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INFORMATION CALENDAR February 27, 2024

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Jordan Klein, Director, Planning and Development Department

Subject: LPO NOD: 2113-2115 Kittredge Street/#LMSAP2022-0011

INTRODUCTION

The attached Landmarks Preservation Commission Notice of Decision (NOD) is presented to the Mayor and City Council pursuant to Berkeley Municipal Code/Landmarks Preservation Ordinance (BMC/LPO) Section 3.24.240.A, which requires that "a copy of the Notice of Decision shall be filed with the City Clerk and the City Clerk shall present said copy to the City Council at its next regular meeting."

CURRENT SITUATION AND ITS EFFECTS

The Landmark Preservation Commission (LPC/Commission) has approved a Structural Alteration Permit (SAP) for the subject City Landmark property. This action is subject to a 15-day appeal period, which began on February 13, 2024.

BACKGROUND

BMC/LPO Section 3.24.300 allows City Council to review any action of the Landmarks Preservation Commission in granting or denying a Structural Alteration Permit. For Council to review the decision on its merits, Council must appeal the Notice of Decision. To do so, a Council member must move this Information Item to Action and then move to set the matter for hearing on its own. Such action must be taken within 15 days of the mailing of the Notice of Decision, or by February 27, 2024. Such certification to Council shall stay all proceedings in the same manner as the filing of an appeal.

If the Council chooses to appeal the action of the Commission, then a public hearing will be set. The Council must then rule on the designation within 30 days of closing the hearing, otherwise the decision of the Commission is automatically deemed affirmed.

Unless the Council wishes to review the determination of the Commission and make its own decision, the attached NOD is deemed received and filed.

LPO NOD: 2113-2115 Kittredge Street/#LMSAP2022-0011

ENVIRONMENTAL SUSTAINABILITY & CLIMATE IMPACTS

Landmark designation provides opportunities for the adaptive re-use and rehabilitation of historic resources within the City. The rehabilitation of these resources, rather than their removal, achieves construction and demolition waste diversion, and promotes investment in existing urban centers.

POSSIBLE FUTURE ACTION

The Council may choose to appeal the decision, in which case it would conduct a public hearing at a future date.

FISCAL IMPACTS OF POSSIBLE FUTURE ACTION

There are no known fiscal impacts associated with this action.

CONTACT PERSON

Fatema Crane, Principal Planner, Planning and Development, 510-981-7410

Attachments:

1: Notice of Decision – #LMSAP2022-0011 for 2113-2115 Kittredge Street



DATE OF BOARD DECISION: October 5, 2023

DATE NOTICE MAILED: February 9, 2024

APPEAL PERIOD EXPIRATION: February 27, 2024

EFFECTIVE DATE OF PERMIT (Barring Appeal or Certification): February 28, 2024

2113 Kittredge Street California Theater

#LMSAP2022-0011 to demolish the California Theater building while retaining and rehabilitating the primary façade, and to incorporate the façade into the construction of a new 18-story, mixed-use building featuring an approximately 24,000-sq. ft. performance venue and 211 dwelling units in the Downtown.

The Landmarks Preservation Commission of the City of Berkeley, after conducting a public hearing, **APPROVED** the following request:

Structural Alteration Permit

APPLICANT: Christian Cerria of 2115 Kittredge Street, LLC and Rhoades Planning Group, 2140 Shattuck Ave., Suite 705, Berkeley, CA

ZONING DISTRICT: Downtown Commercial/Mixed Use

ENVIRONMENTAL REVIEW STATUS: Categorically exempt under the California Environmental Quality Act Guidelines, Section 15331.

1 Pursuant to BMC Chapter 3.24, the City Council may "certify" any decision of the LPC for review, which has the same effect as an appeal. In most cases, the Council must certify the LPC decision during the 14-day appeal period. However, pursuant to BMC Section 1.04.070, if any portion of the appeal period falls within a Council recess, the deadline for Council certification is suspended until the first Council meeting after the recess, plus the number of days of the appeal period that occurred during the recess, minus one day. If there is no appeal or certification, the Use Permit becomes effective the day after the certification deadline has passed.

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION #LMSAP2022-0011 2113-2115 Kittredge Street NOD February 9, 2024 Page 2 of 4

The application materials for this project is available online at:

https://aca.cityofberkeley.info/CitizenAccess/Welcome.aspx

FINDINGS FOR FINAL ACTION AND APPROVED PLANS ARE ATTACHED TO THIS NOTICE

COMMISSION VOTE: 5-1-1-1 (one vacancy)

YES: ENCHILL, LEUSCHNER, MONTGOMERY, SCHWARTZ, TWU

NO: FINACOM

ABSTAIN: LINVILL

ABSENT: CRANDALL (due to recusal)

TO APPEAL THIS DECISION (see Section 3.24.300 of the Berkeley Municipal Code):

To appeal a decision of the Landmarks Preservation Commission to the City Council you must:

- 1. Submit a letter clearly and concisely setting forth the grounds for the appeal to the City Clerk, located at 2180 Milvia Street, 1st Floor, Berkeley. The City Clerk's telephone number is (510) 981-6900.
 - a. Pursuant to BMC Section 3.24.300.A, an appeal may be taken to the City Council by the application of the owners of the property or their authorized agents, or by the application of at least fifty residents of the City aggrieved or affected by any determination of the commission made under the provisions of Chapter 3.24.
- 2. Submit the required fee (checks and money orders must be payable to 'City of Berkeley'):
 - a. The basic fee for persons other than the applicant is \$500. This fee may be reduced to \$100 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less. Signatures collected per the filing requirement in BMC Section 3.24.300.A may be counted towards qualifying for the reduced fee, so long as the signers are qualified. The individual filing the appeal must clearly denote which signatures are to be counted towards qualifying for the reduced fee.
 - b. The fee for appeals of affordable housing projects (defined as projects which provide 50 percent or more affordable units for households earning 80% or less of Area Median Income) is \$500, which may not be reduced.
 - c. The fee for all appeals by Applicants is \$2500.

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION #LMSAP2022-0011 2113-2115 Kittredge Street NOD February 9, 2024 Page 3 of 4

3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown above (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the permit will be final on the first business day following expiration of the appeal period.

NOTICE CONCERNING YOUR LEGAL RIGHTS:

If you object to this decision, the following requirements and restrictions apply:

- If you challenge this decision in court, you may be limited to raising only those issues you
 or someone else raised at the public hearing described in this notice, or in written
 correspondence delivered to the Landmarks Preservation Commission at, or prior to, the
 public hearing.
- You must appeal to the City Council within fifteen (15) days after the Notice of Decision of the action of the Landmarks Preservation Commission is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
- 3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
- 4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
- 5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must include the following information:
 - A. That this belief is a basis of your appeal.
 - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above
 - C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION #LMSAP2022-0011 2113-2115 Kittredge Street NOD February 9, 2024 Page 4 of 4

taken, both before the City Council and in court.

PUBLIC COMMENT:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record. If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

FURTHER INFORMATION:

Questions about the project should be directed to the project planner, Fatema Crane, at (510) 981-7410 or fcrane@cityofberkeley.info. All project application materials, including full-size plans, may be viewed at the Permit Service Center (Zoning counter), 1947 Center Street, 3rd Fl., during regular business hours.

ATTACHMENTS:

- 1. Findings for Final Action
- 2. Project Plans, received September 26, 2023

ATTEST:

Fatema Crane, Secretary
Landmarks Preservation Commission

cc: City Clerk Applicant

Property Owner: Robin Lent, 426 Sandhill Circle, Menlo Park, CA

ATTACHMENT 1

FINDINGS AND CONDITIONS OCTOBER 5, 2023

2113-2115 Kittredge Street

Structural Alteration Permit #LMSAP2022-0011

PROJECT DESCRIPTION

The applicant proposes to demolish the California Theater building while retaining and rehabilitating the primary façade, and to incorporate the façade into the construction of a new 18-story, mixed-use building featuring an approximately 24,000-sq. ft. performance venue and 211 dwelling units in the Downtown.

CEQA FINDINGS REQUIRED UNDER CEQA

1. The discretionary design review for this project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines ("Historic Resource Restoration/Rehabilitation"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, and (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5.

FINDINGS RELATED TO THE SECRETARY OF THE INTERIOR'S STANDARDS

Regarding the Secretary of the Interior's Standards (SOI) for Rehabilitation, the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

- 1. The historic use of this City Landmark property as a performing arts venue will be retained in part, while accommodating new construction and expansion which are necessary to ensure higher and better use of the property. The new residential use and expanded development will alter the spatial relationships within property. The proposed retention and rehabilitation of the historic Art Deco street façade will retain the distinctive materials of the City Landmark, and the new construction has been designed with compatible elements.
- 2. The project will retain the historic character of the property and will avoid removal of distinctive materials and the alteration of features that characterize the City Landmark's historic architectural design through rehabilitation of the Art Deco building façade.
- 3. The design of proposed residential tower does not resemble or replicate designs from the property's historic period. These new features are contemporary and will not result in a false sense of historical development.

- 4. Distinguishing features of the City Landmark, such as the mid-century marquee, have acquired significance in their own right; these features will be retained and restored as conditioned herein, and would not be adversely impacted by this project.
- 5. Distinctive materials, features, finishes, and construction techniques, or examples of craftsmanship that characterize this City Landmark property, such as finishes and decorative detailing of the Art Deco period, will be substantially retained and preserved (as conditioned herein) with this expansion and façade rehabilitation project.
- 6. As conditioned herein, if deteriorated historic features will be affected by this request, then they would be repaired or replaced to match the materials, design, and finishes of the original items, as substantiated by documentary and physical evidence.
- 7. The applicant does not propose chemical or physical treatments. However, standard conditions of Structural Alteration Permit approval would require any chemical or physical treatments to be undertaken using the gentlest means possible.
- 8. The project site is not known to have the potential to yield subsurface resources; the scope of proposed excavation is limited and not likely to disturb such resources if they exist. Nevertheless, as conditioned herein, actions to preserve and protect unexpected discoveries during project construction are required.
- 9. The proposed new work is designed with complementary, high-quality materials in simplified, contemporary style employing colors and finishes that harmonize with the historic design elements of the Art Deco building facade. Owing to these aspects, the proposed new work will be sufficiently differentiated from the historic design. Further, the design is complimentary in is organization elements, verticality and preliminary color palette. Further refinements will occur during the requisite Final Design Review with the Landmarks Preservation Commission.
- 10. If the proposed tower expansion were removed in the future and the façade was once again preserved, then this proposal would not permanently impair the integrity or essential character-defining features of the City Landmark California Theater.

FINDINGS & CONDITIONS Page 3 of 9

FINDINGS REQUIRED UNDER LANDMARKS PRESERVATION ORDINANCE

- 1. As required by Berkeley Municipal Code (BMC) Section 3.24.260.C(1)(a) of the Landmarks Preservation Ordinance, the Commission finds that the proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve the characteristics and features specified in the designation for this property. Specifically:
 - A. The proposed project will alter the scale of this Downtown development but it will not adversely affect the Art Deco design of the City Landmark California Theater. Its architectural style and the historical identity of the property would be retained and it will continue to lend value to the historic fabric of the Downtown neighborhood.
 - B. The special character, interest and historic value of this City Landmark property lay in its ability to convey its early 20th century identity and connection to a formative period of Downtown development. This identity is most strongly exhibited in the Art Deco architectural design of the primary building façade. The project would alter the spatial relationship of the property to its setting, where it is currently among the tallest structures on the 2100-block of Kittredge Street. However, as designed, the height and scale of the original façade would remain clearly delignated in the new tower.
- 2. As required by BMC Section 3.24.260.C(2), the Commission finds that the City Landmark California Theater is a masonry structure and, in its current condition, is not suitable for expansion or conversion to higher or better uses; therefore, it is not feasible to preserve this building in its entirety and allow for its adaptive re-use as proposed. The request to demolish the building including the north, east and west walls and roof while preserving and re-habilitating the south wall, is found to ensure the public interest in preserving California Theater's Art Deco architectural design because this proposal retains the building's distinctive and character-defining Features to be Preserved.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Landmarks Preservation Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Permit, under the title 'Structural Alteration Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Plans and Representations Become Conditions

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

3. Subject to All Applicable Laws and Regulations

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Zoning Adjustments Board or Zoning Officer, Building and Safety Division, Public Works Department and other affected City divisions and departments.

4. Exercise and Lapse of Permits

A. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.

B. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

5. Indemnification Agreement

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the

project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

6. Halt Work/Unanticipated Discovery of Tribal Cultural Resources

In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.

7. Archaeological Resources (Ongoing throughout demolition, grading, and/or construction)

Pursuant to CEQA Guidelines Section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:

- A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
- B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
- C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
- D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
- E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.

8. **Human Remains** (Ongoing throughout demolition, grading, and/or construction)

In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to CEQA Guidelines Section 15064.5 (e)(1). If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to Health and Safety Code Section 7050.5(c), and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.

9. Paleontological Resources (Ongoing throughout demolition, grading, and/or construction)

In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.

ADDITIONAL CONDITIONS

The following additional conditions are attached to this Permit:

- **10.** No changes can be made to these approved plans without prior approval.
- **11. CITY PERMITS**. This Structural Alteration Permit (SAP) approval is contingent upon approval of the requisite Use Permit and Public Work Permit for the project scope.
- **12. PLANS COMPLIANCE.** Construction and building permit plans shall substantially conform to the Structural Alteration Permit (SAP) project plans received September 26, 2023.
- 13. FINAL DESIGN REVIEW. Pursuant to BMC Section 23.406.070, prior to submittal of any building permit for this project, the project proponent shall obtain Final Design Review (FDR) approval from the Landmarks Preservation Commission. Aspects of the building design that are subject to approval at FDR include but are not limited to: design of the north and east building elevations; treatments, colors and materials of lower portion of the east and west façade (floors one through four).

- SITE-SPECIFIC PRESERVATION TREATMENT PLAN. A site-specific historic 14. preservation plan for the retained portion of the City Landmark California Theater shall be prepared and implemented by or under the direct supervision of a Preservation Architect who meets or exceeds the Secretary of the Interior's Professional Qualifications Standards for Historic Architect and Architectural History. This treatment plan shall define conditions assessment and documentation, protection, and monitoring requirements and procedures to be implemented during demolition of the historic building and restoration of the retained portion of the building. The treatment plan shall describe procedures to be undertaken for the documentation, evaluation, and treatment of previously unrecorded architectural features that are uncovered during demolition and rehabilitation activities. Such features may include artwork. decorative plaster or metalwork, or other building elements currently obscured by the renovation work. All procedures should be defined to avoid inadvertent damage to historic Art Deco building façade that will be retained for incorporation into the proposed development during project construction and shall include consideration of site security and fencing; avoidance and physical protection of historic surfaces and materials; and storage of temporarily removed or salvaged historic materials and building components. The treatment plan shall be submitted to the City of Berkeley Planning and Development Department prior to construction for review and approval.
- **15. HABS PHOTOGRAPHY**. Documentation of the City Landmark building shall be completed in accordance with the standards of the Historical American Building HAB) Survey Level II, s described in the Guidelines for Architectural and Engineering Documentation (68 FR 43159), to include the following:
 - a) Drawings: select existing drawings, where available, may be photographed with large-format negatives or photographically reproduced on Mylar in accordance with the U.S. Copyright Act, as amended
 - b) Photographs: photographs with large-format negatives of exterior and interior views, or historic views where available and produced in accordance with the U.S. Copyright Act, as amended
 - c) Written data: history and description.

Upon completion, copies of all drawings, photographs, and the report shall be provided to the following repositories for archival information on Berkeley's historical resources and Northern California architectural history:

- NWIC
- Berkeley Architectural Heritage Association
- Berkeley Historical Society & Museum
- Berkeley History Room of the Berkeley Public Library
- · University of California, Berkeley Environmental Design Library
- The Art Deco Society of California
- California State Library
- 16. HISTORIC DISPLAY. A permanent, high-quality on-site plaque or interpretive display shall be installed and legible from the public right-of-way. The primary goal of the exhibit shall be to inform the public about the history of the building, including its City Landmark status and acknowledge the alterations made. If deemed appropriate by staff and the Landmarks Preservation Commission Chair, the display may be designed consistent with the Berkeley Historical Plaque Project (berkeleyplaques.org). The placement, size, and appearance of the plaque shall be designed so as not to interfere

with the ability of the building's character-defining features to convey their significance consistent with the Secretary of the Interior Standards. A draft of the display shall be submitted with the building permit for review by staff in coordination with the Landmarks Preservation Commission Chair. The final display shall be in place prior to the issuance of a certificate of occupancy.

- 17. SALVAGE. The project proponent shall salvage interior building features and decorative elements and offer them to local re-use operations and/or interested parties, such as the California Theater Consortium. No materials shall be salvaged or removed until HABS documentation is completed.
- 18. REPAIR AND REPLACEMENT OF CHARACTER-DEFINING FEATURES. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
- **19.** Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
- **20. COLORS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit color and materials information for review and approval by Landmarks staff, in coordination with the LPC Chair as needed.
- **21. CLEAR GLASS.** All glass is assumed to be clear glass. Any proposed glass that is not clear glass, or includes signage, shall be indicated on all drawings, and shall be reviewed for approval by Landmarks staff.
- **22. DETAILS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit window, door, base, and trim details for review and approval by the Landmarks plan checker.
- 23. SIGNAGE. Prior to Landmarks plan checker sign-off of the building permit set of drawings, the applicant shall submit complete signage details, including colors, materials, letter heights, dimensions, placement on building, and installation details. The signs shall conform to all applicable standards of the City's Sign Ordnance, BMC Chapter 20, including the maximum number of signs permitted. All materials will be matte unless otherwise noted. All non-temporary signage and awnings not previously approved and not listed in this application are prohibited.
- **24. LIGHTING.** Prior to Landmarks plan checker sign-off of the building permit set of drawings, the applicant shall submit lighting details showing all existing and proposed site and building lighting. Exterior lighting, including for signage, shall be downcast and not cause glare on the public right-of-way and adjacent parcels.
- **25. LANDSCAPE PLANS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit a Landscape plan including the number, location, and species of all proposed plantings, and which existing plantings

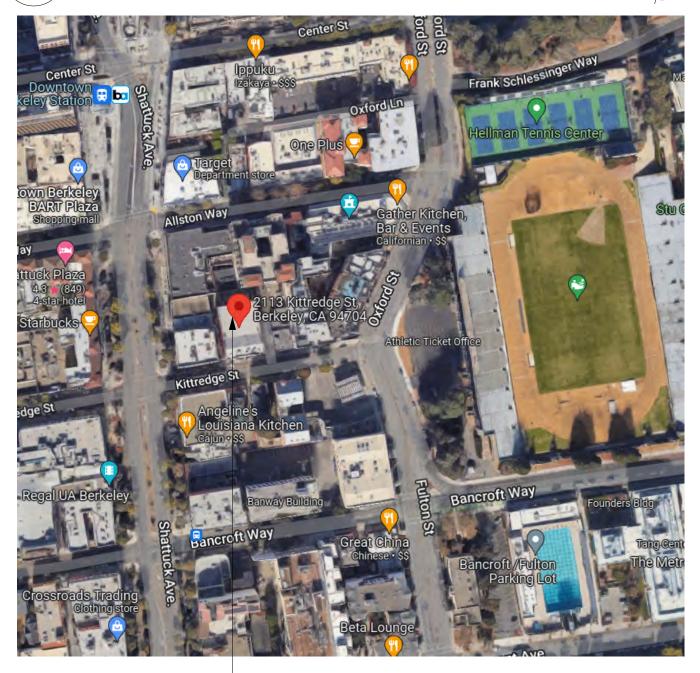
FINDINGS & CONDITIONS
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shall be removed. The applicant shall provide irrigation for all landscaped areas. This shall be called out on Landscape building permit drawings.

- **26. LANDSCAPE IRRIGATION.** The applicant shall provide irrigation for all landscaped areas. This shall be called out on Landscape building permit drawings. (Add alternative per R-district requirement)
- **27.** The applicant shall be responsible for identifying and securing all applicable permits from the Building and Safety Division and all other affected City divisions/departments prior to the start of work.
- **28.** The applicant is responsible for complying with all the above conditions. Failure to comply with any condition could result in construction work being stopped, issuance of citations, as well as further review by the Landmarks staff, which may modify or impose additional conditions, or revoke approval.
- **29.** All building permit drawings and subsequent construction shall substantially conform to the approved plans as outlined in Condition #1. Any modifications must be reviewed by the Landmarks plan checker to determine whether the modification requires approval.
- 30. The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

2115 KITTREDGE ST 7.1.



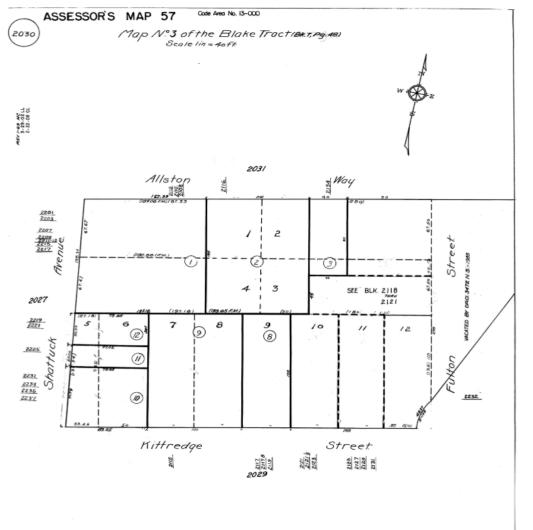


PROJECT LOCATION

PROJECT LOCATION

4 VICINITY MAP G000 NOT TO SCALE For Assessment Use Only

ASSESSOR'S PARCEL MAP



ZONING CODE INFORMATION SITE INFORMATION ADDRESS 2115 KITTREDGE ST BERKELEY, CA APN **057-2030-009** ZONING DISTRICT C-DMU OVERLAY / SPECIAL DISTRICT SEISMIC SAFETY ALQUIST PRIOLO NO LIQUEFACTION ZONE NO LANDSLIDE ZONE NO UNREINFORCED MASONRY NO HISTORIC INFO HISTORIC PRESERVATION LANDMARK / STRUCTURE OF MERIT YES **ENVIRONMENTAL SAFETY** CREEK BUFFER NONE FIRE ZONE 1 ENVIRONMENTAL MGMT AREA YES FLOOD ZONE NO

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		BUILDING DATA	PER PLANNING	CODE		
	NEW					
	EXISTING	PERMITTED / REQUIRED	BASE PROJECT CALCULATION	PROPOSED PROJECT CALCULATION	NOTES / CODE REFERENCE	
BUILDING / LOT INFO						
LOT AREA	13,500 SF	-	NO CHANGE	NO CHANGE		
BUILDING FOOTPRINT	8,680 SF	-	12,972 SF	12,016		
LOT COVERAGE	64%	-	96%	89%		
AREAS		1	00 -04 0-	0.1.1=0.0=		
COMMERCIAL FLOOR AREA	SF		20,591 SF	24,473 SF		
RESIDENTIAL FLOOR AREA	0 SF	-	91,100 SF	136,362 SF		
GROSS FLOOR AREA	13,500+ SF	-	111,691 SF	160,835 SF		
COMMERCIAL USABLE OPEN SPACE	0 SF	20,591 SF / 50 SF = 412 SF	457 SF	-	1 SQ.FT / 50 SF	
		24,473 SF / 50 SF = 489 SF	-	712 SF	BMC TABLE 23.204-40	
		146 UNITS X 80 SF = 11,680 SF	11,680 SF	-	80 SF/UNIT	
RESIDENTIAL USABLE OPEN SPACE	0 SF	211 UNITS X 80 SF = 16,880 SF	-	13,533 SF	BMC TABLE 23.204-40	
					DENSITY BONUS CONCESSION REQUESTED	
LANDSCAPED OPEN SPACE	0 SF	40% OF 11,488 = 4,595 SF		7% OF 11,488 = 890 SF	DENSITY BONUS CONCESSION REQUESTED	
IMPERVIOUS SURFACE AREA	100%	-	100%	100%		
HEIGHT						
# STORIES	3	-	8	18	D.10 00 001 00 0 D.111	
MAX BLDG HEIGHT	60'-0" +	75'-0"	75'-0"	211'-04"	BMC:23.204-38: C-DMU	
					DENSITY BONUS WAIVER REQUESTED	
SETBACKS						
FRONT YARD SETBACK	0'-0"	0 - 20'-0" BLDG HT= NO MIN.	0'	MIN 0' VARIES	BMC: TABLE 23.204-39	
THOM THE SELECTION		21' - 75' BLDG HT= NO MIN.	0'	MIN 0' VARIES		
INTERIOR EAST	8'-4.5"	0 - 20'-0" BLDG HT= NO MIN.	0'	MIN 3' VARIES	BMC: TABLE 23.204-39	
INTERIOR EAST	0-4.5	21' - 75' BLDG HT= 0' - 5'-0"	3'	MIN 3' VARIES	USE PERMIT - 23.204.130B	
INTEDIOD WEST	44! O E!!	0 - 20'-0" BLDG HT= NO MIN.	0'	MIN 3' VARIES	BMC: TABLE 23.204-39	
INTERIOR WEST	11'-8.5"	21' - 75' BLDG HT= 0'- 5'-0"	3'	MIN 3' VARIES	USE PERMIT - 23.204.130B	
DEAD VADD CETDACK	01.011	0 - 20'-0" BLDG HT= NO MIN	0'	MIN 0' VARIES	BMC: TABLE 23.204-39	
REAR YARD SETBACK	2'-8"	21' - 75' BLDG HT= 5'-0"	3'	MIN 3' VARIES	USE PERMIT - 23.204.130B	
UNITS						
RESIDENTIAL DENSITY (UNIT COUNT)						
UNIT COUNT		1				
STUDIO	0	-	-	121		
2-BEDROOM	0	-	-	90		
TOTAL	0	-	-	211		
BELOW MARKET RATE UNITS	0			22	15% OF BASE PROJECT UNITS ARE AFFORDABLE FOR VLI = ELIGIBLE 50% DENSITY BONUS (SEE	
PARKING						
RESIDENTIAL CAR PARKING	0	0	0	0	BMC 23.322-1	
COMMERCIAL CAR PARKING	0	24,472 SF / 1,000 SF x 1.5 = 36	-	0	USE PERMIT BMC 23.322.030(J)(2)	
	0	21,112 61 7 1,000 61 X 110 60	0	0	002: 2::::::: 2::::0:::::::::::::::::::	
ADA PARKING	-	04 470 CE / 0 000 CE - 40	-	0	DENSITY BONUS WAIVER REQUESTED	
	0	24,472 SF / 2,000 SF = 12	1			
ADA PARKING BIKE PARKING (COMMERCIAL) BIKE PARKING (SHORT TERM RESIDENTIAL)	1	24,472 SF / 2,000 SF = 12 301 / 40 = 7	-	7	2, OR 1 PER 40 BEDROOMS, WHICHEVER IS GREATER	

15% VLI FOR 50% DENSITY BONUS = 15% VLI OF 141 (BASE UNITS) = 21.15 = 22

121

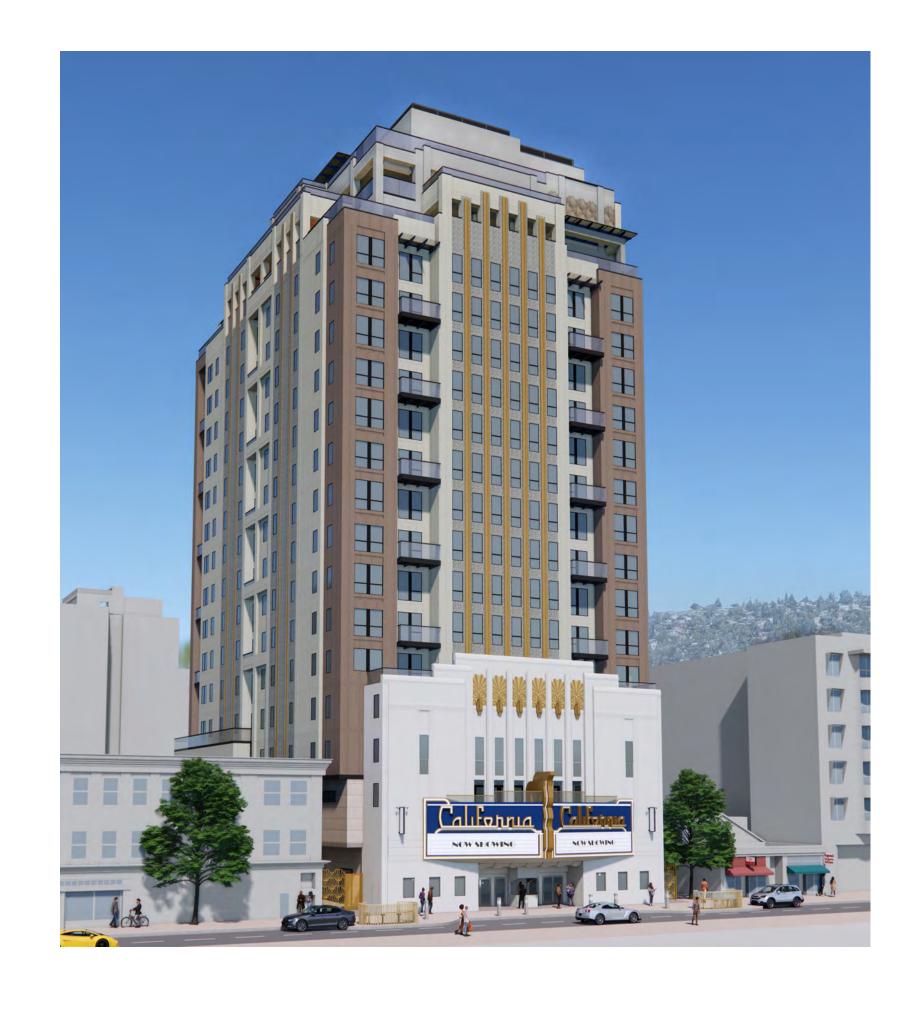
13

2-BEDROOM:

PER BMC SECTION 12.80.040 NATURAL GAS INFRASTRUCTURE SHALL BE PROHIBITED IN NEWLY CONSTRUCTED BUILDINGS.

2115 KITTREDGE ST BERKELEY, CA

GDC01 - USE PERMIT - 09/26/23



PROJECT DESCRIPTION

THE PROPOSED PROJECT AT 2115 KITTREDGE WILL RETAIN THE ORGINAL PRIMARY SOUTH FACADE OF THE BUILDING AND CONSTRUCT A 18-STORY MIXED-USE BUILDING WITH APPROX. 160,000 SF WITH ADDITIONAL BASEMENT. THE PROPOSED BUILDING WILL INCLUDE A THEATRE OF APPROX. 20,000 SF IN THE GROUND AND SECOND FLOORS, AND (211) DWELLING UNITS. THIS DENSITY BONUS PROJECT WILL HAVE 22 AFFORDABLE UNITS. THERE WILL BE AMENITY USABLE OPEN SPACES FOR THE RESIDENTS ON THE SECOND, 16TH, 17TH, AND 18TH FLOORS.

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NATHAN ALLEN nallen@sandis.net NICHOLAS CHANDLER nchandler@sandis.net

ARCHITECT: PLANNING CONSULTANT: STUDIO KDA RHOADES PLANNING GROUP 2140 SHATTUCK AVE., SUITE 705 1810 6TH ST. BERKELEY, CA 94710 BERKELEY, CA 94704 TEL: (510) 841-3555 TEL: (510) 545-4341 FAX: (510) 841-1225

> GENEVA HESNER geneva@rhoadesplanninggroup.com MARK RHOADES mark@rhoadesplanninggroup.com

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ktgy Project Number Contact Principal

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Developer DEVELOPMENT COMPANY 649 Mission Street 5th Floor San Francisco, CA

2

No.	DATE	DESCRIPTION
	9/26/2023	LPC RESUBMITTAL

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PROJECT INFORMATION

6 UNIT MIX G000 NOT TO SCALE

	ABBREVIATIONS		ABBREVIATIONS		ABBREVIATIONS		ABBREVIATIONS
&	AND	(E)	EXISTING	ID	INSIDE DIAMETER or	REC	RECESSED
@ Ø	AT DIAMETER OR ROUND	EA EIFS	EACH EXTERIOR INSULATION AND	IN or "	DIMESNION INCH or INCHES	REF REFL	REFERENCE REFLECTED or REFLECTIVE
ABV	ABOVE	EIFS	FINISH SYSTEM	INCL	INCLUDING	REG	REGISTER
A/C	AIR CONDITIONING	EGSB	EXTERIOR GYPSUM	INFO	INFORMATION	REINF	REINFORCED
AC	ASPHALTIC CONCRETE	EJ	SHEATHING BOARD EXPANSION JOINT	INSUL	INSULATION	REQD	REQUIRED
ACC	ACCESSIBLE	EL	ELEVATION	INT INV	INTERIOR INVERT	RESIL	RESILIENT
ACOUS ACT	ACOUSTICAL ACOUSTICAL CEILING TILE	ELEC	ELECTRICAL	J-BOX	JUNCTION BOX	REV RH	REVISION RIGHT HAND or ROOF
AD	AREA DRAIN	ELEV	ELEVATOR or ELEVATION	JS	JANITOR'S SINK	IMI	HATCH
ADA	AMERICAN W/ DISABILITIES	ELEVS	ELEVATIONS	JST	JOIST	RM	ROOM
ADDM	ACT	EMER ENCL	EMERGENCY ENCLOSURE	KEC	KITCHEN EQUIPMENT CONTRACTOR	RO DTU	ROUGH OPENING
ADDM ADJ	ADDENDUM ADJACENT OR ADJUSTABLE	EOS	EDGE OF SLAB	L	LENGTH, LONG. ANGLE	RTU RWL	ROOF TOP UNIT RAIN WATER LEADER
AFF	ABOVE FINISHED FLOOR	EP	ELECTRICAL PANEL BOARD	LAM	LAMINATE	RV	ROOF VENT
AGG	AGGREGATE	EQ	EQUAL	LH	LEFT HAND	S	SOUTH
AL or ALUM	ALUMINUM	EQUIP EST	EQUIPMENT ESTIMATE	LP LT	LOW POINT LIGHT	SA	SUPPLY AIR
ALT L or <	ALTERNATE ANGLE	EXCAV	EXCAVATE	LTG	LIGHTING	SAB	SOUND ATTENUATION BLANKET
A.P.	ACCESS PANEL	EXF	EXTERIOR FINISH SYSTEM	LVL	LEVEL	SC	SOLID CORE
APPROX	APPROXIMATE	EXH	EXHAUST	LVR	LOUVER	SCHED	SCHEDULE
ARCH	ARCHITECT(URAL)	EXP	EXPANSION	LYR	LAYER	SCP	SCUPPER STORM DRAIN
ASPH ASTM	ASPHALT AMERICAN SOCIETY FOR	EXT FA	EXTERIOR FIRE ALARM	MAS MAT	MASONRY MATERIAL	SD SECT	STORM DRAIN SECTION
AOTIVI	TESTING AND MATERIALS	FBO	FURNISHED BY OTHERS	MAX	MAXIMUM	SEP JT	SEPARATION JOINT
BB	BULLETIN BOARD	FD	FLOOR DRAIN	MBSM	MODIFIED BITUMINOUS	SF	SQUARE FEET
BD	BOARD	FDC	FIRE DEPARTMENT CONNECTION	MC	SHEET MINERAL CORE	SHT	SHEET
BF BITUM	BRACE FRAME BITUMINOUS	FDMPR	FIRE DAMPER	MDF	MEDIUM DENSITY	SHTHG SHM	SHEATHING SELF HEALING MEMBRANE
BLDG	BUILIDNG	FDN	FOUNDATION		FIBERBOARD	SHV	SHELVING
BLK	BLOCK	FDR	FIRE DOOR	MECH	MECHANICAL	SI or IN ²	SQUARE INCHES
BLKG	BLOCKING	FE	FIRE EXTINGUISHER	MEMB MTL	MEMBRANE METAL	SIM	SIMILAR
BLKHD	BULKHEAD	FEC	FIRE EXTINGUISHER CABINET	MFR	MANUFACTURER	SKYLT	SKYLIGHT
BM BN	BEAM BULLNOSE	FF	FACTORY FINISH, FINISH	MIN	MINIMUM	SLNT SP	SEALANT STANDPIPE
ВО	BOTTOM OF	ELD	FACE, FINISH	MISC	MISCELLANEOUS	SPEC	SPECIFICATION
ВОН	BACK OF HOUSE	FLR FG	FINISHED GRADE	MUL MTD	MULLION MOUNTED	SQ	SQUARE
BOT	BOTTOM OF STAIR	FHC	FIRE HOSE CABINET	MWP	MEMBRANE	SS CED #	STAINLESS STEEL
BS BUR	BOTTOM OF STAIR BUILT-UP ROOF	FIN	FINISH (ED)		WATERPROOFING	SED # SMD #	SEE ELECTRICAL DRAWING SEE MECHANICAL DRAWING
BW	BOTTOM OF WALL	FL	FLOOR	(N)	NEW	SSD #	SEE STRUCTURAL DRAWING
BDRY	BOUNDARY	FLEX FLUOR	FLEXIBLE FLUORESCENT	N NIC	NORTH NOT IN CONTRACT	STD	STANDARD
CAB	CABINET	FO FO	FACE OF	NO or #	NUMBER	STL	STEEL
CAP CB	CAPACITY CATCH BASIC	FOC	FACE OF CONCRETE	NOM	NOMINAL	STN STRUC	STAIN STRUCTURAL
CBU	CEMENTITIOUS BACKER	FOF	FACE OF FINISH	NTS	NOT TO SCALE	SUSP	SUSPENDED
	UNIT	FOS	FACE OF MASONRY	NR O/	NON-RATED	SYMM	SYMMETRICAL
CEM	CEMENT	FR FRPF	FACE OF STUD FIRE RATED	O/ OC	OVER ON CENTER	T	TEMPERED
CER CG	CERAMIC CORNER GUARD	FRP	FIRE PROOF	OCC	OCCUPANCY, OCCUPANT(S)	T	TREAD
CIP	CAST-IN-PLACE	FRT	FIBERGLASS REINFORCED	OD	OUTSIDE DIAMETER or	TA TBD	TOILET ACCESSORY TO BE DETERMINED
CJ	CONTROL JOINT	FS	STEEL FINISH SLAB	OFD	DIMENSION OVERFLOWN DRAIN	TD	TRENCH DRAIN
C	CENTER LINE	FSEC	FOOD SERVICE QUIP.	OH	OPPOSITE HAND	TEL	TELEPHONE
CLG CLO	CEILING CLOSET		CONTRACTOR	OPNG	OPPOSITE	TEMP	TEMPERED
CLR	CLEAR	FSR	FIRE SPRINKLER RISER	OPP	OPENING	T&G THK	TOUNGUE AND GROOVE THICK
CMU	CONCRETE MASONRY UNIT	FT or ' FTG	FOOT OR FEET FOOTING	OPT ORD	OPTIONAL or OPTIMUM OVERFLOW ROOF DRAIN	THRU	THROUGH
CO	CLEANOUT OR CASED OPENING	FOH	FRONT OF HOUSE	OSCI	OWNER SUPPLIED,	TC	TOP OF CURB
COL	COLUMN	FURN	FURNITURE		CONTRACTOR INSTALLED	TO TOO	TOP OF CONODETE
CONC	CONCRETE	FUT	FUTURE	OZ	OUNCE	TOC TOP	TOP OF CONCRETE TOP OF PARAPET
CONST	CONSTRUCTION	GA GALV	GAUGE GALVANIZED	PART BD PBO	PARTICLE BOARD PROVIDED BY OWNER	TOPO	TOPOGRAPHIC
CORP	CORRIDOR	GC	GENERAL CONTRACTOR	PCC	PRECAST CONCTRETE	TOS	TOP OF STEEL
CORR CPT	CORRIDOR CARPET	GEN	GENERAL	PCP	PORTLAND CEMENT	TP TO	TOP OF STAIR
CT	CERAMIC TILE	GFRC	FIBER REINFORCED CONCRETE	PERF	PLASTER PERFORATED	TS TV	TOP OF STAIR TELEVISION
C.T.	COLLAR TIE	GFRG	FIBER REINFORCED	PL	PLATE or PROPERTY LINE	TW	TOP OF WALL
CTRL CU FT	CONTROL CUBIC FOOT (FEET)		GYPSUM	P-LAM	PLASTIC LAMINATE	TYP	TYPICAL
CU YD	CUBIC YARD(S)	GL	GLAZING CHARD DAII	PLAS	PLASTER	UBC	UNIFORM BUILDING CODE
CW	COLD WATER	GR GSB	GUARD RAIL GYPSUM SHEATHING	PLYWD PNL	PLYWOOD PANEL	UC UFC	UNDER CUT UNIFROM FIRE CODE
D	DRYER	002	BOARD	POL	POLISHED	UL	UNDERWRITER'S
d DBN	DEGREE	GSM	GALVANIZED METAL SHEET	PR	PAIR		LABORATOR
DBH	DIAMETER AT BREAST HEIGHT	GYP GWB	GYPSUM GYPSUM WALLBOARD	PRC	POLYMER REINFORCED	UNF	UNFINISHED
DEMO	DEMOLITION	GWB H or HT	HEIGHT	PREFAB	CONCRETE PREFABRICATED	UNO or UON VERT	UNLESS NOTED OTHERWISE VERTICAL
DEPT	DEPARTMENT	HC	HOLLOW CORE	PRKG	PARKING	VEIXI	VERTICAL GRAIN
DET DE	DETAIL	HCP	HANDICAP	PSD	PARKING STRUCTURE	VIF	VERIFY IN FIELD
DF D.F.	DRINKING FOUNTAIN DOUGLAS FIR	HDR	HEADER	DOE	DRAWINGS	VWC	VINYL WALL COVERING
D.F. DIA	DIAMETER	HDWD HDW	HARDWOOD HARDWARE	PSF PSI	POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH	W W/	WEST or WIDTH or WASHER WITH
DIAG	DIAGONAL	HM	HOLLOW METAL	PTD	PAINTED	WC	WATER CLOSET
DIM	DIMENSION	HMD	HOLLOW METAL DOOR	PT	POINT	WD	WOOD
DISP DIV	DISPENDER DIVISION	HORIZ	HORIZONTAL	PTN	PARTITION	WDW	WINDOW
DIV DR	DOOR	HR HSS	HOUR or HANDRAIL HOLLOW STRUCTURAL	PVMT R	PAVEMENT RADIUS or RISER	WH	WEEP HOLE or WATER HEATER
DS	DOWNSPOUT	1 100	SECTION	(R)	REMOVE	W/I	WITHIN
DSP	DRY STANDPIPE	HVAC	HEATING, VENTILATING, &	RA	RETURN AIR		
DWG	DRAWING		AIR CONDITIONING	RC	REINFORCED CONCRETE		

HOT WATER

ROOF DRAIN

REINFORCED CONCRETE

RC

RD

EAST

OUEET "		ENTITLEMEN [*]
SHEET #	SHEET NAME	09/26/2023
GENERAL		
G000	PROJECT INFORMATION	•
G001	DRAWING INDEX, SYMBOLS & ABBREVIATIONS	•
G002.A	DENSITY BONUS CALCS - BASE	•
G002.B	DENSITY BONUS CALCS - PROPOSED	•
G003	LOT COVERAGE, USABLE OPEN SPACE CALCS	•
G004	EXISTING SITE PHOTOS	•
G005	THEATER FACADE PRESERVATION	•
G006	THEATER FACADE LIGHTING PROPOSAL	•
G007	STREET STRIP ELEVATION	•
G008	SHADOW STUDIES - DEC 22	•
G009	SHADOW STUDIES - JUNE 21	•
G010	SHADOW STUDIES - SEPT 22	•
G011	GREENPOINT RATED CHECKLIST	•
G012	TERRACE VIEWS AND PERSPECTIVES	•
G013	PERSPECTIVE CONTEXT RENDERINGS	•
G014	NIGHT RENDERING	•
CIVIL		
C000	NOTES, LEGEND, & ABBREVIATIONS	•
C001	TOPOGRAPHIC SURVEY	•
C100	DEMOLITION PLAN	•
C200	SITE AND GRADING PLAN	•
C300	UTILITY PLAN	•
C400	STORMWATER MANAGEMENT PLAN	•
C500	CONSTRUCTION DETAILS	•
C501	CONSTRUCTION DETAILS	•
C502	CONSTRUCTION DETAILS	•
C503	CONSTRUCTION DETAILS	•
C600	WATER POLLUTION CONTROL DRAWINGS	•
C601	WATER POLLUTION CONTROL DETAILS	•
LANDSCAPE		
L100	CALGREEN / BAY FRIENDLY CHECKLIST	•
L101	GROUND FLOOR MATERIALS PLAN	•
L102	14TH FLOOR MATERIALS PLAN	•
L103	15TH FLOOR MATERIALS PLAN	•
L200	PLANTING SCHEDULE	•
L201	GROUND FLOOR PLANTING PLAN	•
L202	14TH FLOOR PLANTING PLAN	•
L203	15TH FLOOR PLANTING PLAN	•
L300	IRRIGATION SCHEDULE AND CALCULATIONS	•
L301	GROUND FLOOR IRRIGATION PLAN	•
L302	14TH FLOOR IRRIGATION PLAN	•
L303	15TH FLOOR IRRIGATION PLAN	•

	SHEET LIST	
SHEET#	SHEET NAME	ENTITLEMENT: 09/26/2023
L304	IRRIGATION DETAILS	•
ARCHITECTUR	AL	
A100	SITE PLAN	•
A101	BASEMENT 2 FLOOR PLAN	•
A102	BASEMENT 1 FLOOR PLAN	•
A103	GROUND FLOOR PLAN	•
A104	LEVEL 2 FLOOR PLAN	•
A105	LEVEL 3 FLOOR PLAN	•
A106	LEVEL 4 FLOOR PLAN	•
A107	LEVEL 5,7,9,11,13 FLOOR PLAN	•
A108	LEVEL 6,8,10,12,14 FLOOR PLAN	•
A109	LEVEL 15 FLOOR PLAN	•
A110	LEVEL 16 FLOOR PLAN	•
A111	LEVEL 17 FLOOR PLAN	•
A112	LEVEL 18 FLOOR PLAN	•
A113	ROOF FLOOR PLAN	•
A201	SOUTH EXTERIOR ELEVATION	•
A202	EAST EXTERIOR ELEVATION	•
A203	WEST EXTERIOR ELEVATION	•
A204	NORTH EXTERIOR ELEVATION	•
A205	EXTERIOR ELEVATION MATERIALS	•
A211	SOUTH FACADE LIGHTING & SIGNAGE	•
A212	EAST FACADE LIGHTING & SIGNAGE	•
A213	WEST FACADE LIGHTING & SIGNAGE	•
A214	NORTH FACADE LIGHTING SIGNAGE	•
A215	SOUTH FACADE SIGNAGE	•
A310	BUILDING SECTIONS	•



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GDC01

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KITTREDGE ST 5

2

115 KITTREDGE (BERKELEY, CA 21

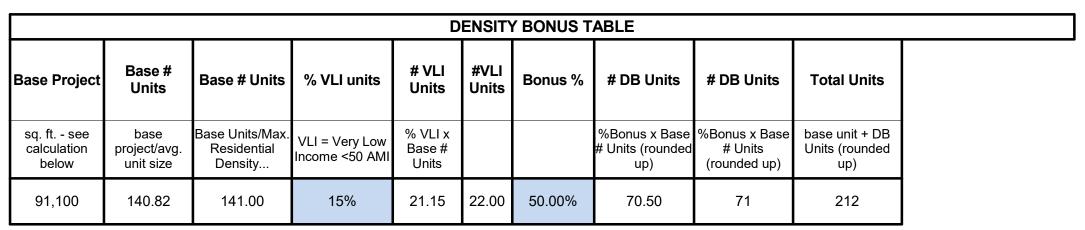
No.	DATE	DESCRIPTION
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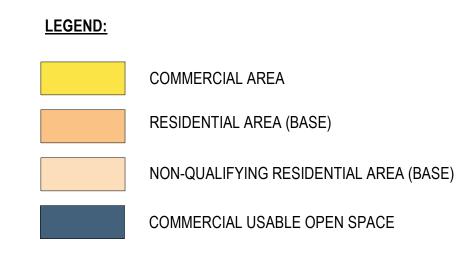


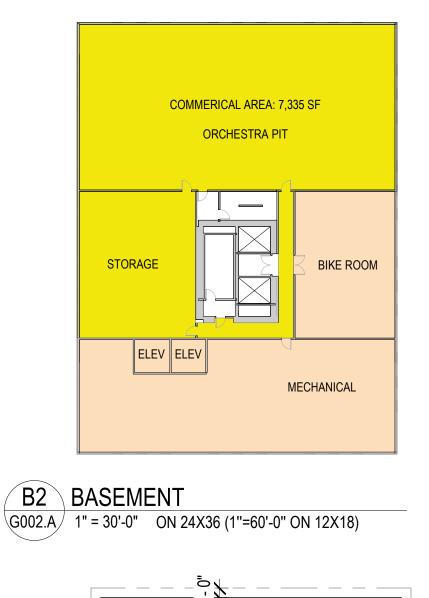
DRAWING INDEX, SYMBOLS & **ABBREVIATIONS**

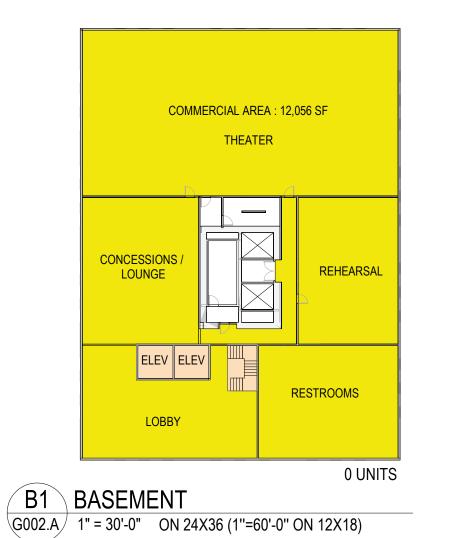
VIEW NO. ON SHEET PROJECT 1 A100 DIMENSION TO FACE VIEW REFERENCE NORTH-OF STUD, UNO NORTH ARROW SHEET NO. TRUE NORTH-DIMENSON TO CENTERLINE SECTION REFERENCE REVISION CLOUD DIMENSON TO FACE OF DETAIL SECTION **KEY NOTE:** REFERENCE ? SEE LEGEND ON DRAWINGS FOR ALIGN FACE OF FINISH EXPLANATION OF EACH NOTE DATUM REFERENCE: ELEVATION REFERENCE 1i WALL, FLR/CLG, AND ELEVATION, WORK, OR ROOF TYPE CONTROL ###A DOOR SYMBOL INTERIOR ELEVATION **ELEVATION CHANGE:** REFERENCE $\langle BB \rangle$ CEILING OR FLOOR LEVEL WINDOW SYMBOL PLUMBING FIXTURE / <u> 1i</u> APPLIANCE SYMBOL A100 ENLARGED PLAN / DETAIL REFERENCE SPOT ELEVATION # -FINISH REFERENCE

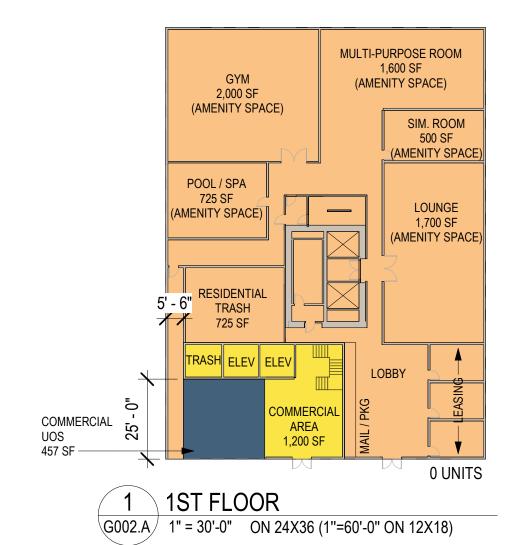


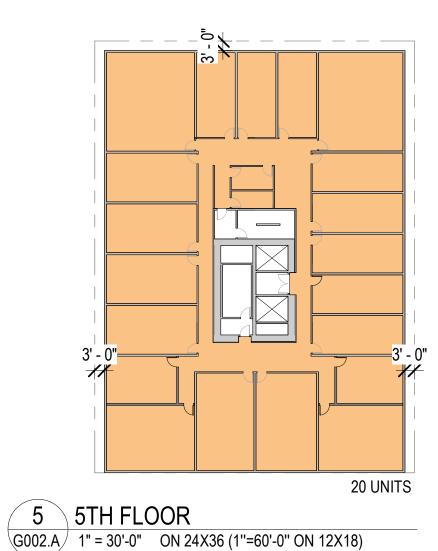
Base Project Square Footage	Floor
0	basement 2
0	basement 1
11,664	first
11,348	second
11,348	third
11,348	fourth
11,348	fifth
11,348	sixth
11,348	seventh
11,348	eighth

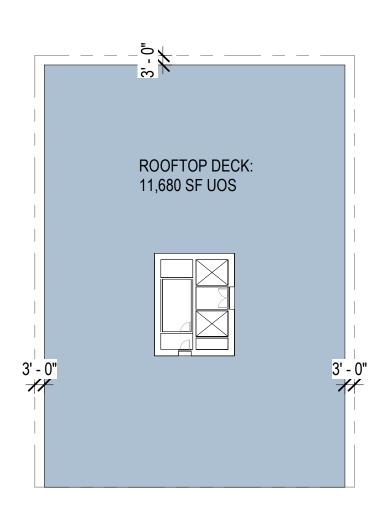




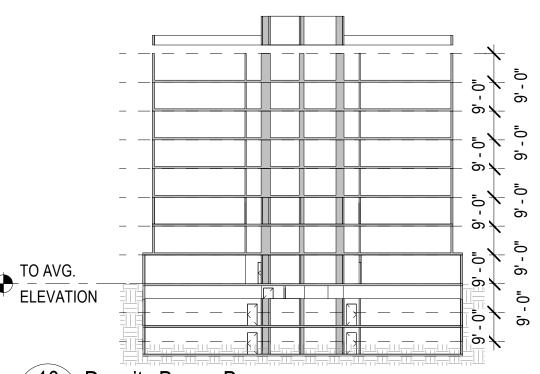












10 Density Bonus Base G002.A 1" = 30'-0" ON 24X36 (1"=60'-0" ON 12X18)



ktgy Project Number GDC01 Contact Elwin Wong ewong@ktgy.com Jessica Musick Principal Designer

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(ITTREDGE 115 KITTREDGE (BERKELEY, CA 21 5

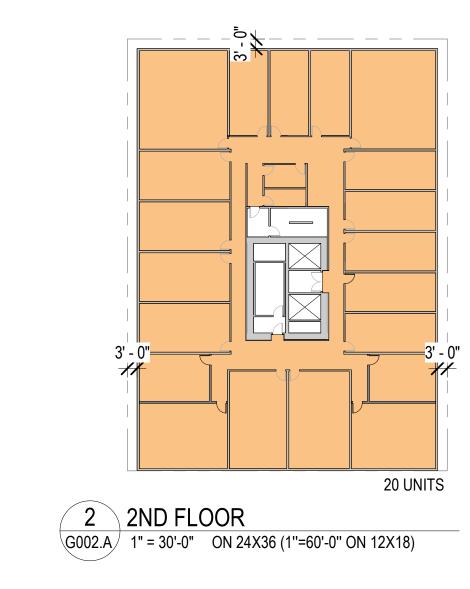
2 No. DATE DESCRIPTION 9/26/2023 LPC RESUBMITTAL

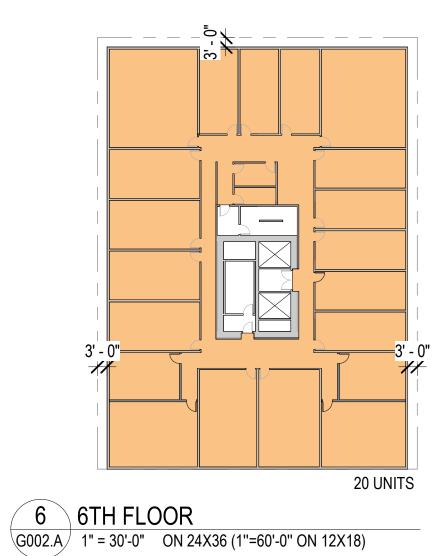
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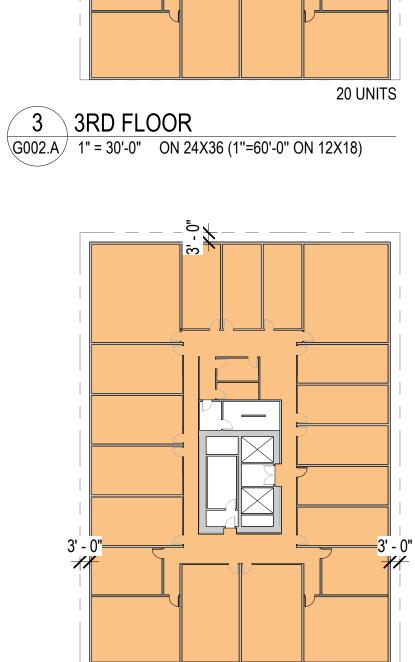


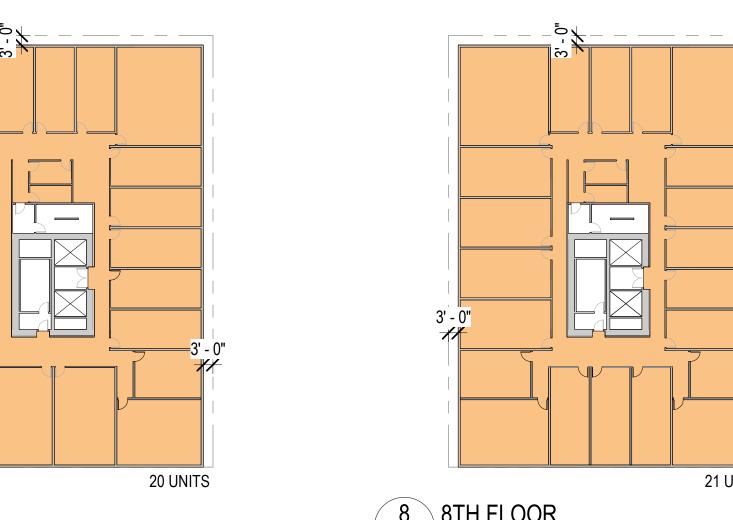
DENSITY BONUS CALCS -

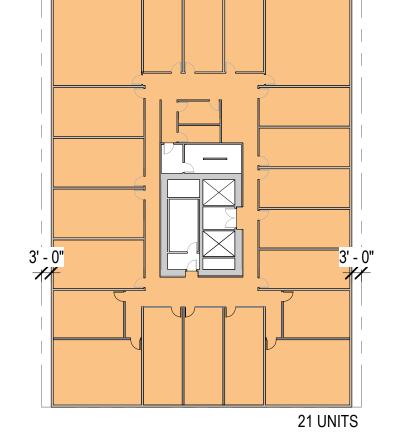
G002.A



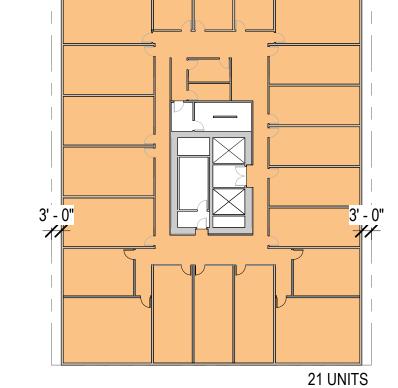


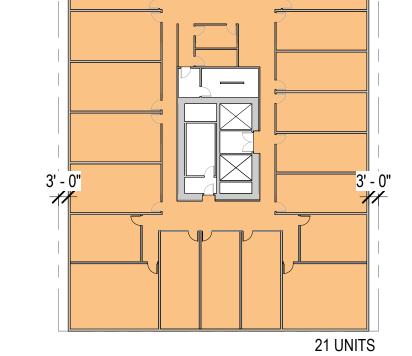






20 UNITS





8 8TH FLOOR G002.A 1" = 30'-0" ON 24X36 (1"=60'-0" ON 12X18)

4 4TH FLOOR

G002.A 1" = 30'-0" ON 24X36 (1"=60'-0" ON 12X18)

7 ROOF TOP G002.A 1" = 30'-0" ON 24X36 (1"=60'-0" ON 12X18)

TO AVG. _ _ _ ELEVATION

BASE

Base Project

sq. ft. - see

calculation

below

91,100

Base Project Square Footage

11,664

11,348

11,348

11,348

11,348

11,348

11,348

11,348



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Elwin Wong ewong@ktgy.com Jessica Musick

GDC01

Cilbane

GILBANE DEVELOPMENT COMPANY 649 Mission Street 5th Floor San Francisco, CA

TRED

No.	DATE	DESCRIPTION
	9/26/2023	LPC RESUBMITTAL

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DENSITY BONUS CALCS -PROPOSED





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Principal

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GDC01



Developer **GILBANE** DEVELOPMENT COMPANY 649 Mission Street 5th Floor San Francisco, CA 94105

RED

5

2

BOUNDARY = 11,517 SF

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No. DATE DESCRIPTION

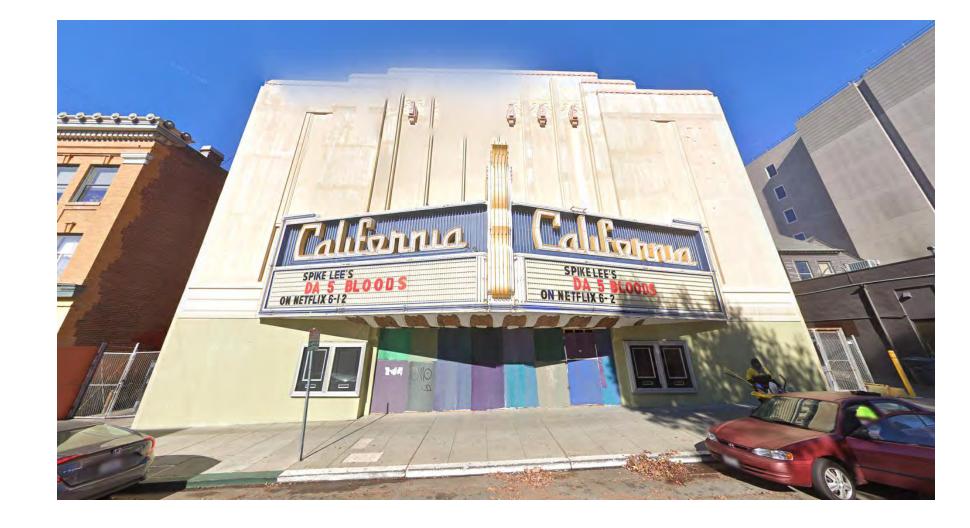
9/26/2023 LPC RESUBMITTAL

LOT COVERAGE, USABLE **OPEN SPACE CALCS**

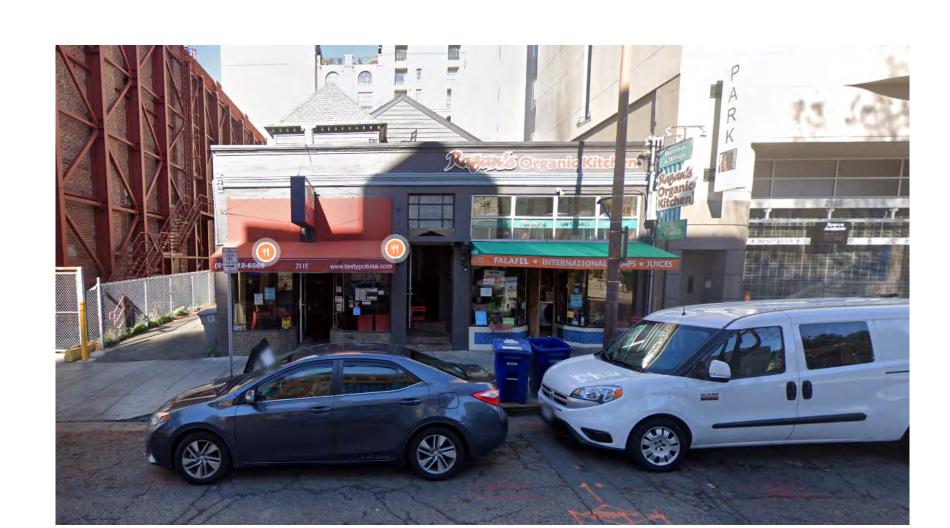


2115 KITTREDGE STREET SITE CONTEXT PHOTO KEY

1" = 1'-0"



4 STREET VIEW LOOKING NORTHWEST

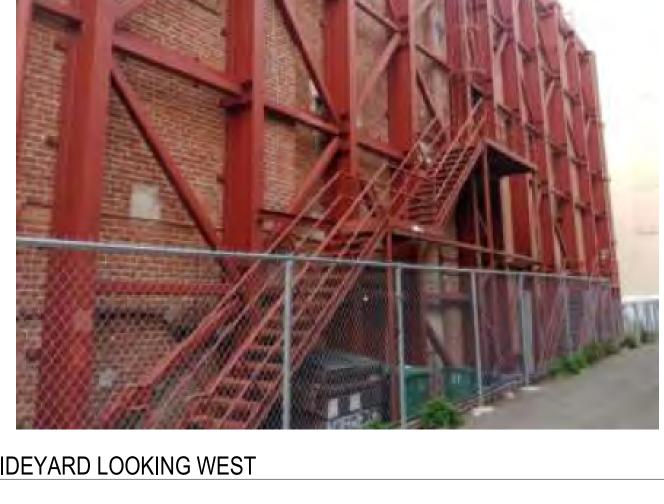


7 2115 & 2119 KITTREDGE

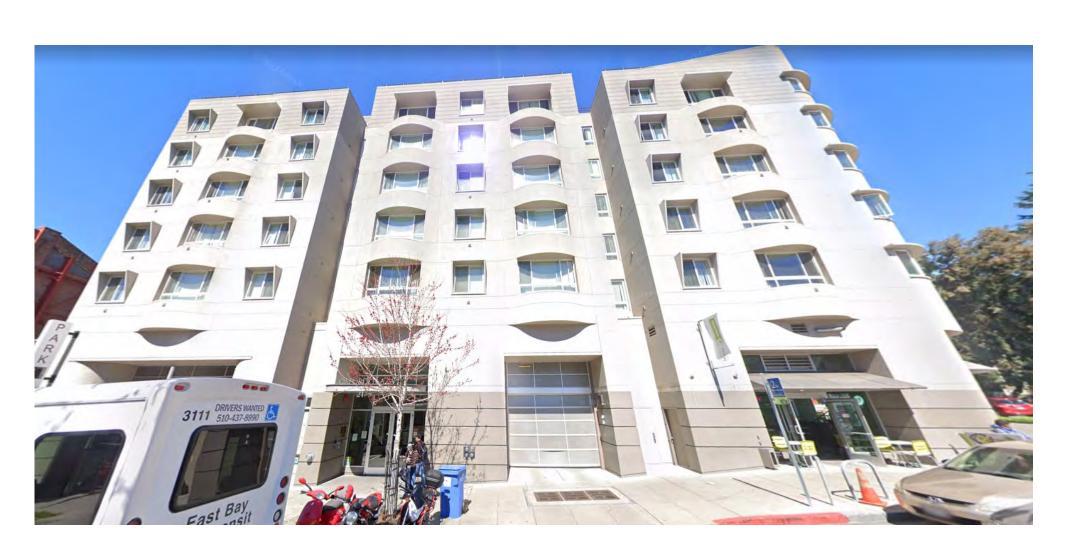


2 STREET VIEW LOOKING NORTH





EAST SIDEYARD LOOKING WEST



8 2165 & 2177 KITTREDGE



STREET VIEW LOOKING WEST



6 <u>2231 SHATTUCK</u>



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Developer

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DEVELOPMENT
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2 No. DATE DESCRIPTION 9/26/2023 LPC RESUBMITTAL

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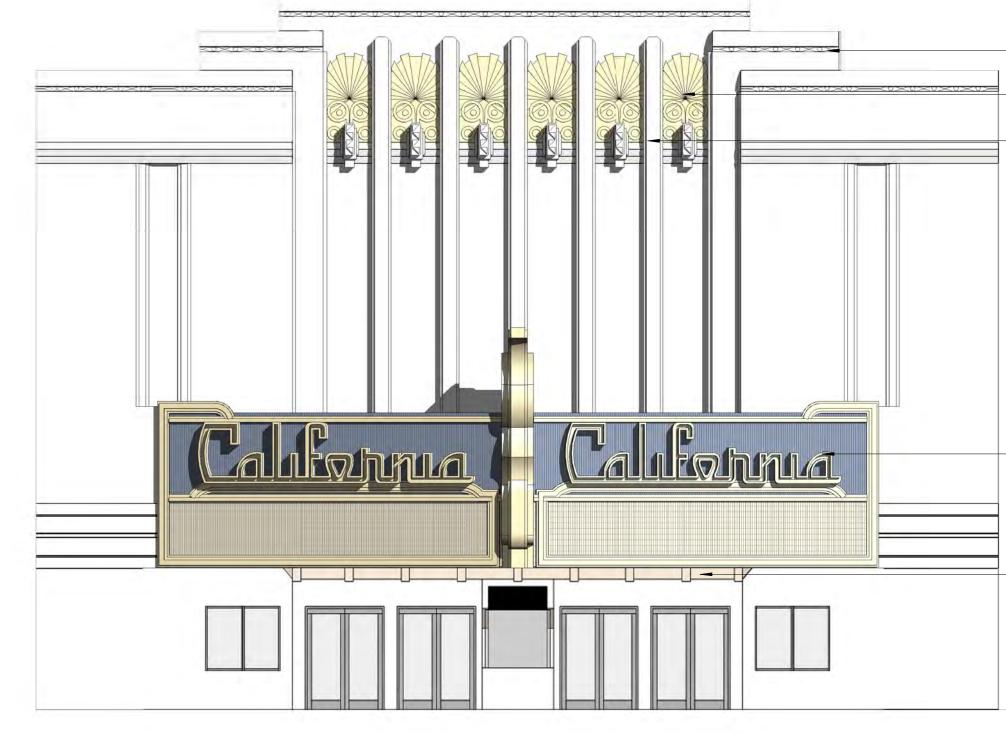
EXISTING SITE PHOTOS







HISTORICAL THEATER FACADE



EXISTING THEATER FACADE MODIFICATIONS



ALTERNATIVE RAIL OPTION AT MARQUEE BALCONY

PRESERVE AND RESTORE EXISTING DECORATIVE CORNICE ELEMENTS

PRESERVE AND RESTORE EXISTING DECORATIVE COINS

PRESERVE AND RESTORE EXISTING DECORATIVE PILASTERS

PRESERVE AND RESTORE EXISTING THEATER MARQUEE

REQUIRED FOR CONSTRUCTION)

REPLACE & RECREATE EXISTING THEATER MARQUEE SOFFIT (REMOVAL

PROPOSED SAWCUT AND WINDOW INFILL AT EXISTING FACADE

PROPOSED SAWCUT AND OPENING AT EXISTING FACADE FOR 2ND FLOOR MARQUEE BALCONY ACCESS

PROPOSED SAWCUT AND WINDOW INFILL AT EXISTING FACADE RECESS

PROPOSED GLASS RAILING WITH BACKLIT EDGE AT MARQUEE BALCONY

- PROPOSED MATTE FINISH PROJECTING SIGN. FACE OF SIGN TO BE MAXIMUM 12 S.F.

REPLACE & RECREATE STOREFRONT AT RESIDENTIAL LOBBY, THEATER ENTRANCE AND THEATER TICKET BOOTH

- RESTORE EXISTING POSTER DISPLAY WITH NEW WINDOW INFILL



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THEATER FACADE **PRESERVATION**



EXISTING THEATER FACADE



HISTORICAL THEATER FACADE





PROPOSED THEATER FACADE MODIFICATIONS

G006 1/8" = 1'-0"

— NEW LED WASH LIGHTING AT TOP OF EXISTING FACADE

NEW LED WASH LIGHTING ABOVE EXISTING RECESSED PANEL

RESTORE EXISTING MARQUEE NEON WITH ORIGINAL NEON LIGHTING

PROPOSED GLASS RAILING WITH BACKLIT EDGE AT MARQUEE BALCONY

NEW LED BLADE SIGN LIGHTING

RETAIN EXISTING MARQUEE LETTERING WITH ORIGINAL NEON LIGHTING

NEW LED STRIP LIGHTING AT EXISTING HORIZONTAL BAND

At Sy

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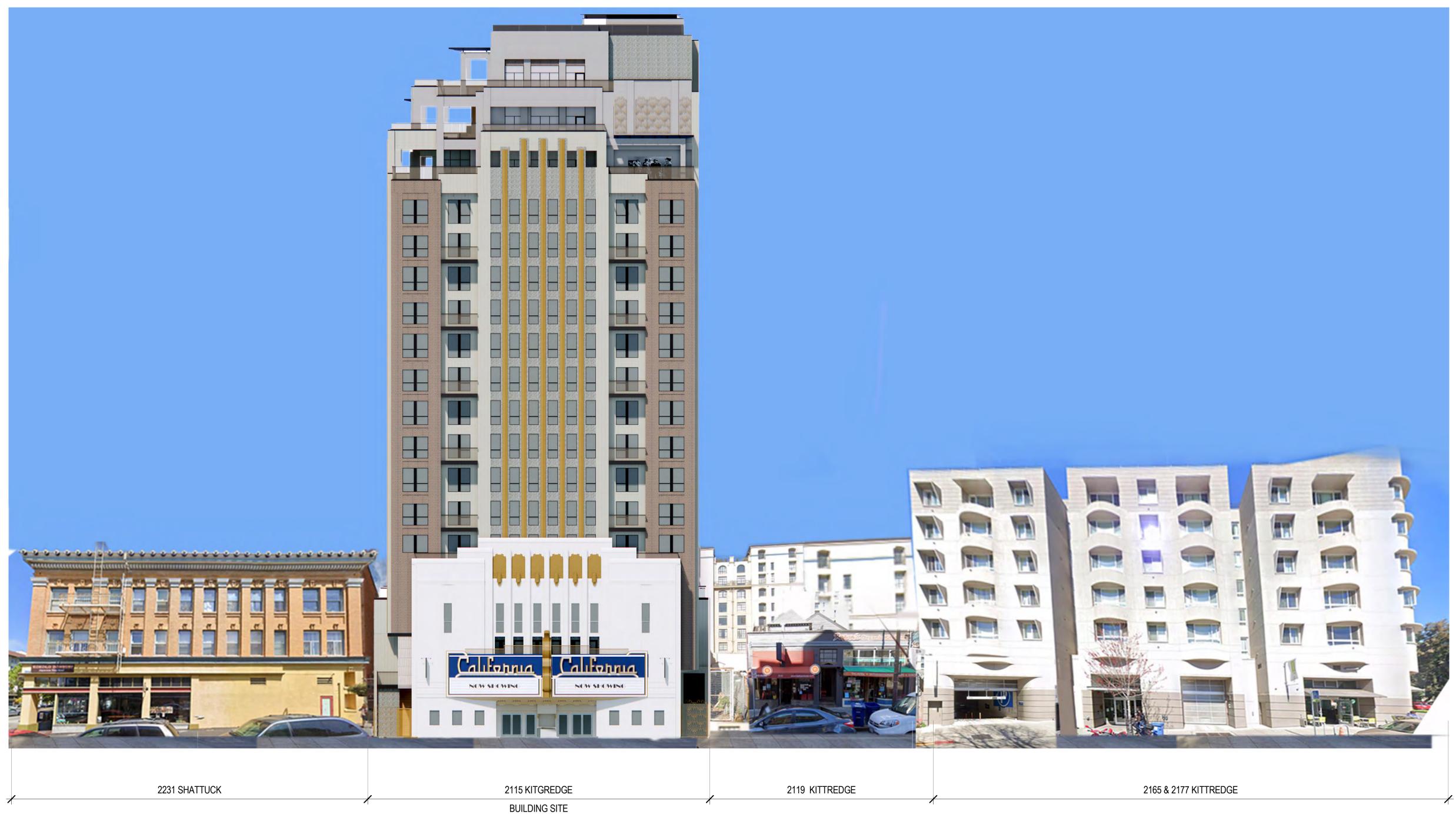
2115 KITTREDGE ST

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THEATER FACADE LIGHTING PROPOSAL



2 (N) STREET STRIP ELEVATIONS
3/4" = 1'-0"



1 (E) STREET STRIP ELEVATIONS
G007 NOT TO SCALE



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REDGE

2

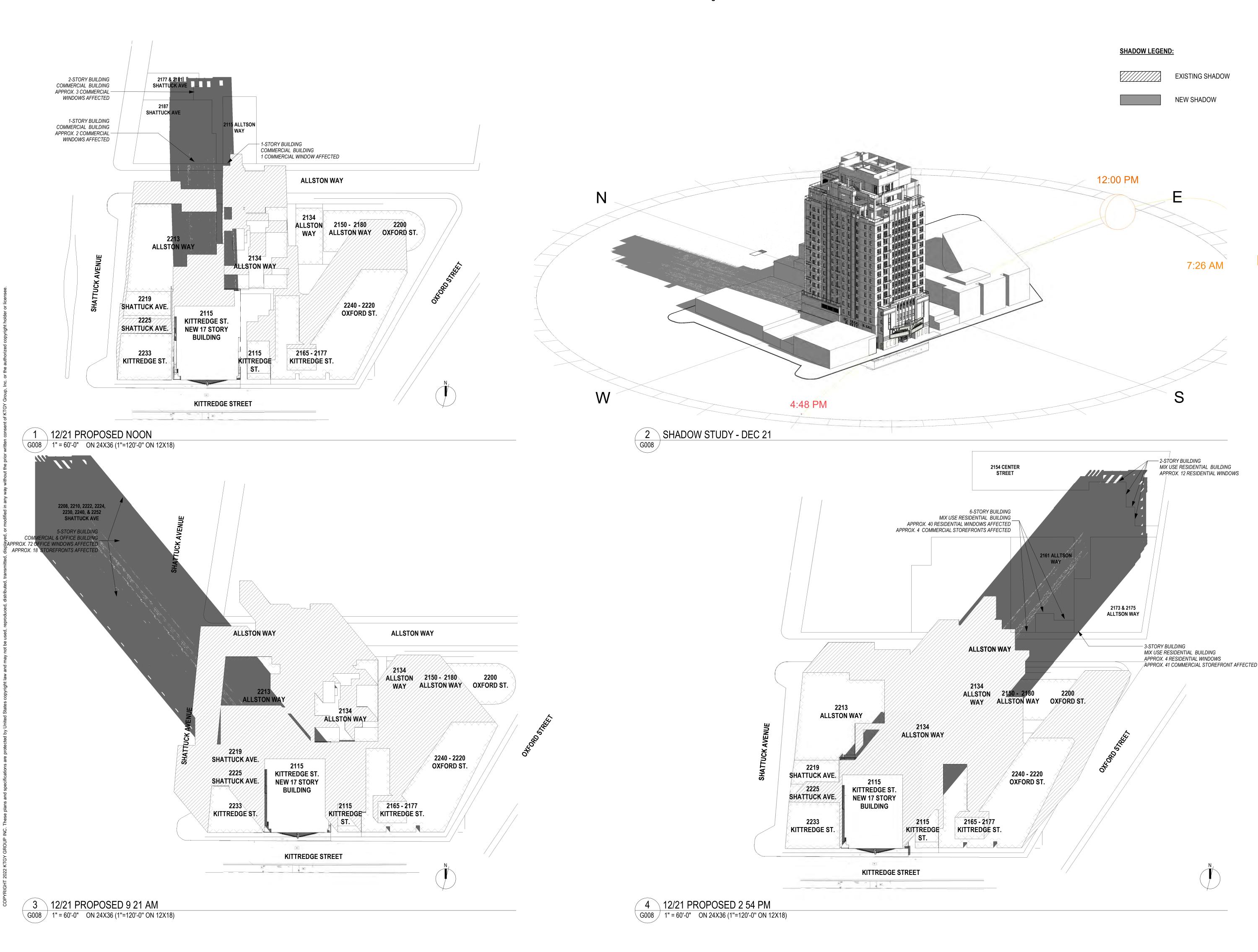
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STREET STRIP ELEVATION



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EXISTING SHADOW

7:26 AM

NEW SHADOW

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Designer

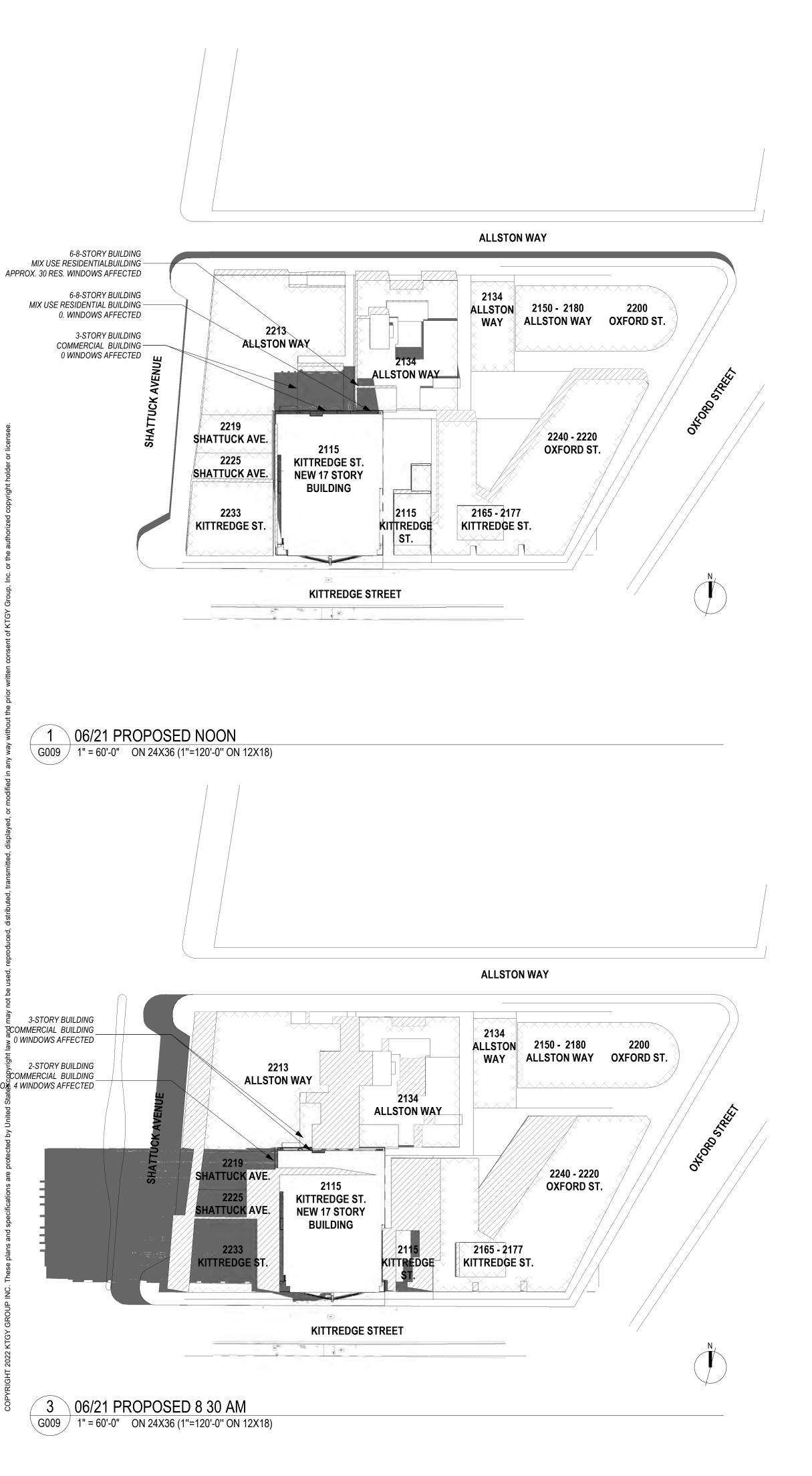
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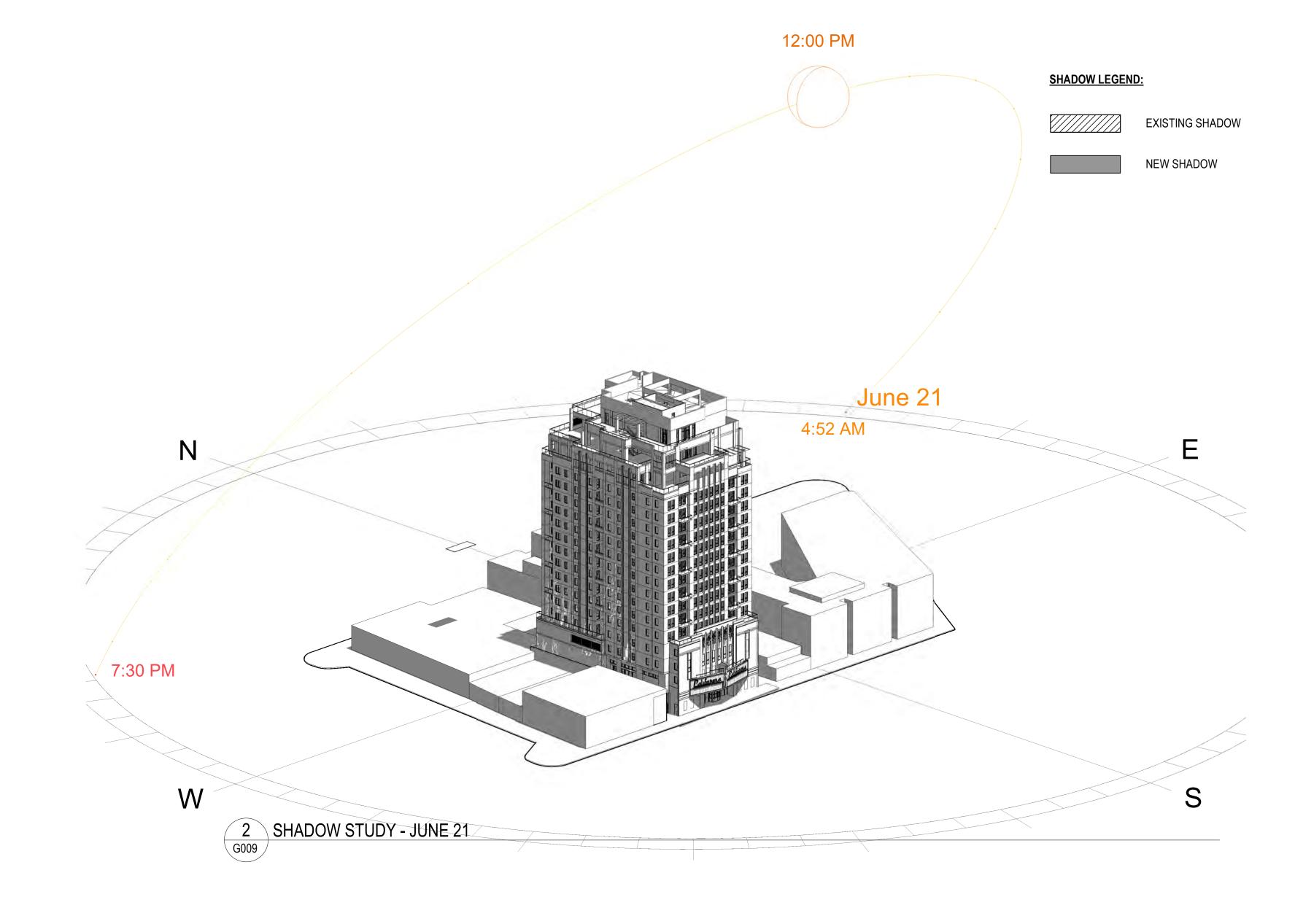
No.	DATE	DESCRIPTION	
	9/26/2023	LPC RESUBMITTAL	

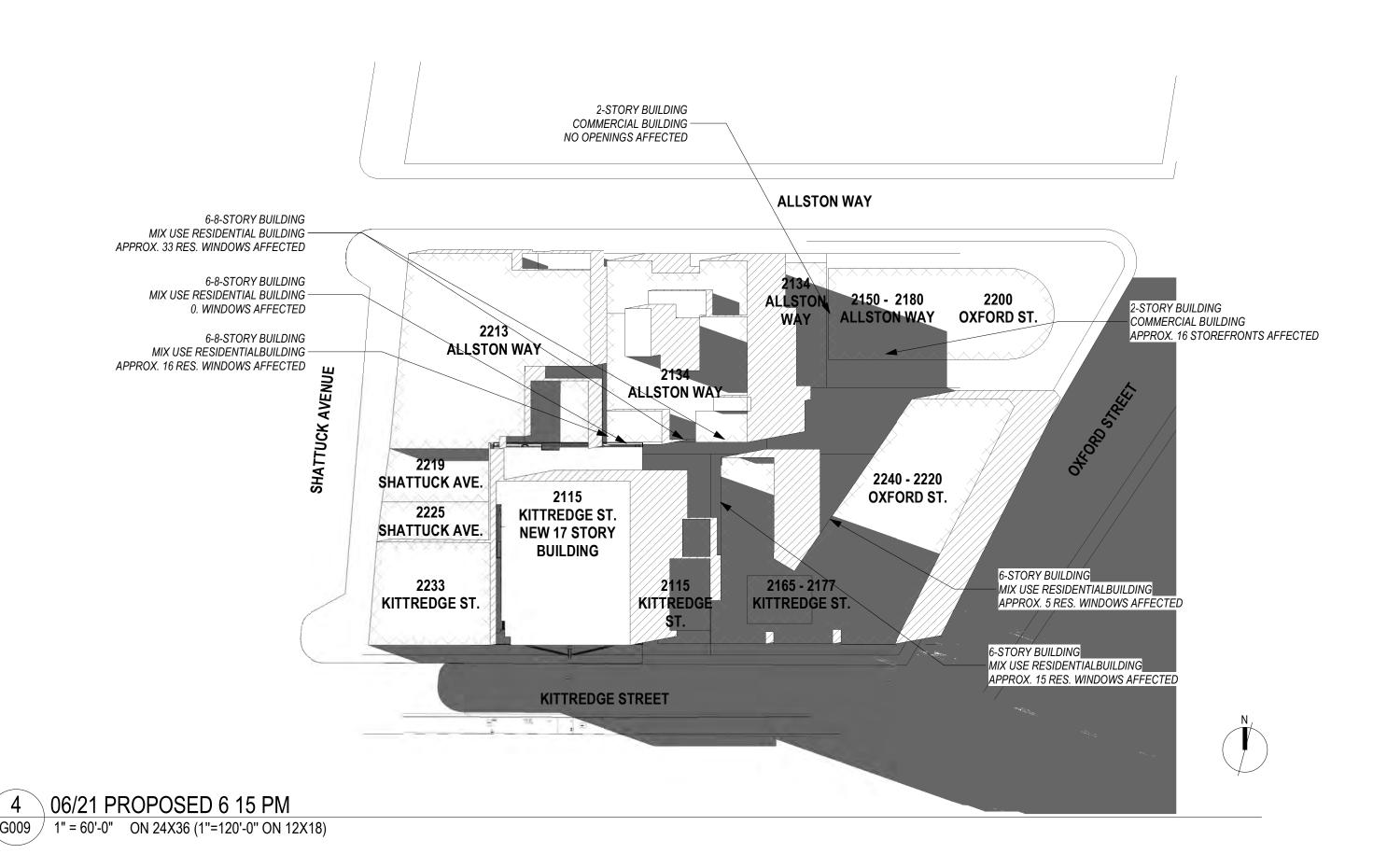
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SHADOW STUDIES - DEC









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2

2115 KITTREDGE ST

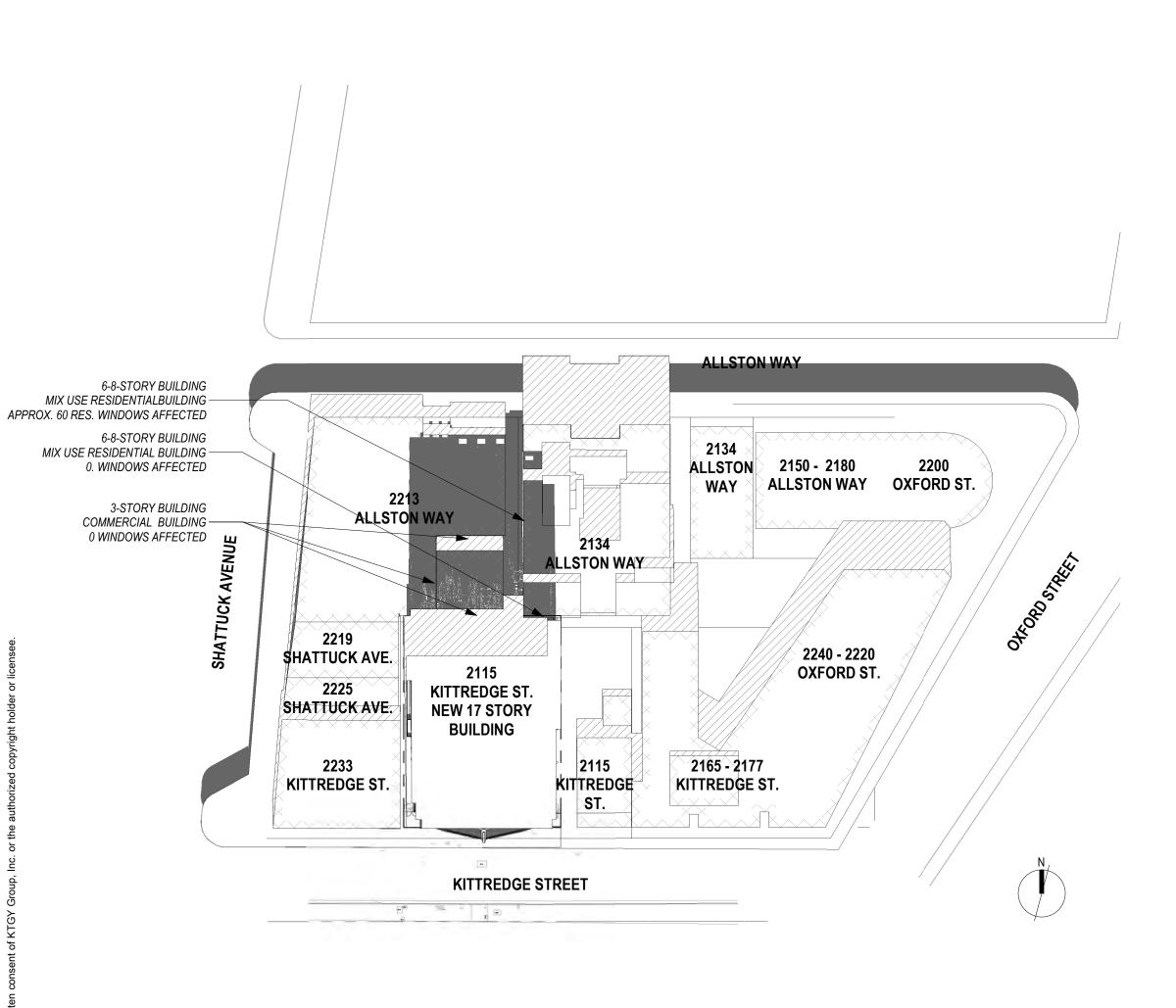
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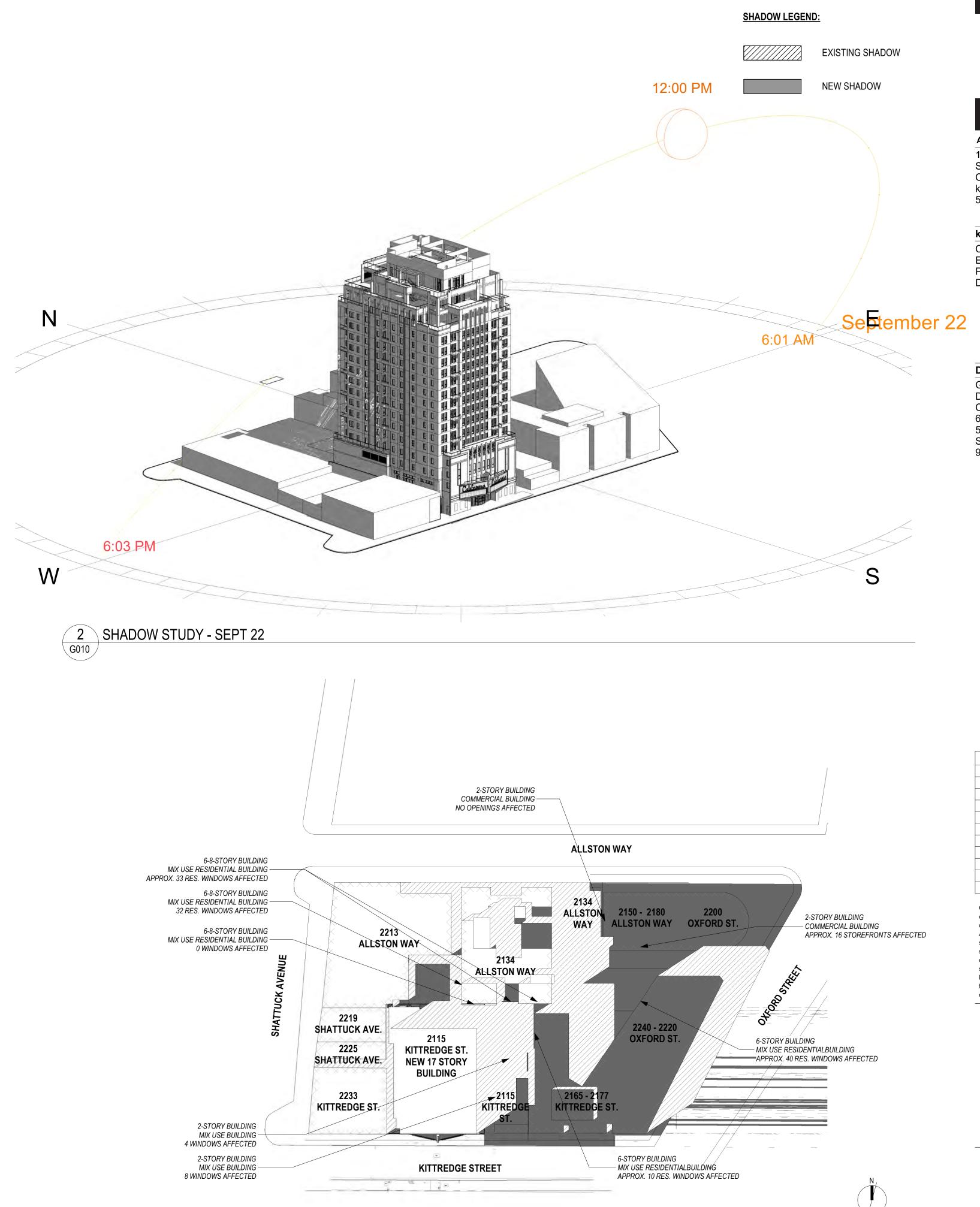


SHADOW STUDIES - JUNE 21



1 09/22 PROPOSED NOON G010 / 1" = 60'-0" ON 24X36 (1"=120'-0" ON 12X18) ALLSTON WAY ALLSTON 2150 - 2180 WAY ALLSTON WAY OXFORD ST. 2213 ALLSTON WAY ALLSTON WAY 2240 - 2220 ATTUCK AVE. 2115 KITTREDGE ST. OXFORD ST. **NEW 17 STORY** BUILDING 2165 - 2177 KITTREDGE ST. KITTREDGE STREET

3 09/22 PROPOSED 8 35 AM G010 1" = 60'-0" ON 24X36 (1"=120'-0" ON 12X18)



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5 KITTREDGE ST

2

2115 KITTREDGE ST RFRKFI FY CA

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SHADOW STUDIES - SEPT 22

1 2

1

2

2 2

9

No parking required

GreenPoint Rated New Home Multifamily Checklist Version 7.0

L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential

Yes L3, Durable Flooring (All flooring is hard surface)

M2.2 ENERGY STAR® Dryer

M4.1 Built-In Recycling Center No M4.2 Built-In Composting Center M5. Lighting Efficiency M5.1 High-Efficacy Lighting

№ M7. Central Laundry Yes M8. Gearless Elevator

N1. Smart Development

N1.2 Designated Brownfield Site

N1.5 Home Size Efficiency

N1.1 Infill Site

M2.3 Solar Dryer/ Laundry Lines ≪0 cubic feet
M3. Size-Efficient ENERGY STAR® Refrigerator

M2. Efficient Clothes Washing and Drying M2.1 CEE-Rated Clothes Washer

No M6. Electric Vehicle Charging Stations and Infrastructure

N1.3 Conserve Resources by Increasing Density

Enter the area of the home, in square feet

N2. Home(s)/Development Located Near Major Transit Stop

N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide

N4.1 Public or Semi-Public Outdoor Gathering Places for Residents

N5.2 Entrances Visible from Street and/or Other Front Doors

N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services

N1.4 Cluster Homes for Land Preservation

Enter the number of bedrooms

N2.1 Within 1 Mile of a Major Transit Stop

N2.2 Within 1/2 mile of a Major Transit Stop N3. Pedestrian and Bicycle Access

Enter the number of Tier 1 services Enter the number of Tier 2 services N3.2 Connection to Pedestrian Pathways N3.3 Traffic Calming Strategies

N3.5 Bicycle Storage for Residents N3.6 Bicycle Storage for Non-Residents

Yes N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services

N5.1 Residence Entries with Views to Callers

No. N5.3 Porches Oriented to Street and Public Space

N6. Passive Solar Design

No. No.1 Heating Load

N4. Outdoor Gathering Places

N5. Social Interaction

TBD N3.7 Reduced Parking Capacity

M4. Permanent Centers for Waste Reduction Strategies

M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant

No L4. Thermal Mass Flooring

Yes M1. ENERGY STAR® Dishwasher

APPLIANCES AND LIGHTING

TBD C11. Landscape Meets Water Budget -1 C12. Environmentally Preferable Materials for Site C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing C12.2 Play Structures and Surfaces Have an Average Recycled Content ≥ 20% TBO C13. Reduced Light Pollution (Extend lighting failures shelded and directed downward) No C14. Large Stature Tree(s) No C15. Third Party Landscape Program Certification No. C16. Maintenance Contract with Certified Professional (Bay-Freezely Qualified Profes Ť No C17, Community Garden STRUCTURAL FRAME AND BUILDING ENVELOPE D1. Optimal Value Engineering D1.1 Joists. Rafters, and Studs at 24 Inches on Center 1 2 D1.2 Non-Load Bearing Door and Window Headers Sized for Load 1 D1.3 Advanced Framing Measures No D2. Construction Material Efficiencies (Pre-assential ye 1 D3. Engineered Lumber D3.1 Engineered Beams and Headers 1 D3.2 Wood I-Joists or Web Trusses for Floors D3.3 Engineered Lumber for Roof Rafters D3.4 Engineered or Finger-Jointed Studs for Vertical Applications 1 D3.5 OSB for Subfloor 0.5 D3.6 OSB for Wall and Roof Sheathing 0.5 No D4. Insulated Headers D5. FSC-Certified Wood No D5.1 Dimensional Lumber, Studs, and Timber 6 D5.2 Panel Products 3 D6. Solid Wall Systems D6.1 At Least 90% of Floors 1 D6.2 At Least 90% of Exterior Walls 1 1 D6.3 At Least 90% of Roofs No D7. Energy Heels on Roof Trusses 1 No. D8. Overhangs and Gutters D9. Reduced Pollution Entering the Home from the Garage Yes D9.1 Detached Garage 2 No Garage Provided No D9.2 Mitigation Strategies for Attached Garage 1 D10. Structural Pest and Rot Controls D10.1 All Wood Located At Least 12 Inches Above the Soil D10,2 Wood Framing Treating With Borates or Factory-Impregnated, or Wall Materials No. Other Than Wood Other Than Utility Rooms, and Basements) Yes E1. Environmentally Preferable Decking tio E2. Flashing Installation Third-Party Verified 2 Yas E3. Rain Screen Wall System Yes E4. Durable and Non-Combustible Cladding Materials E5. Durable Roofing Materials Yes E5.1 Durable and Fire Resistant Roofing Materials or Assembly 1 E5.2 Roofing Warranty for Shingle Roofing No. E6. Vegetated Roof

Ni C9. Recycled Wastewater Irrigation System

Yes C10. Submeter or Dedicated Meter for Landscape Irrigation

	and the second s						
(Min 2	SCA Histogram	po	Aluni	>	the	irces	
1 2 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0		Points Achieved	Community	Energy	MQMealth	Resources	Water
No	N6.2 Cooling Load	0		2			
	N7. Adaptable Building						
No	N7:1 Universal Design Principles in Units	O.	10		1		
No	N7.2 Full-Function Independent Rental Unit	a	1				
	N8. Resiliency						
TBO	NB.1 Climate Impact Assessment (Cal-Adapi. Fortilini Standard, HAZUS, FEMA PS8, or Saltonic Evaluation)		- 1		17.	- 1	
TBO	N8.2 Strategies to Address Assessment Findings				1	1	
7700	N9. Social Equity		1		Y	1	
TBO							
	N9.1 Diverse Workforce (Supplier Diversity or Local Hire)		7			1	
No	N9.2 Community Location (Disodvanlaged Generality)	ō	1		1		
	N10. Affordability						
Na	N10.1 Dedicated Units for Households Making 80% of AMI or Less	σ	2				
Yas	N10.2. Units with Multiple Bedrooms for Households Making 80% of AMI or Less	2	4:				
No.	N10.3 At Least 20% of Units at 120% AMI or Less are For Sale	Ď	1				
	N11. Mixed-Use Development						
Na	N11.1 Live/Work Units Include a Dedicated Commercial Entrance	ò	1.				
Yes	N11.2 At Least 2% of Development Floor Space Supports Mixed Use	-1	1				
TBO	N11.3 Half of the Non-Residential Floor Space is Dedicated to Community Services		1				
THER							
Yes	O1. GreenPoint Rated Checklist in Blueprints	· v	a.	R	R	Ř	8
Yas	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors		-	- 7		1	
No	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs	2		0.5	1.20		0,5
No	O4. Builder's or Developer's Management Staff are Certified	0		0,5	0.5	0.5	0.5
· (iii	Green Building Professionals	0	-	0.5	0,5	0,5	0.5
600	O5. Home System Monitors						
No	O5.1 Energy Home System Monitors	0		2			
No.	O5.2, Water Home System Monitors	Q					_ Ÿ
	O6. Green Building Education				_		
Yes	O6.1 Marketing Green Building	2	2				
Yas	O6.2 Green Building Signage	. 1		0.5			0,5
Yes	07. Green Appraisal Addendum	y	R	R	Ř	R	Ř
No	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation	ò			7.1	1	
Na	O9. Residents Are Offered Free or Discounted Transit Passes	0	2				
No	O10. Vandalism Deterrence Practices and Vandalism Management Plan	. 0				1	
Yes	O11. Smokefree Housing	2			2		
No	O12. Integrated Pest Management Plan	à				- 1	
		4				1	
ESIGN CONSIDE	P1. Acoustics: Noise and Vibration Control						
	Enter the number of Tier 1 practices		1		1		
	Enter the number of Tier 2 practices						
	P2. Mixed-Use Design Strategies						
Yes	P2.1 Tenant Improvement Requirements for Build-Outs	2			1		t
Yos	P2.2 Commercial Loading Area Separated for Residential Area	3			1		
Yes	P2.3 Separate Mechanical and Plumbing Systems	1			4		
	P3. Commissioning						
Yes	P3.1 Design Phase	2		1	1		
Yes	P3.2 Construction Phase	3		2	1		
Yes	P3:3 Post-Construction Phase	á		2	1		
	P4. Building Enclosure Testing	1					

GreenPoint Rated New Home Multifamily Checklist Version 7.0

	erl .	Points Achieved	Communit	Energy	MQ/Health	Resources	Water	
F. INSULATION								
	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content							
Yes	F1.1 Walls and Floors	0.5				0.5		
Yes	F1.2 Ceilings	0,5				0.5		
	F2. Insulation that Meets the CDPH Standard Method—Residential for Low	0,5				0.0	-	
Yos	Emissions F2.1 Walls and Floors	56				-		
Yes	F2.2 Ceilings	0.5			0.5			
1,00	F3. Low GWP Insulation That Does Not Contain Fire Retardants	0.5			0.5			
Yas								-
	F3.1 Cavity Walls and Floors	1			1			
Yes	F3.2 Ceilings	1			1			
Yes	F3.3 Interior and Exterior Insulation	1			-1:			
G. PLUMBING								
	G1. Efficient Distribution of Domestic Hot Water	-						
You	G1.1 Insulated Hot Water Pipes	- 1		1				
Yas	G1.2 WaterSense Volume Limit for Hot Water Distribution	-1			1		1	Increase insulation on pi
No	G1.3 Increased Efficiency in Hot Water Distribution	0					2	
	G2. Install Water-Efficient Fixtures							
Yas	G2.1 WaterSense Showerheads 1.8 gpm with Matching Compensation Valve	2					2	
Yas	G2.2 WaterSense Bathroom Faucets with ≤ 1.0 gpm	1					1	
≤1.1 gpf	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams 1.28 gpf OR 1.1 gpf	2					2	
TBD	G2.4 Urinals with Flush Rate of ≤ 0.1 gpf						,	possible
Na	G3. Pre-Plumbing for Graywater System	15					,	possible
No	G4. Operational Graywater System	0						
TBD	G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout	-0					3	C. (************************************
Yes	G6. Submeter Water for Tenants						1	confirm costs w/ rep
		-2				-	2	
H. HEATING, VENTILA	ATION, AND AIR CONDITIONING							
	H1. Sealed Combustion Units							
Yes	H1.1 Sealed Combustion Furnace	-3			1			all electric - no combusti
Yas	H1.2 Sealed Combustion Water Heaten	. 2			.2			heat pump
No.	H2. High Performing Zoned Hydronic Radiant Heating System	e		Ť	.1			
	H3. Effective Ductwork			_				
Yes	H3.1 Duct Mastic on Duct Joints and Seams			-1				נכשמון ש בפכון שוווג (שכפו
TBD	H3.2 Pressure Balance the Ductwork System			*				windows & doors)
TBO	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified				1			centralized fan @ roof
	H5. Advanced Practices for Cooling							
Nα	H5.1 ENERGY STAR® Ceilling Fans in Living Areas and Bedrooms	œ.		Ť				
No	H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room in 80% of Units	ū		1				
	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality							
Yes	H6.1 Meet ASHRAE Standard 62.2-2016 Ventilation Residential Standards	¥	R	R	Ř	Ř	R	
tia	H6.2 Advanced Ventilation Standards	0.	- 14		-	-	-	
No	H6.3 Outdoor Air is Filtered and Tempered				2			
	H7. Effective Range Design and Installation	0			1	-		
No								
	H7.1 Effective Range Hood Ducting and Design	ġ.			1			
No	H7.2 Automatic Range Hood Control	0			4.			
Yes	H8. High Efficiency HVAC Filter (MERV 16+)	. 1			1			min. mery 13
	H9. Advanced Refrigerants (low (robal warming potential refrigerants)	0			ĬĀ.			
No								
No.	gy							
Maria Carlos Valores	II. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)	2		25				

D Build it Green

D. Build it Green

tal Points Achieved 157.0 11.0 06.0 28.0 26.0 15.0

Tropic St. O.A.	*	Peints Achieve	Communi	Energy	MQ/Healt	Resource	Water	
'Ne	12.2 Low Carbon Home (most by CC04/sq it (Novebod)	0		-4				
No.	13. Energy Storage	ō		1				
No	I4. Solar Hot Water Systems to Preheat Domestic Hot Water	o o		4				
≥50% of common area	15. Photovoltaic System for Multifamily Projects	à		- 8				
BUILDING PERFORM	ANCE AND TESTING							
Yes	J1. Third-Party Verification of Quality of Insulation Installation	j			Ĭ.		100	
Yas	J2. Supply and Return Air Flow Testing	2		1:	1:			
Yes	J3. Mechanical Ventilation Testing	-1			1			
You	J4. All Electric or Combustion Appliance Safety Testing	-1.			4:			Option 1: Mixed Fuel - High-Rise:
All Electric High-Rise	J5. Building Energy Performance							Compliance margin is 10% over T24 or higher. Low Rise: Minimum Delta EDR ranges from 6-10 based on climate 20: Both high-rise and low-rise require proving requirements: Dryer - conductor rated for 40 amp, Range - conductor rated for 50 amp. PV and storage crediallowed. Option 2: All Electric Compliance - McEfficiency EDR based on climate zone: 5). PV and Storage credit allowed. Higher meet T24. Option 3: Annual Energy Use - Minimum 20% compliance based on annual energy use. PV credit not
3								Climate Zone Input
8	J5.1 Home Meets or Exceeds Energy Compliance Pathway	41		25+				
0.00%	J5.2 Non-Residential Spaces Outperform Title 24			15				
Yes	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst	3		1				
TBD	J7. Participation in Utility Program with Third-Party Plan Review							savings by design
No	J8. ENERGY STAR® for Homes	0		-				John Broy Group!
No	J9, EPA Indoor airPlus Certification	30			2.			
No	J10. Blower Door Testing							
No	J11. Compartmentalization of Units (Mismiss uncontrolled pathways lice indicer are pollutaritis tenwerin units)	0			3			
C. FINISHES		0		1	-1-			
L. Fimanca	K1. Entryways Designed to Reduce Tracked-In Contaminants							
No.	K1.1 Entryways to Individual Units (Disberain ford surface of universe and permanent accoming for some storage)				100			
Nb	K1.2 Entryways to Buildings (Generale hard surface at entrances and buston, permanent week-off mat or gold)	Ō			1			
Yes	K2, Zero-VOC Interior Wall and Ceiling Paints	0			1			
Yes	K3. Low-VOC Caulks and Adhesives	2			2			
1/2	K4. Environmentally Preferable Materials for Interior Finish	1		-	(1:)			
TBD	K4.1 Cabinets			1		v		
TBD	K4.2 Interior Trim			+		2	-	
TBD	1000 A.C			-		2	-	
	K4.3 Shelving K4.4 Doors			-		2		
TBO						2		
Yes	K4.5 Countertops	- 1		_		- 1		
. Ac	K5. Formaldehyde Emissions in Interior Finish Exceed CARB			_			-	
No	K5.1 Doors	ō			.1:			
No.	K5.2 Cabinets and Countertops	0			2			
Nb	K5.3 Interior Trim and Shelving	o.			2			
No.	K6. Products That Comply With the Health Product Declaration Open Standard	. 0			2			
'No	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion	0			2			
No.	K8. Comprehensive Inclusion of Low Emitting Finishes				1			
Yes	K9. Durable Cabinets (Psympod for casework and disers, livil bearing drawer alides, dowelad joints, livil directional metal fringes)	2				2		
No.	K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes	0	- 1	1 1		Ť		
L. FLOORING								
≥75%	L1. Environmentally Preferable Flooring					4		



Architecture | Branding | Interiors | Planning 1814 Franklin St Suite 400 Oakland, CA 94612 ktgy.com 510.272.2910

ktgy Project Number Contact Email ewong@ktgy.com Principal Jessica Musick Designer

GDC01

Elwin Wong

Developer **GILBANE** DEVELOPMENT COMPANY 649 Mission Street 5th Floor San Francisco, CA

TRED 2

2

94105

ESCRIPTION	2115 KITTREDGE BERKELEY, C	
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No.	DATE	DESCRIPTION
	9/26/2023	LPC RESUBMITTAL

Client is responsible for notifying architect in writing for any discovered errors or omissions in the plans and specifications during construction of the project. Failure for Client to notify Architect of any known errors or omissions in the plans or specifications, and proceeding with constructing the portion of work shown in the plans or specifications containing known errors or omissions shall be a waiver by Client for any liability of Architect for such known errors or omissions. Client releases Architect for any liability for such portions of work, and Architect shall not be liable for any delay damages, change orders, repair costs, removal or demolition costs, or replacement of any such portions of work.



GREENPOINT RATED CHECKLIST





4 SE TERRACE PERSPECTIVE
G012 NOT TO SCALE



3 SW TERRACE PERSPECTIVE G012 NOT TO SCALE

5 NW TERRACE PERSPECTIVE G012 NOT TO SCALE



2 SOUTH TERRACE ELEVATION G012 NOT TO SCALE



1 WEST TERRACE ELEVATION G012 NOT TO SCALE



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Elwin Wong ewong@ktgy.com Jessica Musick Principal Designer

GDC01

Cilbane

Developer GILBANE
DEVELOPMENT
COMPANY
649 Mission Street

5th Floor San Francisco, CA 94105

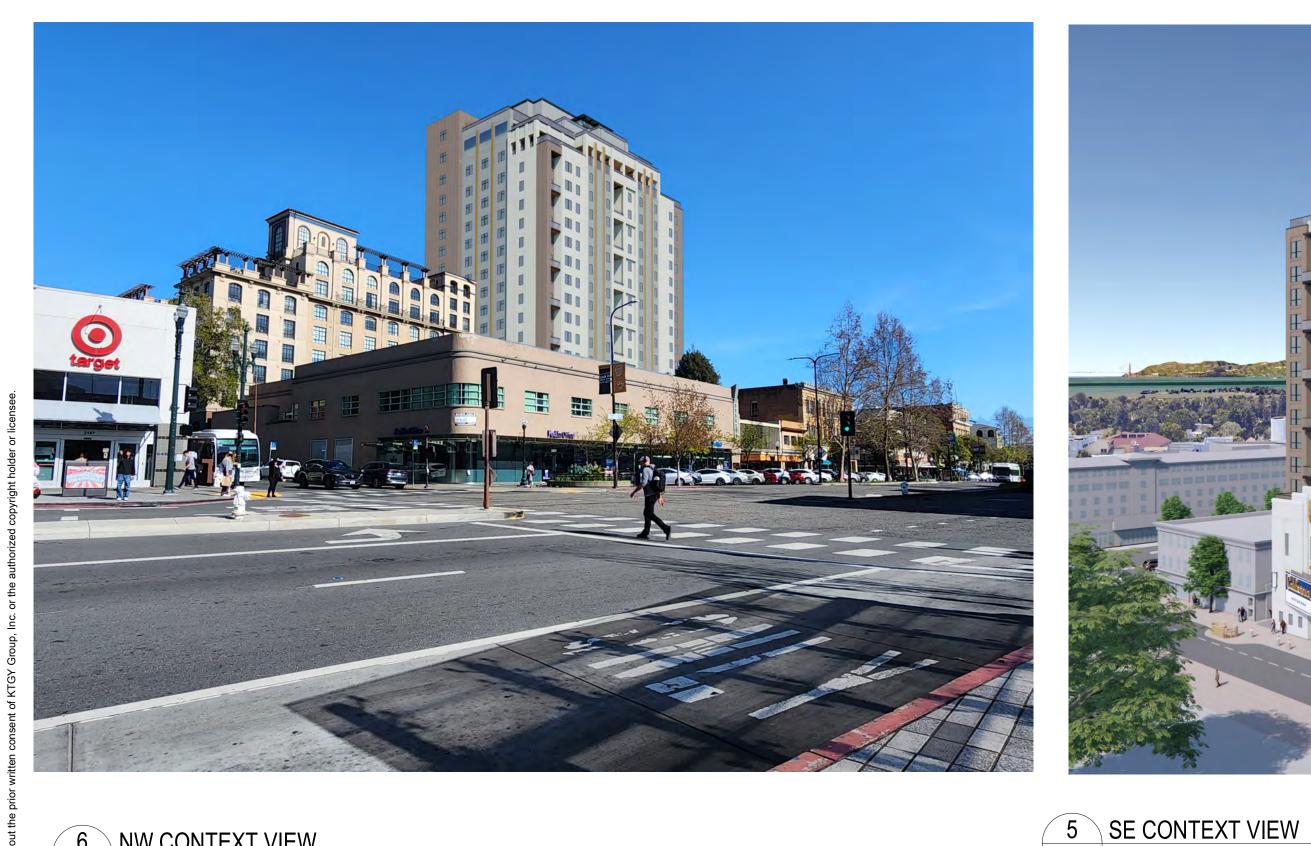
2

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TERRACE VIEWS AND PERSPECTIVES







4 PEDESTRIAN LEVEL PERSPECTIVE
G013 NOT TO SCALE



3 SW CONTEXT VIEW NOT TO SCALE





1 CONTEXT VIEW MAP

G013 NOT TO SCALE



PERSPECTIVE CONTEXT RENDERINGS

2 NE CONTEXT VIEW
G013 NOT TO SCALE

G013 NOT TO SCALE



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Developer
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DEVELOPMENT

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5th Floor
San Francisco, CA
94105

2115 KITTREDGE

2115 KITTREDGE ST

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ITTREDGE

2115 KITTREDGE ST

No. DATE DESCRIPTION
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NIGHT RENDERING

2115 KITTREDGE STREET

BERKELEY, CA 94704

<u>.EGEND</u>	EXISTING	PROPOSED
WCUT AND CONFORM LINE		
TAINING WALL		
C. PAVEMENT		
DNC. VALLEY GUTTER		
DNC. SIDEWALK OR PAD		
' CURB & GUTTER		
OGE OF A.C. PAVEMENT	EP~_	
VERTICAL CURB		
NTER LINE		
NITARY SEWER MAIN	8"SS	8"
ORM DRAIN MAIN	SD	
RFORATED PIPE		6"SD
TER MAIN	6"	
E WATER MAIN		
	6"	A**
MESTIC WATER MAIN	DW	
LED WATER MAIN		
GATION LINE		
WATER SUPPLY & RETURN	HWS-HWR	
AM LINE	ST	ST
NCH DRAIN		
DENSATE RETURN	CR	
/ LINE		
N LINK FENCE	xx	xx
MAIN	G	
RIC AND SIGNAL DUCT BANK	——— E	———E———
EAD ELECTRIC LINE	OHE	OHE
RGROUND ELECTRIC LINE	UGE	UGE
T LIGHT CONDUIT	SL	SL
OUR ELEVATION LINE	 85 	90
ELEVATION	QA/	FG 95.94
	x 95.94 \$3	2:1 1%
TION OF SLOPE	pun	
IETER	.GV	■ GM gv
AL VE	\bowtie	\bowtie
METER	W	■ WM w
<i>VAL VE</i>	₩V o	×
HYDRANT	₩ +O+	>
FLOW PREVENTOR		
INDICATOR VALVE	PIV	PIV
DEPARTMENT CONNECTION	R	♣
R LINE TEE		
AND PLUG END		———
RELEASE VALVE		■ ARV
	d	4
ESSIBLE RAMP	,	
CRETE THRUST BLOCK	/1_1\	<u>///_ </u>
CER		▼
TARY SEWER MANHOLE	O	
TARY SEWER CLEANOUT	SSCO	SSC0
M DRAIN MANHOLE	© ©	
N DRAIN AREA DRAIN		
RM DRAIN CATCH BASIN	□СВ	
RM DRAIN CURB INLET		
M DRAIN CLEANOUT	SDCO	SDCO
TROLIER	⊕	• * * • *
POLE	JP -0-	JP →

		-> // 4 1 > 1
ABBI	\exists E	EVIATIONS
AB	_	AGGREGATE BASE
AC AD	_	ASPHALT CONCRETE ARFA DRAIN
ADA ASB		AMERICANS WITH DISABILITIES ACT AGGREGATE SUBBASE
BC	_	BEGINNING OF CURVE
BFP BLDC	_	BACK FLOW PREVENTOR BUILDING CORNER
BLDG BOD		BUILDING BOTTOM OF DOCK
BOL BOS		BOLLARD BOTTOM OF STEP
BOW BVC	_	FG @ BOTTOM OF WALL BEGIN VERTICAL CURVE
BW	_	BACK OF WALK
C C&G	_	CONCRETE OR CIVIL CURB AND GUTTER
CB Cl		CATCH BASIN COMBINATION INLET
CIP CL		CAST IRON PIPE CENTER LINE OR CLASS
CMP CO		CORRUGATED METAL PIPE CLEANOUT
COI CONC	_	CURB OPENING INLET CONCRETE
CONST	_	CONSTRUCTION OR CONSTRUCT
CY DCDA	_	CUBIC YARD DOUBLE CHECK DETECTOR ASSEMBLY
DI DIP	_	DROP INLET DUCTILE IRON PIPE
DOM DW	_	DOMESTIC DOMESTIC WATER
DWG E	_	DRAWING EAST
EC EP	_	
ER	_	END OF RETURN
EVC ELEV		END VERTICAL CURVE ELEVATION
EX., EXIST. FC		EXISTING FACE OF CURB
FDC FF		FIRE DEPARTMENT CONNECTION FINISHED FLOOR
FG FH	_	FINISHED GRADE FIRE HYDRANT
FL	_	FLOW LINE
FOUND FS		FOUNDATION FINISHED SURFACE
FT FW	_	FOOT FIRE WATER
G GB		GROUND ELEVATION GRADE BREAK
GV HCR	_	GATE VALVE ACCESSIBLE RAMP
HP	_	HIGH POINT
INV JP	_	
JT LIP		JOINT TRENCH LIP OF GUTTER
LP LSA		LOW POINT LANDSCAPE ARCHITECT
MAX MEP	_	MAXIMUM MECHANICAL/ELECTRICAL/PLUMBING
MH	_	MANHOLE
MIN MPVC	_	MINIMUM MIDPOINT OF VERTICAL CURVE
MON N	_	MONUMENT NORTH
N.I.C. NO	_	NOT IN CONTRACT NUMBER
NTS P	_	NOT TO SCALE PAVEMENT ELEVATION
PCC	-	PORTLAND CEMENT CONCRETE / POINT OF CONTINUOUS CURVATURE
PIV	-	POST INDICATOR VALVE
PL PMH	_	PROPERTY LINE POWER MANHOLE
POC PP		POINT ON CURVE POWER POLE
PRC PVC	_	
R RC	_	5.500
RCP	_	REINFORCED CONCRETE PIPE

SEE ARCHITECTURAL DRAWINGS

SEE ELECTRICAL DRAWINGS

SEE LANDSCAPE DRAWINGS

SEE MECHANICAL DRAWINGS

SEE PLUMBING DRAWINGS

- RIGHT OF WAY

SLOPE OR SOUTH

SEDIMENT BASIN

SIGNAL MANHOLE

SANITARY SEWER

STORM DRAIN

SILT FENCE

SUBGRADE

STATION STANDARD

SIDEWALK

TOP OF CURB

TRENCH DRAIN

– TOP OF DOCK

- TOE OF SLOPE

– TOP OF STAIR

- TOP OF SLAB

UNDERGROUND

WATER METER

WATER VALVE

- WEST

– *WITH*

VERTICAL CURVE

WELDED WIRE FABRIC

– TYPICAL

- FG @ TOP OF WALL

UNLESS OTHERWISE NOTED

REDUCED PRESSURE PRINCIPLE ASSEMBLY

CONSTRUCTION NOTES

CONSTRUCTION ACTIVITIES.

- 1. ALL OFF-SITE CONSTRUCTION MATERIAL AND METHODS SHALL COMPLY WITH THE LATEST EDITION OF THE CITY OF BERKELEY STANDARD PLANS & SPECIFICATIONS.
- 2. CONTRACTOR SHALL LEAVE AN EMERGENCY PHONE NUMBER WITH THE CITY OF BERKELEY POLICE AND FIRE DEPARTMENTS.
- 3. CONTRACTOR SHALL POST ON THE SITE, EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE, AND FIRE DEPARTMENTS.
- 4. CONTRACTOR SHALL NOTIFY ALL PUBLIC OR PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY UNLESS AN EXCAVATION PERMIT SPECIFIES OTHERWISE.
- 5. THE CONTRACTOR SHALL HIRE A STREET CLEANING CONTRACTOR TO CLEAN UP DIRT AND DEBRIS FROM CITY STREETS THAT ARE ATTRIBUTABLE TO THE DEVELOPMENT'S
- 6. ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT FOR AIRBORNE PARTICULATES (DUST).
- 7. ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE GEOTECHNICAL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND UNAPPROVED GRADING WORK SHALL BE REMOVED AND REDONE AT THE CONTRACTORS EXPENSE.
- 8. ALL MATERIALS, REQUIRED FOR THE COMPLETE EXECUTION OF THE PROJECT, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- 9. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY DURING THE CONSTRUCTION PERIOD.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY EXISTING IMPROVEMENTS OF UNDERGROUND FACILITIES DAMAGED DURING THE CONSTRUCTION
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL ENCROACHMENT, EXCAVATION, CONCRETE, ELECTRICAL, PLUMBING, ETC. PERMITS NECESSARY PRIOR TO BEGINNING CONSTRUCTION FOR ANY WORK.
- 12. THE CONTRACTOR SHALL HAVE A SUPERINTENDENT OR REPRESENTATIVE ON SITE AT ALL TIMES DURING CONSTRUCTION.
- 13. STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT ON CITY STREETS WILL NOT
- BE PERMITTED. 14. CONSTRUCTION EQUIPMENT SHALL BE PROPERLY MUFFLED. UNNECESSARY IDLING OF
- GRADING CONSTRUCTION EQUIPMENT IS PROHIBITED.
- 15. CONSTRUCTION EQUIPMENT, TOOLS, ETC. SHALL NOT BE CLEANED OR RINSED INTO A STREET, GUTTER OR STORM DRAIN.
- 16. A CONTAINED AND COVERED AREA ON-SITE SHALL BE USED FOR STORAGE OF CEMENT BAGS, PAINTS, FLAMMABLE, OILS, FERTILIZERS, PESTICIDES, OR ANY OTHER MATERIALS THAT HAVE POTENTIAL FOR BEING DISCHARGED TO THE STORM DRAIN SYSTEM BY WIND OR IN THE EVENT OF A MATERIAL SPILL.
- 17. ALL CONSTRUCTION DEBRIS SHALL BE GATHERED ON A REGULAR BASIS AND PLACED IN A DUMPSTER WHICH IS EMPTIED OR REMOVED WEEKLY. WHEN FEASIBLE, TARPS SHALL BE USED ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORMWATER POLLUTION.
- 18. ANY TEMPORARY ON-SITE CONSTRUCTION PILES SHALL BE SECURELY COVERED WITH A TARP OR OTHER DEVICE TO CONTAIN DEBRIS.
- 19. CONCRETE TRUCKS AND CONCRETE FINISHING OPERATIONS SHALL NOT DISCHARGE WASH WATER INTO THE STREET GUTTERS OR DRAINS.

DISCREPANCIES

IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS IN DRAWINGS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE ATTENTION OF THE ENGINEER FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

UTILITY/POTHOLE NOTE

THE TYPES, LOCATIONS, SIZES AND /OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND FACILITIES AND UTILITIES BY POTHOLING PRIOR TO COMMENCING CONSTRUCTION.

DIMENSIONS

ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

ENCROACHMENT NOTE:

A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY. IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN THIS ENCROACHMENT PERMIT AND FOLLOW ALL CONSTRUCTION RELATED REQUIREMENTS OF SUCH PERMIT.

RECORD DRAWING NOTE

THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "REDLINED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE CITY ENGINEER AND DEVELOPER'S CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY ENGINEER.

HAZARDOUS MATERIALS NOTE

THERE MAY BE ASBESTOS CONTAINING PIPE AND PIPE INSTALLATION OR OTHER HAZARDOUS MATERIALS WITHIN THE PROJECT AREA. THE CONTRACTOR WILL PROTECT ALL HAZARDOUS CONTAINING ITEMS DURING THE EXECUTION OF THIS CONTRACT. ADDITIONALLY THE CONTRACTOR WILL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS REGARDING CONSTRUCTION ACTIVITIES NEAR HAZARDOUS MATERIALS.

CONSTRUCTION FENCE

- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYDOWN AREAS.
- 2. CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6' HIGH GALVANIZED CHAIN LINK WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
- 3. CONSTRUCTION FENCE ADDRESSED IN THESE NOTES IS ONLY FOR VISUAL CONFORMANCE OF THIS CONSTRUCTION SITE TO THE CITY OF BERKELEY STANDARDS. CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL FENCING, BARRICADES OR OTHER SAFETY DEVICES TO KEEP THE SITE SECURE AND SAFE.

FIRE DESIGN NOTE:

THE CONTRACTOR SHALL DESIGN, PREPARE SHOP DRAWINGS FOR, OBTAIN ALL REQUIRED APPROVALS, AND CONSTRUCT THE FIRE SYSTEM FOR THE PROPOSED PROJECT. CONTRACTOR SHALL HAVE SHOP DRAWINGS STAMPED BY A FIRE PROTECTION ENGINEER AS REQUIRED BY THE LOCAL AUTHORITY.

APPLICABLE FIRE CODE NOTES

APPLICABLE CODES AS OF JANUARY 1, 2023:

2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE (PART 1, TITLE 24, CCR) 2022 CALIFORNIA BUILDING CODE, VOLUMES 1 AND 2 (PART 2, TITLE 24, CCR) (2021 EDITION INTERNATIONAL BUILDING CODE)

2022 CALIFORNIA ELECTRICAL CODE (PART 3, TITLE 24, CCR) (2020 EDITION NATIONAL ELECTRICAL CODE)

2022 CALIFORNIA MECHANICAL CODE (PART 4, TITLE 24, CCR) (2021 EDITION UNIFORM MECHANICAL CODE)

2022 CALIFORNIA PLUMBING CODE (PART 5, TITLE 24, CCR) (2021 EDITION UNIFORM PLUMBING CODE)

2022 CALIFORNIA ENERGY CODE (PART 6, TITLE 24, CCR)

2022 CALIFORNIA ELEVATOR SAFETY ORDERS (CHAPTER 4, TITLE 8, CCR)

2022 CALIFORNIA FIRE CODE (PART 9, TITLE 24, CCR) (2021 EDITION INTERNATIONAL FIRE CODE)

2022 CALIFORNIA REFERENCED STANDARDS CODE (PART 12, TITLE 24, CCR)

TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

PARTIAL LIST OF APPLICABLE REFERENCE STANDARDS AS LISTED AND AMENDED PER 2022 CALIFORNIA FIRE CODE, CHAPTER 80:

NFPA 13 - AUTOMATIC SPRINKLER SYSTEMS - 2016 EDITION NFPA 14 - STANDPIPE SYSTEMS - 2016 EDITION

NFPA 24 - PRIVATE FIRE MAINS - 2016 EDITION NFPA 72 - NATIONAL FIRE ALARM CODE - 2016 EDITION

NFPA 20 - STATIONARY PUMPS FOR FIRE PROTECTION - 2016 EDITION NFPA 99 - HEALTH CARE FACILITIES - 2018 EDITION

<u>UNDERGROUND FIRE SERVICE TO FIRE HYDRANTS REQUIREMENTS:</u>

NFPA 24. SEC. 10.1.1.3: UNLESS THE REQUIREMENTS OF 10.1.1.3 ARE MET. ALL FERROUS METAL PIPE SHALL BE LINED IN ACCORDANCE WITH THE APPLICABLE STANDARDS IN TABLE

NFPA 24, SEC. 10.4: THE DEPTH OF COVER OVER WATER PIPES SHALL NOT BE LESS THAN 2-1/2 FEET TO PREVENT MECHANICAL DAMAGE. PIPE UNDER DRIVEWAYS SHALL BE BURIED AT A MINIMUM DEPTH OF 3 FEET. PIPE UNDER RAILROAD TRACKS SHALL BE BURIED AT A MINIMUM DEPTH OF 4 FEET.

NFPA 24, SEC. 10.4.1.1: ALL BOLTED JOINT ACCESSORIES SHALL BE CLEANED AND THOROUGHLY COATED WITH ASPHALT OR OTHER CORROSION—RETARDING MATERIAL AFTER

NFPA 24, SEC. 10.4.3: PIPE SHALL NOT BE RUN UNDER BUILDINGS EXCEPT WHERE PERMITTED IN 10.4.3.1 AND 10.4.3.2

NFPA 24, SEC. 10.6.1: THRUST BLOCKS SHALL BE PERMITTED WHERE SOIL IS STABLE AND CAPABLE OF RESISTING THE ANTICIPATED THRUST FORCES. THRUST BLOCKS SHALL BE OF A CONCRETE MIX NOT LEANER THAN ONE PART CEMENT, TWO AND ONE HALF PARTS SAND. AND FIVE PARTS STONE. THRUST BLOCKS SHALL BE PLACED BETWEEN UNDISTURBED EARTH AND THE FITTING TO BE RESTRAINED, AND SHALL BE CAPABLE OF RESISTING THE CALCULATED THRUST FORCES. WHEREVER POSSIBLE, THRUST BLOCKS SHALL BE PLACED SO THAT THE JOINTS ARE ACCESSIBLE FOR REPAIR.

NFPA 24, SEC. 10.6.2.5: CORROSION RESISTANCE. AFTER INSTALLATION, RODS, NUTS, BOLTS, WASHERS, CLAMPS, AND OTHER RESTRAINING DEVICES SHALL BE CLEANED AND THOROUGHLY COATED WITH BITUMINOUS OR OTHER ACCEPTABLE CORROSION—RETARDING MATERIAL.

NFPA 24, SEC. 10.10.2.1.1: UNDERGROUND PIPING, FROM THE WATER SUPPLY TO THE SYSTEM RISER, AND LEAD-IN CONNECTIONS TO THE SYSTEM RISER SHALL BE COMPLETELY FLUSHED BEFORE THE CONNECTION IS MADE TO THE DOWNSTREAM FIRE PROTECTION SYSTEM PIPING. THE FLUSHING OPERATION SHALL BE CONTINUED FOR A SUFFICIENT TIME TO ENSURE THOROUGH CLEANING. THE MINIMUM RATE OF FLOW SHALL BE NOT LESS THAN THAT SPECIFIED IN SECTION 10.10.2.1.3.

NFPA 24, SEC. 10.10.2.2.1: ALL PIPING AND ATTACHED APPURTENANCES SUBJECT TO SYSTEM WORKING PRESSURE SHALL BE HYDROSTATICALLY TESTED AT 200 PSI OR 50 PSI IN EXCESS OF THE SYSTEM WORKING PRESSURE, WHICHEVER IS GREATER, AND SHALL MAINTAIN THAT PRESSURE AT ±5 PSI FOR 2 HOURS.

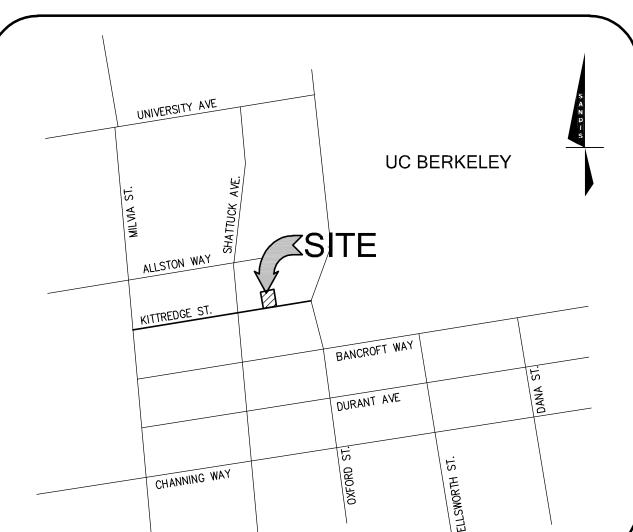
NFPA 24, SEC 10.10.1: THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING: (1) NOTIFYING THE AUTHORITY HAVING JURISDICTION AND THE OWNER'S REPRESENTATIVE OF THE TIME AND DATE TESTING IS TO BE PERFORMED; (2) PERFORMING ALL REQUIRED ACCEPTANCE TESTS; (3) COMPLETING AND SIGNING THE CONTRACTOR'S MATERIAL AND TEST CERTIFICATE(S) SHOWN IN FIGURE 10.10.1.

UNDERGROUND WORK CAUTION

CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOR NORTHERN CALIFORNIA DIAL 811 OR (800) 227-2600. FOR OTHER AREAS CALL (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.

DUST CONTROL NOTES

- 1. WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR IN ORDER TO INSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
- 2. ALL PUBLIC STREETS AND MEDIANS SOILED OR LITTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWEPT ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR, OR TO THE SATISFACTION OF THE CITY'S DEPARTMENT OF PUBLIC WORKS.
- 3. ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPAULINS OR OTHER EFFECTIVE COVERS.
- 4. WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
- 5. THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 403 (FUGITIVE DUST).
- 6. GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT SWPPP (IF ONE EXISTS) OR AS APPLICABLE PER LOCAL REGULATIONS AT ALL TIMES. THE SITE SHALL BE SPRINKLERED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CLIENT RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS. ALL GRADING OPERATIONS SHALL BE SUSPENDED DURING SECOND (OR WORSE) STAGE SMOG ALERTS.



VICINITY MAP

PROJECT DESCRIPTION

THE PROJECT ENTAILS AN EIGHTEEN LEVEL (AND TWO BASEMENT LEVELS) APARTMENT TOWER WITH A THEATER INCLUDED IN THE LOWER LEVELS. THE CIVIL SCOPE OF WORK INCLUDES: SITE DEMOLITION, SANITARY SEWER BUILDING LATERAL, STORMWATER MEDIA FILTER AND PUMP, AREA DRAINS AND TRENCH DRAIN, FIRE AND DOMESTIC WATER SERVICE LATERALS, CURB AND GUTTER, AND SIDEWALK.

Civil Engineers | Surveyors | Planners 636 9th Street Oakland, CA 94607 sandis net 510.873.8866 Sandis Project Number Principal Designer Gilbane Development

SANDIS

Company

5th Floor

649 Mission Street

San Francisco, CA

94105 gilbaneco.com

No. DATE DESCRIPTION

8/28/2023 100% DD Set

Client is responsible for notifying architect in writing for

specifications during construction of the project. Failure

omissions in the plans or specifications, and proceeding

with constructing the portion of work shown in the plans

Architect for any liability for such portions of work, and

change orders, repair costs, removal or demolition costs,

or Client to notify Architect of any known errors or

or specifications containing known errors or omissions shall be a waiver by Client for any liability of Architect

for such known errors or omissions. Client releases

Architect shall not be liable for any delay damages,

or replacement of any such portions of work.

NOTES, LEGEND, &

ABBREVIATIONS

any discovered errors or omissions in the plans and

Michael Kuykendall

Michael Kuykendall

Nicholas Chandler

mkuykendall@sandis.net

CIVIL SHEET INDEX

NOTES, LEGEND, & ABBREVIATIONS CO01 TOPOGRAPHIC SURVEY

C100 DEMOLITION PLAN SITE AND GRADING PLAN C300 UTILITY PLAN

STORMWATER MANAGEMENT PLAN C400 C500 CONSTRUCTION DETAILS C501 CONSTRUCTION DETAILS

CONSTRUCTION DETAILS C502

CONSTRUCTION DETAILS C503

Call before you dig

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION

RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT,

INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO

CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON

PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE

APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION

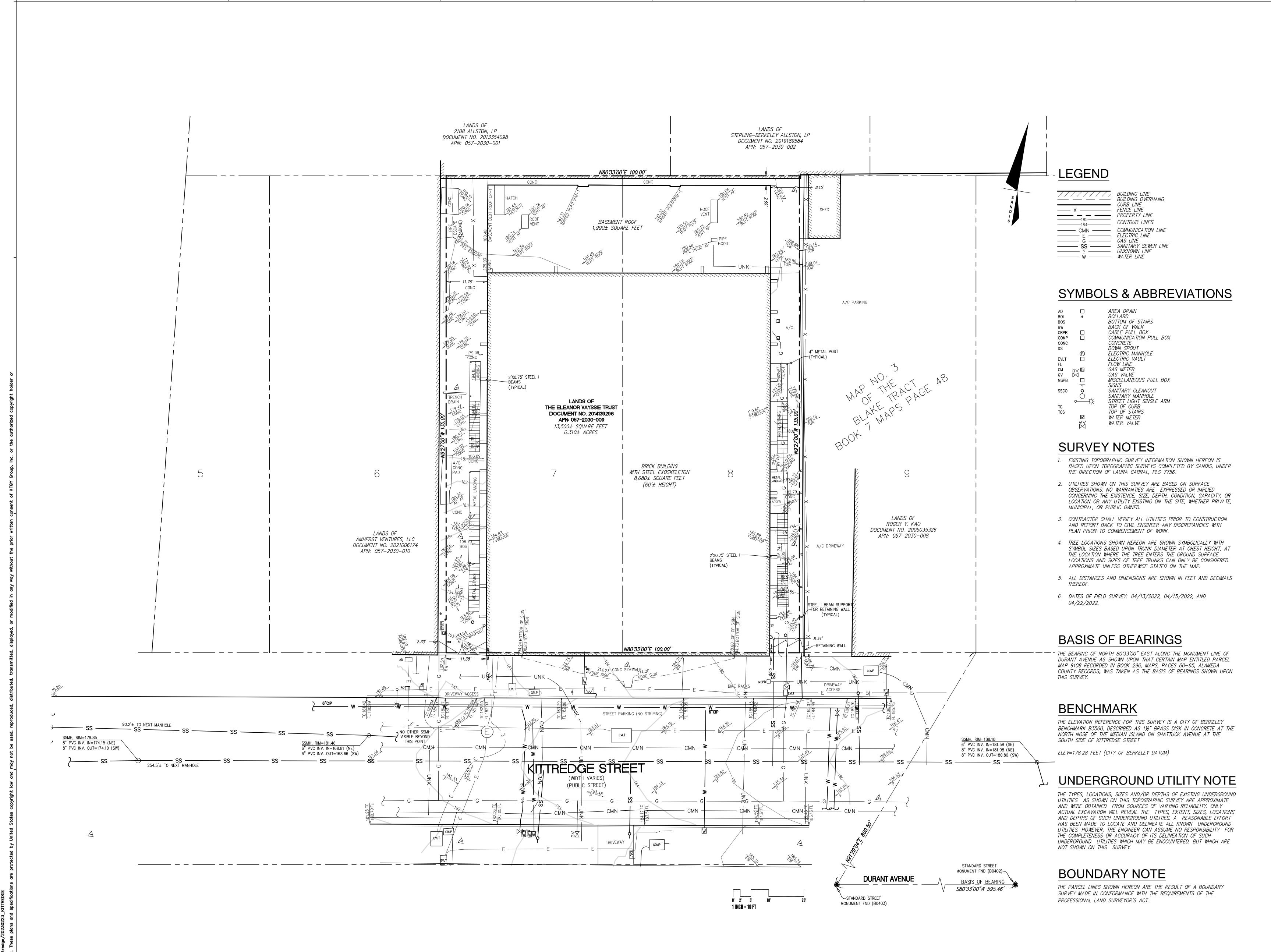
THIS PROJECT, EXCEPTING LIABILITY ARISING FROM SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

UNAUTHORIZED CHANGES AND USES

CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE

FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL

CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE



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BUILD ON. SANDIS.NET

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Sandis Project Number 622032

Contact Michael Kuykendall
Email mkuykendall@sandis.net
Principal Michael Kuykendall
Designer Nicholas Chandler

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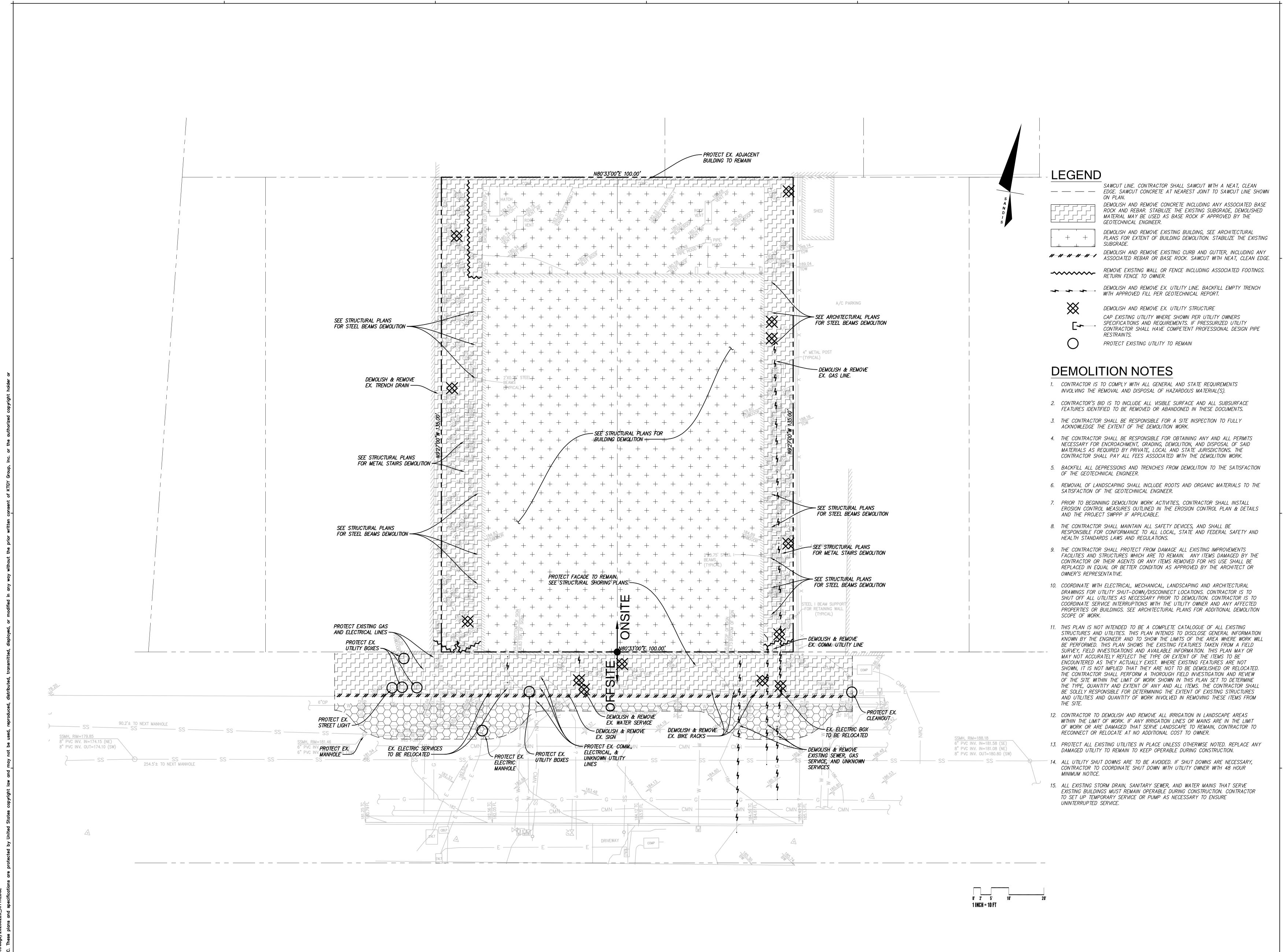
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	·	for notifying architect in writin or omissions in the plans an construction of the project. Fo

for Client to notify Architect of any known errors or omissions in the plans or specifications, and proceeding with constructing the portion of work shown in the plans or specifications containing known errors or omissions shall be a waiver by Client for any liability of Architect for such known errors or omissions. Client releases Architect for any liability for such portions of work, and Architect shall not be liable for any delay damages, change orders, repair costs, removal or demolition costs, or replacement of any such portions of work.

TOPOGRAPHIC SURVEY



File: X: $P 622032 4_{ENGINEERING 2_PLAN SETS 3_SHEET SET ONSITE C100 DEMOLITION PLAN.dwg Date: Sep 07, 2023$



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Sandis Project Number Michael Kuykendall mkuykendall@sandis.net Michael Kuykendall Principal Nicholas Chandler Designer

Developer Gilbane Development Company 649 Mission Street 5th Floor

San Francisco, CA 94105 gilbaneco.com

No. DATE DESCRIPTION 8/28/2023 100% DD Set Client is responsible for notifying architect in writing for

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DEMOLITION PLAN



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SITE AND GRADING PLAN

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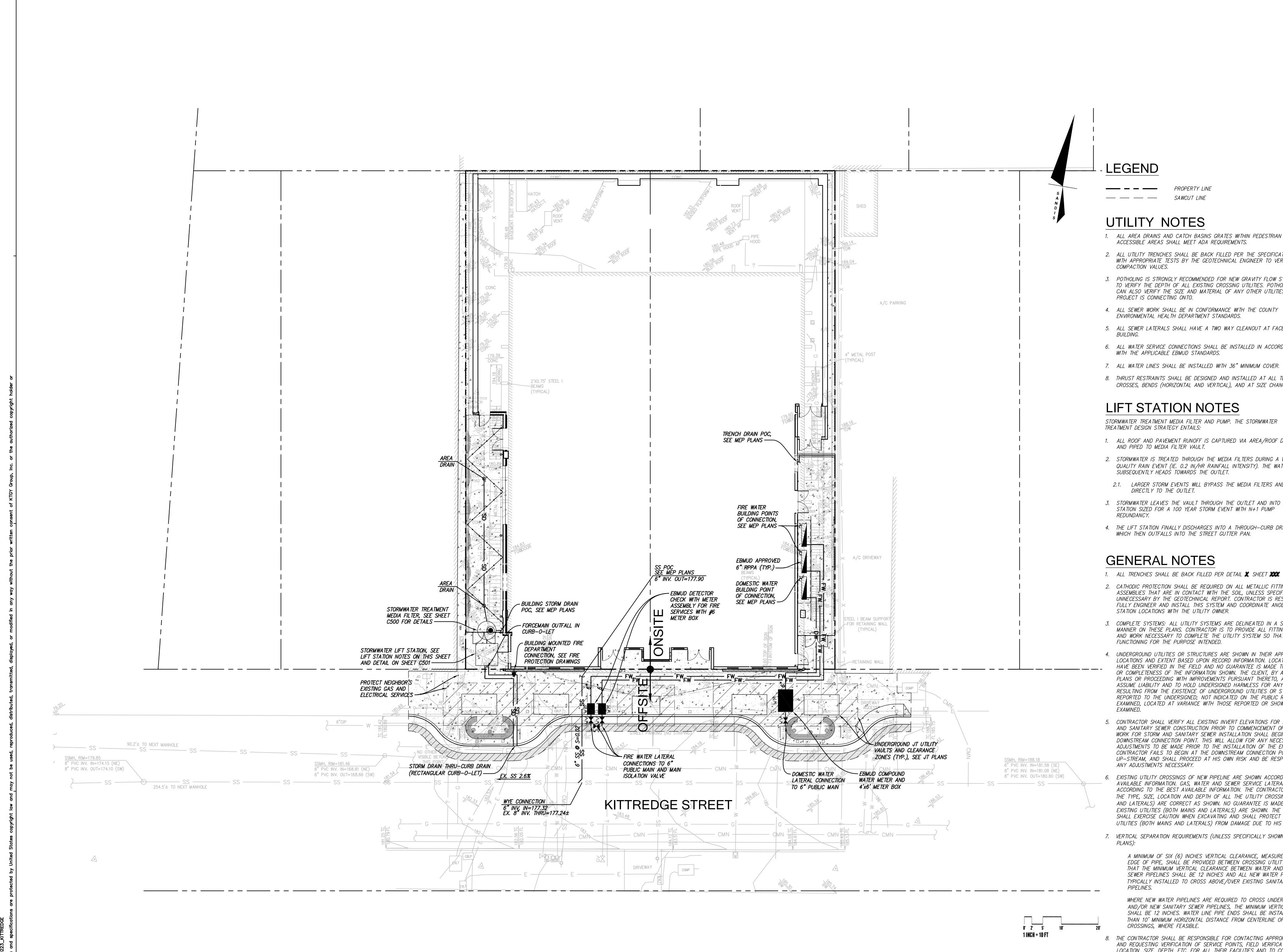
No. DATE DESCRIPTION

8/28/2023 100% DD Set

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ROUGH GRADNG PLAN

C201



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LEGEND

UTILITY NOTES

1. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.

PROPERTY LINE SAWCUT LINE

- 2. ALL UTILITY TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- 3. POTHOLING IS STRONGLY RECOMMENDED FOR NEW GRAVITY FLOW SYSTEMS TO VERIFY THE DEPTH OF ALL EXISTING CROSSING UTILITIES. POTHOLING CAN ALSO VERIFY THE SIZE AND MATERIAL OF ANY OTHER UTILITIES THE PROJECT IS CONNECTING ONTO.
- 4. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
- 5. ALL SEWER LATERALS SHALL HAVE A TWO WAY CLEANOUT AT FACE OF
- 6. ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE
- WITH THE APPLICABLE EBMUD STANDARDS.
- 8. THRUST RESTRAINTS SHALL BE DESIGNED AND INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AND AT SIZE CHANGES.

LIFT STATION NOTES

STORMWATER TREATMENT MEDIA FILTER AND PUMP. THE STORMWATER TREATMENT DESIGN STRATEGY ENTAILS:

- 1. ALL ROOF AND PAVEMENT RUNOFF IS CAPTURED VIA AREA/ROOF DRAINS AND PIPED TO MEDIA FILTER VAULT.
- 2. STORMWATER IS TREATED THROUGH THE MEDIA FILTERS DURING A WATER QUALITY RAIN EVENT (IE. 0.2 IN/HR RAINFALL INTENSITY). THE WATER SUBSEQUENTLY HEADS TOWARDS THE OUTLET.
- 2.1. LARGER STORM EVENTS WILL BYPASS THE MEDIA FILTERS AND HEAD DIRECTLY TO THE OUTLET.
- 3. STORMWATER LEAVES THE VAULT THROUGH THE OUTLET AND INTO A LIFT STATION SIZED FOR A 100 YEAR STORM EVENT WITH N+1 PUMP REDUNDANCY.
- 4. THE LIFT STATION FINALLY DISCHARGES INTO A THROUGH-CURB DRAIN WHICH THEN OUTFALLS INTO THE STREET GUTTER PAN.

GENERAL NOTES

- 1. ALL TRENCHES SHALL BE BACK FILLED PER DETAIL **X**, SHEET **XX**.
- 2. CATHODIC PROTECTION SHALL BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL, UNLESS SPECIFICALLY DEEMED UNNECESSARY BY THE GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH THE UTILITY OWNER.
- 3. COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- 4. UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CLIENT, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED; NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED OR SHOWN ON RECORDS
- 5. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORK UP-STREAM, AND SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
- EXISTING UTILITY CROSSINGS OF NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSING (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
- 7. VERTICAL SEPARATION REQUIREMENTS (UNLESS SPECIFICALLY SHOWN OTHERWISE ON

A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE, MEASURED FROM OUTSIDE EDGE OF PIPE, SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.

WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 10' MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

- 9. ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHALL BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.
- 10. ANY PIPING TO BE ABANDONED IN PLACE SHALL BE FILLED WITH GROUT AND

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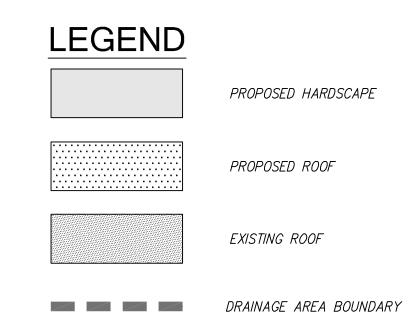
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UTILITY PLAN



STORMWATER MANAGEMENT NOTES:

THE PROPOSED PROJECT WILL INCLUDE MORE THAN 10,000 SQUARE FEET OF IMPERVIOUS SURFACE ADDITION AND REPLACEMENT. GIVEN THAT THE PROJECT SURPASSES THIS THRSHOLD, THE PROJECT IS CONSIDERED A REGULATED PROJECT PER THE REQUIREMENTS OF PROVISION C.3 OF THE MUNICIPAL REGIONAL STORMWATER PERMIT (ORDER NO. R2-2022-0018 AND R2-2015-0049). THIS PLAN PRESENTS THE METHODS AND CALCULATIONS FOR COMPLYING WITH THESE REQUIREMENTS, IN ACCORDANCE WITH THE CITY OF BERKELEY AND ALAMEDA COUNTY STORMWATER PROGRAMS. MOROVER, GIVEN THAT THIS PROJECT IS REPLACING MORE THAN 50% OF THE EXISTING IMPERVIOUS AREA, THE PROJECT MUST TREAT THE ENTIRE SITE.

THIS PROJECT IS CONSIDERED A SPECIAL PROJECT CATEGORY "A" PER THE CHARACTERISTICS LISTED IN ALAMEDA COUNTY'S SPECIAL

- PROJECTS WORKSHEET: A. PROJECT IS IN A DOWNTOWN CORE AREA.
- B. PROJECT CREATES/REPLACES $< \frac{1}{2}$ ACRE IMPERVIOUS SURFACE. PROJECT INCLUDES NO SURFACE AREA PARKING.
- D. PROJECT HAS AT LEAST 85% COVERAGE BY PERMANENT STRUCTURES.

A NARRATIVE IS INCLUDED AS PART OF THE PLANNING SUBMITTAL WHICH DESCRIBES HOW LID TREATMENT IS NOT FEASIBLE ONSITE, AND WHY THE PROJECT MUST USE A MEDIA FILTER TO REGULATE THE QUALITY OF STORMWATER LEAVING THE SITE. THIS TREATMENT DEVICE IS DESCRIBED BELOW:

A. MEDIA FILTER — RUNOFF FROM THE CONTRIBUTING IMPERVIOUS SURFACE FLOWS THROUGH A MEDIA FILTER SIZED TO TREAT THE RUNOFF BASED ON A 0.2 IN/HR INTENSITY (TREATMENT STORM EVENT). THIS IS A NON-LID TREATMENT MEASURE WHICH REMOVES POLLUTANTS FROM RUNOFF THROUGH SCREENING AND FILTER CARTRIDGES MADE UP OF MANUFACTURED MEDIA. THIS TREATMENT DEVICE IS ONLY ALLOWED FOR "SPECIAL PROJECTS". THIS PROJECT QUALIFIES AS A CATEGORY A SPECIAL PROJECT.

	C.3 STORMWATER TREATMENT MEASURES							
AREA ID	PROPOSED IMPERVIOUS AREA (SF) EXISTING IMPERVIOUS AREA (SF) TOTAL AREA (SF) BMP ID BMP TYPE							
A1	0	<i>75</i>	<i>75</i>	ı	IN-LIEU CREDIT ¹			
A2	13,461	270 ²	13,731	M2	MEDIA FILTER ³			

TABLE FOOTNOTES:

 $Q_{10YR} = 0.56$ CFS

- 1. EXISTING UNTREATED IMPERVIOUS SURFACE INCLUDES NEIGHBORING BUILDING ROOF WITHIN PROJECT PROPERTY. EXISTING IMPERVIOUS AREA WITHIN DRAINAGE AREA A2 WILL BE TREATED IN LIEU OF THIS AREA.
- 2. THIS AREA REPRESENTS THE EXISTING FOOTPRINT OF THE EXISTING MARQUEE SIGN TO REMAIN. 75 SF OF THE OVERALL 270 SF TREATED AREA WILL BE USED AS IN-LIEU CREDIT FOR DRAINAGE AREA A1.
- 3. SEE EXAMPLE MEDIA FILTER PRODUCT, THIS SHEET. SIZED USING RATIONAL METHOD (Q=CiA):

C=0.85 (ROOF/HARDSCAPE) itreat=0.2 IN/HR (TREATMENT RAINFALL INTENSITY) i_{10YR}=2.05 IN/HR (10 YEAR/10 MIN RAINFALL INTENSITY PER NOAA) A=0.32 ACRES Q_{treat} =0.05 CFS

FEMA FLOOD ZONE DESIGNATION

THE PROPOSED PROJECT SITE RESIDES IN FEMA'S FLOOD INSURANCE RATE MAP (FIRM) 06001C0057G, EFFECTIVE AUGUST 3, 2009. THE ENTIRE PROJECT AREA IS LOCATED IN ZONE X, 'OTHER AREAS' (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

HYDROMODIFICATION NOTE:

THE PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE ALAMEDA COUNTY C.3 TECHNICAL GUIDANCE DOCUMENT. THE PROJECT IS EXEMPT FROM HYDROMODIFICATION DUE TO IMPERVIOUS AREA ADDED OR REPLACED BEING LESS THAN 1 ACRE.



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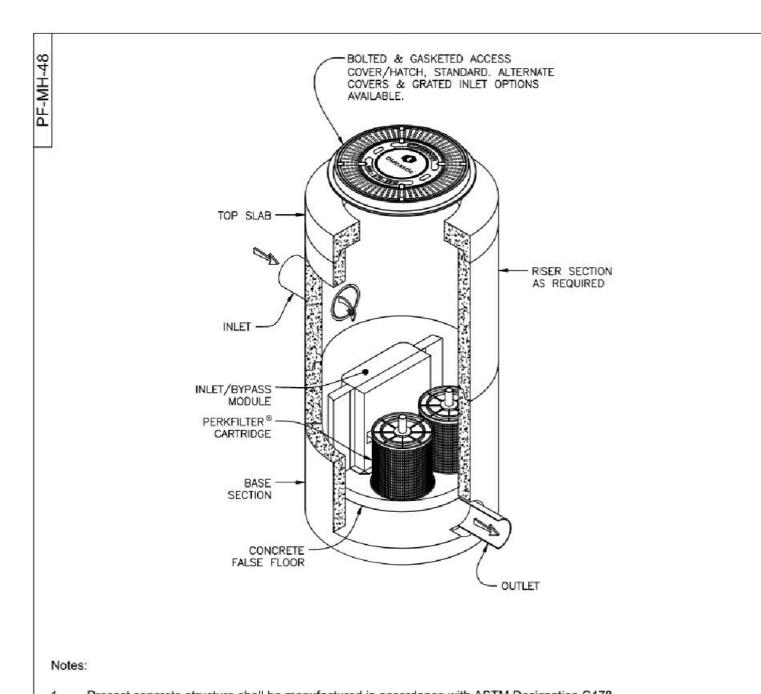
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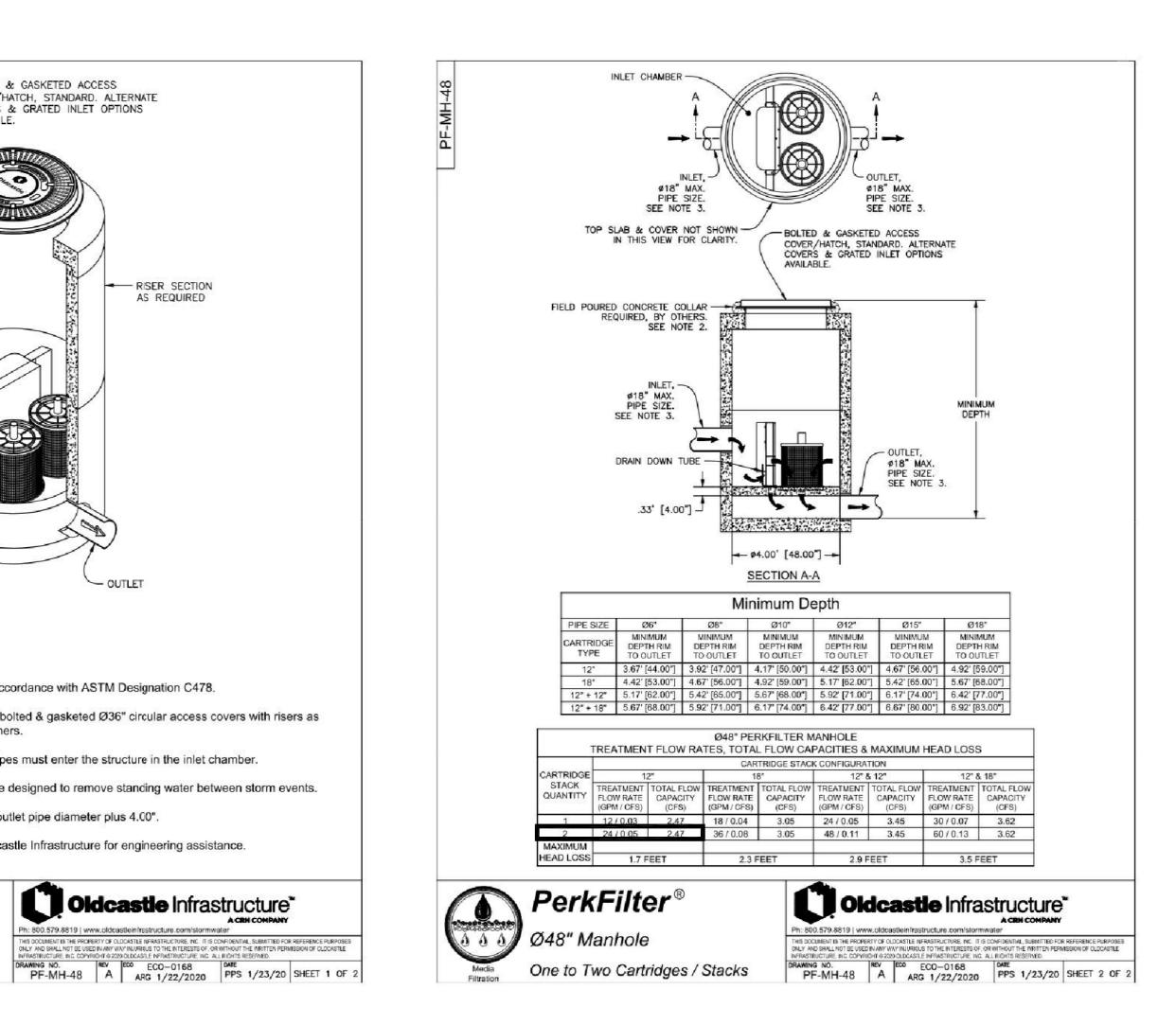
STORMWATER MANAGEMENT PLAN



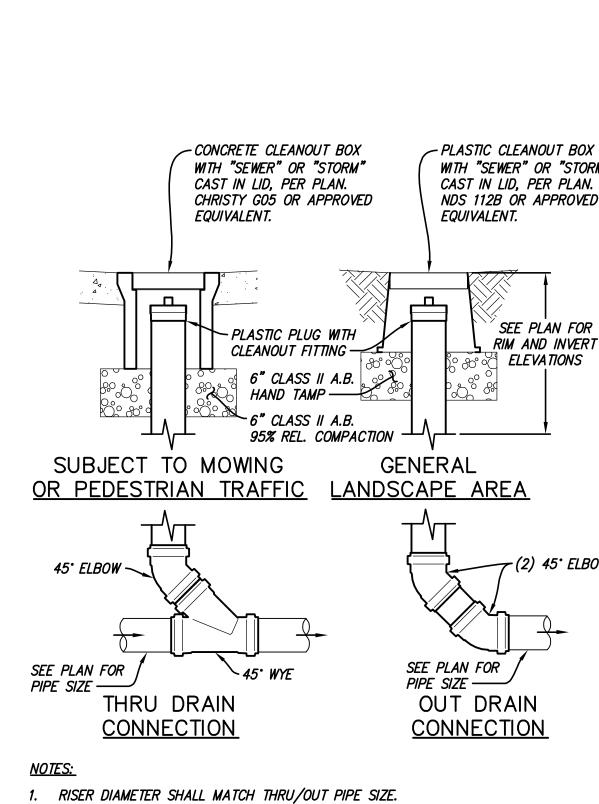
 Precast concrete structure shall be manufactured in accordance with ASTM Designation C478. 2. Filter system shall be supplied with traffic rated (H20) bolted & gasketed Ø36" circular access covers with risers as required. Field poured concrete collar required, by others. Inlet & outlet pipe(s) are to be Ø18" maximum. Inlet pipes must enter the structure in the inlet chamber. Inlet chamber shall be supplied with drain-down device designed to remove standing water between storm events. Minimum separation between invert in & invert out is outlet pipe diameter plus 4.00". 6. For depths less than specified minimums contact Oldcastle Infrastructure for engineering assistance.

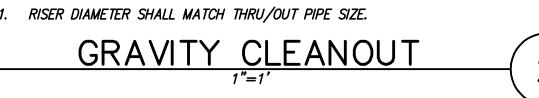
One to Two Cartridges / Stacks

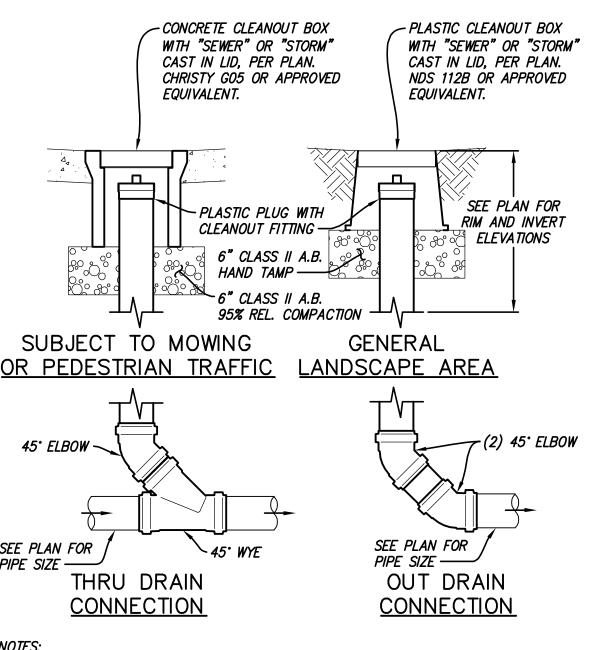
Oldcastle Infrastructure



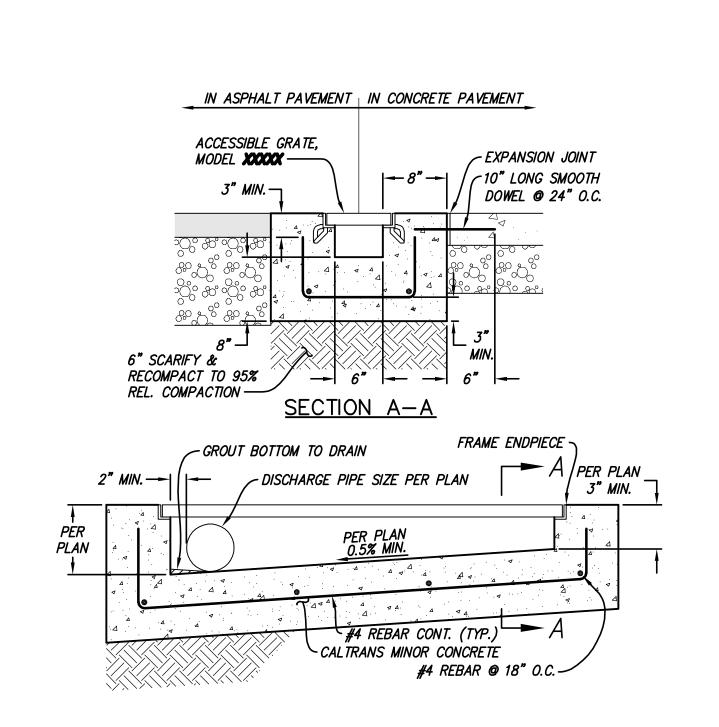
MEDIA FILTER







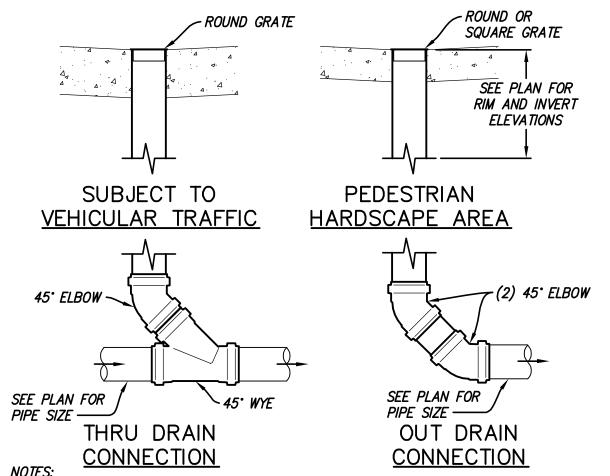
NOTES:	
1. RISER DIAMETER SHALL MATCH THRU/OUT PIPE SIZE.	
GRAVITY CLEANOUT	
4" 4'	





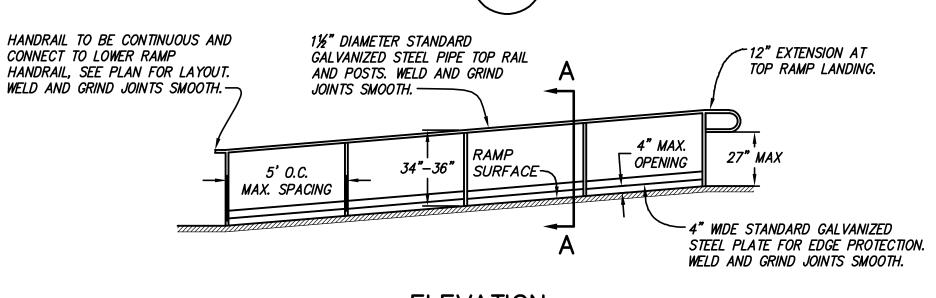
PIPE SIZE	٨	NDS MODEL NUMBER*				
	PEDES	VEHICULAR				
	ROUND GRATE (BLACK PLASTIC)	SQUARE GRATE	ROUND GRATE (DUCTILE IRON)			
4"	11	4 (BLACK PLASTIC)	N/A			
6"	40	970 (BLACK PLASTIC)	D6			
8"	10	12DH-WO** (CAST IRON)	D8			
*OR APPRO	OVED EQUIVALENT					

**12" TO 8" REDUCER REQUIRED TO CONNECT TO 8" RISER PIPE

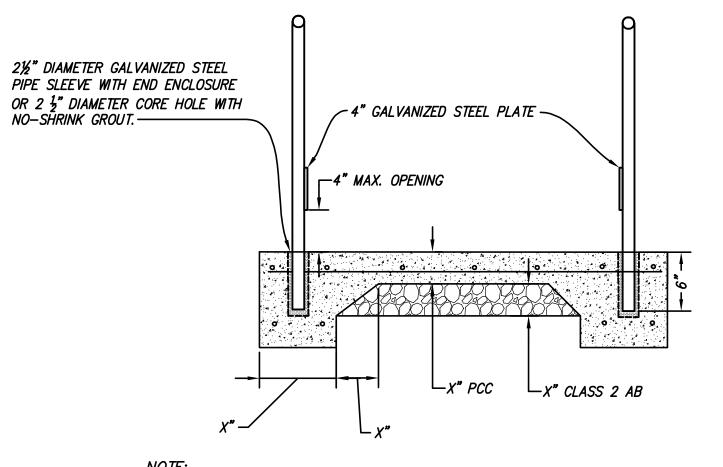


1. RISER DIAMETER SHALL MATCH STORM DRAIN AREA DRAIN SIZE.

2. THRU/OUT PIPE SIZE SHALL BE EQUAL OR GREATER THAN RISER DIAMETER. HARDSCAPE AREA DRAIN



ELEVATION



SECTION A-A PAINT RAILING WITH PRIMER COAT AND COLOR PER OWNER

ACCESSIBLE RAMP AND HANDRAIL

SANDIS

Civil Engineers | Surveyors | Planners 636 9th Street Oakland, CA 94607 sandis.net

510.873.8866

Designer

Sandis Project Number Michael Kuykendall mkuykendall@sandis.net Michael Kuykendall Principal

Nicholas Chandler

Developer Gilbane Development Company 649 Mission Street 5th Floor San Francisco, CA 94105 gilbaneco.com

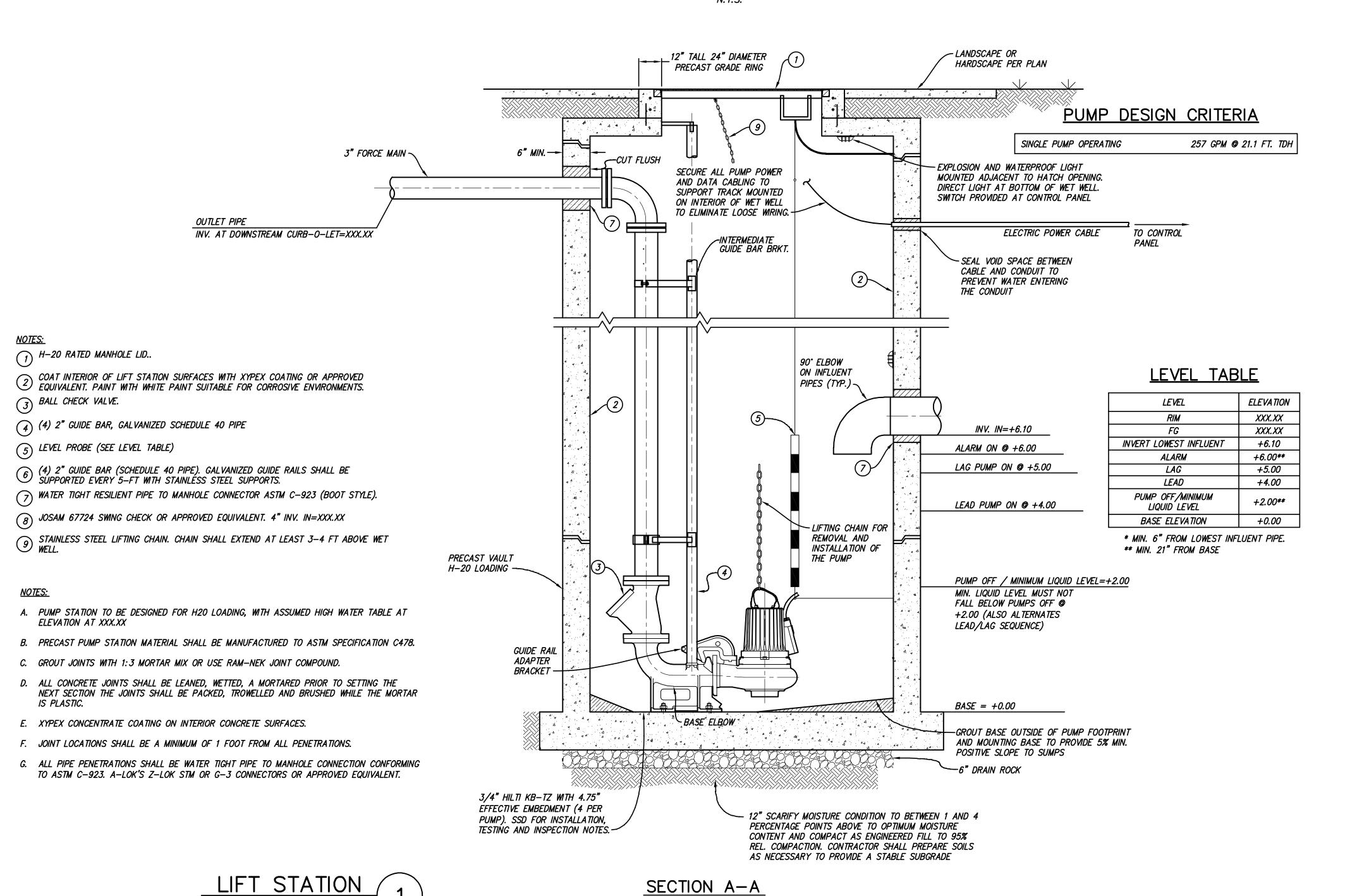
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No. DATE DESCRIPTION 8/28/2023 100% DD Set Client is responsible for notifying architect in writing for

any discovered errors or omissions in the plans and any discovered errors or omissions in the plans and specifications during construction of the project. Failure for Client to notify Architect of any known errors or omissions in the plans or specifications, and proceeding with constructing the portion of work shown in the plans or specifications containing known errors or omissions shall be a waiver by Client for any liability of Architect for such known errors or omissions. Client releases Architect for any liability for such portions of work, and Architect shall not be liable for any delay damages. Architect shall not be liable for any delay damages, change orders, repair costs, removal or demolition costs, or replacement of any such portions of work.

CONSTRUCTION DETAILS



SANDIS

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Sandis Project Number Principal

Designer

510.873.8866

Michael Kuykendall mkuykendall@sandis.net Michael Kuykendall Nicholas Chandler

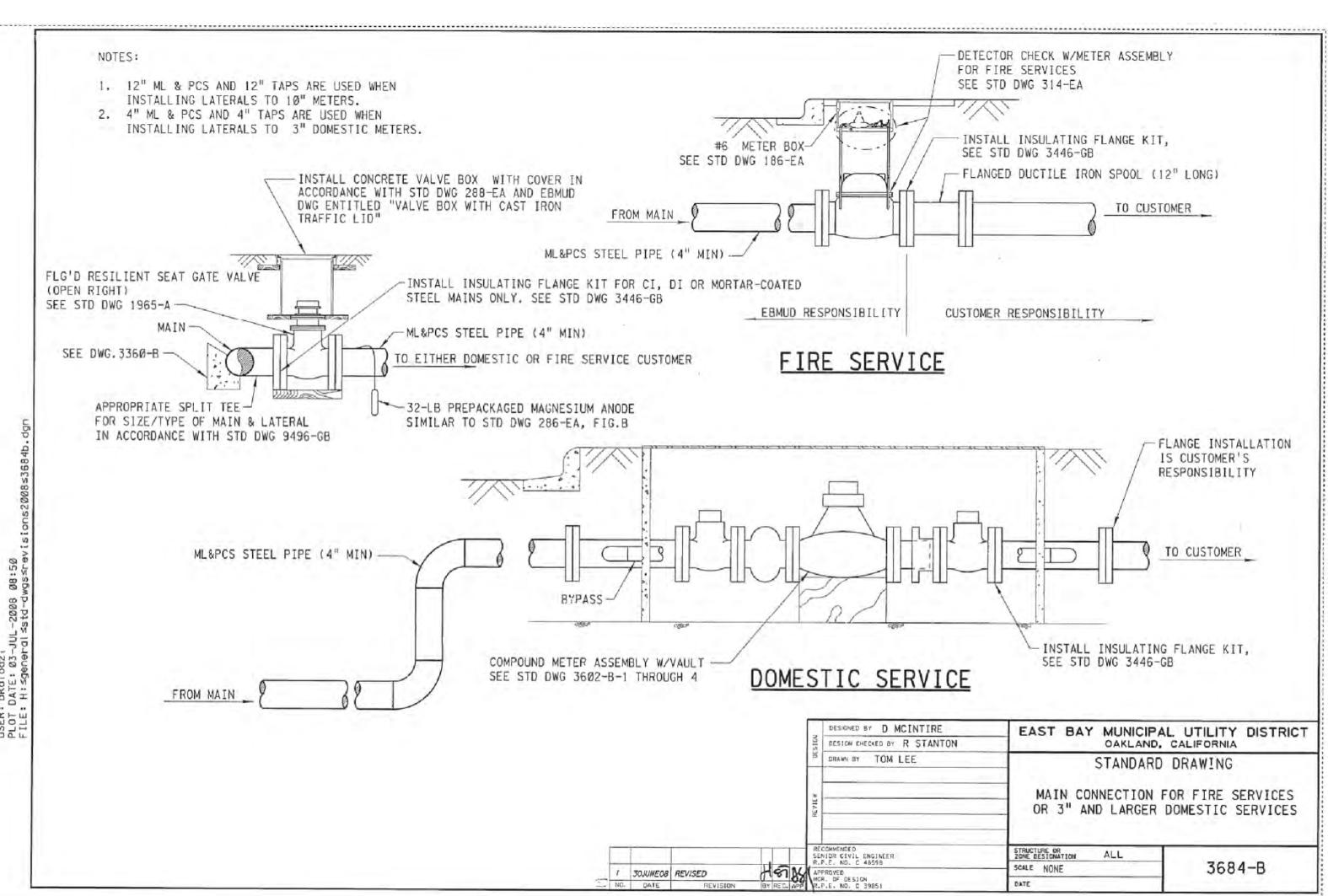
Developer Gilbane Development Company 649 Mission Street 5th Floor San Francisco, CA

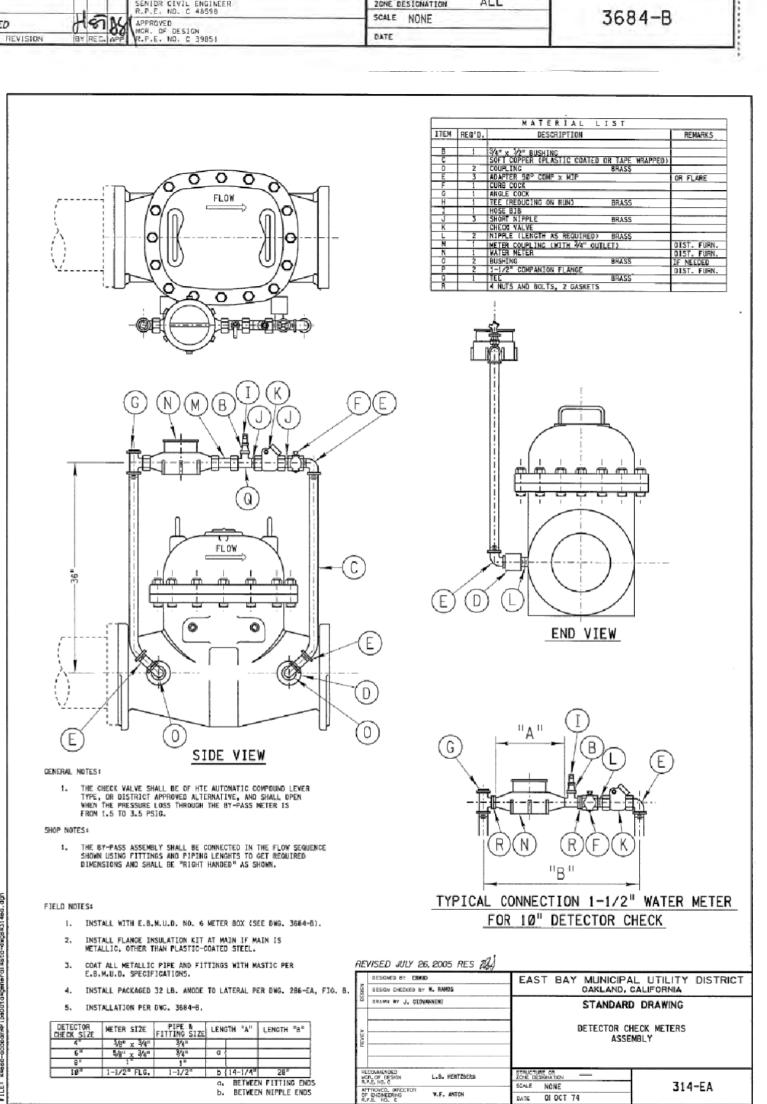
94105 gilbaneco.com

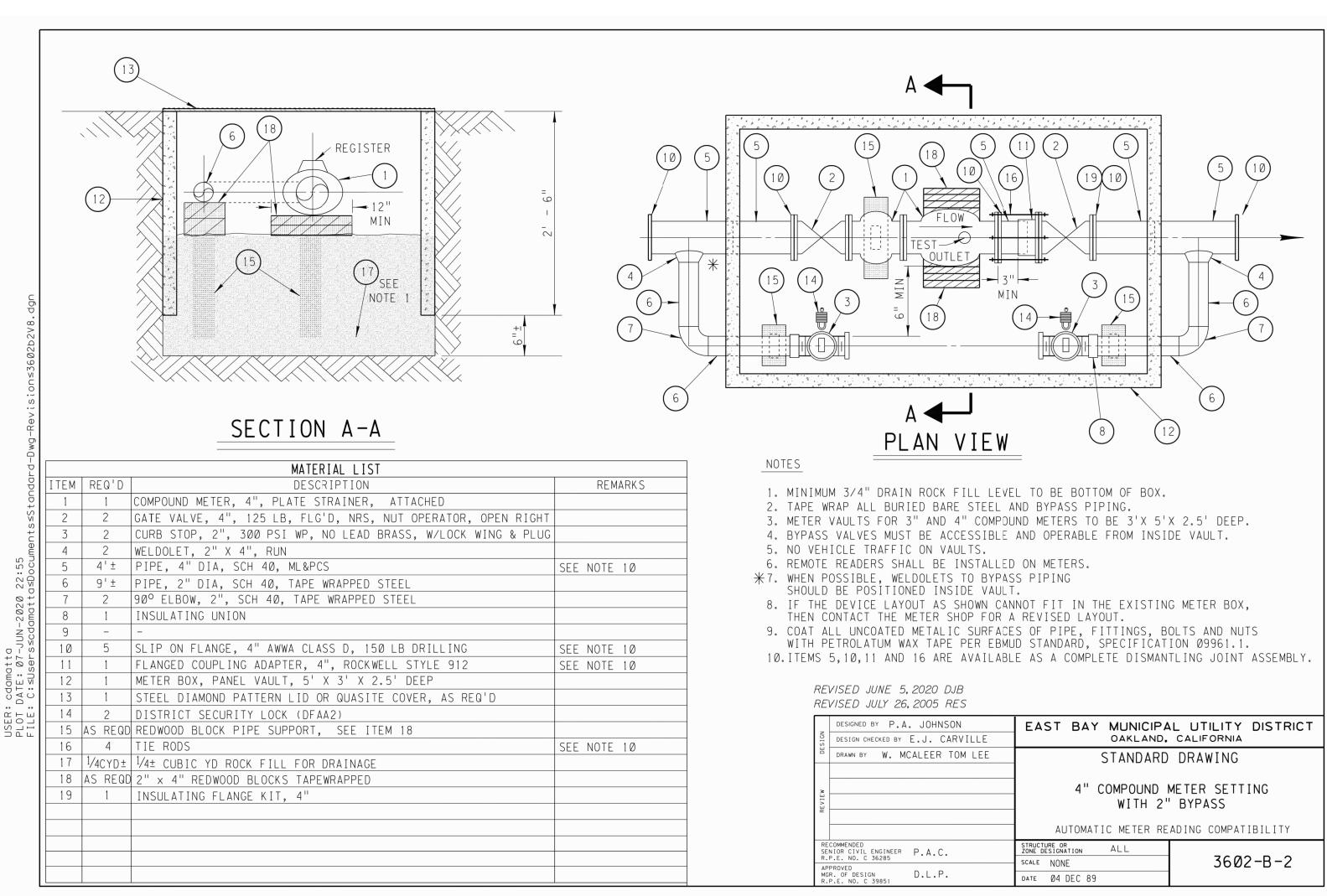
No. DATE DESCRIPTION 8/28/2023 100% DD Set Client is responsible for notifying architect in writing for

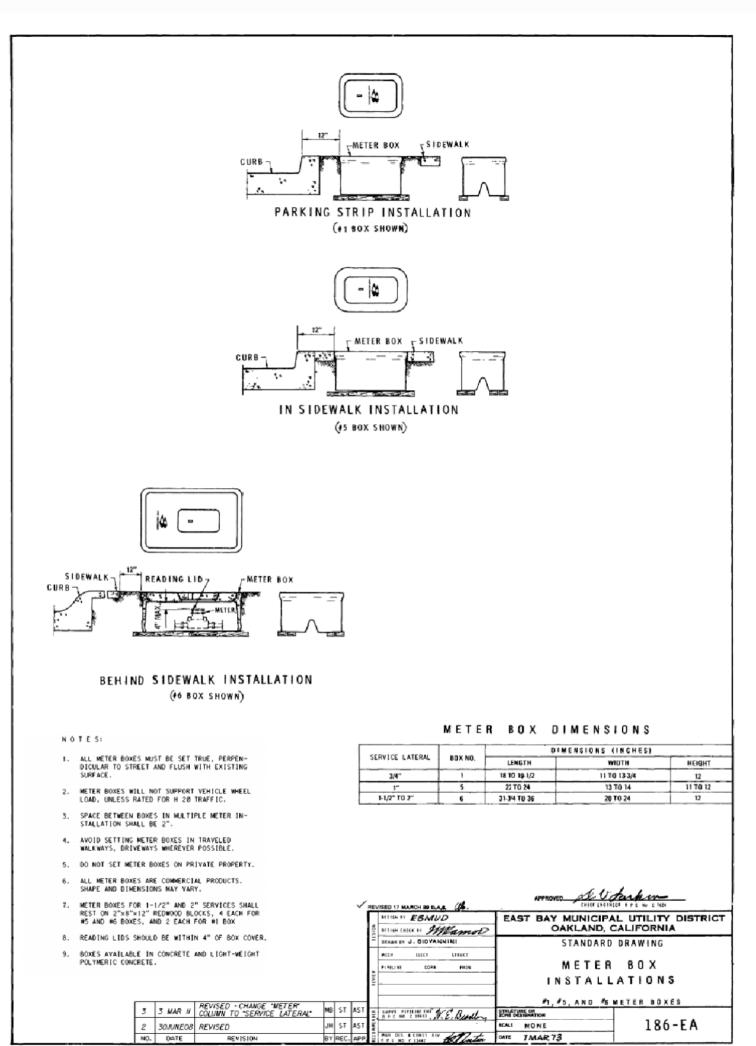
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CONSTRUCTION DETAILS











Civil Engineers | Surveyors | Planners 636 9th Street Oakland, CA 94607 sandis.net 510.873.8866

Sandis Project Number622032ContactMichael KuykendallEmailmkuykendall@sandis.netPrincipalMichael KuykendallDesignerNicholas Chandler

Gilbane

Developer
Gilbane Development
Company
649 Mission Street
5th Floor
San Francisco, CA

San Francisco, CA 94105 gilbaneco.com

15 KITTREDGE S

No. DATE DESCRIPTION

8/28/2023 100% DD Set

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for Client to notify Architect of any known errors or

omissions in the plans or specifications, and proceeding

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Architect for any liability for such portions of work, and

change orders, repair costs, removal or demolition costs, or replacement of any such portions of work.

for such known errors or omissions. Client releases

Architect shall not be liable for any delay damages,

CONSTRUCTION DETAILS

MECHANICAL BACKFLOW PREVENTION INSTALLATION

FOR DEVICES OF SIZE 1/2" TO 2"

FOR DEVICES OF SIZE 21/2" AND LARGER

. THE SUPPLY SHALL SURFACE AT A DISTANCE OF NO MORE THAT 12 INCHES FROM THE PROPERTY LINE.

. HEIGHT OF THE BACKFLOW ASSEMBLY SHALL BE AT LEAST 12" ABOVE GRADE TO THE BOTTOM OF THE

1. NO CONNECTIONS WILL BE ALLOWED BETWEEN THE SERVICE CONNECTION (WATER METER) AND THE

. VAULT INSTALLATION OF DOUBLE-CHECK VALVES (DC) MAY BE USED IN CERTAIN LOCATIONS AND

ONLY WITH PRIOR APPROVAL OF THE DISTRICT. SEE STANDARD DRAWINGS 1928-A AND 1930-A.

. INSTALL DIRECTLY AFTER THE SERVICE CONNECTION AS SHOWN ABOVE. OBTAIN APPROVAL PRIOR

ASSEMBLY (A MAXIMUM OF 36" ABOVE GRADE) AND A 12" PERIMETER AROUND THE ASSEMBLY.

PROTECTION FROM FREEZE DAMAGE OR THEFT MIGHT BE NECESSARY IN EXPOSED AREAS.

. REDUCED PRESSURE PRINCIPLE (RPs) ASSEMBLIES SHALL BE INSTALLED IN AREAS WITH ADEQUATE DRAINAGE.

. ALL SERVICES WITH A BACKFLOW ASSEMBLY REQUIRE A PRESSURE RELIEF VALVE (PRV) ON WATER HEATERS.

DESTON CHECKED BY Sinking

RECOMMENSED

MER PIPEL INF INFRASOCTOR LINE OF ZONE DESIGNATION

R.P.E. NO. C48598

APP. REC. AP

. USE ONLY BACKFLOW ASSEMBLIES THAT ARE APPROVED BY THE EBMUD BACKFLOW SECTION.

SIDEWALK-

(TYP)

WATER MAIN

SERVICE—

CONNECTION

METER -

INSTALLATION

TO INSTALLATION IF THERE IS ANY DEVIATION.

BACKFLOW PREVENTION

– LEVEL

EAST BAY MUNICIPAL UTILITY DISTRICT

STANDARD DRAWING

MECHANICAL BACKFLOW PREVENTION

INSTALLATION METHODS

FOR WATER SERVICES

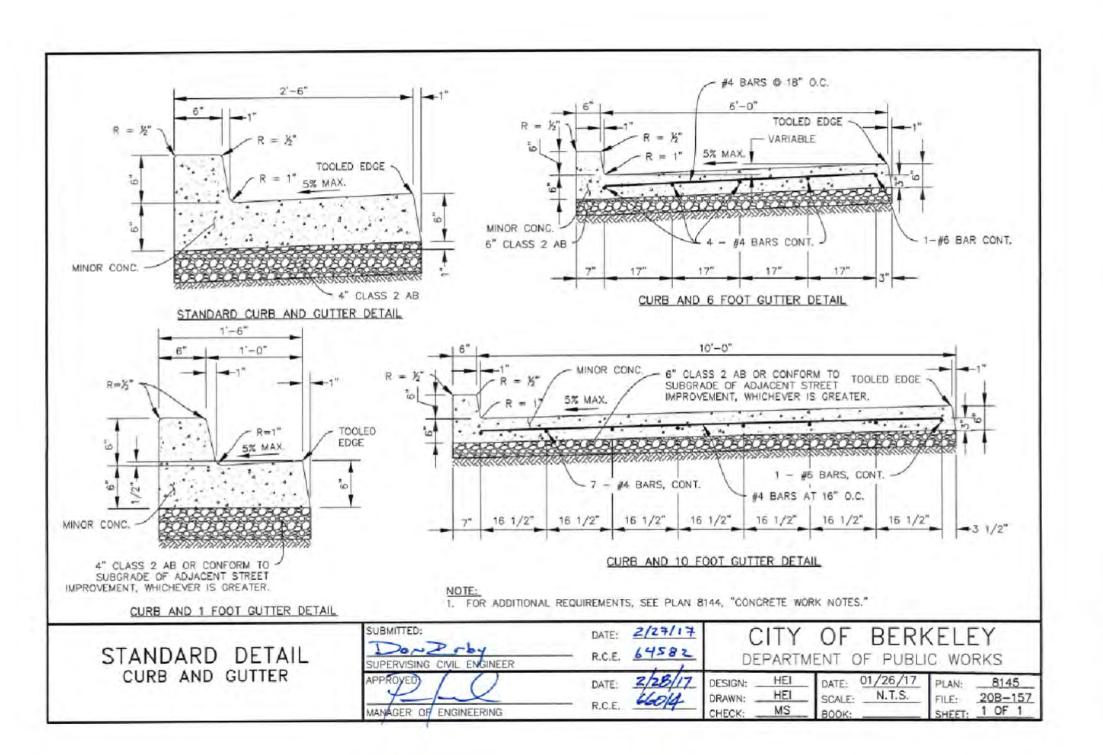
DETERMINED

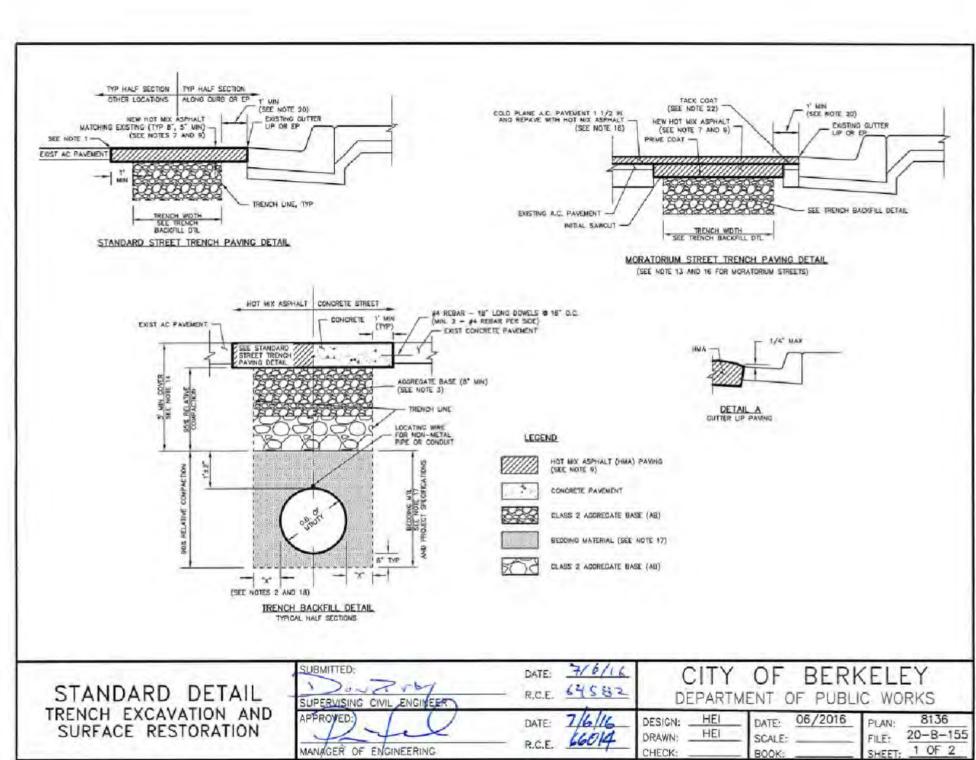
LSADDLE MOUNT SUPPORTS ANCHORED ON CONCRETE

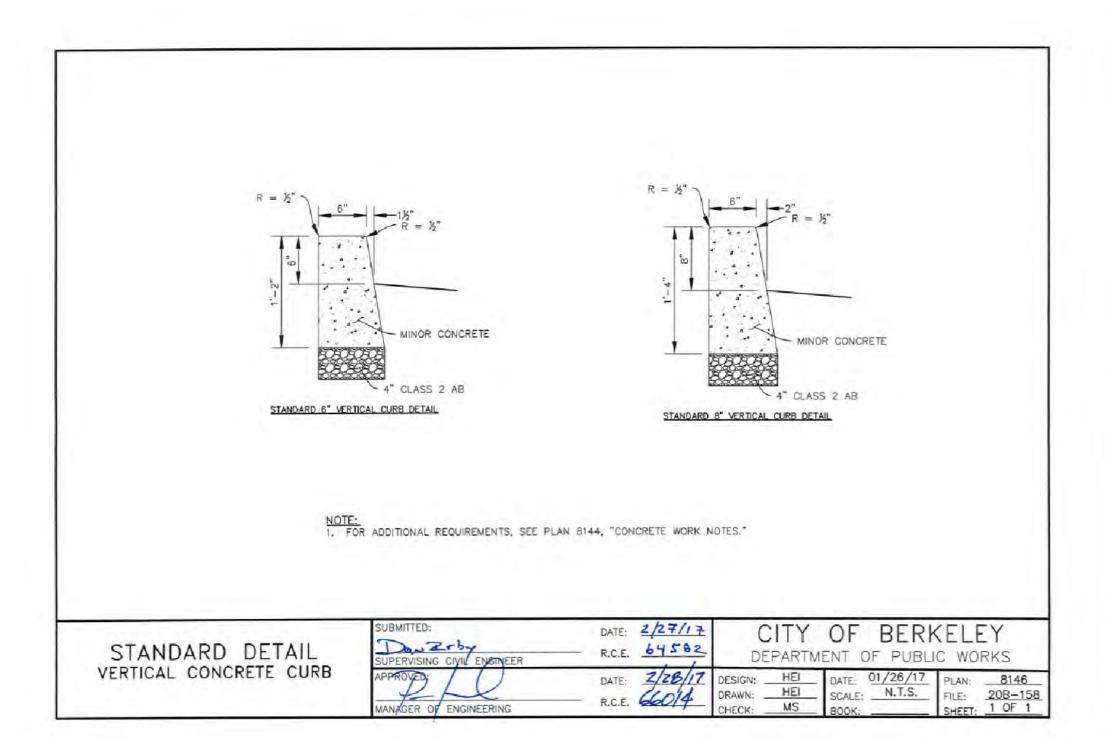
12" CLEAR PAD ARE RECOMMENDED FOR

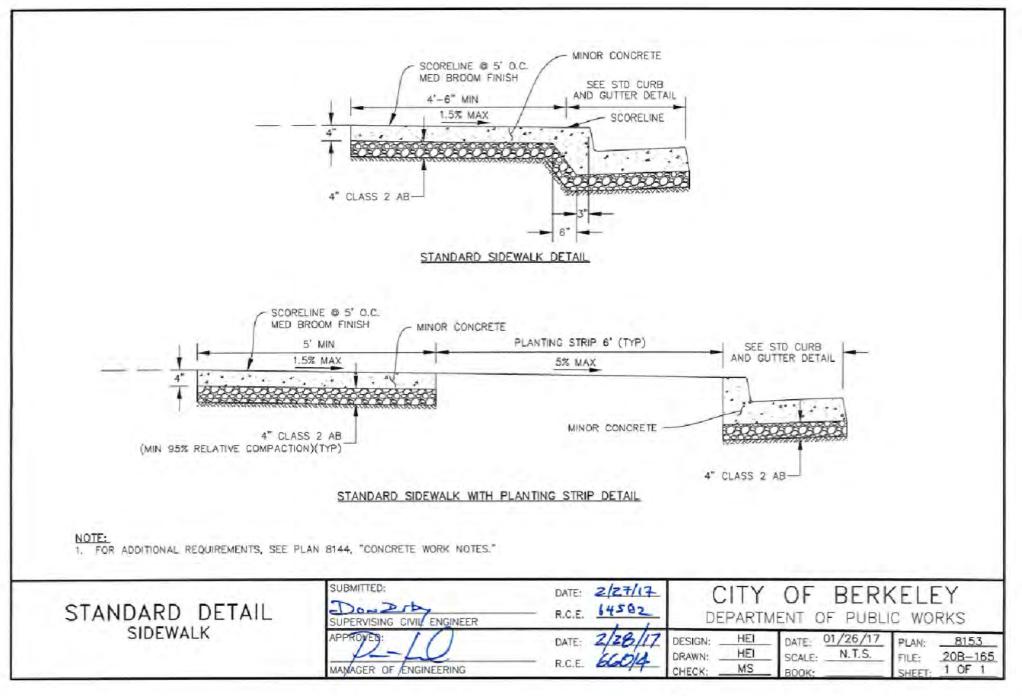
ALL AROUND ASSEMBLIES 6" AND LARGER

GRADE









HALL CONFORM TO THE CITY OF BERKELEY GENERAL REGULATIONS FOR TRENCH EXCAVATION AND SURF- ROUGH THE FULL DEPTH OF EXISTING SURFACING TO A NEAT STRAIGHT LINE AT LEAST 1.0 FOOT OUTS DIDURING CONSTRUCTION TO NEAT LINES PRIOR TO PAYING, APPLY PAINT BINDER (TACK COAT) TO EDITION OF CALTRANS STANDARD SPECIFICATIONS.
E WITH THE DIMENSION SHOWN ON THE TRENCH BACKFILL DETAIL, DIMENSIONS "X" IS SHOWN BELOW
DIMMEDIATELY BELOW THE PAVEMENT SECTION TO BE REPLACED. THE AB QUALITY, GRADATION AND WITH SECTION 26 OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION. E TRENCH BACKFILL DETAIL, 95% RELATIVE COMPACTION IS REQUIRED.
FORNIA TEST NUMBER 231 (NUCLEAR GAUGE) OR APPROVED EQUAL, PERMITTEE SHALL ARRANGE AND RED BY THE ENGINEER. THE TEST SHALL BE PERFORMED BY A QUALIFIED MATERIAL TESTING LABORATION (48) HOURS IN ADVANCE OF PERMANENT PAVING OPERATION.
SURFACING TWO (2) INCHES IN THICKNESS OVER THE COMPACTED BACKFILL AREAS. GREATER THICKN HER CRITICAL AREAS BY THE ENGINEER AS NECESSARY, STEEL PLATES MAY BE USED AS AN ALTERNA
HALL BE MECHANICALLY COMPACTED IN PLACE TO A UNIFORM, EVEN SURFACE AND SHALL BE TRUE TE SHALL REGULARLY INSPECT AND MAINTAIN THE TEMPORARY BITUMINOUS RESURFACING UNTIL IG SHALL NOT VARY TO MORE THEN 1/2" FROM THE EDGE OF A 10 FOOT STRAIGHT EDGE, U URFACE DEFICIENCY WITHIN 48 HOURS. LOOSE ROCKS AND OTHER DEBRIS GENERATED FROM TEMPOR, OVED FROM THE WORKSITE.
OVED BEFORE PLACEMENT OF FINAL PAYING, FINAL PAYING SHALL BE MINIMUM FIVE (5) INCHES THICK ITER. THE PAVEMENT SHALL BE PLACED ON UNDISTURBED PREVIOUSLY COMPACTED BACKFILL AREAS.
BY THE PERMITTEE'S OPERATIONS SHALL BE REMOVED BY SAW-CUTTING IN LINES PERPENDICULAR AL CUTS WILL BE PERMITTED.
CONFORMANCE WITH SECTION 39 OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION'S STAND E ENCROACHMENT PERMIT CONDITIONS OR AS DIRECTED BY THE PUBLIC WORKS DEPARTMENT, HMA SH
GREGATE SIZE OF 1/2" LINLESS OTHERWISE SPECIFIED. THE HMA BENEATH THE TOP LAYER SHALL HAV
TTEE SHALL IMMEDIATELY REPLACE ALL PAVEMENT MARKING AND TRAFFIC STRIPING DAMAGED OR REVIO C STRIPINGS SHALL BE REPLACED IN KIND OR WITH SUBSTITUTE MATERIAL APPROVED BY THE ENGINEER
ESTRIAN CROSSWALK OR ANY PORTION OF THE SIDEWALK IN IMMEDIATE CONTACT WITH SUCH CURE TEE SHALL CONSTRUCT, AS PART OF HIS REPLACEMENT OPERATIONS, A CURB RAMP AS SHOWN IN CITY
ACED WITHIN THE LAST 5 YEARS WILL NOT BE PERMITTED EXCEPT FOR CONDITIONS ENUMERATED IN ENCH EXCAVATION AND SURFACE RESTORATION IN THE PUBLIC RIGHT OF WAY.
CALIFORNIA PUBLIC UTILITIES COMMISSION. UTILITY OWNERS SHALL CONSIDER PLACING THEIR UTILITY DUE TO STREET/ROAD RECONSTRUCTION. THE INCREASED DEPTH SHOULD INCLUDE SUFFICIENT CLEARA COTION UPGRADE TO PREVENT DAMAGE BY CONSTRUCTION EQUIPMENT. THE PUBLIC WORKS DEPARTM ELOW THE PAVEMENT SURFACE IN ROADWAYS AND 24 INCHES BELOW FINISH GRADE IN SIDEWALKS
ANS RIGHT OF WAY (SAN PABLO AVE., ASHBY AVE., AND TUNNEL RD.) SHALL BE IN ACCORDANCE TO
ALLEL WITH THE CENTERLINE OF THE STREET, COLD PLANE AND REPAVE THE LANE IN WHICH THE TRE CPAVE 1/2 LANE WIDTH ON EACH SIDE OF THE TRENCH, FOR BELL HOLES, COLD GRIND AND PAVE I L COLD PLANING, THE TRENCH SHALL BE PAVED IN 3 INCH MAXIMUM LIFTS TO THE ORIGINAL SURF IS SURFACE, IF THE CONTRACTOR ELECTS TO PAVE WITHIN 1 1/2 INCHES OF THE EXISTING SURFACE, BACK ASPHALT UNTIL THE SURFACE IS PLANED. FINAL PAVING SHALL COMMENCE WITHIN 3 DAYS AF ED FROM THE AREA TO BE REPAVED PRIOR TO REPAYING.
D ROCK PER 2015 GREENBOOK, TABLE 200-1.2.1(A), 3/4" SIEVE SIZE, ALTERNATIVE MATERIALS SHALL IO CASE SHALL "PEA" GRAVEL BE ALLOWED. A MAXIMUM OF 6 INCHES OF SAND MAY BE USED AS CTRIC CONDUITS ONLY.
TH AN OUTSIDE DIAMETER EQUAL TO OR LESS THAN 4 INCHES, THE TRENCH WIDTH MAY BE REDUCED
SELOW THE LIMIT OF EXCAVATION AND REPLACED WITH SUITABLE BACKFILL MATERIAL WHEN DIRECTED
ST TRENCH LINE IS LESS THAN 3 FEET FROM THE GUTTER LIP, ALL EXISTING HIMA SHALL BE REPLACED
19-3.02E OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS.
C AND CONCRETE SURFACES IN ACCORDANCE WITH THE LATEST EDITION OF CALIFORNIA DEPARTMENT
1

DATE: 7/6/16

R.C.E. 64582

SURFACE RESTORATION

SANDIS

Civil Engineers | Surveyors | Planners 636 9th Street Oakland, CA 94607 sandis.net 510.873.8866

Sandis Project Number Michael Kuykendall mkuykendall@sandis.net Email Michael Kuykendall Principal Nicholas Chandler Designer



Developer Gilbane Development Company 649 Mission Street 5th Floor San Francisco, CA 94105 gilbaneco.com

No. DATE DESCRIPTION 8/28/2023 100% DD Set Client is responsible for notifying architect in writing for

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any discovered errors or omissions in the plans and

specifications during construction of the project. Failure for Client to notify Architect of any known errors or omissions in the plans or specifications, and proceeding

CONSTRUCTION DETAILS

File: X: $\P 622032 4_{ENGINEERING} 2_{PLAN}$ SETS 3_SHEET SET \ ONSITE \ C600 WATER POLLUTION CONTROL DRAWING. dwg Date: Sep 07, 2023



BUILD ON. SANDIS.NET

Civil Engineers | Surveyors | Planners 636 9th Street Oakland, CA 94607 sandis.net

Sandis Project Number
Contact
Email mkuyl
Principal
Designer

510.873.8866

Michael Kuykendall mkuykendall@sandis.net Michael Kuykendall Nicholas Chandler

Gilbane

Developer

Gilbane Development
Company
649 Mission Street
5th Floor
San Francisco, CA
94105 gilbaneco.com

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TREDGE SEY, CA 94704

Vo.	DATE	DESCRIPTION
	8/28/2023	100% DD Set

specifications during construction of the project. Failure

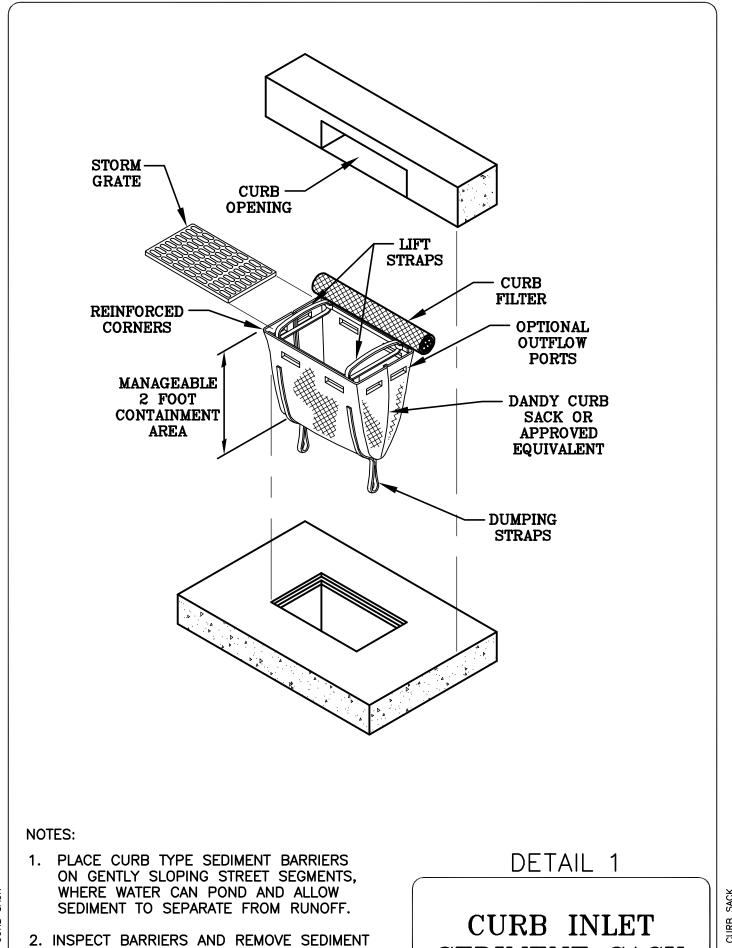
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Architect for any liability for such portions of work, and

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WATER POLLUTION CONTROL DRAWING

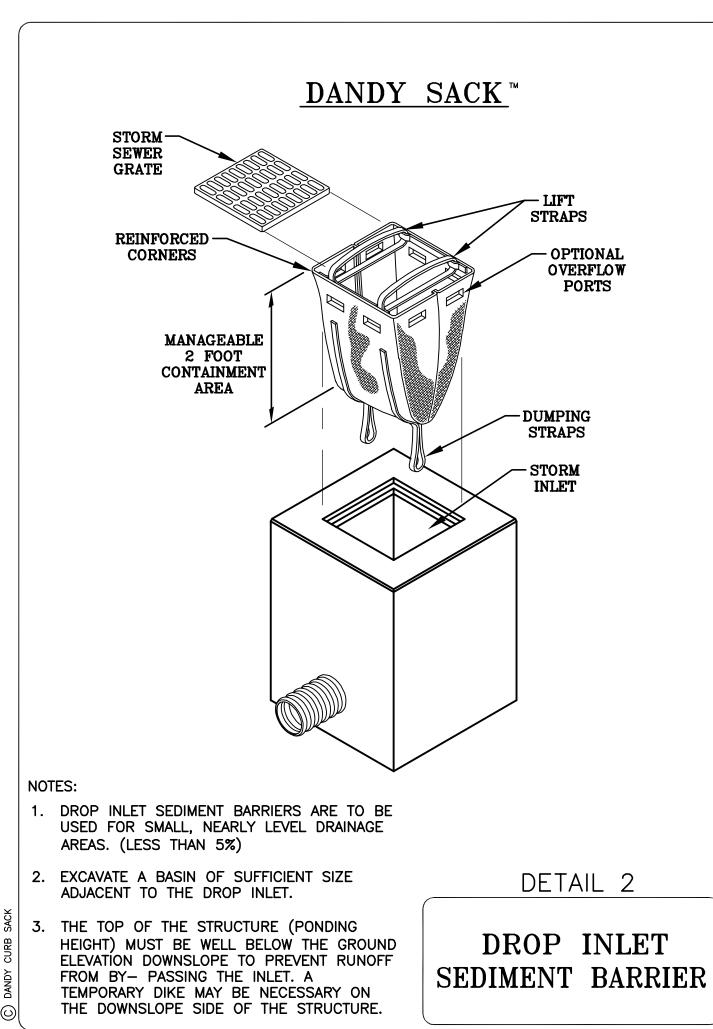


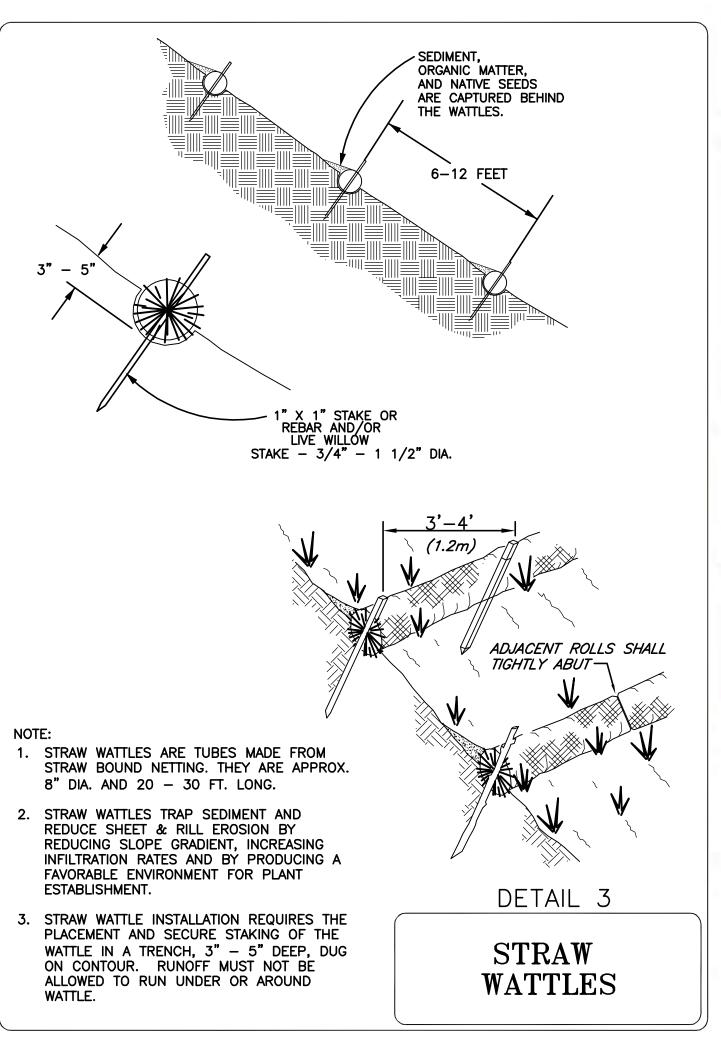
AFTER EACH STORM EVENT. SEDIMENT

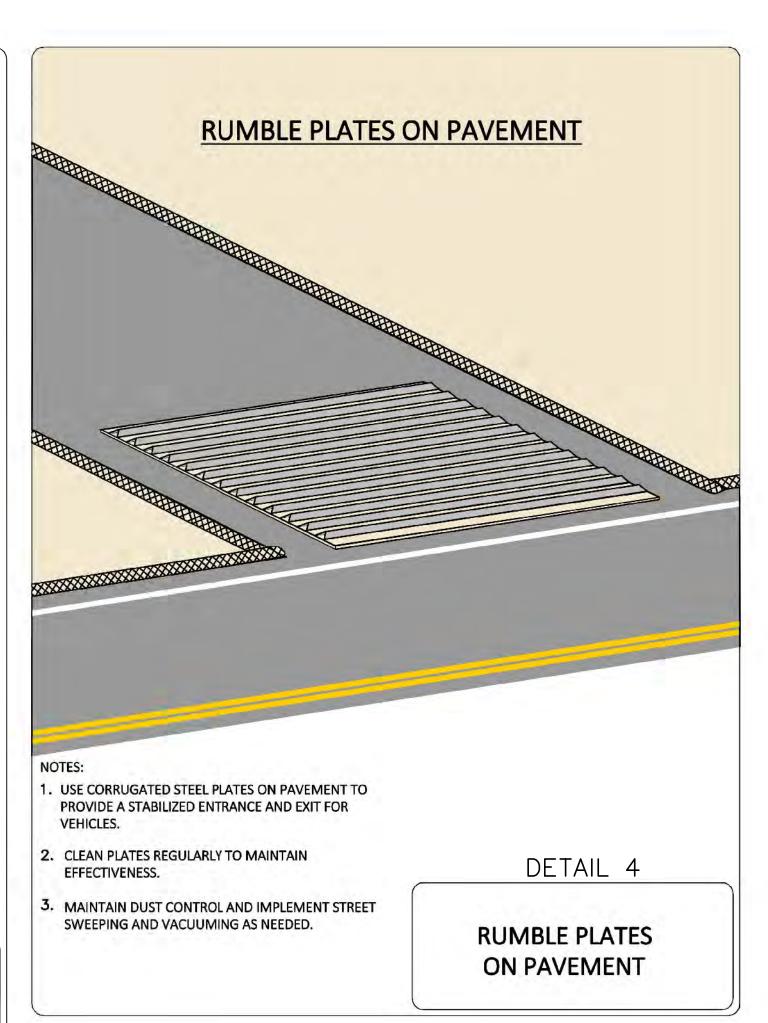
THE TRAVELED WAY IMMEDIATELY.

AND GRAVEL MUST BE REMOVED FROM

SEDIMENT SACK









Civil Engineers | Surveyors | Planners 636 9th Street Oakland, CA 94607 sandis.net

Sandis Project Number Contact Email Principal Designer

510.873.8866

622032 Michael Kuykendall mkuykendall@sandis.net Michael Kuykendall Nicholas Chandler

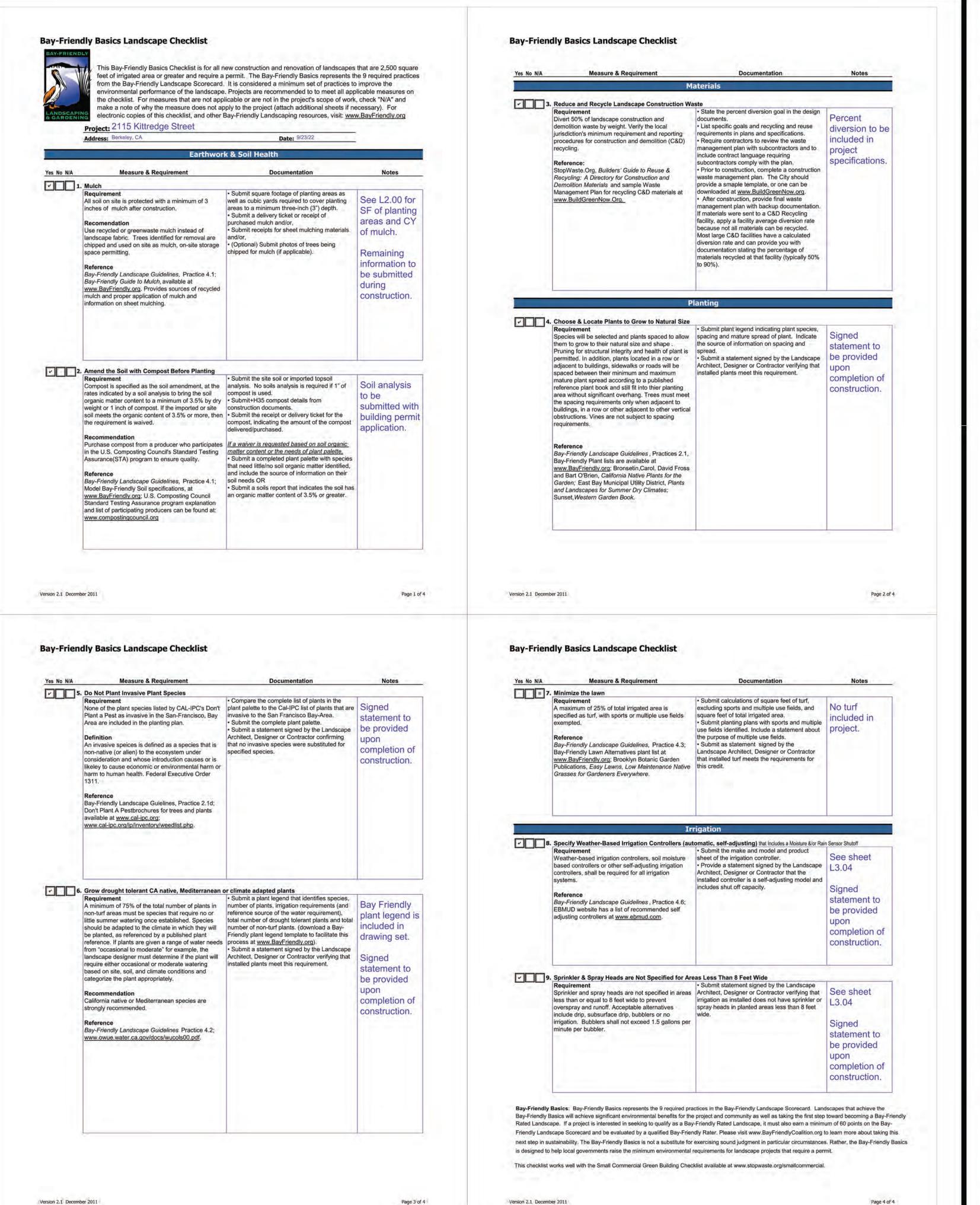
Developer Gilbane Development Company 649 Mission Street 5th Floor San Francisco, CA 94105 gilbaneco.com

BERKELEY,

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WATER POLLUTION CONTROL DETAILS





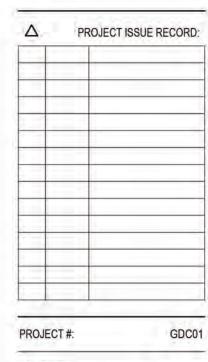


2115 KITTREDGE

BERKELEY, CA

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> ENTITLEMENTS PHASE

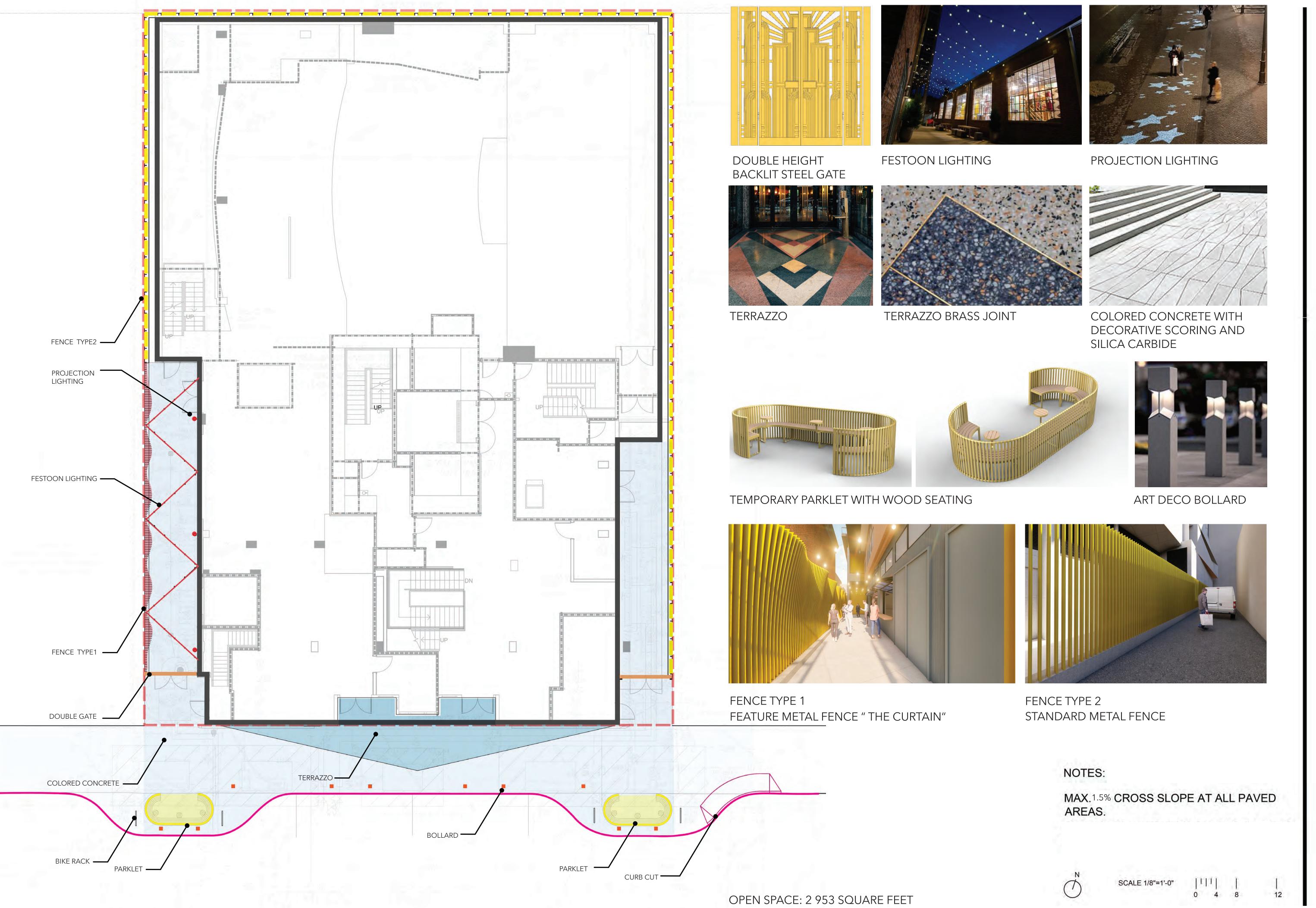


ISSUE DATE: 09/25/23

CAL GREEN

CHECKLIST

L100



studioKDA

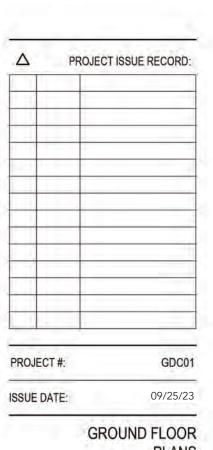


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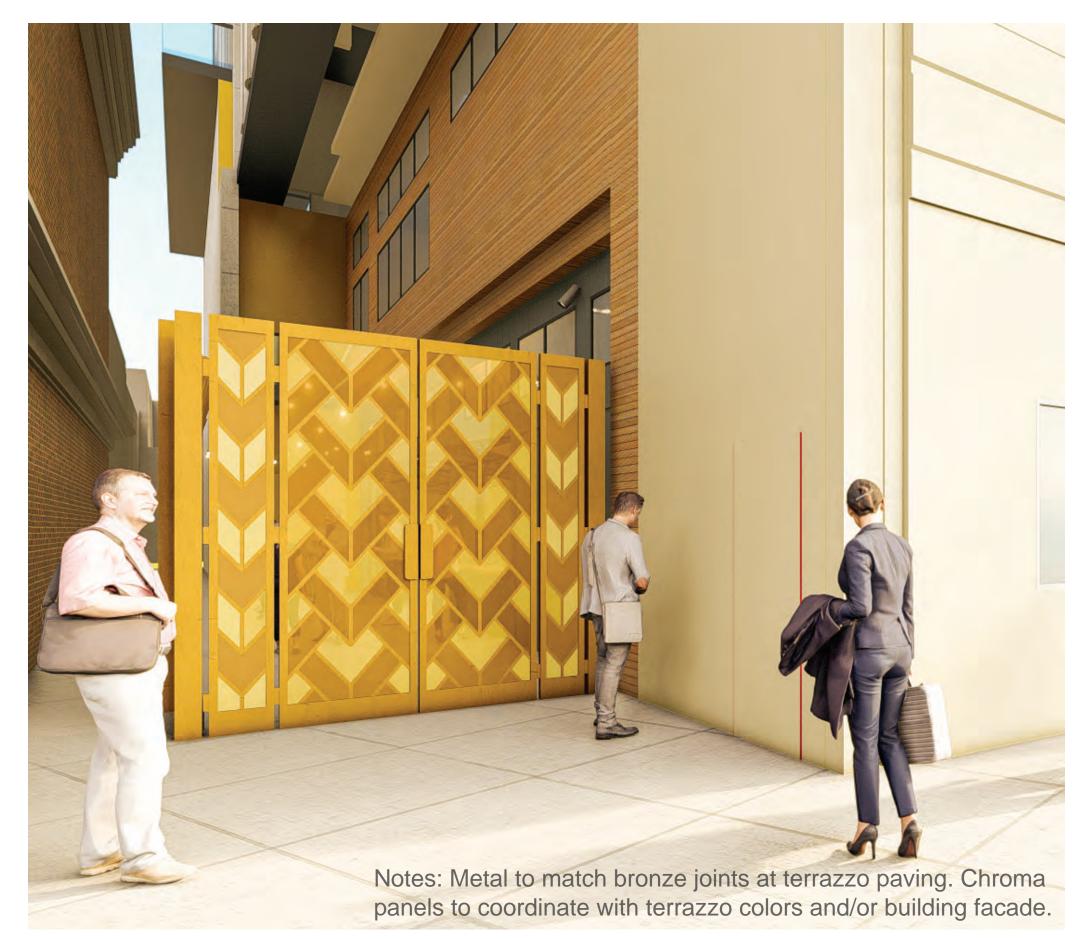
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> ENTITLEMENTS PHASE



L101

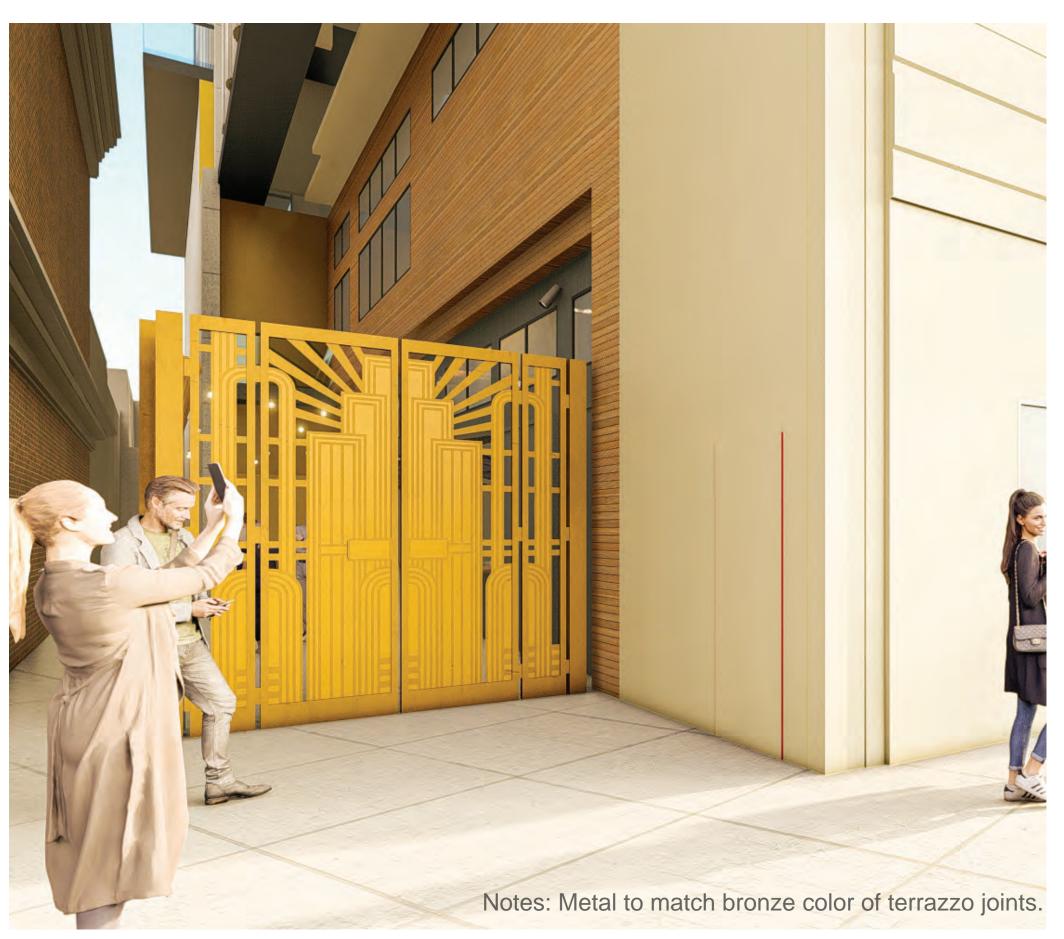


GATE ALTERNATIVE DESIGN
METAL FRAME + COLOR PRINT CHROMA



PARKLET ALTERNATIVE DESIGN

METAL TUBE FRAME + METAL DECORATIVE PANEL



GATE ALTERNATIVE DESIGN
METAL FRAME +LASER CUT METAL SHEET



PARKLET ALTERNATIVE DESIGN METAL FRAME + WOOD





BERKELEY, CA

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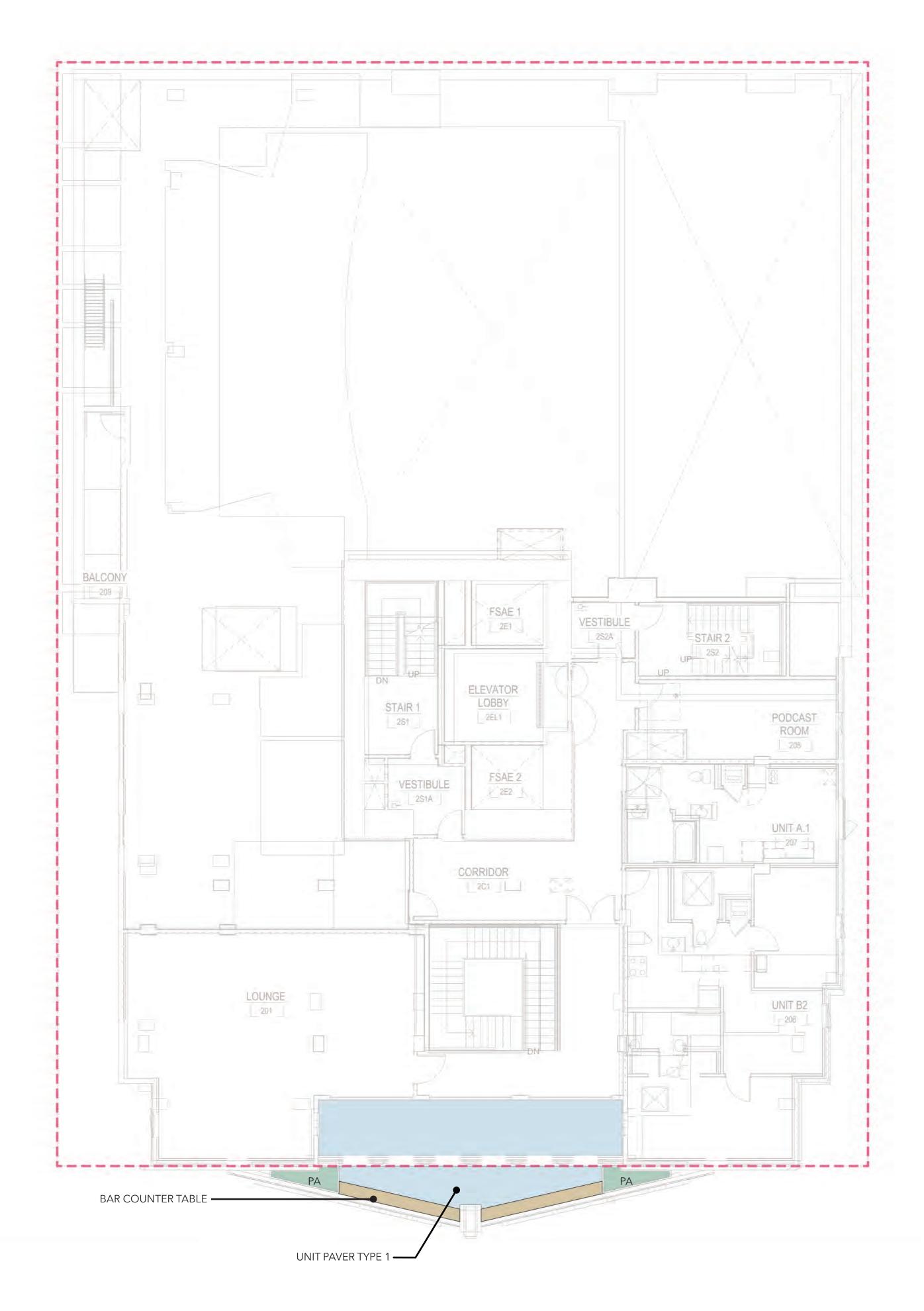
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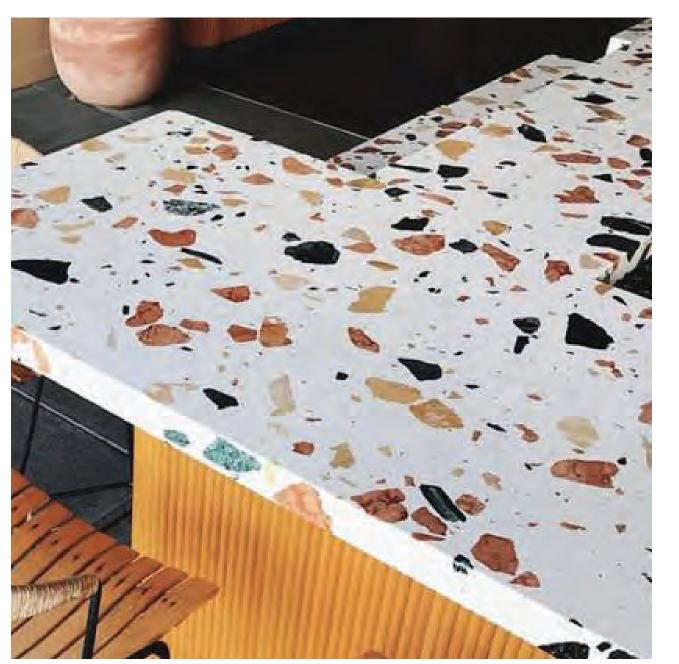
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PROJECT #: GD0
ISSUE DATE: 09/25/

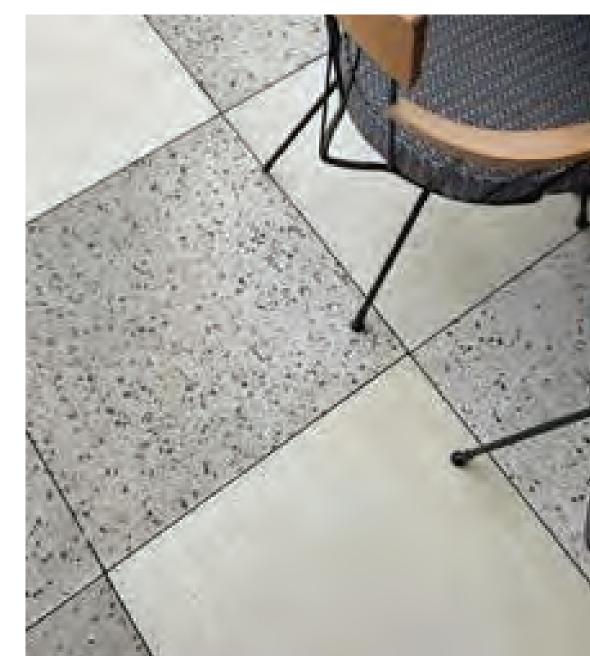
FEATURE ALTERNATIVE DESIGN OPTIONS

L101.1





TERRAZZO BAR TABLE



UNIT PAVER



2115 KITTREDGE

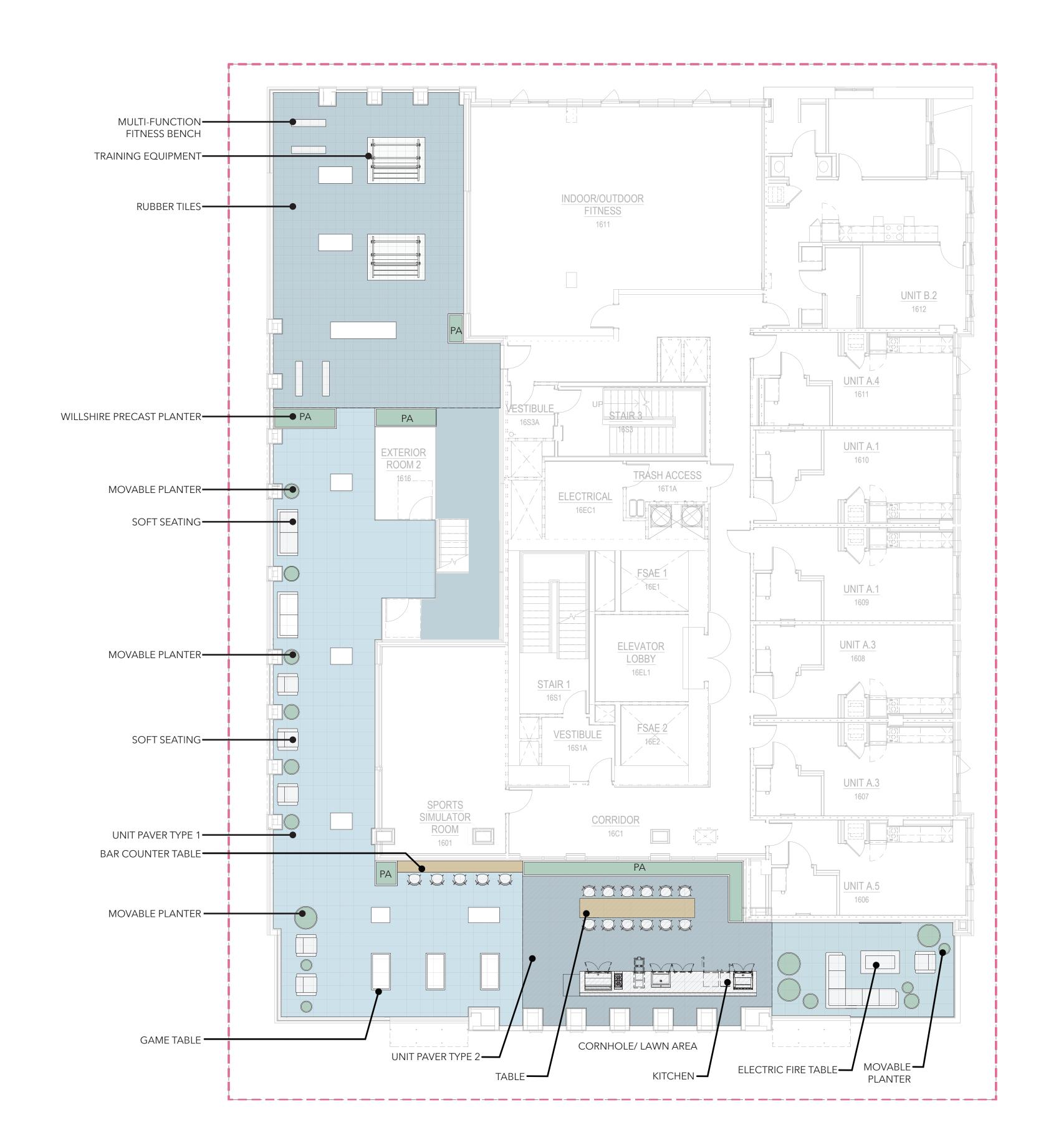
BERKELEY, CA

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ENTITLEMENTS

	PROJECT IS	SUE RECORD:
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ECT#		GDC01

ISSUE DATE: 2ND FLOOR PLANS





HIIT







FOOS BALL



FIRE PIT

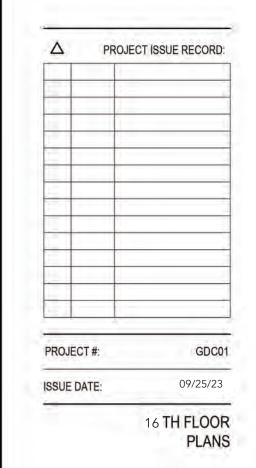




UNIT PAVER



CORNHOLE



2115 KITTREDGE

ST.

BERKELEY, CA

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ENTITLEMENTS

PHASE

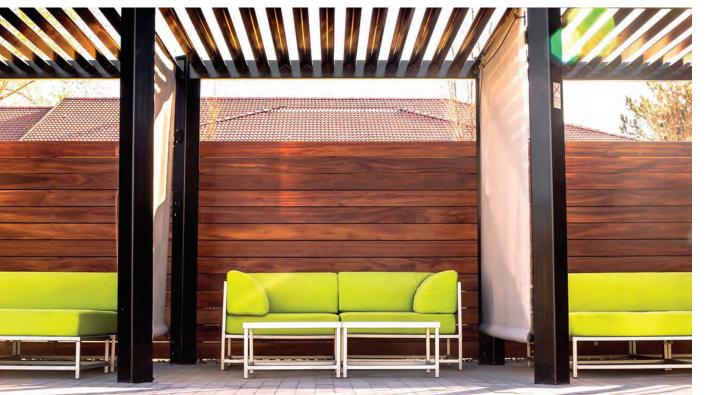
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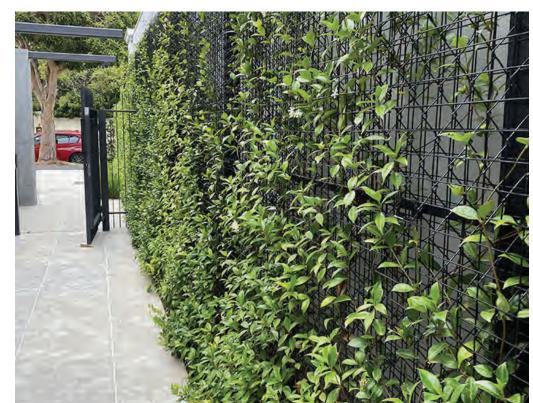




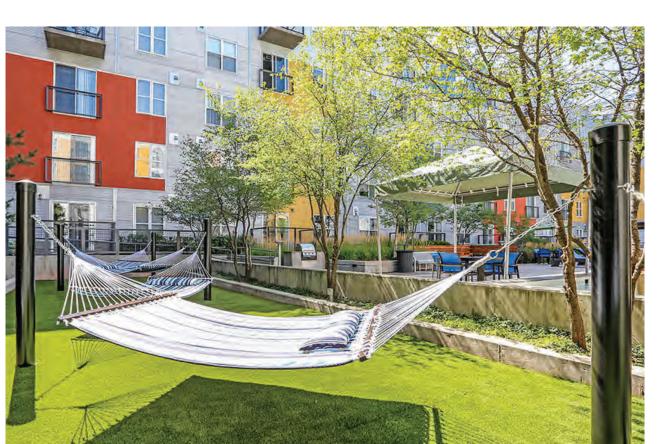


POOL WITH VIEW





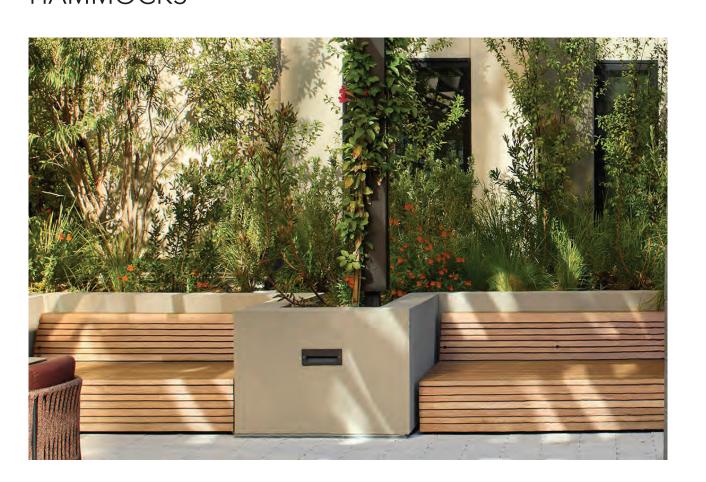
SHADED LOUNGE AREAS

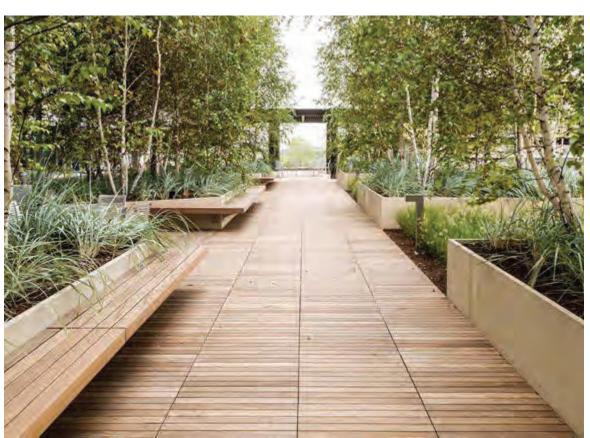


VINE WALL



HAMMOCKS

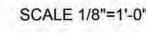


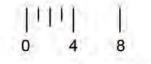


BUILT IN TIERED SEATING





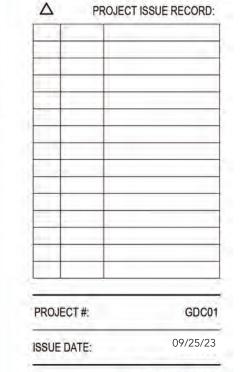




17 TH FLOOR

OPEN SPACE: 2 700 SQUARE FEET PLANTING AREA: 411 SQUARE FEET

MOVEABLE SEATING



2115 KITTREDGE

ST.

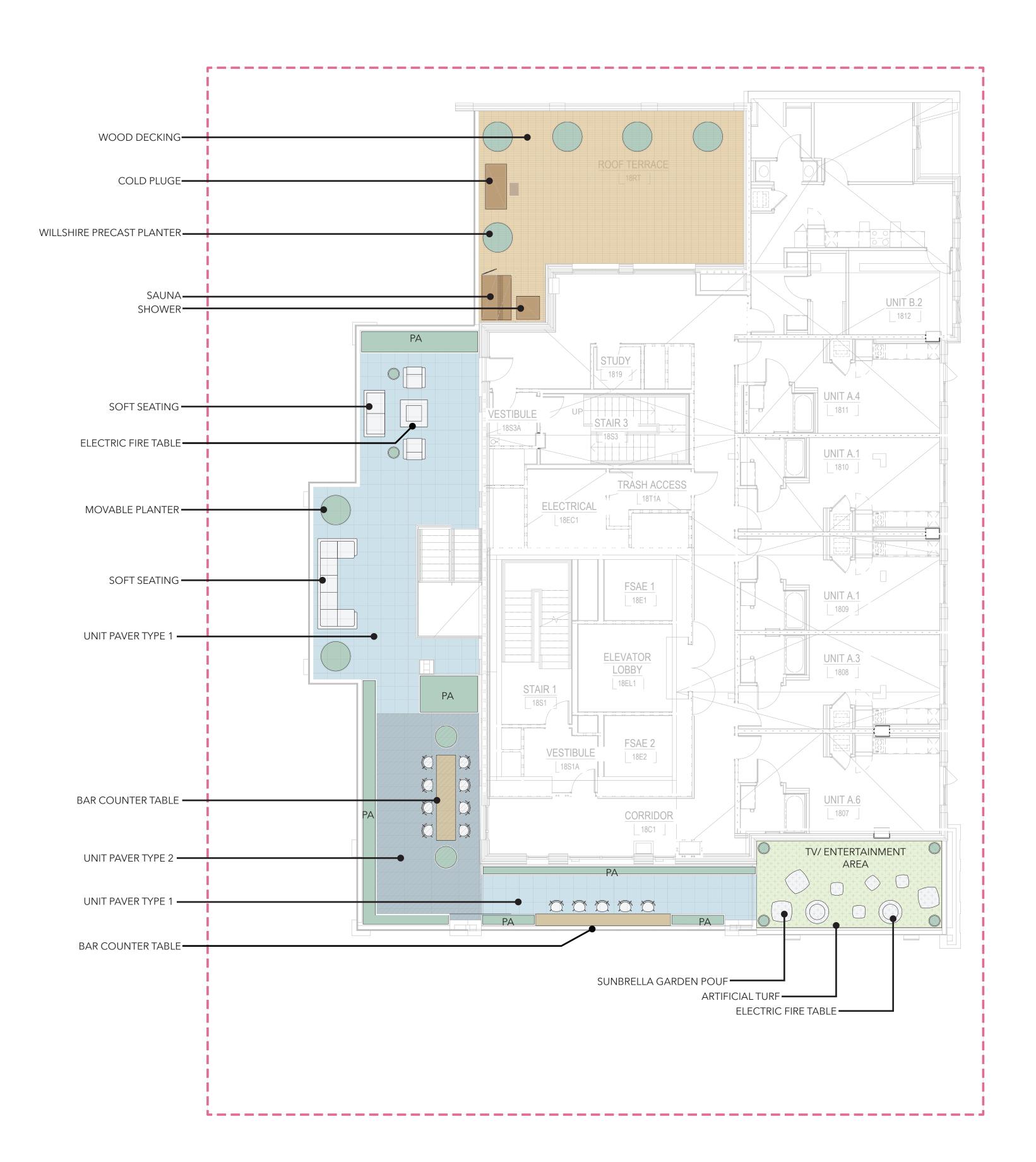
BERKELEY, CA

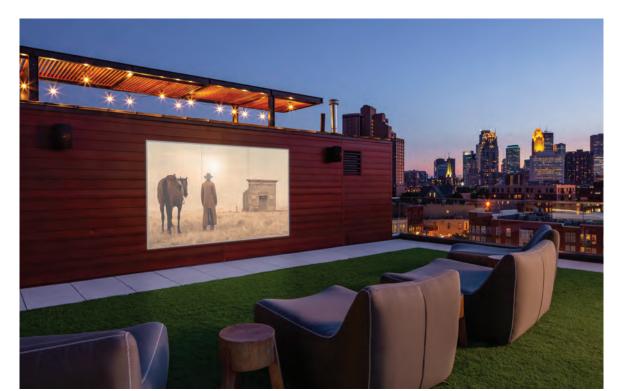
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ENTITLEMENTS

PHASE

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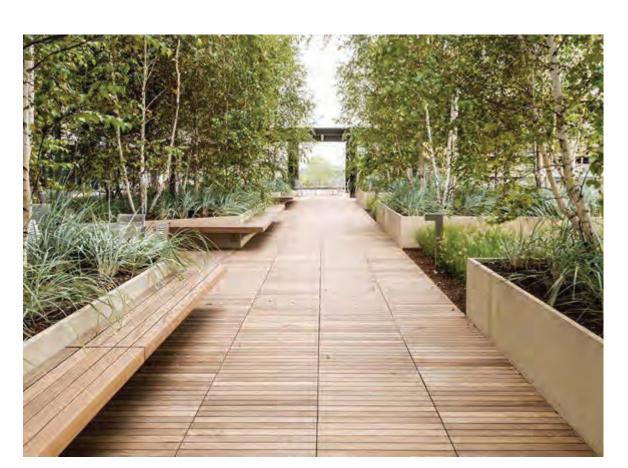




TV/ ENTERTAINMENT AREA



MOVEABLE SEATING



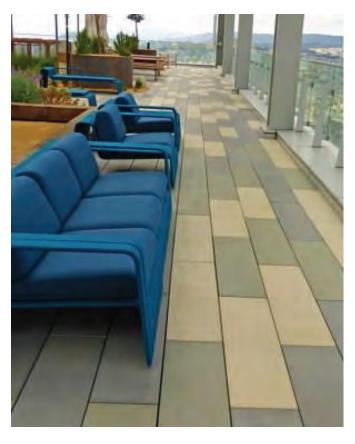
WOOD DECK ON PEDESTAL



OUTDOOR SHOWER SAUNA







UNIT PAVER



COLD PLUGE

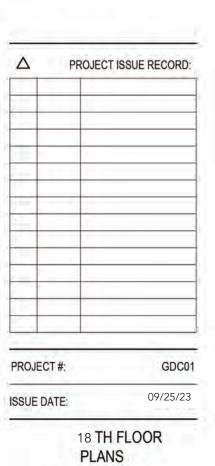




BERKELEY, CA

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> **ENTITLEMENTS** PHASE



TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE		QTY	WATER USE	NATIVE	WILDLIFE	SEASON OF BLOOM
•	ACE CIR	ACER CIRCINATUM	VINE MAPLE	15 GAL.	SEE PLANS	12	MEDIUM	YES	ATTRACTS BIRDS, BUTTERFLIES, MOTHS	MID-SPRING
	COR NUT	CORNUS NUTTALLII	PACIFIC DOGWOOD	15 GAL.	SEE PLANS	12	LOW	YES	ATTRACTS BIRDS, BUTTERFLIES	SPRING
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WATER USE	NATIVE	WILDLIFE	SEASON OF BLOOM
	ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL.	1'-0" O.C.	152 SF	LOW	YES	ATTRACTS BUTTERFLIES, MOTHS	SUMMER
	ART PCN	ARTEMISIA PYCNOCEPHALA	BEACH SAGEWORT	5 GAL.	3'-0" O.C.	32 SF	VERY LOW	YES	ATTRACTS BIRDS, BUTTERFLIES, MOTHS, BEES	SPRING, SUMMER
	CEA YAN	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	YANKEE POINT CARMEL CREEPER	5 GAL.	10'-0" O.C.	116 SF	LOW	YES	ATTRACTS BIRDS, BUTTERFLIES, MOTHS, BEES	SPRING
	ESC CAL	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1 GAL.	18" O.C.	72 SF	VERY LOW - LOW	YES	ATTRACTS BIRDS, BUTTERFLIES, BEES	SPRING, WINTER, SUMMER, FALL
	FES CAL	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL.	2'-0" O.C.	123 SF	VERY LOW	YES	ATTRACTS BUTTERFLIES	SPRING, WINTER
	HOR CAL	HORDEUM BRACHYANTHERUM CALIFORNICUM	CALIFORNIA MEADOW BARLEY	1 GAL.	2'-0" O.C.	110 SF	MEDIUM	YES	ATTRACTS BUTTERFLIES	SPRING
	SAL SPA	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL.	3'-0" O.C.	43 SF	VERY LOW	YES	ATTRACTS HUMMINGBIRDS, BEES, BUTTERFLIES	WINTER, SPRING, SUMMER
	STI PUL	STIPA PULCHRA	PURPLE NEEDLE GRASS	1 GAL.	18" O.C.	153 SF	VERY LOW - LOW	YES	ATTRACTS BUTTERFLIES, BIRDS	SPRING
VINES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WATER USE	NATIVE	WILDLIFE	SEASON OF BLOOM
	LON HO5	LONICERA HISPIDULA	CALIFORNIA HONEYSUCKLE	5 GAL.	2'-0" O.C.	78 SF	VERY LOW - LOW	YES	ATTRACTS HUMMINGBIRDS, BIRDS	SPRING, SUMMER

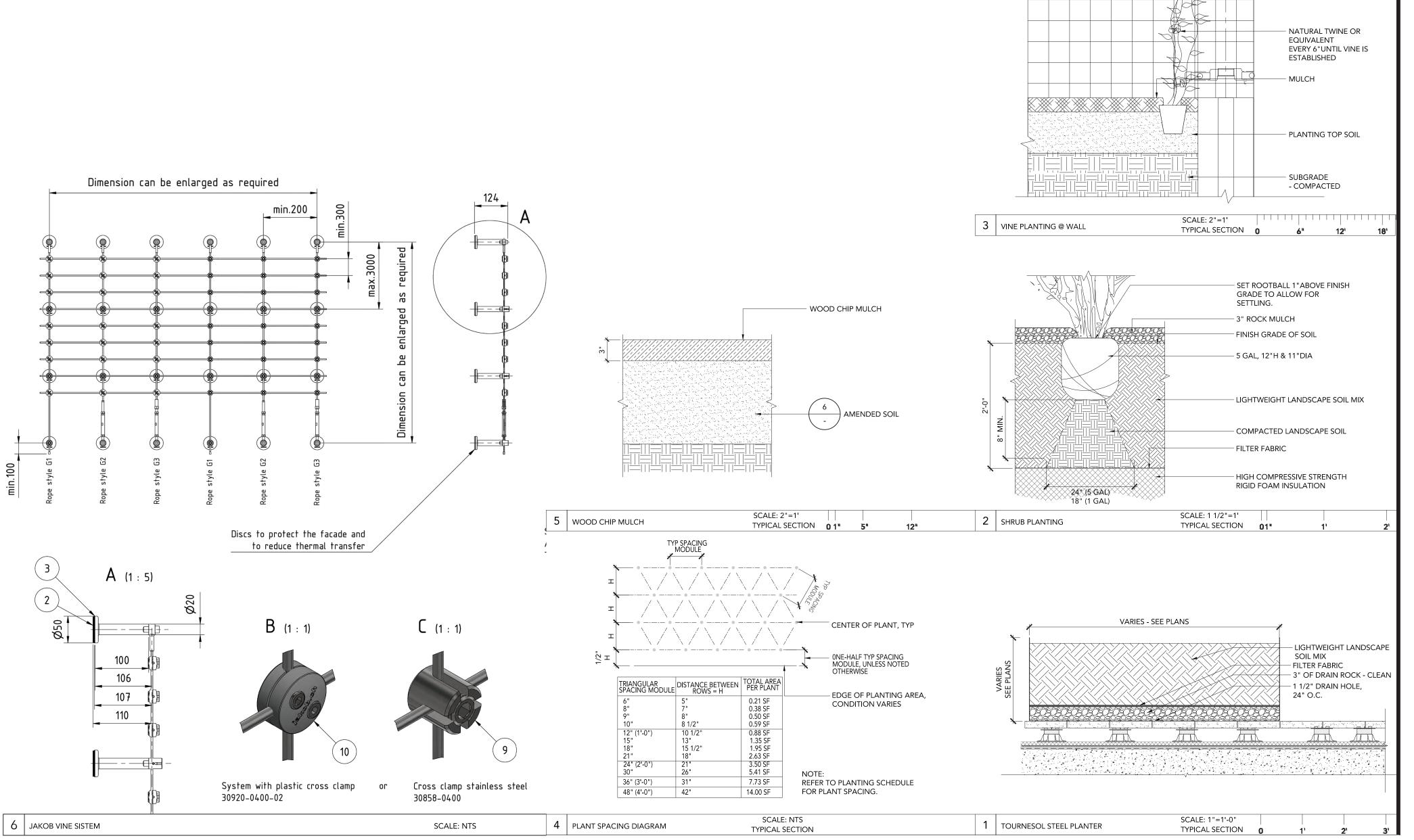


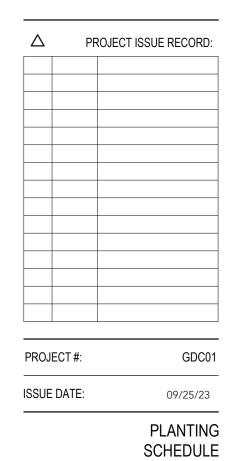


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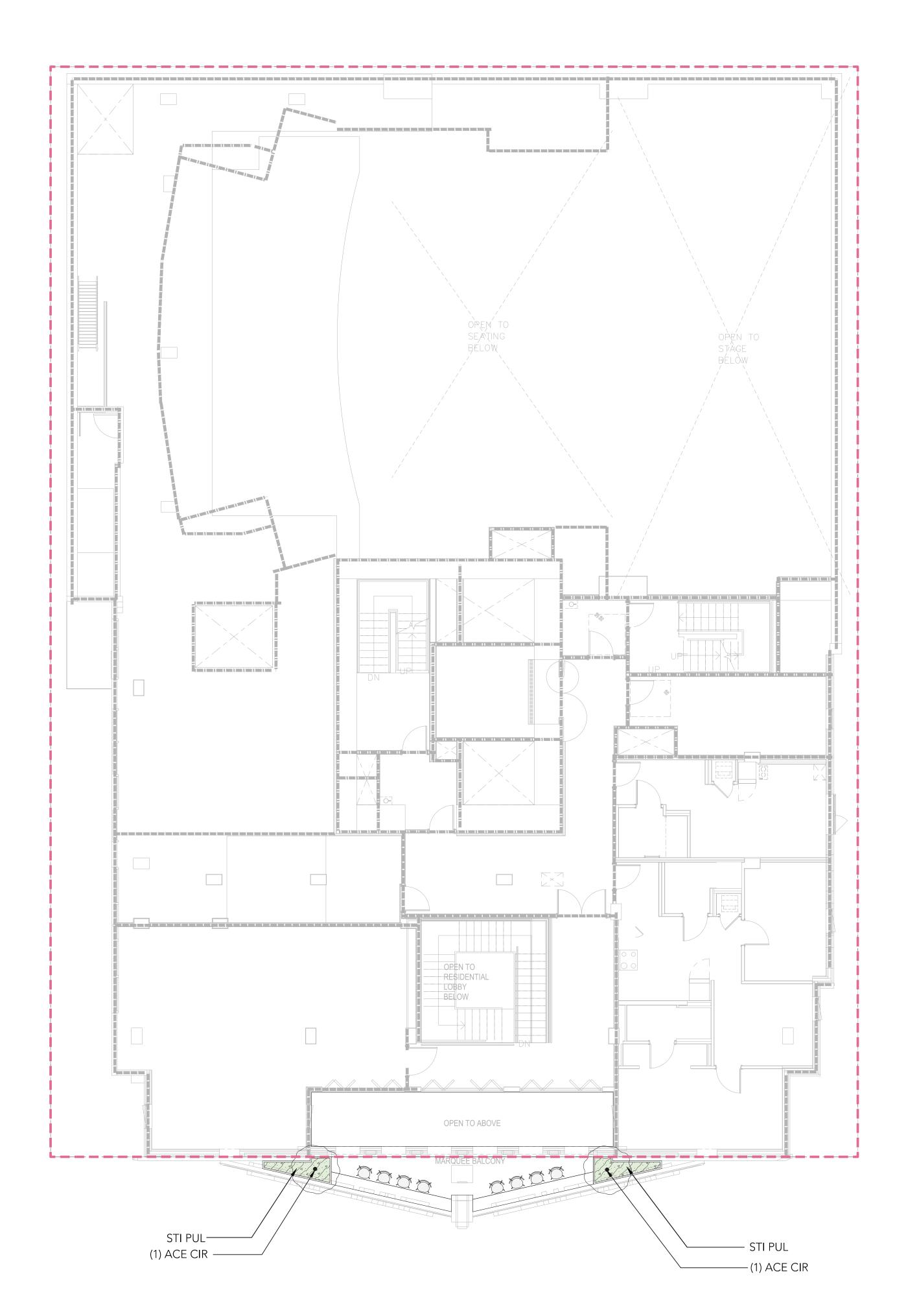
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L200







ACER CIRCINATUM

STIPA PULCHRA

TREES KEY BOTANICAL NAME COMMON NAME SIZE QTY ACE CIR ACER CIRCINATUM VINE MAPLE 15 GAL. 2 CODE GROUND COVERS BOTANICAL NAME COMMON NAME QTY STI PUL STIPA PULCHRA PURPLE NEEDLE GRASS 5 GAL. 28 SF

NORTH (

SCALE 3/16" = 1'-

studioKDA

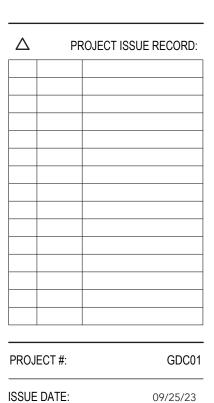


2115 KITTREDGE ST.

BERKELEY, CA

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ENTITLEMENTS PHASE



2ND FLOOR
PLANTING PLAN

L202











CEANOTHUS GRISEUS 'YANKEE POINT'



FESTUCA CALIFORNICA

SALVIA SPATHACEA

REES	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	COR NUT	CORNUS NUTTALLII	PACIFIC DOGWOOD	15 GAL.	2
ROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL.	48 SF
	CEA YAN	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	YANKEE POINT CARMEL CREEPER	5 GAL.	44 SF
	FES CAL	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL.	38 SF
	SAL SPA	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL.	43 SF

NORTH (





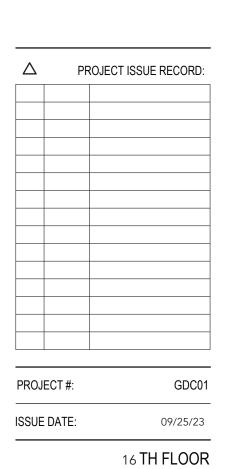


2115 KITTREDGE ST.

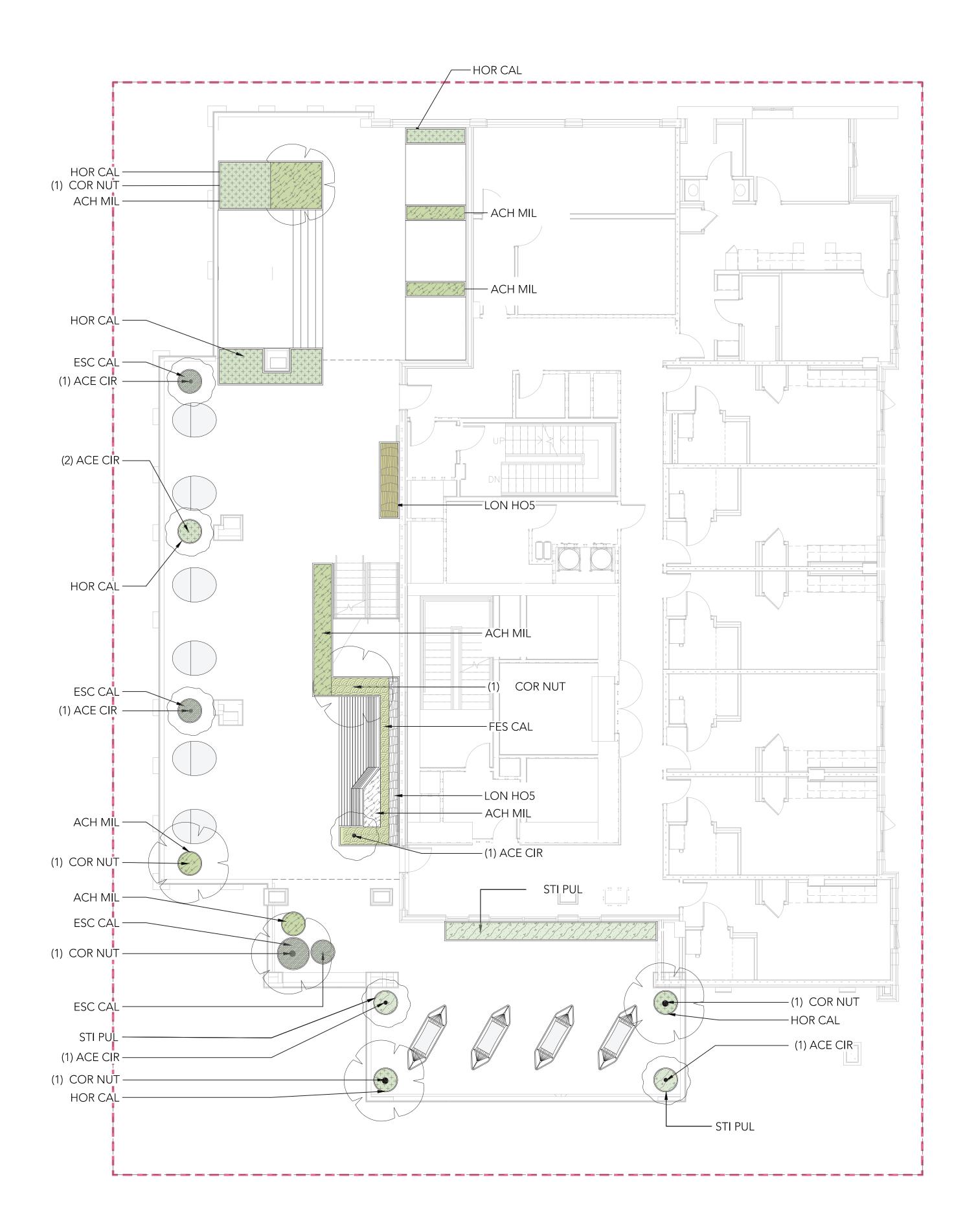
BERKELEY, CA

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ENTITLEMENTS PHASE



PLANTING PLAN





TREES	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY
•	ACE CIR	ACER CIRCINATUM	VINE MAPLE	15 GAL.	4
	COR NUT	CORNUS NUTTALLII	PACIFIC DOGWOOD	15 GAL.	4
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL.	4 SF
	ART PCN	ARTEMISIA PYCNOCEPHALA	BEACH SAGEWORT	5 GAL.	32 SF
	CEA YAN	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	YANKEE POINT CARMEL CREEPER	5 GAL.	72 SF
	ESC CAL	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1 GAL.	42 SF
	FES CAL	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL.	40 SF
	STI PUL	STIPA PULCHRA	PURPLE NEEDLE GRASS	1 GAL.	59 SF
VINES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	LON HOS	LONICERA HISPIDULA	CALIFORNIA HONEYSUCKLE	5 GAL.	35 SF

SCALE 3/16" = 1'-0"



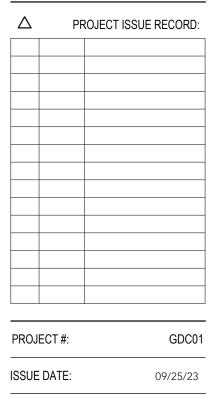


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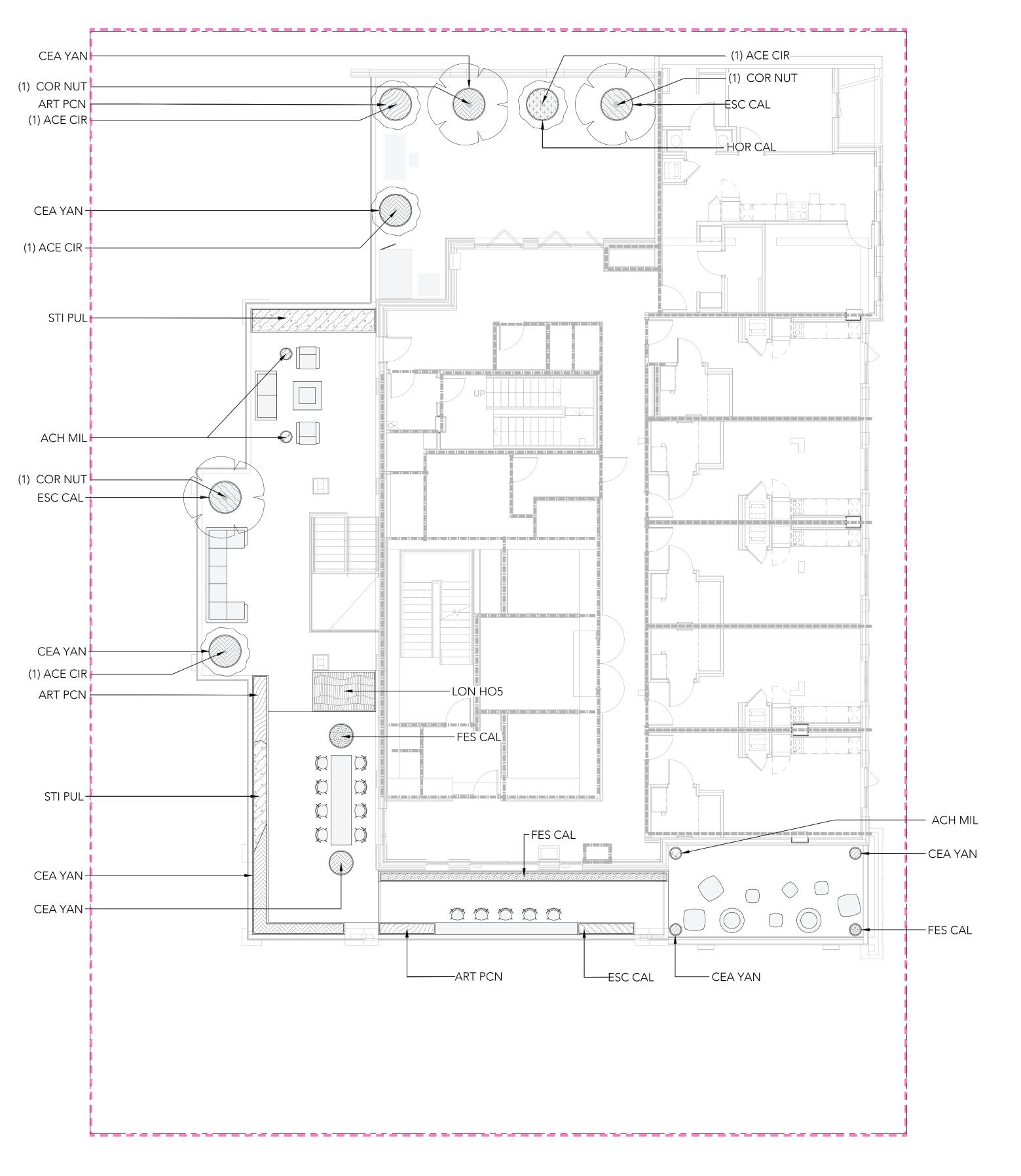
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17 TH FLOOR PLANTING PLAN









ARTEMISA PYCNOCEPHALA



CEANOTHUS GRISEUS 'YANKEE POINT'



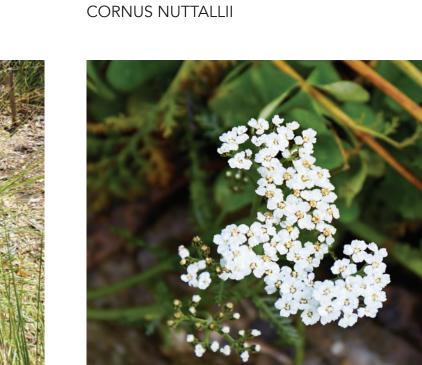
ESCHSCHOLZIA CALIFORNICA



FESTUCA CALIFORNICA



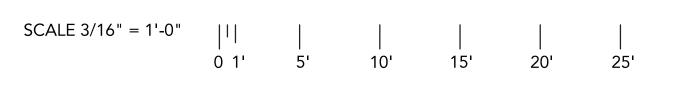
STIPA PULCHRA



ACER CIRCINATUM

ACHILLEA MILLEFOLIUM

TREES	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY
•	ACE CIR	ACER CIRCINATUM	VINE MAPLE	15 GAL.	4
	COR NUT	CORNUS NUTTALLII	PACIFIC DOGWOOD	15 GAL.	4
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL.	4 SF
	ART PCN	ARTEMISIA PYCNOCEPHALA	BEACH SAGEWORT	5 GAL.	32 SF
	CEA YAN	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	YANKEE POINT CARMEL CREEPER	5 GAL.	72 SF
	ESC CAL	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1 GAL.	42 SF
	FES CAL	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL.	40 SF
	STI PUL	STIPA PULCHRA	PURPLE NEEDLE GRASS	1 GAL.	59 SF
VINES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	LON HOS	LONICERA HISPIDULA	CALIFORNIA HONEYSUCKLE	5 GAL.	35 SF





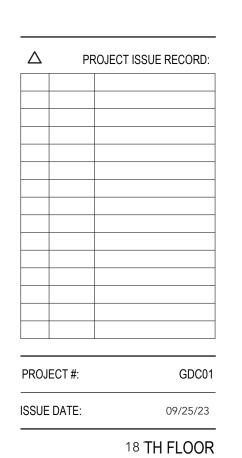


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BERKELEY, CA

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> **ENTITLEMENTS PHASE**



PLANTING PLAN

	IRRIGATION SYS	STEM LEGEND	
		-FEBCO-825Y-1" -SEE CIVIL DRAWINGS	
C	CONTROLLER ASSEMBLY		
®	RAIN SENSOR	-TBD	
S	MOISTURE SENSOR	-BASELINE	
59	MASTER CONTROL VALVE	-SUPERIOR-3100-1"	
	FLOW SENSOR	-BASELINE	
•	REMOTE CONTROL VALVE	-IRRITROL-700 SERIES	
*	QUICK COUPLING VALVE	-RAINBIRD-33DRC	
×	GATE VALVE	-NIBCO-T113-IRR-LINE SIZE	
↔	DRIP CONTROL ASSEMBLY	-TORO-DZK-700-MF	
•	DRIP FLUSH VALVE	-SEE DETAIL	
•	TREE BUBBLER	-RAINBIRD-1401	
	IRRIGATION SUPPLYLINE	-1120/SCHEDULE 40 PVC PIPE	-24" COVER
	IRRIGATION LATERAL LINE	-1120/CLASS 200 PVC PIPE	-18" COVER
	SUBSURFACE DRIPLINE	-NETAFIM-TLCV-6-12	-3" COVER
	ELECTRICAL CONDUIT	-1120/SCHEDULE 40 ELECTRICAL CONDUIT	-24" COVER
	SLEEVING	-1120/SCHEDULE 40 PVC PIPE	-24" COVER
·····	PIPING UNDER PAVERS/DECKING	-COPPER TYPE L SEAMLESS TUBING	
0	STUBOUT	-BY MECHANICAL SECTION OF CONTRACT	
	PIPING THROUGH STRUCTURE	-BY PLUMBING SECTION OF CONTRACT	
	CONDUIT THROUGH STRUCTURE	-BY ELECTRICAL SECTION OF CONTRACT	
sta gpm size	CONTROLLER STATION NUMBER GALLONS PER MINUTE THROUGH VALVE CONTROL VALVE SIZE		

				WE Water Budget and V	ELO Vater Use Calcula	tor	
NSTRUCTIONS:							
. Enable macros.			"	, (D. A.)			
				v.water.ca.gov/Programs/Wate omprehensive Performance C		an-vvater-Use-Επισιency	
Date:	2023.09.08						
Project Name:	KITTREDGE - E	BERKELEY					
Project Contact:	Sara Peschel						
Project Contact Email:	sara@groundwor	rksoffice.com					
Maximum Applied Water Allowance	Project Type	ЕТо	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gal/yr)	
(MAWA)	Non-residential	39.6	0.45	241	1,131	15,750	MAWA =(ETo) * (0.62) *[(ETAF*LA) + ((1-ETAF) * SLA
	otal Water Use		ЕТо	(SF * PF) / IE	SLA	ETWU (gal/yr)	
(ETWU) 39.			39.6	227	241	11,482	ETWU =(ETo) * (0.62) *[(PF*SF/IE) + SLA]
				Difference betwe	een MAWA and ETWU	4,268	Project meets water budget.
				Sinoroneo Sour	oon mark and E1770	1,200	Trojoct mooto water bauget.
ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	Second Lvl	Drip	28	0.30	0.81	10
	2	16th Lvl	Drip	173	0.30	0.81	64
	3	17th Lvl	Drip	411	0.30	0.81	
	4	18th Lvl	Drip	278	0.30	0.81	152
	Landscape ar	rea (not includ	ding SLA)	890			227
	Description		Description Square Feet (SF)		Plant Factor / Irrigation Efficiency (PF/IE)		(SF * PF) / IE
ETWU Calculation		Edible pla	nting area		1	1.0	-
Special Landscape Areas (SLA)	Multi-use	and sports fiel	d turf area			1.0	-
	Area irrig	ated with recy	cled water			1.0	-
			Pool	241		1.0	241
		•	Total SLA	241			
Total Landscape Area (in	ncluding SLA\ f		alculation	1,131	· 		





BERKELEY, CA

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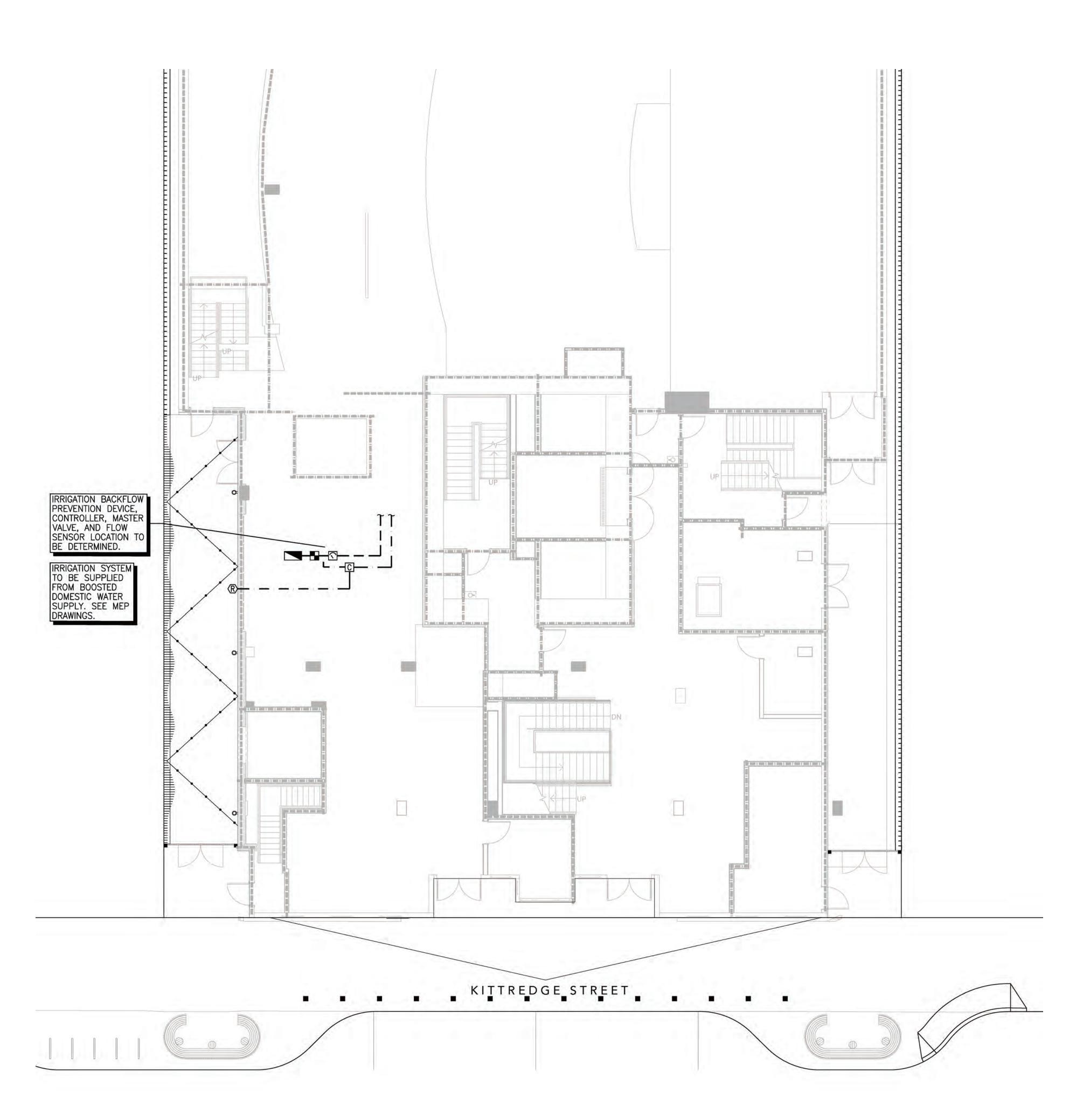
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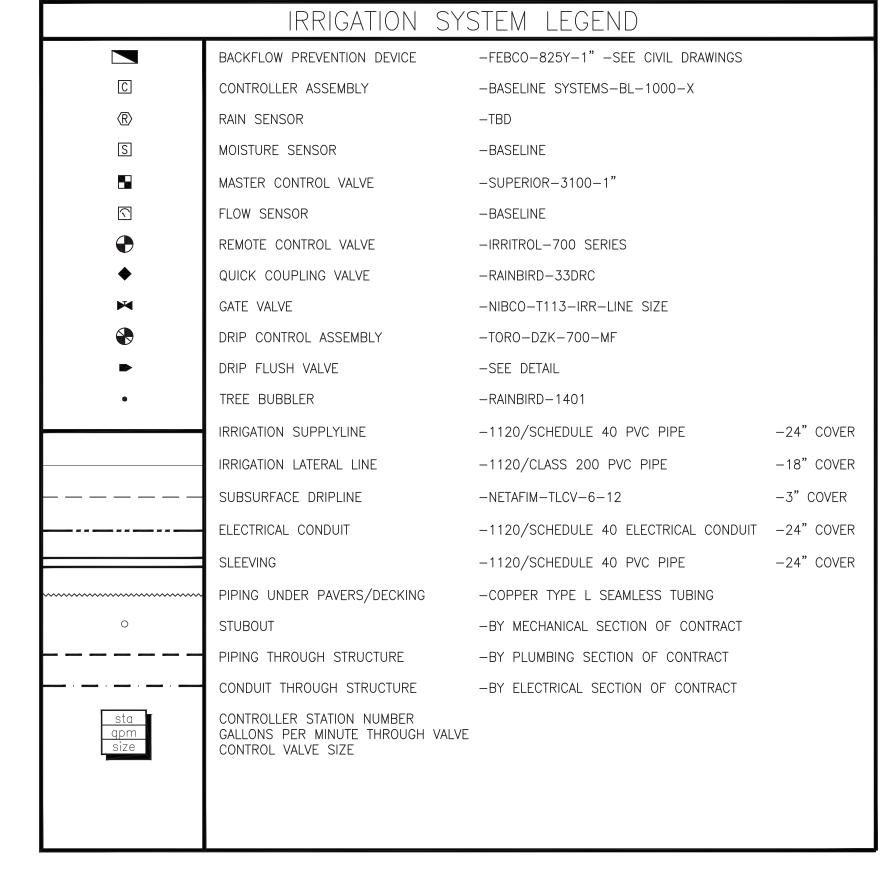
Δ	PROJECT ISS	SUE RECORD:
PROJEC1	Γ#:	GDC01

ISSUE DATE: 09/25/23

IRRIGATION
SCHEDULE AND
CALCULATIONS

L300





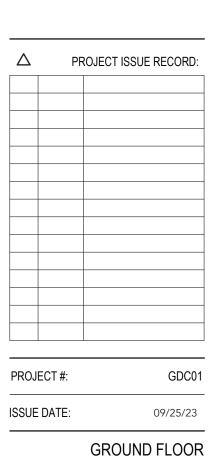


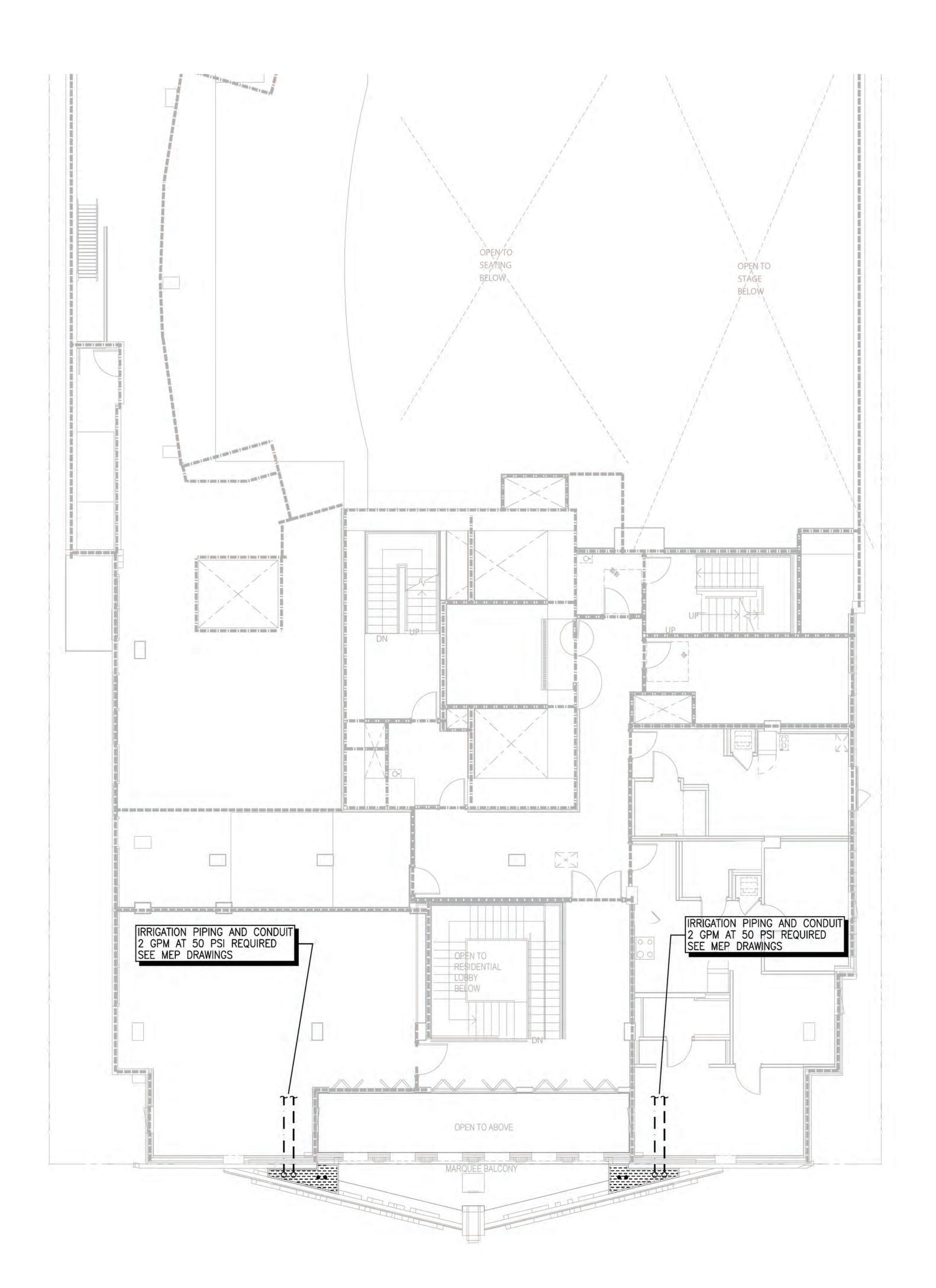


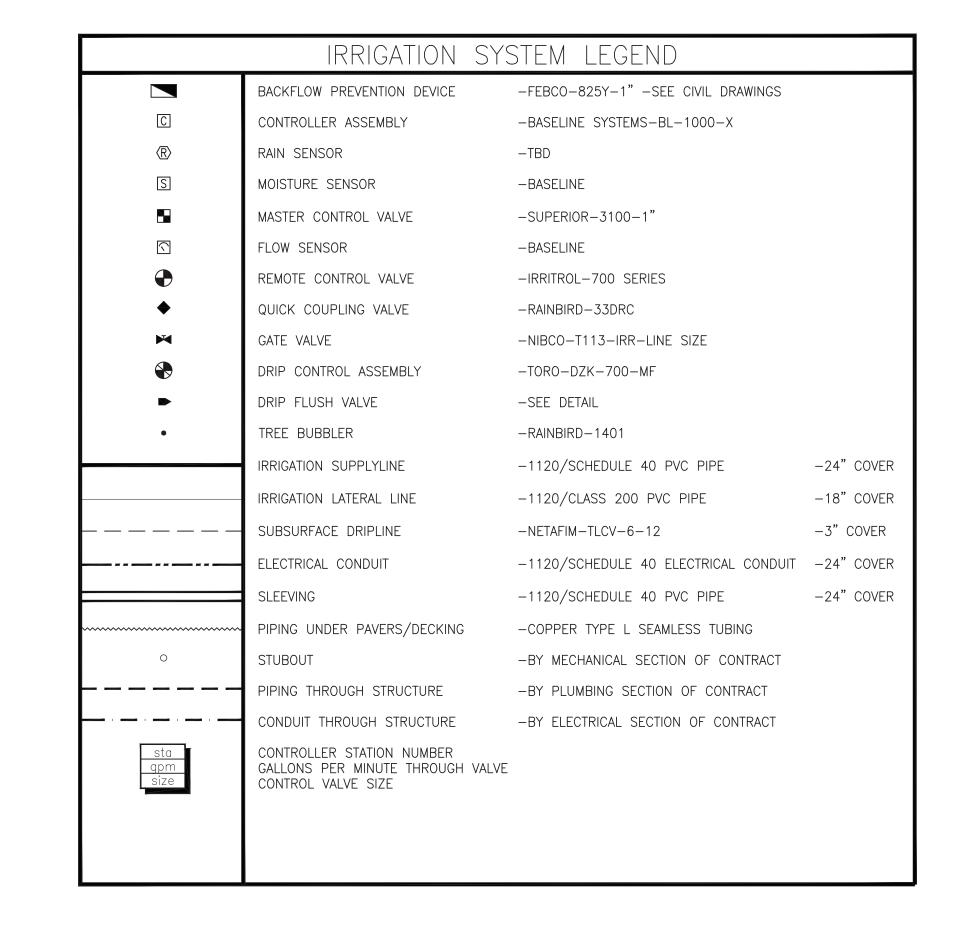
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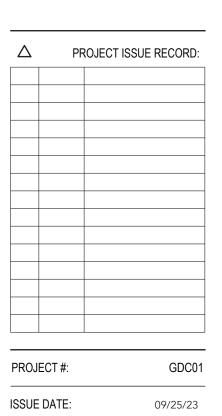




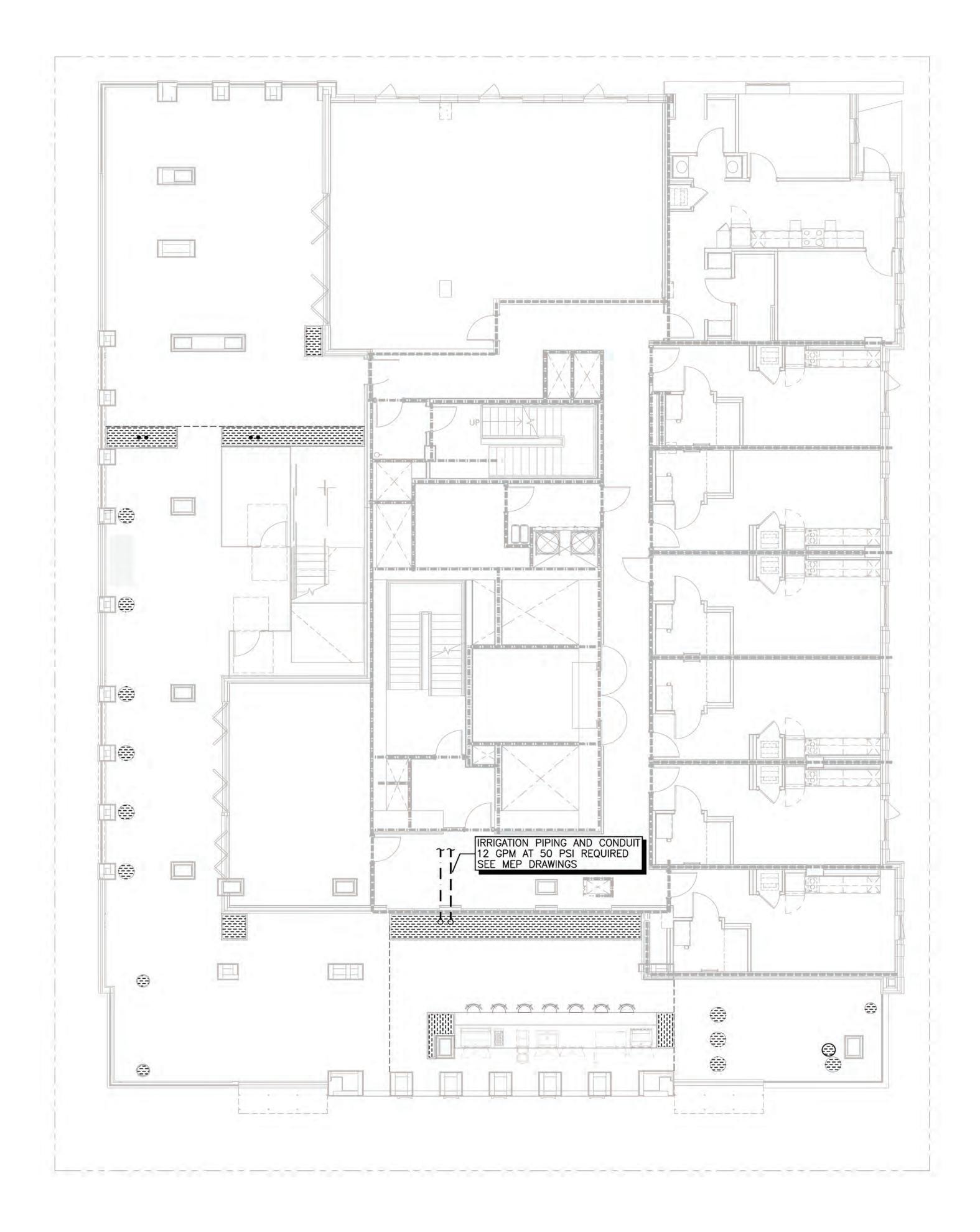
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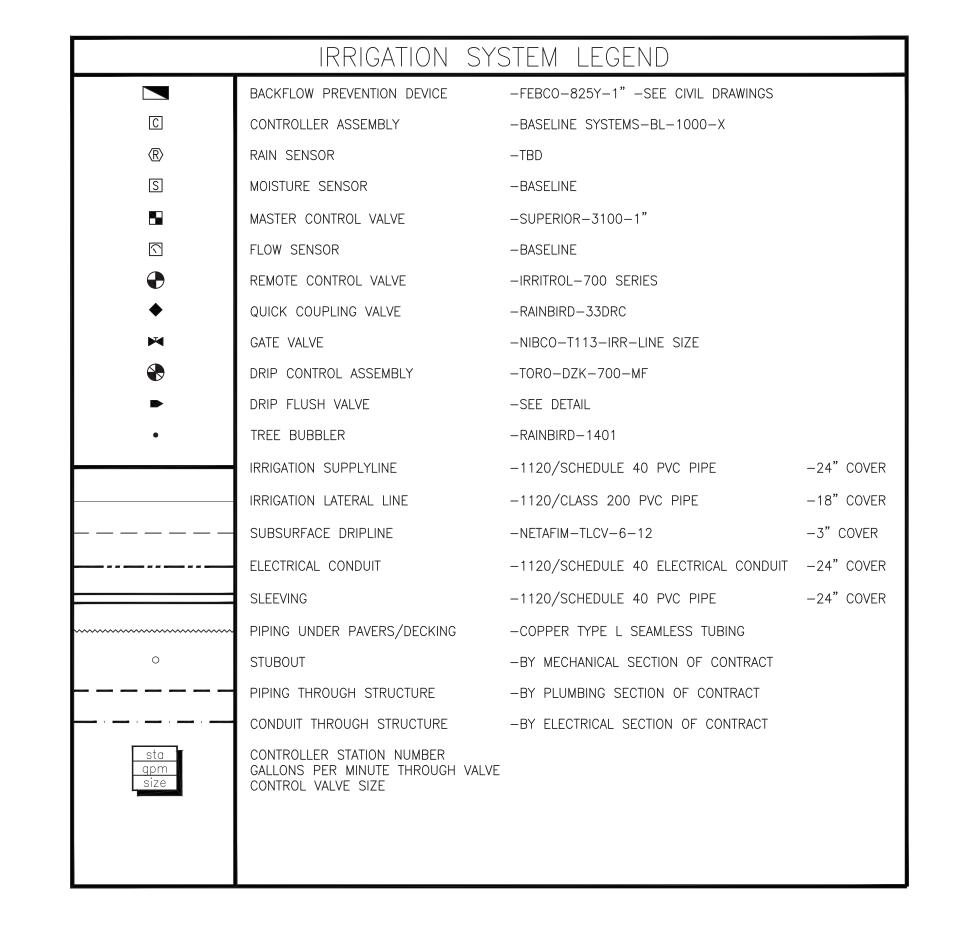
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SECOND FLOOR IRRIGATION PLANS





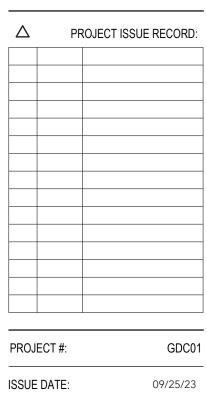




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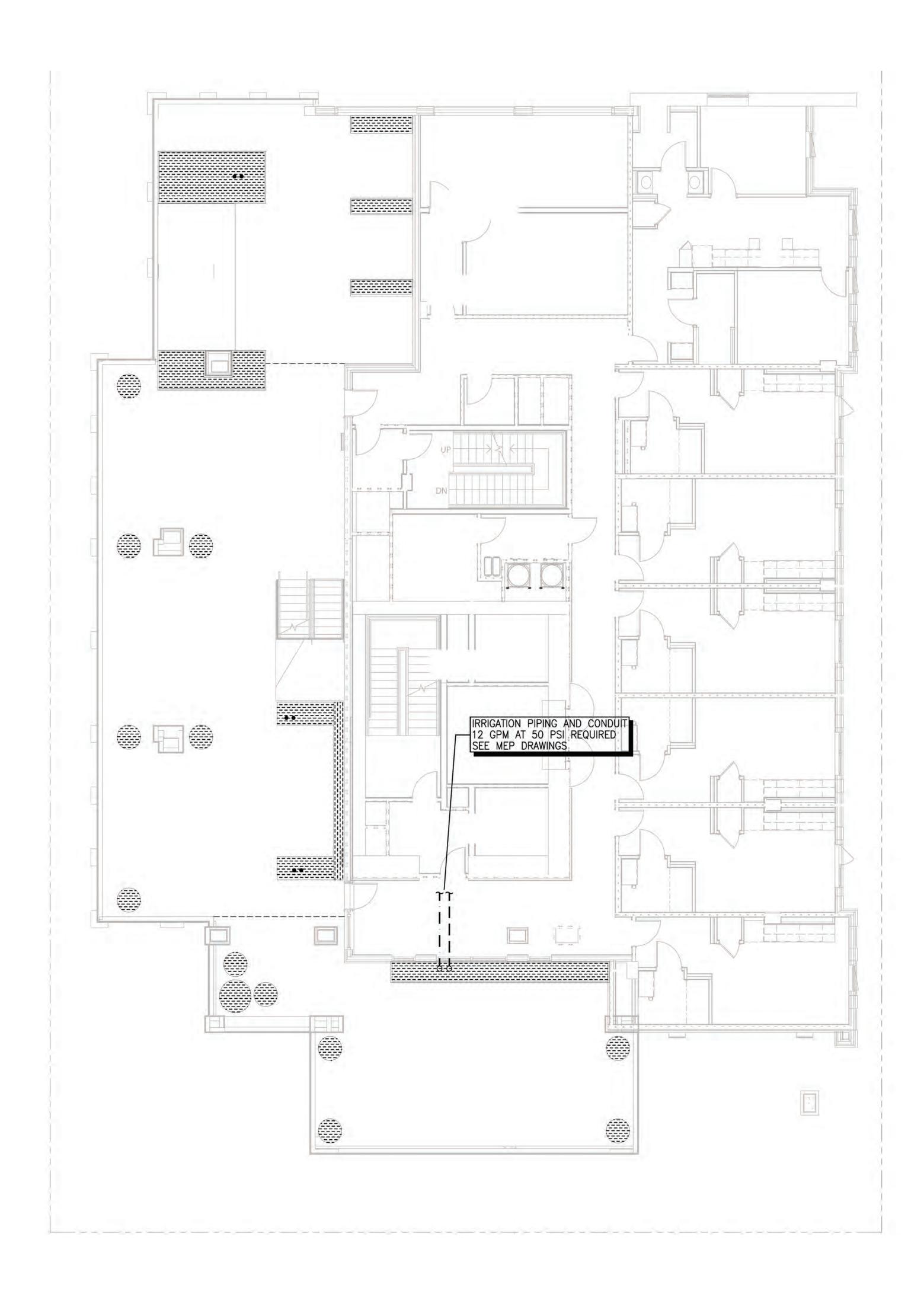
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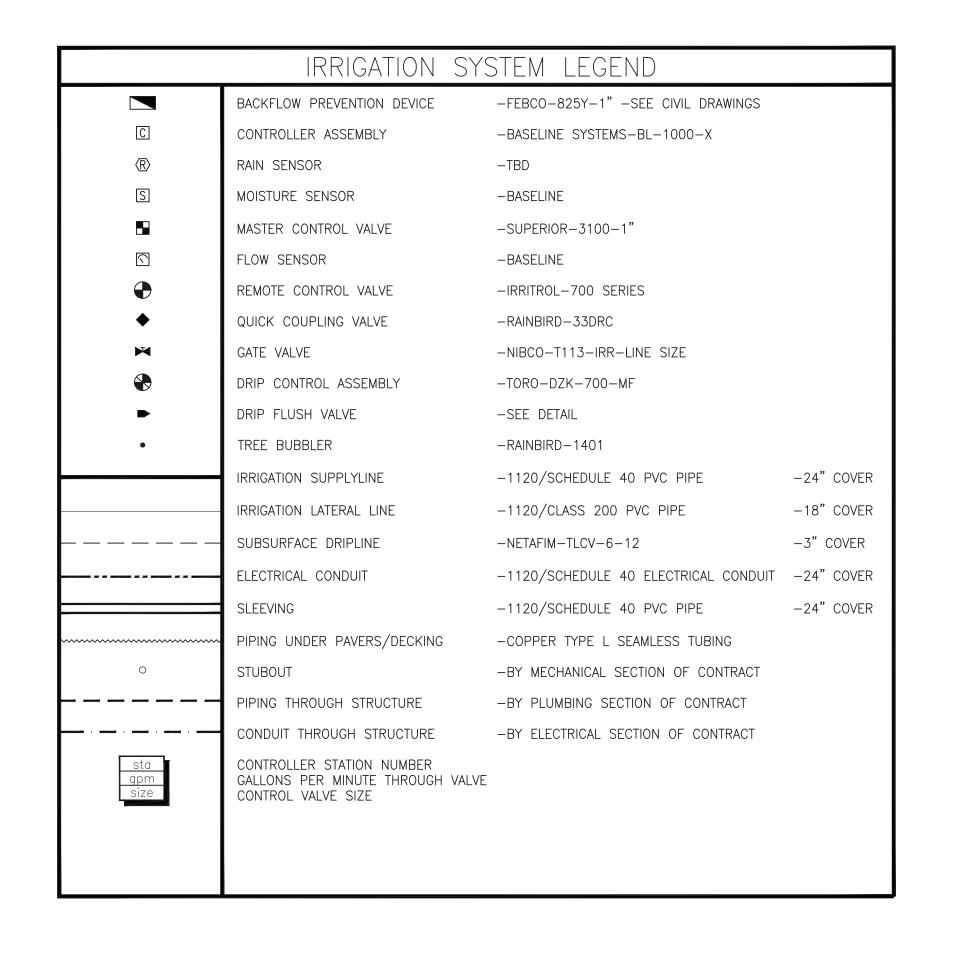


ISSUE DATE: 09/25

16 TH FLOOR IRRIGATION PLANS







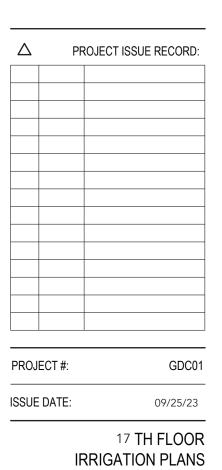


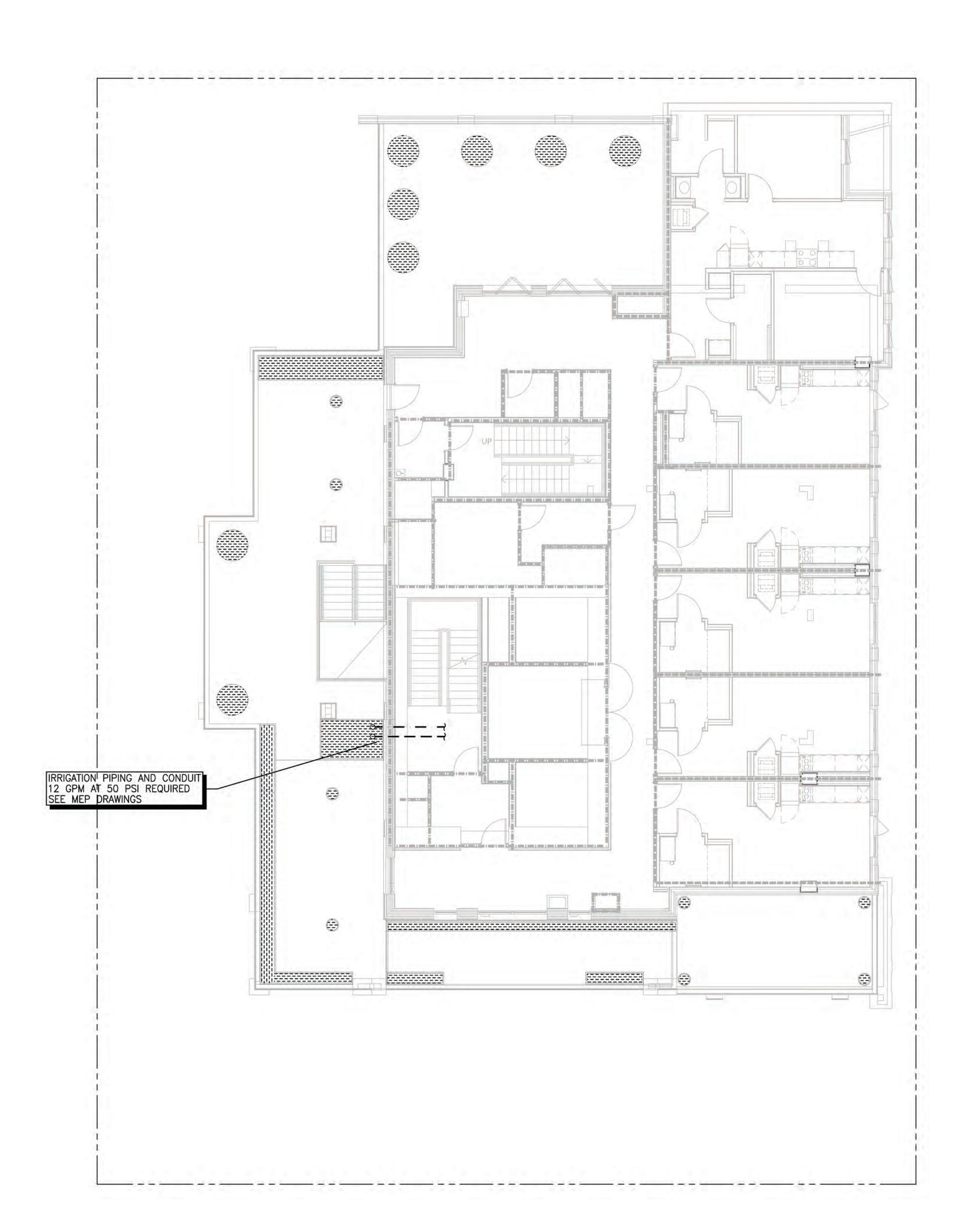


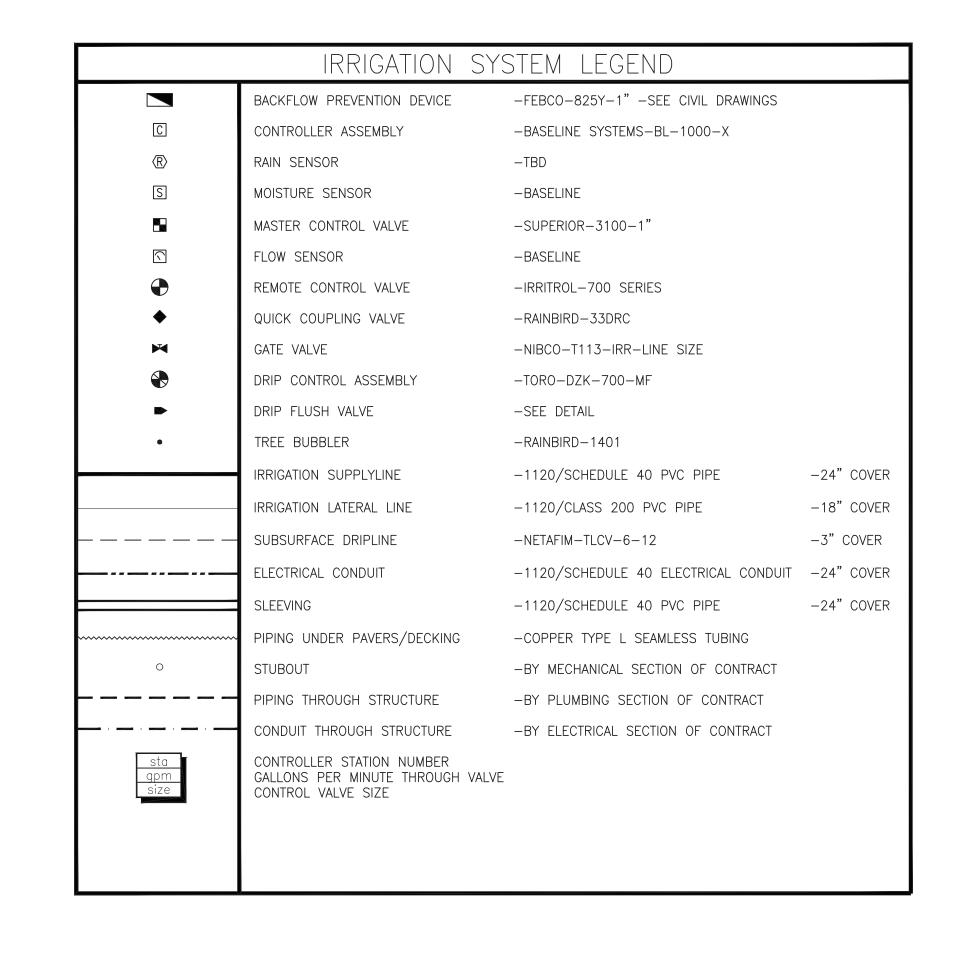
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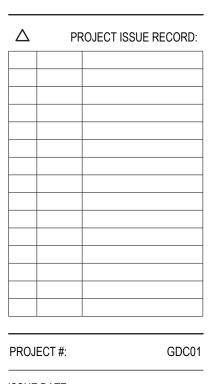




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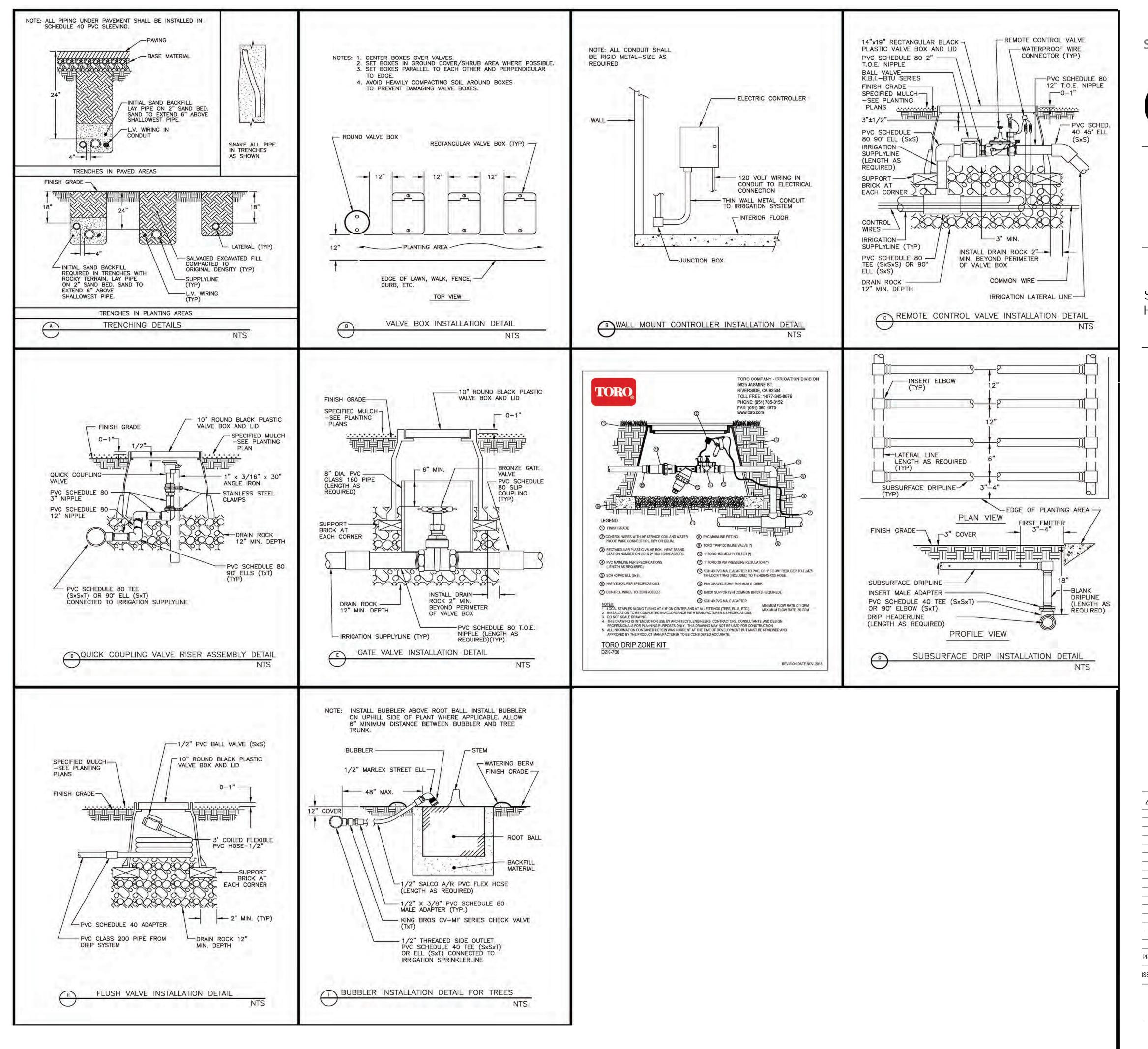
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ISSUE DATE: 18 TH FLOOR

IRRIGATION PLANS





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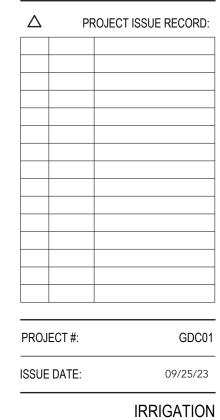


2115 KITTREDGE ST.

BERKELEY, CA

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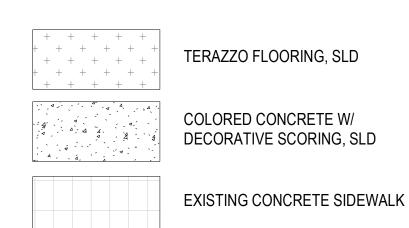
L306

DETAILS

GENERAL SITE PLAN NOTES

 SEE CIVIL DRAWINGS FOR SITE AND FINISH SLAB ELEVATIONS.
 PROVIDE SITE PREPARATION GRADING, FILL, AND COMPACTION PER GEOTECHNICAL REPORT AND STRUCTURAL DRAWINGS.

SITE PLAN LEGEND:



2213 2134 **ALLSTON WAY ALLSTON WAY** TO BE
— DEMOLISHED TO BE DEMOLISHED 100' - 0" 11' - 8 1/2" 88' - 3 1/2" PROPERTY LINE -CONC SHED BASEMENT ROOF FIRE ESCAPE (ABOVE) - TO BE DEMOLISHED 1,990± SQUARE FEET -TO BE DEMOLISHED - 4" METAL POST (TYPICAL) - TO BE DEMOLISHED 2233 KITTREDGE ST. 2'X0.75' STEEL I BEAMS (TYPICAL) **EXISTING 3 STORY** BUILDING - TRENCH DRAIN 2115 KITTREDGE ST. METAL STAIRS - TO BE DEMOLISHED **EXISTING 4 STORY BUILDING -**METAL LANDING - TO BE TO BE DEMOLISHED A/C CONC. PAD - TO BE 13,500± SQUARE FEET DEMOLISHED 0.310± ACRES 2115 METAL LANDING - TO BE KITTREDGE ST. DEMOLISHED — **EXISTING 2 STORY** BUILDING 2'X0.75' STEEL I BEAMS (TYPICAL) -ROOF LADDER - TO BE DEMOLI\$HED - METAL STAIRS - TO BE DEMOLI\$HED METAL STAIRS - TO BE STEEL I BEAM SUPPORT DEMOLISHED -FOR RETAINING WALL (TYPICAL) THEATER FACADE PRESERVATION RETAINING WALL - TO BE DEMOLISHED [™] 11' - 4 1/2" ा 88' - 7 1/2" GAS METER -COMMUNICATION PULL BOX AREA DRAIN **\100' - 0"** - DRIVEWAY ACCESS - WATER METER EXISTING 24' - 0" EXISTING 60'-0" —™GAS VALVE ____ - ELECTRIC VAULT GREEN CURB TO BE REMOVED PASSENGER LOADING ZONE TO BE REPLACED EXISTING / - MISCELLANEOUS PULL BOX CURB CUT TO BE REMOVED L ELECTRIC VAULT -- BIKE RACKS - CONC SIDEWALK TO BE KITTREDGE STREET REPLACED (WIDTH VARIES) GAS VALVE ----(PUBLIC STREET) WATER VALVE — COMMUNICATION PULL BOX WATER METER DRIVEWAY

ELECTRIC VAULT

Gilbane

Architecture | Branding | Interiors | Planning

GDC01

Elwin Wong

ewong@ktgy.com Jessica Musick

Developer
GILBANE
DEVELOPMENT
COMPANY

1814 Franklin St

Oakland, CA 94612

ktgy Project Number

Suite 400

ktgy.com 510.272.2910

Contact

Designer

Email Principal

DEVELOPMENT COMPANY 649 Mission Street 5th Floor San Francisco, CA 94105

5 KITTREDGE
ST
2115 KITTREDGE ST
BERKELEY, CA

2

No. DATE DESCRIPTION

9/26/2023 LPC RESUBMITTAL

Client is responsible for notifying architect in writing for any discovered errors or omissions in the plans and specifications during construction of the project. Failure for Client to notify Architect of any known errors or omissions in the plans or specifications, and proceeding with constructing the portion of work shown in the plans or specifications containing known errors or omissions shall be a waiver by Client for any liability of Architect for such known errors or omissions. Client releases Architect for any liability for such portions of work, and Architect shall not be liable for any delay damages, change orders, repair costs, removal or demolition costs, or replacement of any such portions of work.

NOTFORCONSTRUCTION

SITE PLAN

2213 2134 **ALLSTON WAY ALLSTON WAY** 100' - 0" PROPERTY LINE -2115 KITTREDGE ST. NEW 18 STORY BUILDING - BUILDING BUILDING ABOVE -ABOVE 2233 KITTREDGE ST. 2115 **EXISTING 3 STORY** KITTREDGE ST. BUILDING **EXISTING 2 STORY** BUILDING SECURE GATE -SECURE GATE - BUILDING ADJ. BUILDING ABOVE - PG&E SWITCH GAS METER -AREA DRAIN -- EXISTING DRIVEWAY ACCESS TO REMAIN ____45' - 0''´ -- CURB CUT LOADING ZONE - REMOVE EXISTING SEWER, WATER METER — GAS SERVICE, AND — ELECTRIC VAULT —— UNKNOWN SERVICES PARKLET, SLD - BOLLARDS, SLD. — BIKE RACKS KITTREDGE STREET GAS VALVE -(WIDTH VARIES) WATER VALVE (PUBLIC STREET) WATER METER — COMMUNICATION PULL BOX DRIVEWAY ELECTRIC VAULT

2 PROPOSED SITE PLAN

A100 / 1/16" = 1'-0" ON 24X36 (1/32"=1'-0" ON 12X18)

1 EXISTING SITE PLAN
A100 1/16" = 1'-0" ON 24X36 (1/32"=1'-0" ON 12X18)

NOTE: THE DESIGN INTENT OF THE PROPOSED STREETSCAPE PLAN IS TO HAVE TWO BULB-OUTS, APPROXIMATELY SYMMETRICAL IN SIZE, THAT FRAM THE HISTORIC THEATER FACADE AND PROVIDE SIDEWALK AMENITIES. PLEASE SEE PLAN SET SHEET L101 FOR MORE DETAILS.

FLOOR PLAN LEGEND:

NEW CONSTRUCTION



EXISTING CONSTRUCTION

ktgy Project Number Elwin Wong

Architecture | Branding | Interiors | Planning

Contact Email Principal Designer

1814 Franklin St Suite 400 Oakland, CA 94612

ktgy.com 510.272.2910

ewong@ktgy.com Jessica Musick

GDC01

Developer

GILBANE
DEVELOPMENT
COMPANY
649 Mission Street 5th Floor San Francisco, CA 94105

KITTREDGE ST

2

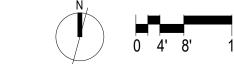
No. DATE DESCRIPTION 9/26/2023 LPC RESUBMITTAL

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BASEMENT 2 FLOOR PLAN

1 B2_BASEMENT FLOOR PLAN
A101 1/8" = 1'-0" ON 24X36 (1/16"=1'-0" ON 12X18)







NEW CONSTRUCTION

EXISTING CONSTRUCTION

1814 Franklin St Suite 400 Oakland, CA 94612 ktgy.com 510.272.2910

ktgy Project Number
Contact
Email
Principal

Designer

Elwin Wong ewong@ktgy.com Jessica Musick

GDC01

Cilbane

Architecture | Branding | Interiors | Planning

Developer
GILBANE
DEVELOPMENT
COMPANY
649 Mission Street

COMPANY 649 Mission Street 5th Floor San Francisco, CA 94105

15 KITTREDGE ST

21

2115 KITTREE BERKELEY

No.	DATE	DESCRIPTION
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BASEMENT 1 FLOOR PLAN

FLOOR PLAN LEGEND:



EXISTING CONSTRUCTION

NEW CONSTRUCTION

GDC01 ktgy Project Number Elwin Wong ewong@ktgy.com Jessica Musick



Architecture | Branding | Interiors | Planning

Developer GILBANE
DEVELOPMENT
COMPANY
649 Mission Street 5th Floor San Francisco, CA 94105

1814 Franklin St Suite 400 Oakland, CA 94612

ktgy.com 510.272.2910

Contact Email

Principal

Designer

15

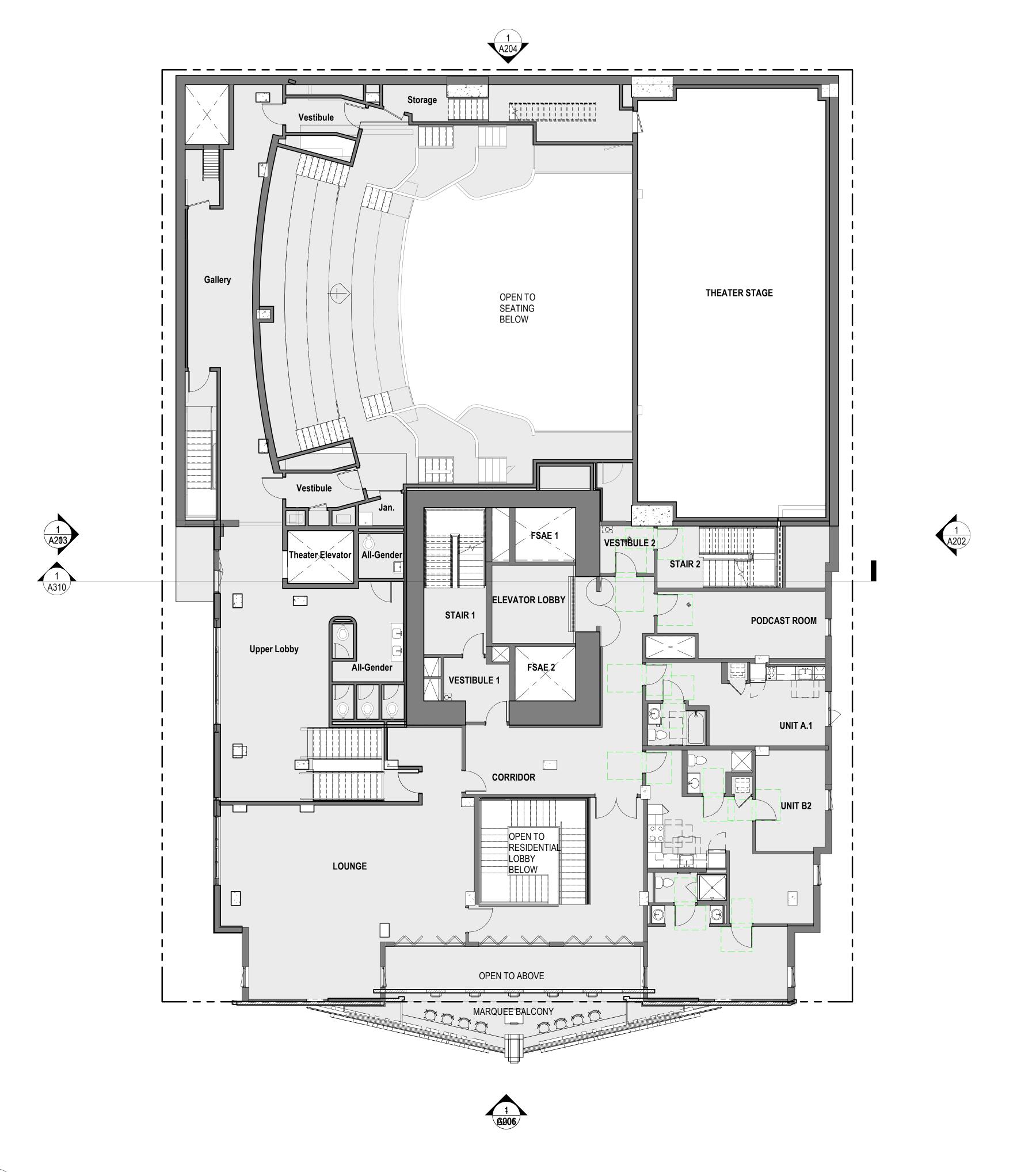
21

No.	DATE	DESCRIPTION
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GROUND FLOOR PLAN



FLOOR PLAN LEGEND:



NEW CONSTRUCTION



EXISTING CONSTRUCTION

ktgy Project Number

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Principal
Designer

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GDC01
Elwin Wong
ewong@ktgy.com
Jessica Musick



Architecture | Branding | Interiors | Planning

Developer

GILBANE
DEVELOPMENT
COMPANY
649 Mission Street
5th Floor
San Francisco, CA
94105

15 KITTREDGE ST

No. DATE DESCRIPTION

9/26/2023 LPC RESUBMITTAL

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LEVEL 2 FLOOR PLAN

0 4' 8' 16'





NEW CONSTRUCTION



EXISTING CONSTRUCTION

ktgy Project Number Elwin Wong ewong@ktgy.com Jessica Musick

Contact Email Principal Designer

1814 Franklin St Suite 400 Oakland, CA 94612

ktgy.com 510.272.2910



GDC01

Architecture | Branding | Interiors | Planning

Developer

GILBANE
DEVELOPMENT
COMPANY
649 Mission Street 5th Floor San Francisco, CA 94105

15

21

No.	DATE	DESCRIPTION
	9/26/2023	LPC RESUBMITTAL

2115 KITTREDGE (BERKELEY, CA

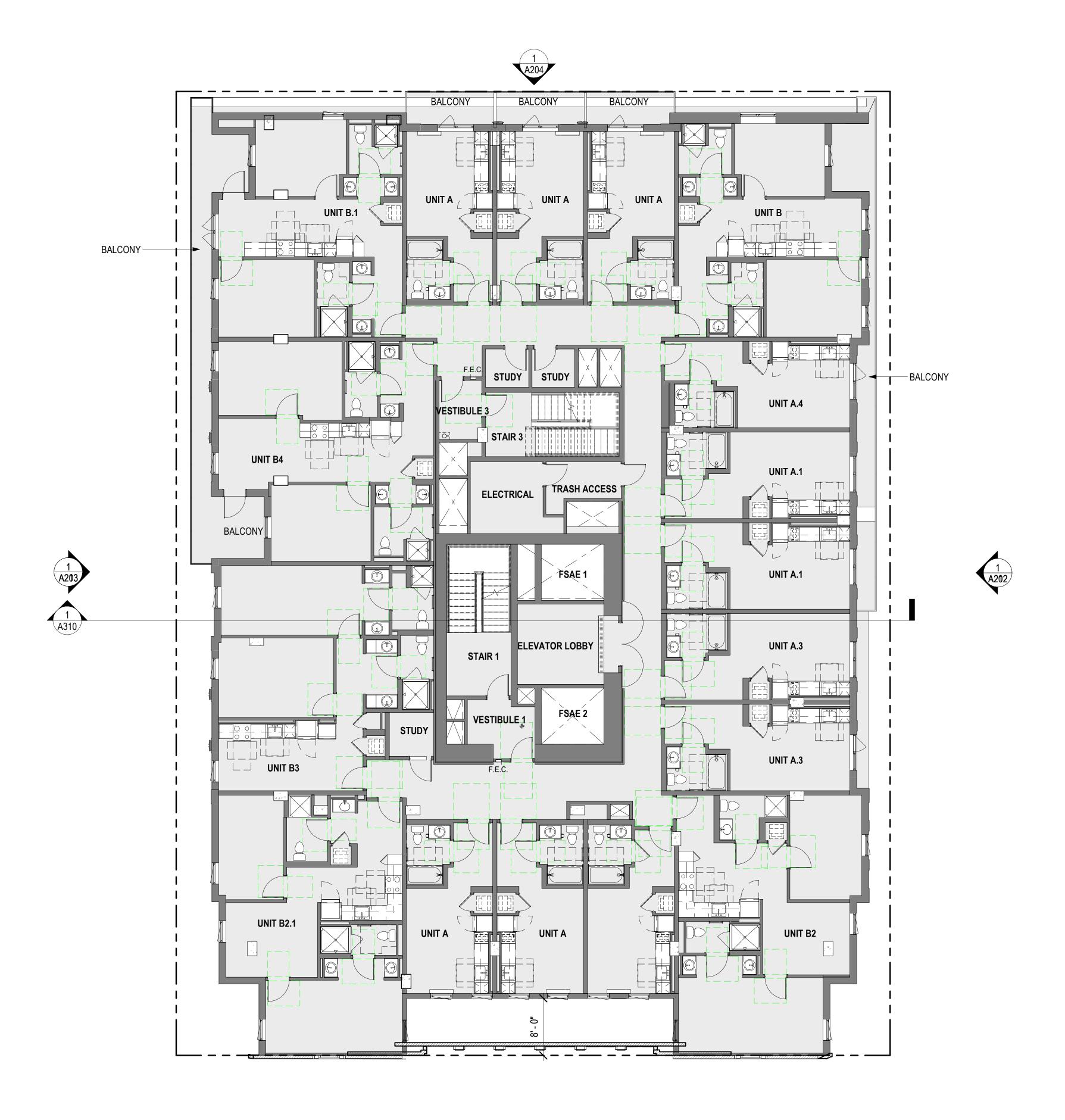
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LEVEL 3 FLOOR PLAN

1 03_3RD FLOOR PLAN A105 1/8" = 1'-0" ON 24X36 (1/16"=1'-0" ON 12X18)















EXISTING CONSTRUCTION

NEW CONSTRUCTION

Architecture | Branding | Interiors | Planning

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Oakland, CA 94612

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COMPANY 649 Mission Street 5th Floor San Francisco, CA 94105

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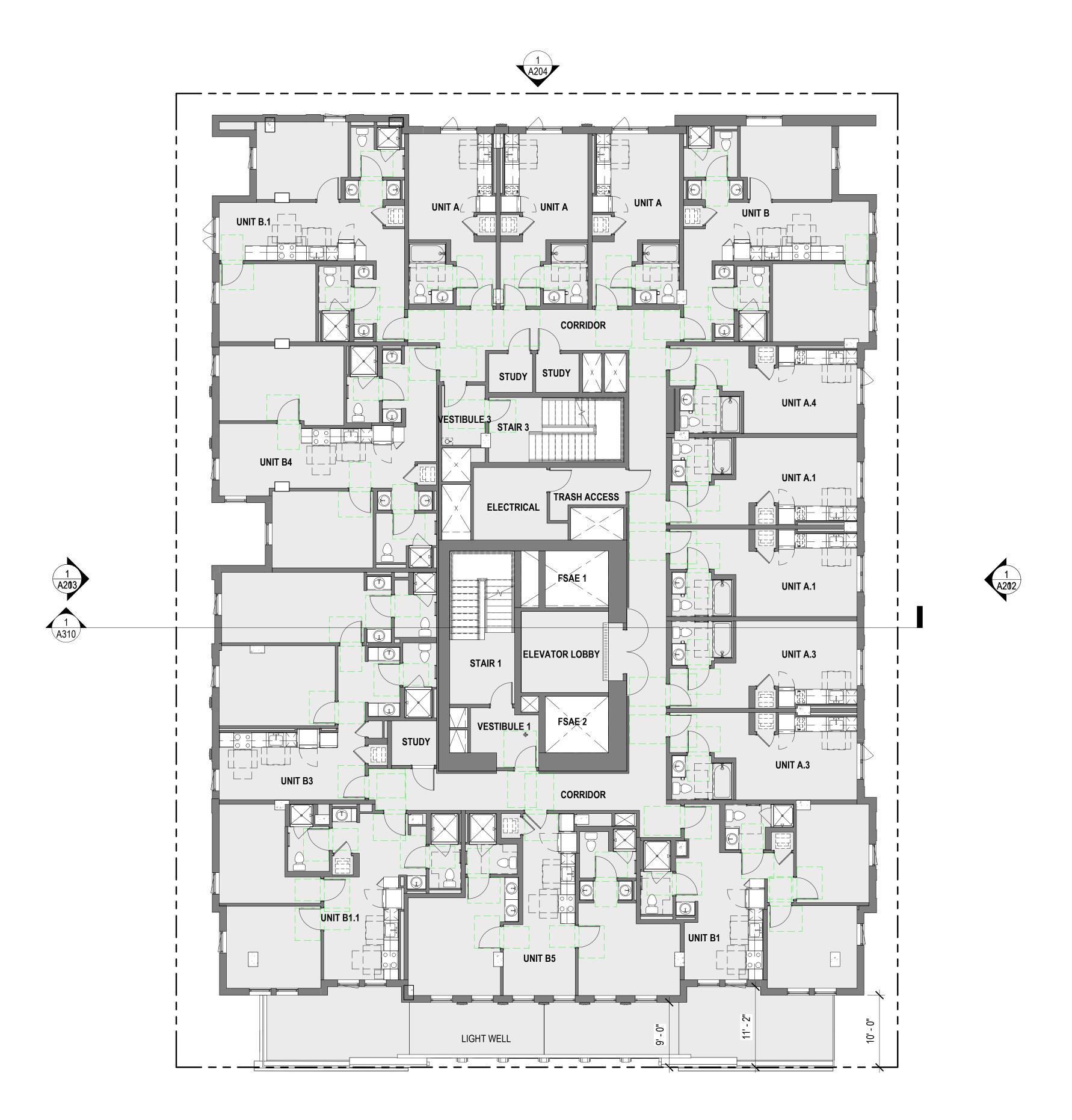
2115 KITTREDGE RERKELEY CA

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LEVEL 4 FLOOR PLAN



FLOOR PLAN LEGEND:



NEW CONSTRUCTION

EXISTING CONSTRUCTION

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Principal Designer

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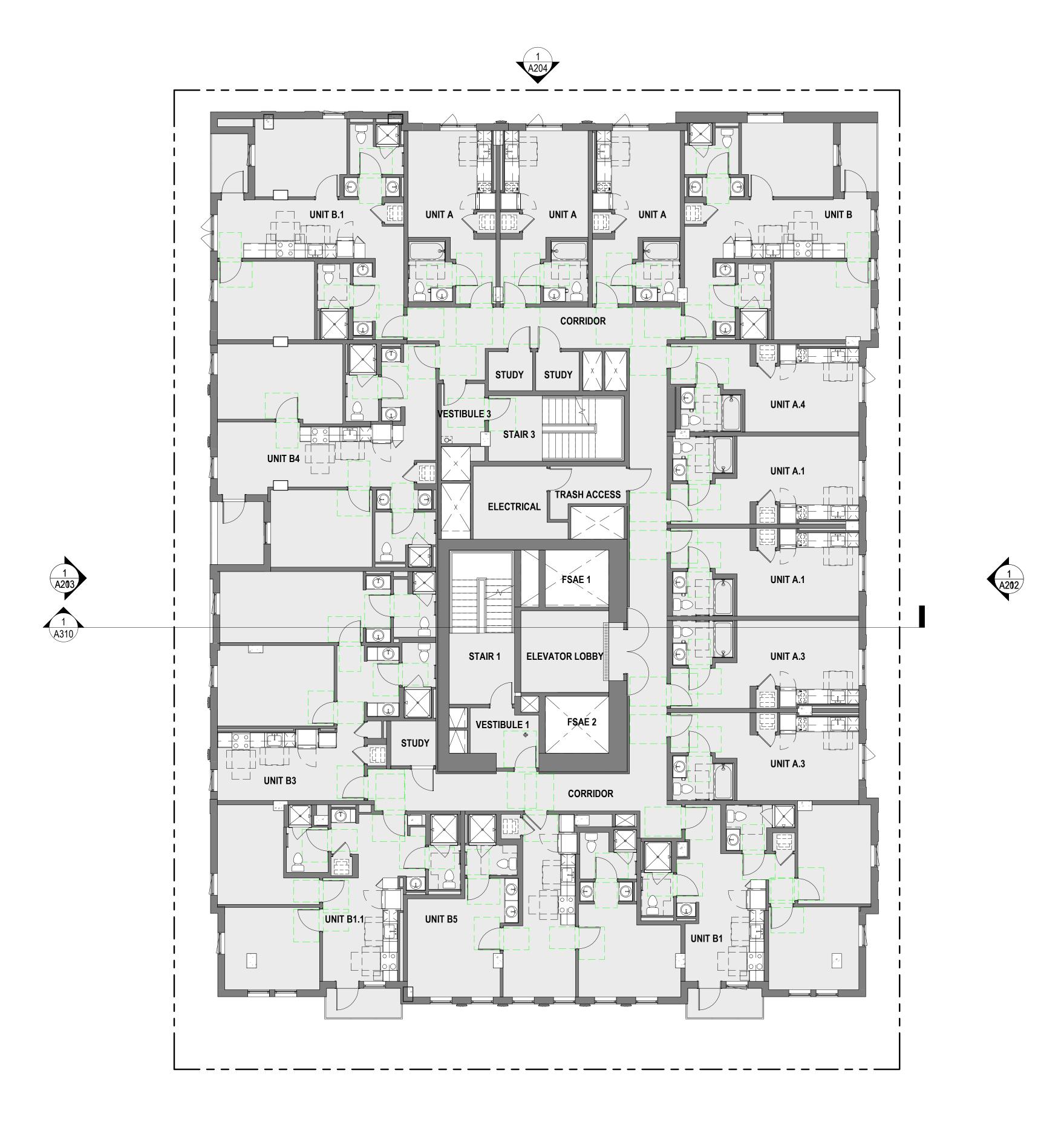
No.	DATE	DESCRIPTION
	9/26/2023	LPC RESUBMITTAL

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LEVEL 5,7,9,11,13 FLOOR PLAN





FLOOR PLAN LEGEND:



NEW CONSTRUCTION

EXISTING CONSTRUCTION

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Jessica Musick



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21

2115 KITTREDGE ST

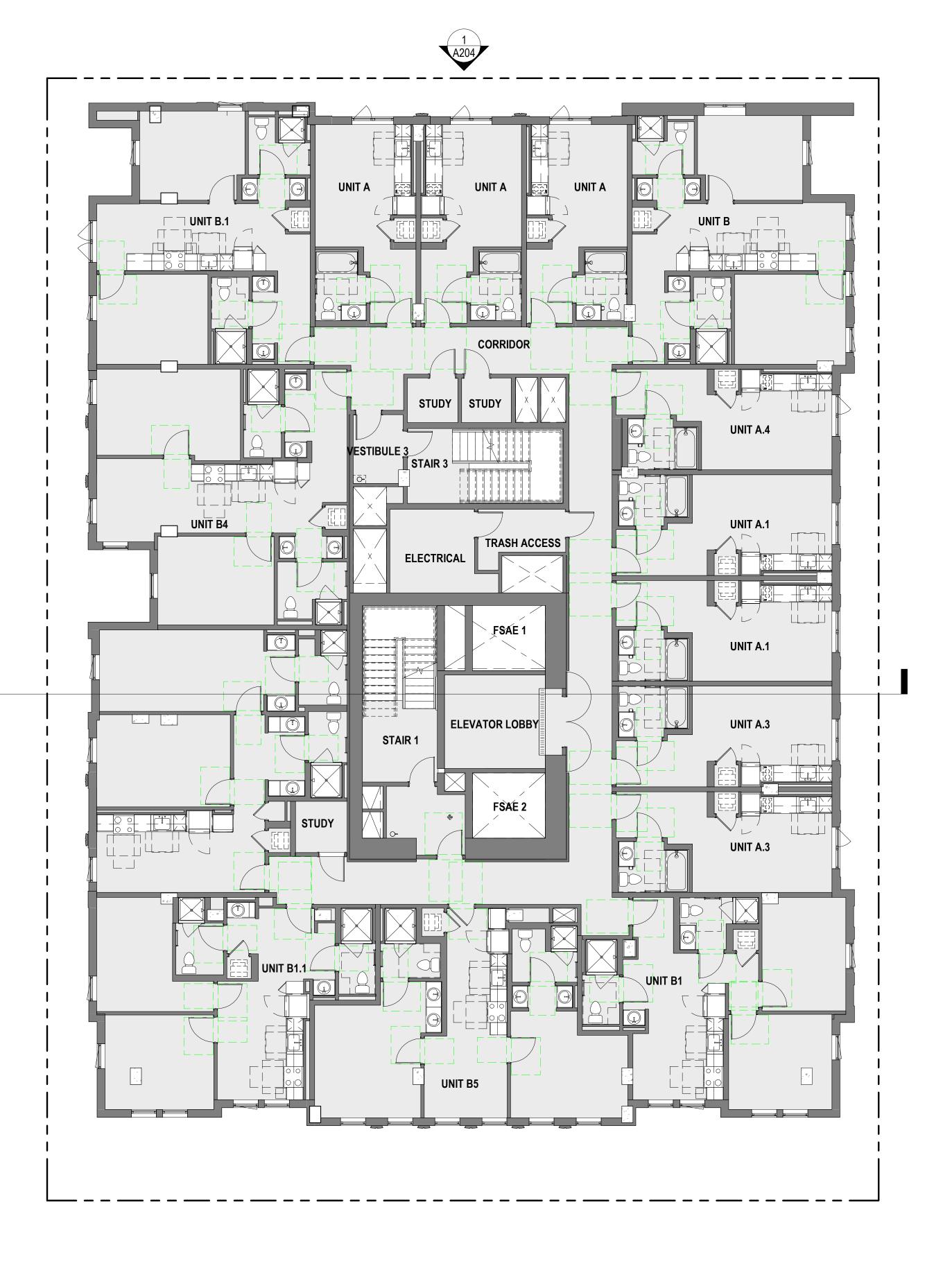
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LEVEL 6,8,10,12,14 FLOOR PLAN









NEW CONSTRUCTION



EXISTING CONSTRUCTION

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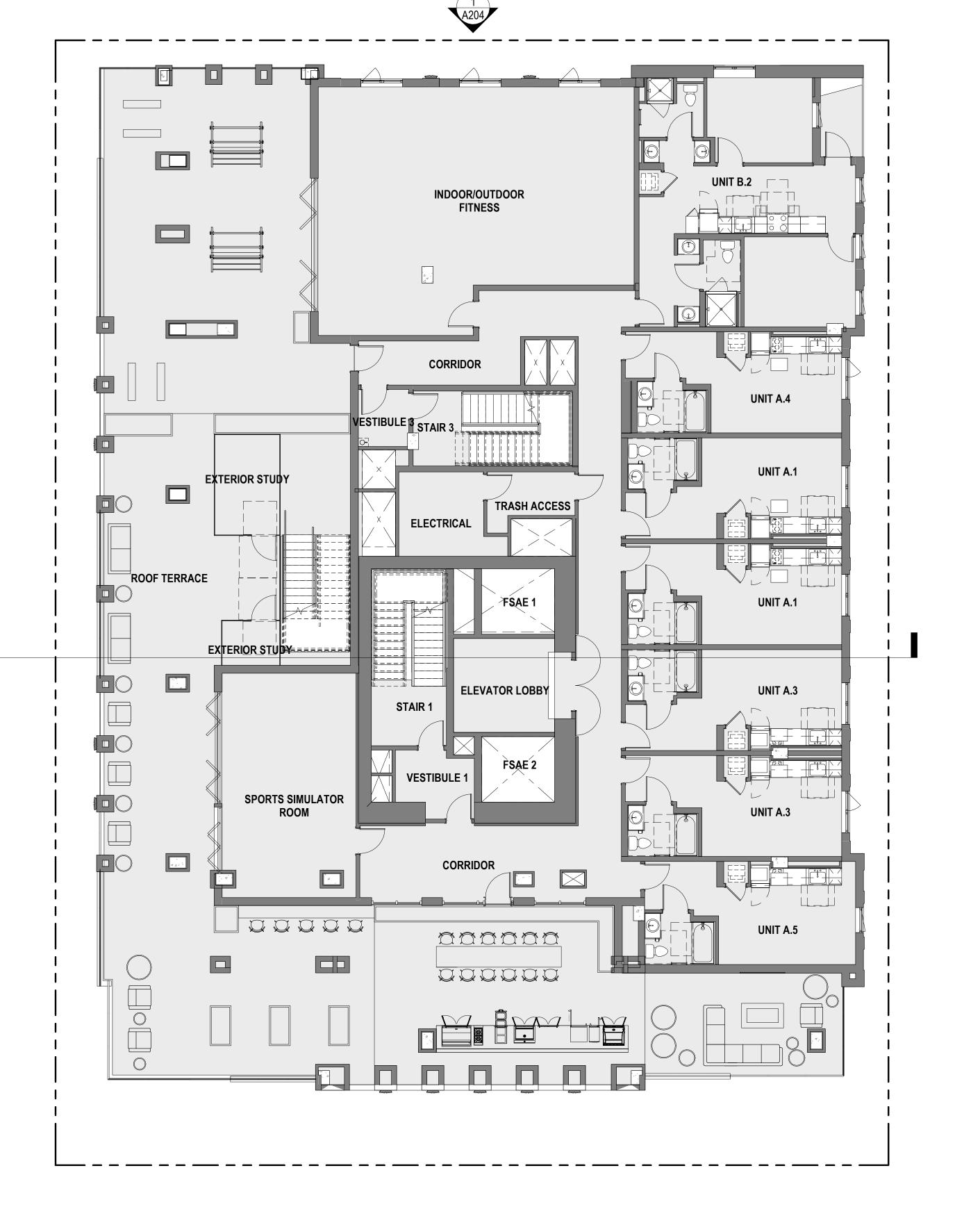
2115 KITTREDGE 8 BERKELEY, CA

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LEVEL 15 FLOOR PLAN



FLOOR PLAN LEGEND:



NEW CONSTRUCTION

EXISTING CONSTRUCTION

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2115 KITTREDGE 8 BERKELEY, CA

No.	DATE	DESCRIPTION
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LEVEL 16 FLOOR PLAN

1 16_16TH FLOOR PLAN
A110 1/8" = 1'-0" ON 24X36 (1/16"=1'-0" ON 12X18)



FLOOR PLAN LEGEND:



NEW CONSTRUCTION



EXISTING CONSTRUCTION

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5 KITTREDGE ST

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No. DATE DESCRIPTION

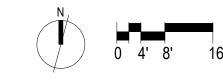
9/26/2023 LPC RESUBMITTAL

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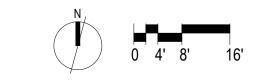
LEVEL 17 FLOOR PLAN

1 17_17TH FLOOR PLAN
A111 1/8" = 1'-0" ON 24X36 (1/16"=1'-0" ON 12X18)













NEW CONSTRUCTION

EXISTING CONSTRUCTION

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510.272.2910

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COMPANY

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94105

Designer

15 KITTREDGE ST

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2115 KITTREDGE S BERKELEY. CA

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LEVEL 18 FLOOR PLAN





NEW CONSTRUCTION



EXISTING CONSTRUCTION

SOLAR PANEL INSTALL AREA



MECHANICAL AREA

ROOFTOP ELEMENTS CALCULATION

GROUND FLOOR: FLOOR PLATE AREA = 12,104 SF 2ND FLOOR: FLOOR PLATE AREA = 12,405 SF 3RD FLOOR: FLOOR PLATE AREA = 11,577 SF 4TH FLOOR: FLOOR PLATE AREA = 10,587 SF 5TH FLOOR: FLOOR PLATE AREA = 10,127 SF FLOORS 6-15: FLOOR PLATE AREA = 10,091 SF PER FLOOR 16TH FLOOR: FLOOR PLATE AREA = 6,095 SF 17TH FLOOR: FLOOR PLATE AREA = 5,122 SF 18TH FLOOR: FLOOR PLATE AREA = 4,158 SF

TOTAL FLOOR PLATE AREA = 177,878 SF

177,878 SF / 18 TOTAL FLOORS = 9,882 SF AVERAGE FLOOR PLATE AREA

9,882 SF X 15% = 1,483 SF PERMITTED AREA OF ROOFTOP ELEMENTS

TOTAL ROOFTOP ELEMENTS AREA: 1,431 SF (14.5% of AVERAGE FLOOR AREA)

NOTE: ROOFTOP ELEMENTS AREA COMPLIANT WITH BMC 23.304.050 REQUIREMENT TO NOT EXCEED 15% OF AVERAGE FLOOR AREA OF ALL OF THE BUILDING'S STORIES. NO WAIVER REQUESTED.



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ktgy Project Number Email

Principal

GDC01 Elwin Wong ewong@ktgy.com Jessica Musick



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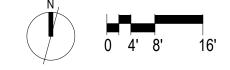
No.	DATE	DESCRIPTION
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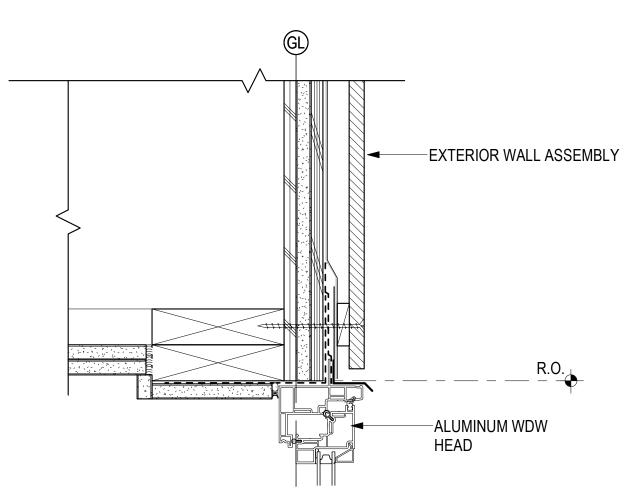
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ROOF FLOOR PLAN

1 T.O. ROOF. A113 / 1/8" = 1'-0" ON 24X36 (1/16"=1'-0" ON 12X18)





2 TYPICAL ALUMINUM WDW HEADER A201 3" = 1'-0"

01 **MTL-01**

02 **MTL-02** LIGHT BROWN CONCRETE CLARK PACIFIC 05-01 MEDIUM

LIGHT CONCRETE

CLARK PACIFIC

CLARK PACIFIC

05-13 LIGHT

MTL-03

05 **MTL-05**

03

DARK BROWN CONCRETE



06-01 LIGHT 04 MTL-04 TERRACE ACCENT SHERWIN WILLIAMS SW 7644 GATEWAY GRAY



AB-STD DARK BRONZE MTL-06 HPL WOOD PANEL PARKLEX PRODEMA RUSTIK / NATURCLAD-W

ARCADIA



MTL-07 STONE LOOK / FIBER CEMENT PANEL CLARK PACIFIC

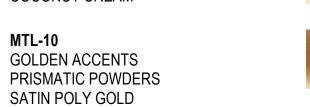


MTL-08 LIGHT BEIGE STUCCO SHERWIN WILLIAMS SW 6147 PANDA WHITE

MTL-10



09 MTL-09 LIGHT ALUMINUM WINDOW FRAME MARVIN COCONUT CREAM





EXTERIOR ELEVATION MATERIALS

NOTE: THE PROJECT WILL ENDEAVOR TO USE A RANGE OF BIRD SAFE STRATEGIES WHICH COULD INCLUDE GLAZING OPTIONS, BUILDING FENESTRATION AND LIGHTING STRATEGIES TO ULTIMATELY REDUCE BIRD COLLISIONS.



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ktgy Project Number Contact Email Principal Designer

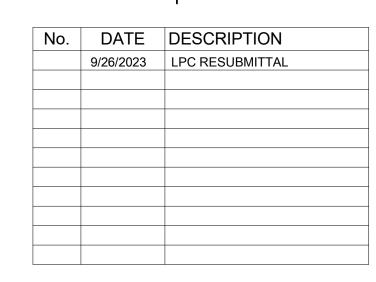
GDC01 Elwin Wong ewong@ktgy.com Jessica Musick

Cilbane

Developer GILBANE DEVELOPMENT COMPANY 649 Mission Street 5th Floor San Francisco, CA 94105

TRED 115 KITTREDGE § BERKELEY, CA 21 5

2



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SOUTH EXTERIOR **ELEVATION**

SOUTH ELEVATION

> MTL-02 LIGHT BROWN CONCRETE CLARK PACIFIC 05-01 MEDIUM

MTL-03 LIGHT CONCRETE **CLARK PACIFIC** 06-01 LIGHT

MTL-04 TERRACE ACCENT 04 SHERWIN WILLIAMS SW 7644 GATEWAY GRAY

05 MTL-05 DARK ALUMINUM WINDOW FRAME ARCADIA AB-STD DARK BRONZE

MTL-06 06 HPL WOOD PANEL PARKLEX PRODEMA RUSTIK / NATURCLAD-W

07 MTL-07 STONE LOOK / FIBER CEMENT PANEL CLARK PACIFIC

MTL-08 08 LIGHT BEIGE STUCCO SHERWIN WILLIAMS SW 6147 PANDA WHITE

MTL-09 LIGHT ALUMINUM WINDOW FRAME COCONUT CREAM

10 MTL-10 GOLDEN ACCENTS PRISMATIC POWDERS SATIN POLY GOLD

EXTERIOR ELEVATION MATERIALS

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Developer GILBANE DEVELOPMENT COMPANY 649 Mission Street 5th Floor San Francisco, CA 94105

TRED 5

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No.	DATE	DESCRIPTION
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115 KITTREDGE § BERKELEY, CA

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EAST EXTERIOR **ELEVATION**

A202 / 3/32" = 1'-0" ON 24X36 (3/64"=1'-0" ON 12X18)

MTL-02 LIGHT BROWN CONCRETE CLARK PACIFIC 05-01 MEDIUM

MTL-03 LIGHT CONCRETE **CLARK PACIFIC** 06-01 LIGHT

04 MTL-04
TERRACE ACCENT SHERWIN WILLIAMS SW 7644 GATEWAY GRAY

MTL-05 05 DARK ALUMINUM WINDOW FRAME ARCADIA AB-STD DARK BRONZE

MTL-06 06 HPL WOOD PANEL PARKLEX PRODEMA RUSTIK / NATURCLAD-W

MTL-07 STONE LOOK / FIBER CEMENT PANEL CLARK PACIFIC

MTL-08 80 LIGHT BEIGE STUCCO SHERWIN WILLIAMS SW 6147 PANDA WHITE

MTL-09 LIGHT ALUMINUM WINDOW FRAME COCONUT CREAM

10 MTL-10 **GOLDEN ACCENTS** PRISMATIC POWDERS SATIN POLY GOLD

EXTERIOR ELEVATION MATERIALS

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TRED 5

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115 KITTREDGE (BERKELEY, CA

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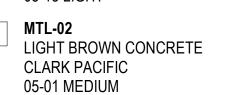
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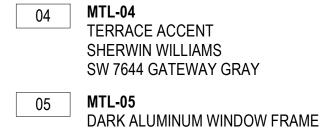
WEST EXTERIOR **ELEVATION**

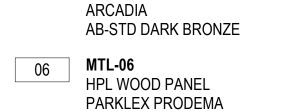
WEST ELEVATION

A203 / 3/32" = 1'-0" ON 24X36 (3/64"=1'-0" ON 12X18)











RUSTIK / NATURCLAD-W

08

MTL-08
LIGHT BEIGE STUCCO
SHERWIN WILLIAMS
SW 6147 PANDA WHITE

MTL-09
LIGHT ALUMINUM WINDOW FRAME
MARVIN
COCONUT CREAM

10 MTL-10
GOLDEN ACCENTS
PRISMATIC POWDERS
SATIN POLY GOLD

EXTERIOR ELEVATION MATERIALS

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San Francisco, CA

2115 KITTREDGE ST BERKELEY, CA

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NOT FOR CONSTRUCTION

NORTH EXTERIOR ELEVATION



MTL-04
TERRACE ACCENT
SHERWIN WILLIAMS
SW 7644 GATEWAY GRAY





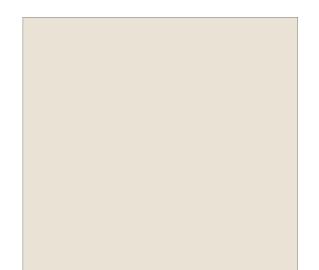
MTL-02 LIGHT BROWN CONCRETE CLARK PACIFIC 05-01 MEDIUM



MTL-05
DARK WINDOW FRAME
ARCADIA
AB-STD DARK BRONZE



MTL-08 LIGHT BEIGE STUCCO SHERWIN WILLIAMS SW 6147 PANDA WHITE



MTL-03 LIGHT CONCRETE CLARK PACIFIC 06-01 LIGHT



MTL-06 HPL WOOD PANEL PARKLEX PRODEMA RUSTIK / NATURCLAD-W



MTL-09 LIGHT WINDOW FRAME MARVIN COCONUT CREAM







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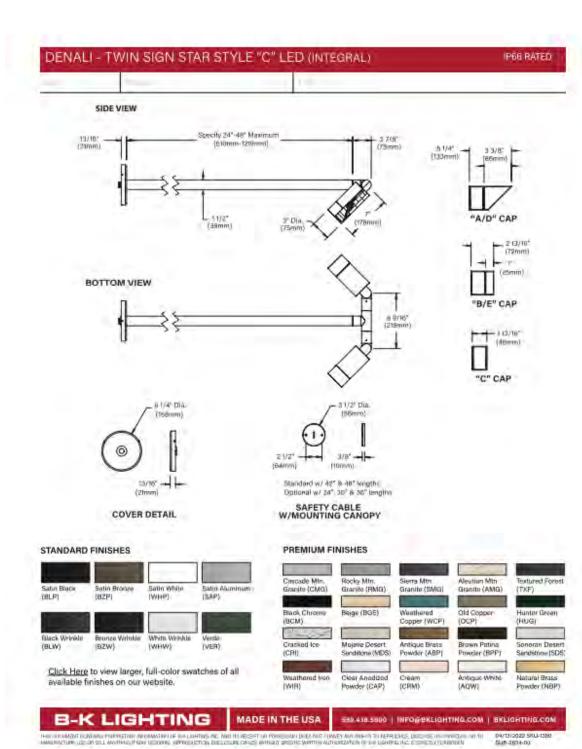
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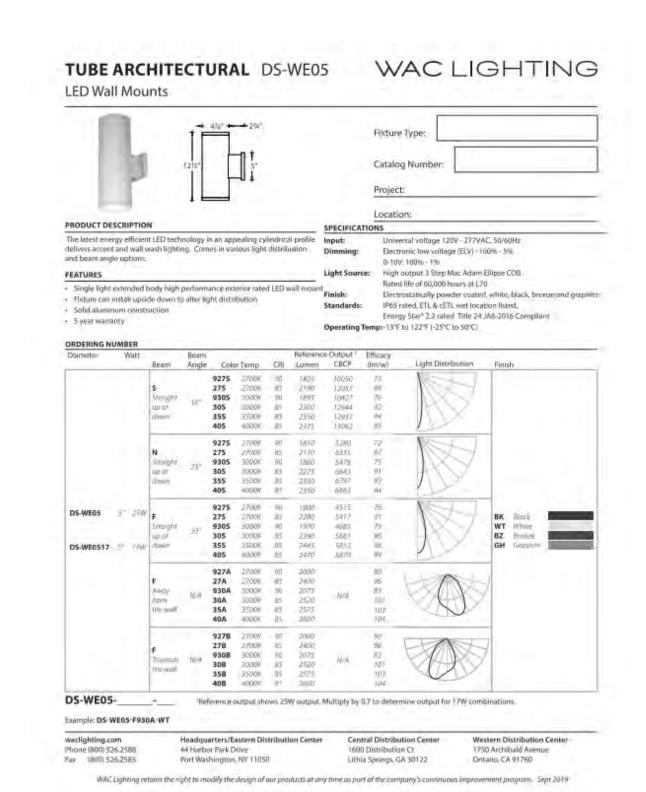
NOT FOR CONSTRUCTION

EXTERIOR ELEVATION MATERIALS

EXT-F3 LED BLADE SIGN BK - DENALI TWIN STAR



EXT-F4
ROOF DECK (TRELLIS POST & WALL MOUNT)
WAC - TUBE 5"



ROOF 211' - 4" T.O. ROOF 203' - 0" LEVEL 18 191' - 0" LEVEL 17 178' - 0" LEVEL 16 PARAPET 169' - 0" LEVEL 16 165' - 0" LEVEL 15 153' - 0" LEVEL 14 143' - 0" LEVEL 13 133' - 0" LEVEL 12 123' - 0" LEVEL 11 113' - 0" LEVEL 10 103' - 0" LEVEL 9 93' - 0" ____ _ _ _ _ _ _ _ _ _ _ _ _ _ LEVEL 8 83' - 0" LEVEL 7 73' - 0" LEVEL 6 63' - 0" <u> EXT-F2 AT</u> SIDES EXT-F1 LEVEL 5 53' - 0" EXT-F1 LEVEL 4 41' - 8" LEVEL 3 31' - 0" EXT-F3 LEVEL 2 21' - 0" - PROJECTION SIGN 12 SF MAX EXT-F5 LEVEL 1

EXT-F1
NARROW BEAM WALL WASH
WAC DS-WSOF-U27B-WT

T.O. PARAPET -



Distribution	Model	seam	Color Temp	CRI	Light Direction	Finish	Order Number
Single	DS-WS05 9", 11W	06	27 27008	85	B Towards (fre well	BK-Black	D5-W505-U27B-BI
	DS-WS06 6*, 11W		30 BUOOK	85		WT-White	Add to Wish List
			35 3500K	85		BZ - Bronze	
			40 4000K	85		GH- Graphite	
Double	DS-WD05 Double, 5°, 11x2W	U 6°	27 2700K	85	8 lowards the wall	BK Black	D5-WD05-U278-BK
	OS-WD06 Double, 6", 11x2W		30 3000K	85		WT- White	Add to Wish List
			35 3500K	85		BZ- Branze	
			40 4000K	85		GH- Graphite	

Jaunch, waclighting, com/product/3210

EXT-F2 FLUSH LED LIGHT STRIPS DIODE LED

DL C	dioc	dele	d					ON BLAZE TM Diffication Sheet	ffused LED Lig	ghting
10000		E™ 24V Lightin					ite.			
options.				-bending and s suitable for wet		ng	oject fásti	ie.		
FEAT	URES									
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Ktsy

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GDC01

Gilbane

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115 KITTREDGE ST

No. DATE DESCRIPTION
9/26/2023 LPC RESUBMITTAL

115 KITTREDGE (3) BERKELEY, CA

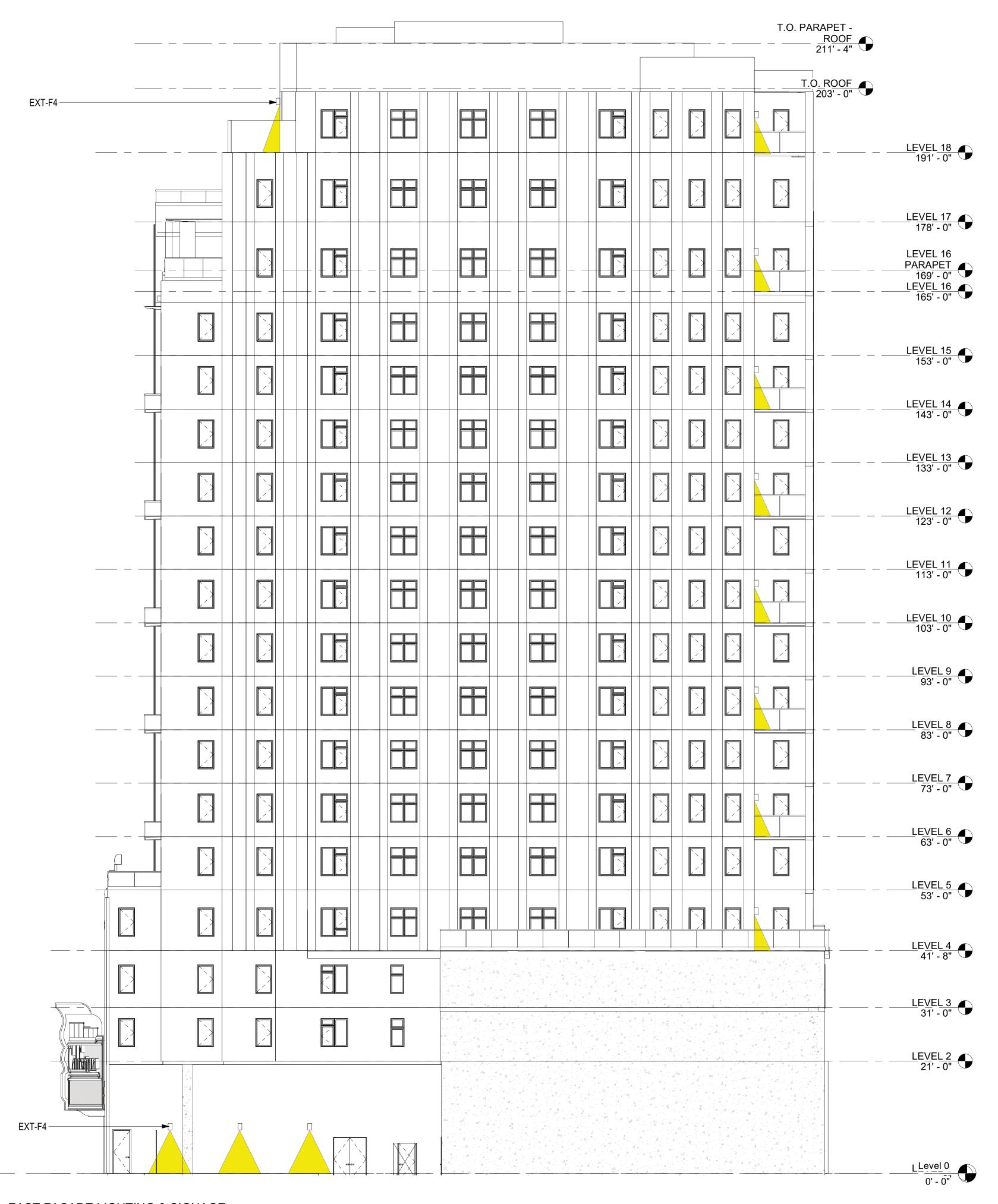
2

Client is responsible for notifying architect in writing for any discovered errors or omissions in the plans and specifications during construction of the project. Failure for Client to notify Architect of any known errors or omissions in the plans or specifications, and proceeding with constructing the portion of work shown in the plans or specifications containing known errors or omissions shall be a waiver by Client for any liability of Architect for such known errors or omissions. Client releases Architect for any liability for such portions of work, and Architect shall not be liable for any delay damages, change orders, repair costs, removal or demolition costs, or replacement of any such portions of work.

NOT FOR CONSTRUCTION

SOUTH FACADE LIGHTING & SIGNAGE

1 FACADE LIGHTING & SIGNAGE
A211 3/32" = 1'-0" ON 24X36 (3/64"=1'-0" ON 12X18)





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DEVELOPMENT
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649 Mission Street
5th Floor
San Francisco, CA
94105

5 KITTREDGE ST

2

No.	DATE	DESCRIPTION
	9/26/2023	LPC RESUBMITTAL

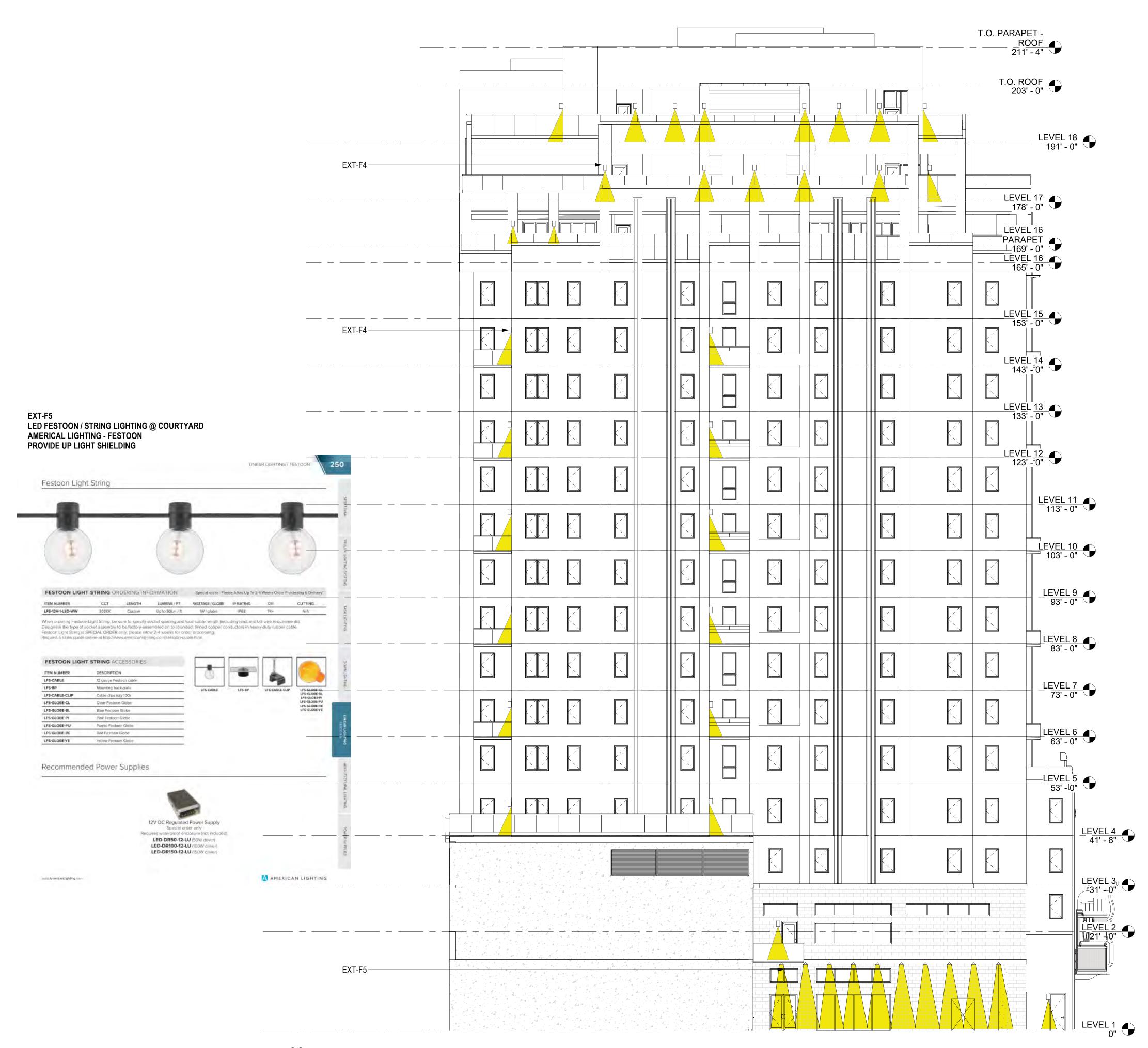
115 KITTREDGE § BERKELEY, CA

21

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EAST FACADE LIGHTING & SIGNAGE



1 WEST FACADE LIGHTING & SIGNAGE

A213 3/32" = 1'-0" ON 24X36 (3/64"=1'-0" ON 12X18)



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94105

5 KITTREDGE ST

2

2115 KITTREDGE ST

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WEST FACADE LIGHTING & SIGNAGE

1 NORTH FACADE LIGHTING & SIGNAGE
A214 3/32" = 1'-0" ON 24X36 (3/64"=1'-0" ON 12X18)



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5 KITTREDGE ST

21

No.	DATE	DESCRIPTION
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NORTH FACADE LIGHTING SIGNAGE

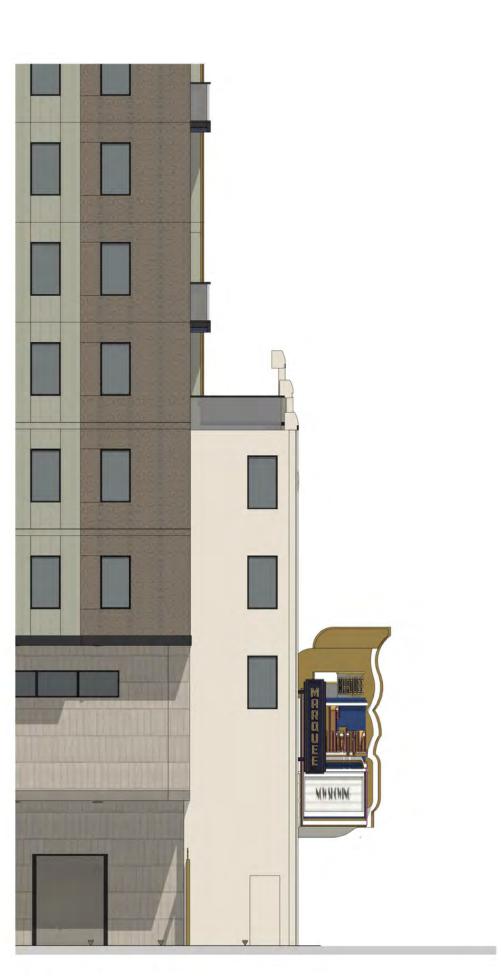




Scale: NTS

Partial Illustrated View

Scale: NTS





Side View

Scale: 1" = 10' (1:120)
@tabloid

Pront View

Scale: 1" = 10' (1:120)
@tabloid



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15 KITTREDGE ST

2115 KITTREDGE ST BERKELEY, CA

7	- 	
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SOUTH FACADE SIGNAGE



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CITTREDGE

5

2

ST 2115 KITTREDGE ST BERKELEY, CA

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BUILDING SECTIONS