. The coated stainless steel walls are sleek and modern, which also makes them hard to vandalize and easy to clean. Nothing can be ripped off the walls or damaged, because the hand-washing station is mounted on the exterior.

### **The design is done for you.**

All this has already been built into the design, which means you don't have the legwork or expense to design your own. It's fabricated off site, and can be delivered on site completely assembled.

### **The design is affordable.**

The Portland Loo® is made with few materials, making it less expensive to construct. It requires minimal utilities that can operate on solar power or low level volt power. And, the components are commonly used by cities around the world, so they're easy to replace or upgrade.

Read more about the features of The Portland Loo® design below.



Attachment 6a

Why Loo - The Portland Loo



PREVENTS CRIME

Louver grating at the top and bottom of the bathroom wall create an interior environment that offers complete visual privacy, while remaining as connected with the outside as possible. These louvers are angled in such a way that doesn't compromise privacy, but does allow law enforcement the ability to observe the number of users inside. The unit's hand-washing station is mounted on the exterior, which promotes quicker turnaround time, serving a higher pedestrian population. The restroom was designed with Crime Prevention Through Environmental Design by using high traffic areas and visibility to deter illegal activities and generate high usage rates. Each Portland Loo® is built to fully comply with ADA Standards.

EASY TO CLEAN & MAINTAIN

The unit is composed of a minimum of materials. Utilizing stainless steel for the structure means that the Portland Loo weighs a fraction of a typical restroom and can be delivered on site as a complete enclosure. The modular construction of the restroom allows for it to be quickly removed during flood

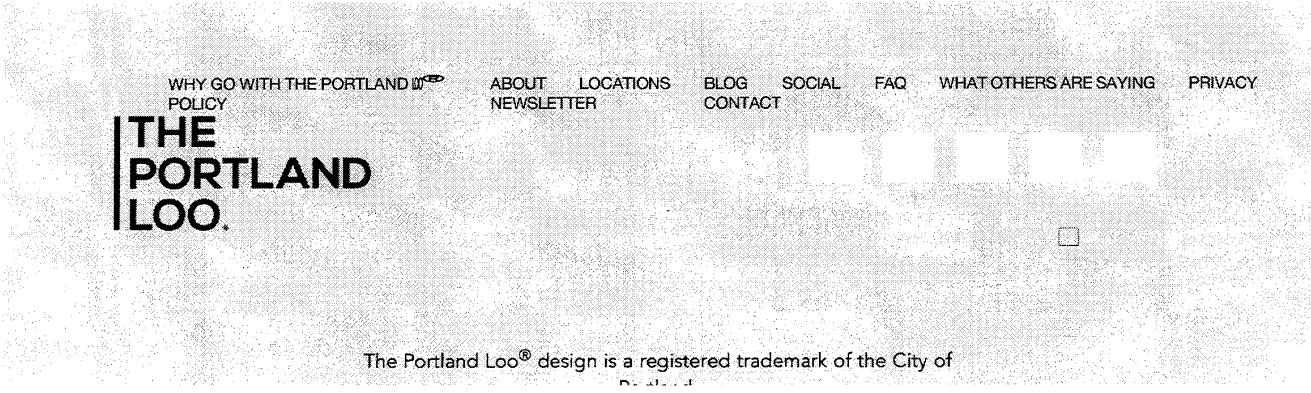
Attachment 6a

Why Loo - The Portland Loo

conditions or easily repaired onsite. Protected with an anti-graffiti clear coat, the restroom can take a lot of abuse, and is easy to maintain with a cleaning hose and janitorial supplies stored in the mechanical closet. The Portland Loos® in Portland are available to the public 24/7, taking the strain off local business, and creating a welcoming environment for families.

**INEXPENSIVE TO INSTALL & RUN**  
The entire unit can be off-grid and lit entirely by solar-powered LED fixtures. The restroom can be pre-wired for 115 volt AC power or powered by a hybrid system of solar and AC. At night a gentle light washes the exterior until it is occupied, at which time the interior lights activate and the exterior lights dim, announcing that it is in use. The Loo is functional year round with all exposed plumbing and toilet bowl wrapped in heated wire for freeze protection. The restroom requires minimal utilities, at 1.28 gallons per flush and a max 60 watt load. Fitted with an occupancy counter the restrooms in Portland often average 250 flushes per day, equivalent to busy airport restrooms.

For more specific measurements and component features that are used to build The Portland Loo®, view our Portland Loo® Specs document.





### How often do we need to clean The Portland Loo®?

In Portland they get cleaned 2-5 times a day. There is also a number to report incidents inside the restroom for cleaning.

### Why is The Portland Loo® better than the 'automated' alternatives?

While the automated restrooms focus on easy cleaning, The Portland Loo® focuses on the crime prevention aspect of public restrooms. The automated restrooms provide too much privacy which has allowed prostitution and drug use to flourish. Moving parts and maintenance costs are much higher with automated restrooms, as the moving parts wear out or break and have to be sourced from Europe, unlike the local fixtures The Portland Loo® uses.

### How long does it take from order to install?

The Portland Loo® is built to order and can take as little as 90 days from order to delivery. Deliveries are prioritized by first come first serve and lead times can grow if our schedule is filled with current orders.

### Are these available outside of Portland?

All The Portland Loos® for North America are manufactured in Portland, Oregon. All The Portland Loos® for Australia, New Zealand and South East Asia are manufactured in New Zealand.

## Attachment 6b

FAQ's - The Portland Loo

**Are these good for rural parks?**

Yes, The Portland Loo® can be placed in rural parks and trail heads. The Portland Loo® will be able to flush without connection to water and sewer with our off-grid option for The Portland Loo®. The off-grid option uses a holding tank below the restroom to supply flushing water and collect waste water for 1,326 flushes before needing to be refilled and waste emptied.

**How does The Portland Loo® address the issue of drug use?**

The Portland Loo® uses angled louvers for police and security to limit privacy. The Portland Loo® also uses blue lights to prevent drug users from locating veins.

**How does The Portland Loo® help reduce inappropriate use such as prostitution and drugs?**

The open bottom and top of the restroom allow sight lines and sounds to carry outside the restroom. The restroom should be sited with Crime Prevention Through Environmental Designs (CPTED) that places the restroom in visible areas that prevent crime with open sight lines.

**How long can I expect The Portland Loo® to last?**

With proper maintenance The Portland Loo® is expected to last up to one hundred years.

**Can The Portland Loo® come in custom colors?**

Yes, The Portland Loo® can be made in a variety of custom colors.

## Attachment 6b

FAQ's - The Portland Loo

**Where is the best place to install The Portland Loo®?**

Install The Portland Loo® in areas with open sightlines that can provide service to a variety of people such as: transit commuters, shoppers, tourists, residents, bar/restaurant goers, families/children, pedestrians, homeless and attendees at special events.

**How long does it take to install The Portland Loo®?**

Once the foundation is poured and cured correctly The Portland Loo® can be installed in two to four hours.

**Do you have privacy with the louvers on the top and bottom of the restroom?**

The Louvers create complete dead space around the top and bottom of the toilet. No matter if you're looking up at the louvers or looking into the restroom from a multi-story condo, The Portland Loo® still provides absolute privacy for the user.

**Can the Loo be used for advertisements and art work?**

The Portland Loo® can be wrapped in vinyl wrapping to show art work or advertisements. Local laws may conflict with the ability to advertise on the restroom.

## Attachment 7

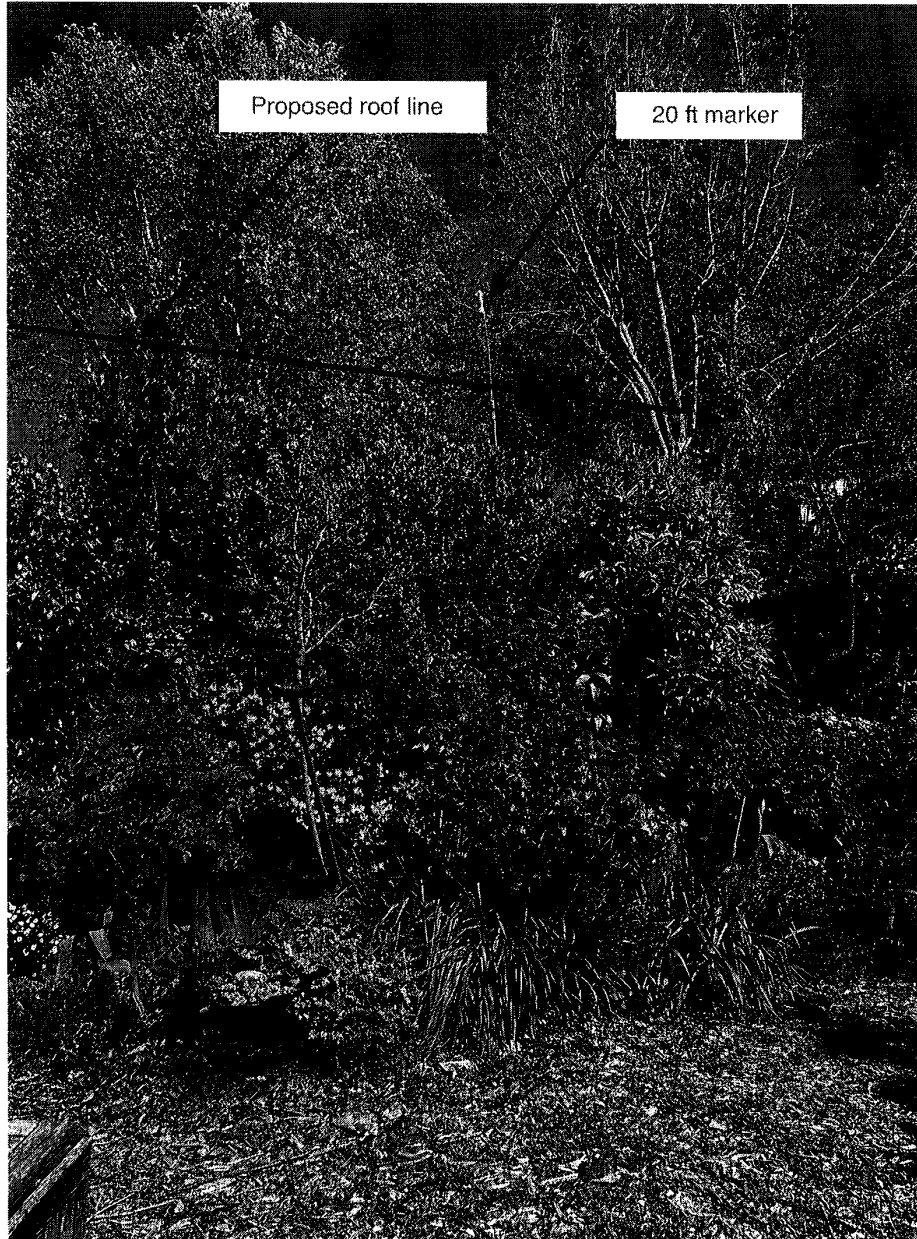
Berkeley Neighborhood Parks – with &amp; without Community Centers ranked according to size

<u>Park</u>	<u>Square Footage</u>	<u>Structures on park space</u>
1 Cesar Chavez Park (90 acres)	3,920,400 sf	<b>no community center</b>
2 Aquatic Park (32.76 acres)	1,427,000 sf	<b>no community center</b>
3 San Pablo Park (12.95 acres)	564,100 sf	Community Center, 1 large space for 200 people, 2 smaller spaces for 40 people each
4 Ohlone Park (9.8 acres)	426,900 sf	<b>no community center</b>
5 Cordonices Park (approx 8.8 acres)	392,040 sf	<b>no community center</b>
6 Shorebird Park (6.17 acres)	268,770 sf	Shorebird Nature Center
7 Harrison Park (5.6 acres)	243,900 sf	<b>no community center</b>
8 Live Oak Park (4.52 acres)	240,450 sf	Community Center & Theater
9 Cedar Rose Park (4.94 acres)	215,000 sf	Recreation Center
10 James Kinney Park (4.24 acres)	184,700 sf	Clubhouse (Bahia School), gymnasium
11 John Hinkel Park (4.19 acres)	182,520 sf	<b>no community center</b>
12 Strawberry Creek Park (3.7 acres)	161,200 sf	<b>no community center</b>
13 Berkeley Rose Garden (3.64 acres)	158,560 sf	<b>no community center</b>
14 Grove Park (3.09 acres)	134,600 sf	Recreation Center, baseball field, very small grass area
15 MLK Jr Park (2.77 acres)	120,700 sf	<b>no community center</b>
16 Willard Park (2.72 acres)	118,500 sf	Clubhouse

Attachment 8

**View Impact – 2731 Regent**

The new building will be towering over the backyard of the 2731 Regent St lot. See photos below.



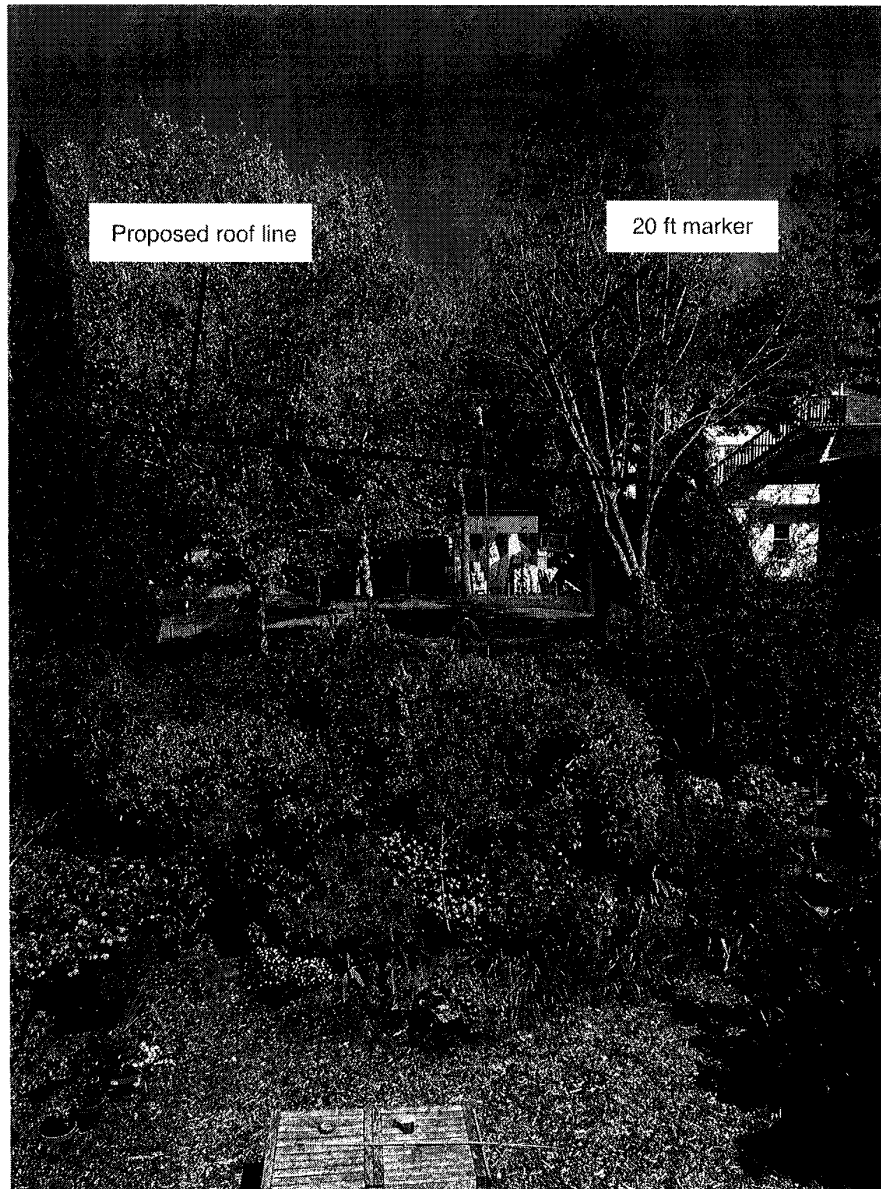
The above photo was taken when standing in the backyard. The light-colored marker pointed to by the arrow shows a point 20 ft off the ground. The pole is situated 6 feet behind the property line. The slanted line shows the roof edge of the proposed building

Page 2 of 3

situated 6 ft behind the property line.

In contrast the photo below shows the view from the second floor of the home at 2731 Regent St with the same 20 ft marker, and the proposed roof line.

The existing clubhouse and the plaza are in the background. Please note that the maximum height of the new, one-story building in the picture is almost equal to the height of the existing, two-story building on the right. (2732 Hillegass Ave.)



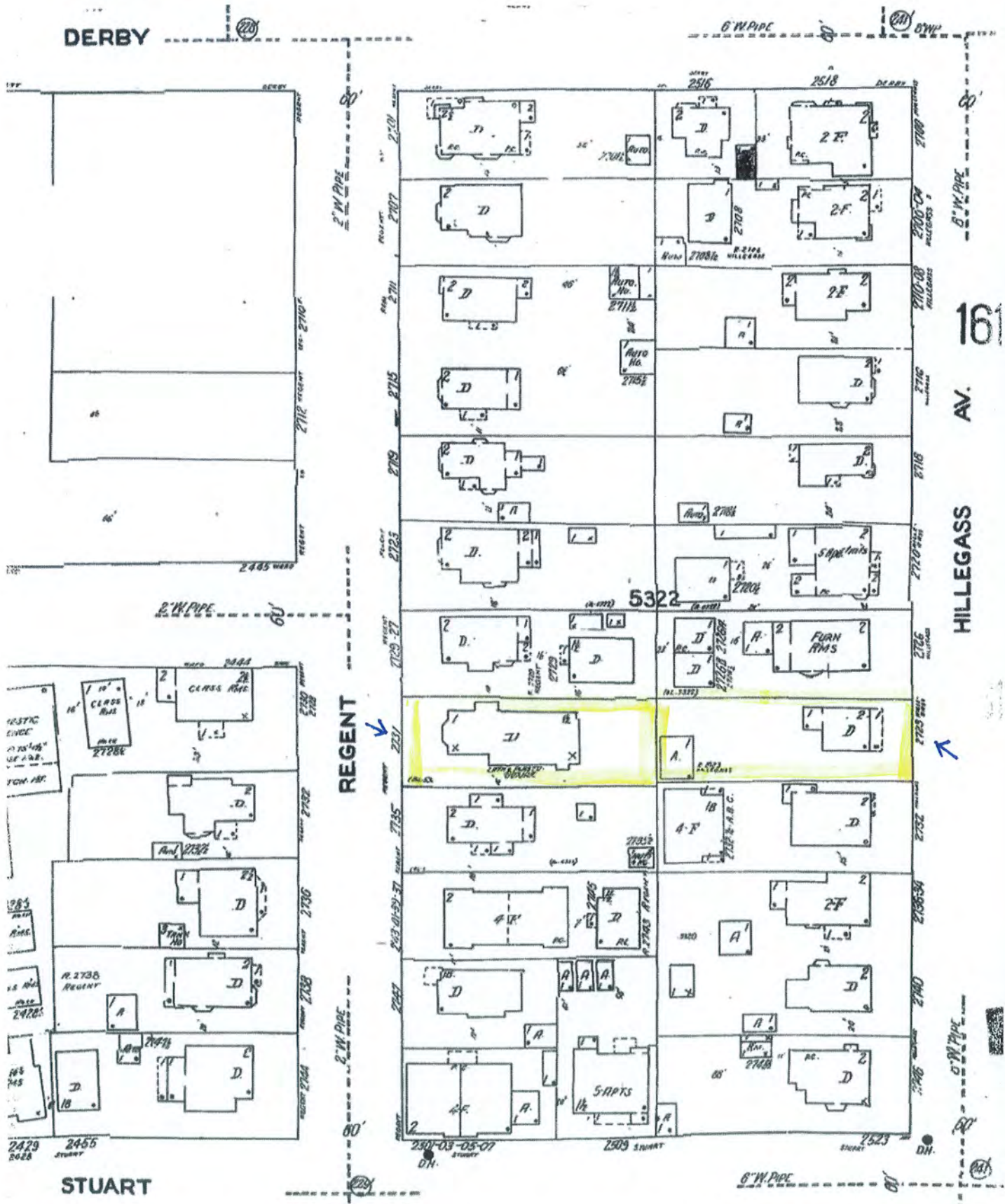
The proposed one-story building is significantly taller than the existing clubhouse. Due to formation of the park terrain the new one-story building will be almost as high as



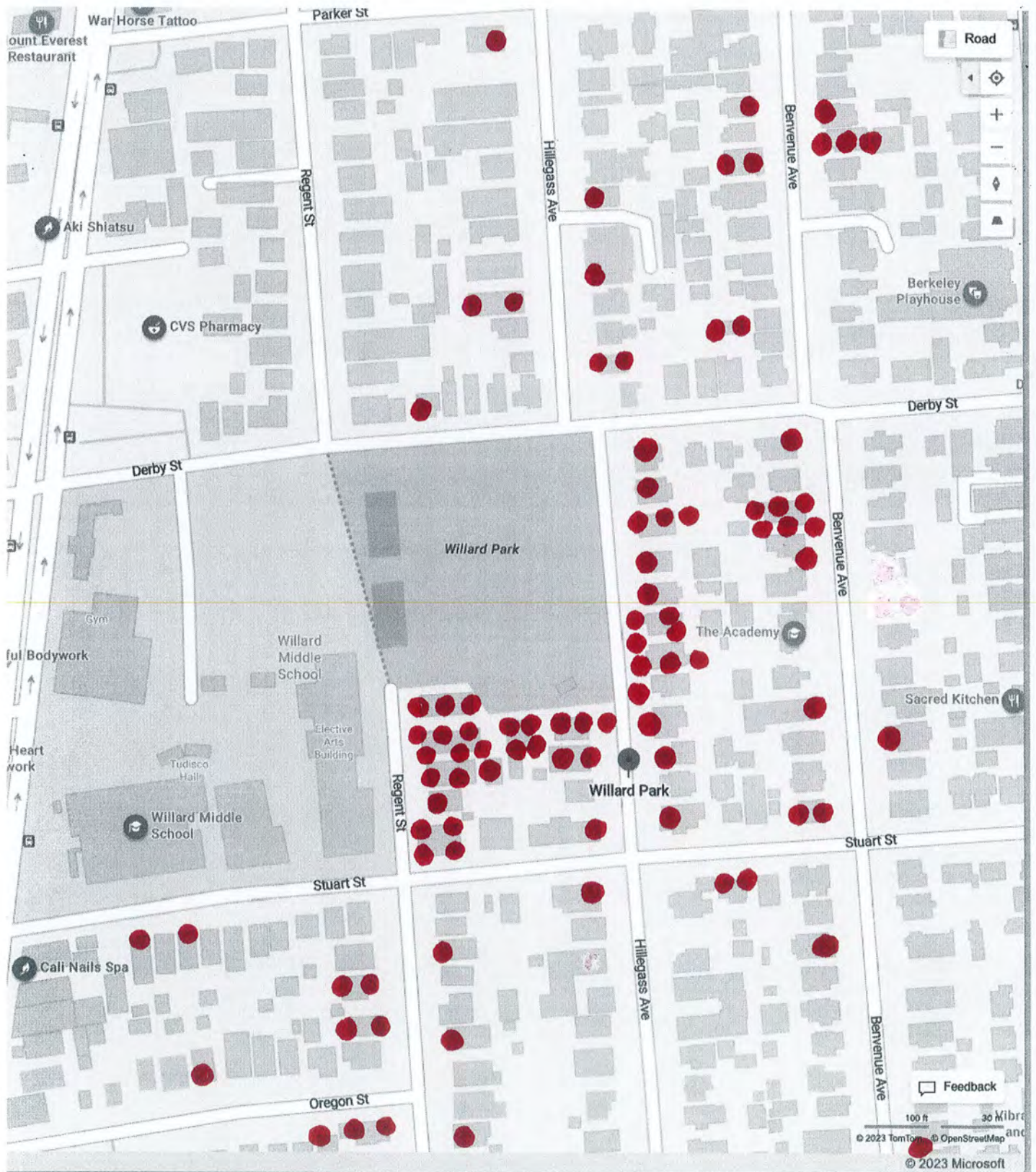
Page 3 of 3

a two-story building in the back of 2732 Hillegass and at 2731 Regent St.  
New structure's impact on the view of the park, surrounding area, and Berkeley Hills is significant.

Attachment 9



Attachment 10



Attachment 10





City Clerk Department

June 14, 2023

Alexander Stec (on behalf of Willard neighbors)  
2731 Regent Street  
Berkeley, CA 94705

RE: 2720 Hillegass Avenue – Willard Park – Appeal ZAB Decision Use Permit # ZP2022-0095

Dear Appellant:

This will acknowledge receipt of your appeal of the Zoning Adjustments Board decision of April 27, 2023, approving the following permits:

- Variance, under Berkeley Municipal Code (BMC) Section 23.406.050, from BMC Section 23.202.080(D)(1) to allow a rear setback of 16 feet for the community center where 20 feet is required.
- Use Permit, under BMC Section 23.326.070(A), to demolish a non-residential main building.
- Use Permit, under BMC Section 23.202.020(A), to construct a community center.
- Administrative Use Permit, under Section 23.304.060(C)(1) to add an accessory building (restroom).

Your appeal has been referred to the Planning Department.

The Planning Department will transmit to Council a statement setting forth the reasons for the Zoning Adjustments Board decision. This report, as well as a copy of the appeal, will appear on the Council agenda of **Monday, July 24, 2023**.

**This meeting of the Council will commence at 6:00 p.m. and will be held in the School District Board Room located at 1231 Addison Street.** The meeting will be conducted in a hybrid model with both in-person attendance and virtual participation. Once posted, the agenda for this meeting will include a link for public participation using Zoom video technology, as well as any health and safety requirements for in-person attendance.

Pursuant to the City Council Rules of Procedure, this appeal will appear on the City Council's agenda as a public hearing. Time shall be provided for five-minute presentations each by the appellant and applicant. Where the appellant is not the applicant, the appellants collectively shall have five minutes to comment and the applicant shall have five minutes to comment. Where the appellant is the applicant, the applicant/appellant shall have five minutes to comment and the persons supporting the action of the board or commission on appeal shall have five minutes to comment.

RE: 2720 Hillegass Avenue – Appeal ZAB Decision Use Permit # ZP2022-0095 Page 2

After the conclusion of the five-minute comment periods, members of the public may comment on the appeal pursuant to the Rules of Procedure in effect for the Council meeting.

The Council will then deliberate and determine to do one of three things: 1) continue the public hearing; 2) based on the record of the Council's consideration and hearing, reverse or affirm, wholly or partly, or modify any decision, determination, condition or requirement of the Board's original action; or 3) remand the matter to the Board to reconsider the application, or any revisions thereto submitted after the Board's action.

Communications to the City Council that are received by the City Clerk pursuant to the following deadlines will be accepted and distributed as follows:

Submission Deadline	Distributed	Packet
July 12, 2023, by 5:00 p.m. (Wednesday)	Seven days before the meeting (Monday)	Agenda Packet
July 24, 2023, 12:00 p.m. (Monday)	By 5:00 pm the day of the meeting (Monday)	Supplemental 2

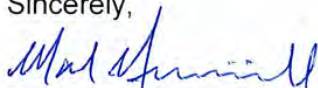
Communications should be submitted directly to the City Clerk to ensure receipt by all Councilmembers. Electronic communications may be submitted to [council@berkeleyca.gov](mailto:council@berkeleyca.gov) for immediate distribution to the Mayor, each City Councilmember, and the City Clerk for inclusion in the official record. Please note that for communications submitted in hardcopy, if the communication includes maps or photos or any other material not reproducible on a copy machine, fifteen copies should be provided to the City Clerk.

Please note that Berkeley's Lobbyist Registration Act (Berkeley Municipal Code Chapter 2.09) is effective beginning on January 1, 2020. Information and resources regarding the Lobbyist Registration Act are available from the City's website at: <https://berkeleyca.gov/your-government/lobbyist-registration>

If you have any additional questions regarding this matter, please do not hesitate to contact me at (510) 981-6908.

A copy of the staff report and a City Council agenda will be available from this office upon request after 4:00 p.m. on Monday, July 17, 2023 or can be viewed on our website at: <https://berkeleyca.gov/your-government/city-council/city-council-agendas>.

Sincerely,



Mark Numainville  
City Clerk

cc: Jordan Klein, Director of Planning

RE: 2720 Hillegass Avenue – Appeal ZAB Decision Use Permit # ZP2022-0095 Page 3

Steven Buckley, Land Use Planning Manager  
Allison Riemer, Staff Planner  
Farimah Brown, City Attorney  
Evelyn Chan, City of Berkeley PRW Department (Applicant)  
City of Berkeley (Owner)  
Vincent Casalaina (Interested Party)  
Alex Stec (Interested Party)  
Carla WoodWorth (Interested Party)  
Kinga Chomicz (Interested Party)

**NOTICE CONCERNING YOUR LEGAL RIGHTS:** If you object to a decision by the City Council to approve or deny an appeal, the following requirements and restrictions apply: 1) Pursuant to Code of Civil Procedure Section 1094.6 and Government Code Section 65009(c)(1)(E), no lawsuit challenging a City decision to deny or approve a Zoning Adjustments Board decision may be filed and served on the City more than 90 days after the date the Notice of Decision of the action of the City Council is mailed. Any lawsuit not filed within that 90-day period will be barred. 2) Pursuant to Government Code Section 66020(d)(1), the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period. 3) In any lawsuit that may be filed against a City Council decision to approve or deny a Zoning Adjustments Board decision, the issues and evidence will be limited to those raised by you or someone else, orally or in writing, at a public hearing or prior to the close of the last public hearing on the project.