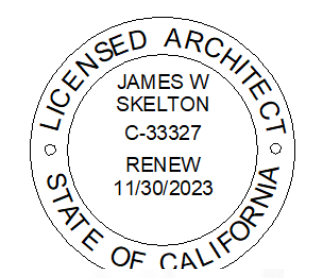




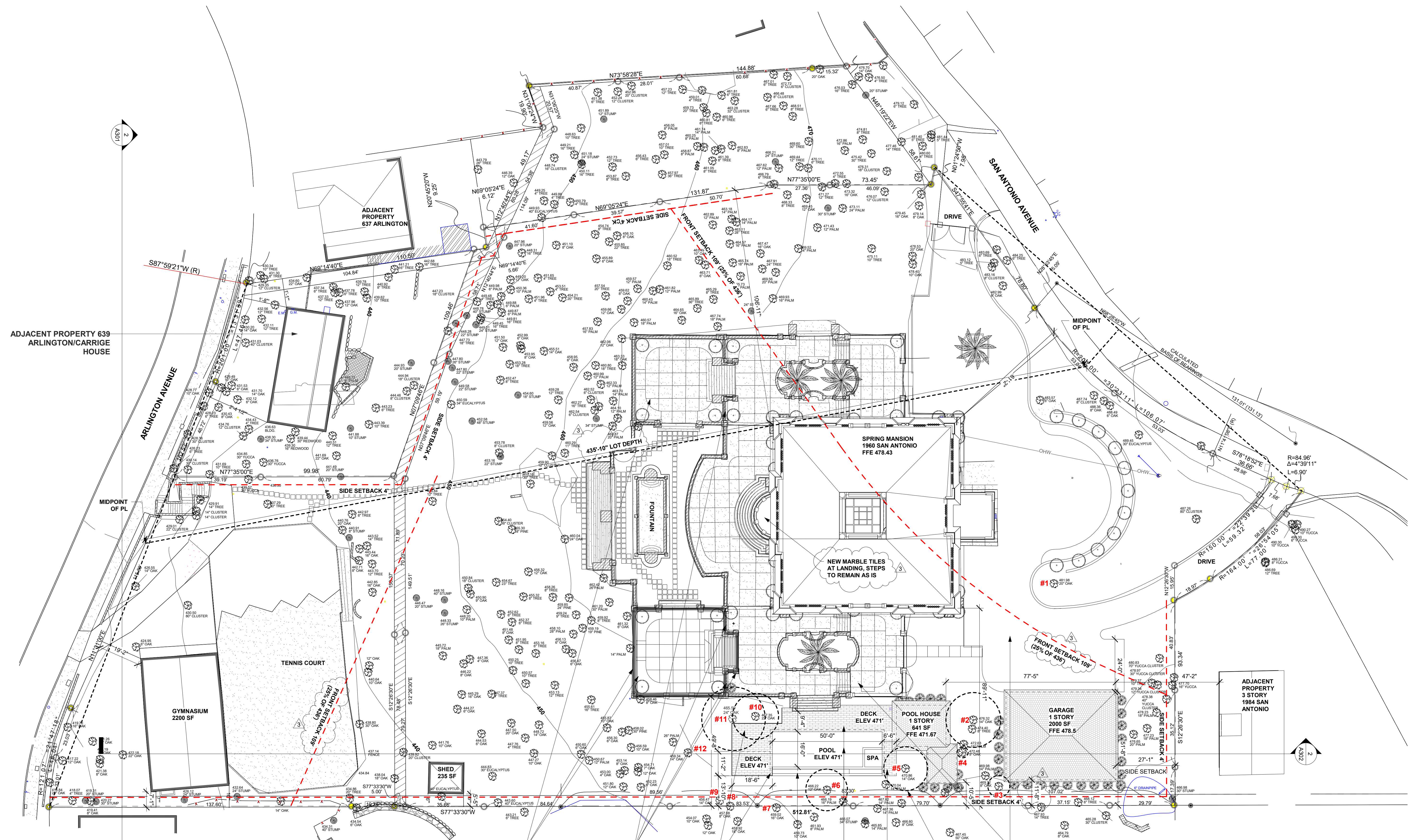
DEVELOPED FOR



Jonathan Rachman Design



RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 62-2916-60-4



Date	Description
11/16/2022	LANDMARK PRESERVATION COMMENTS
9/26/2022	LANDMARK PRESERVATION COMMENTS
8/18/2022	REVISION 1 COMMENTS
03/11/2022	LANDMARK PRESERVATION COMMISSION

Rev	Description
3	
2	
1	
A	

1960 SAN ANTONIO AVENUE

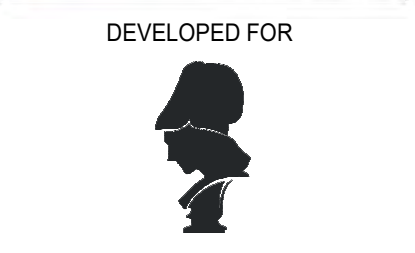
Date: 11/18/2022
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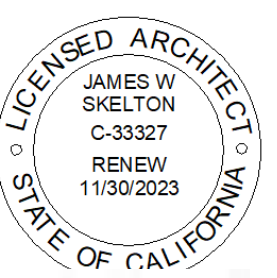
Sheet Title

SITE PLAN - PROPOSED

A101

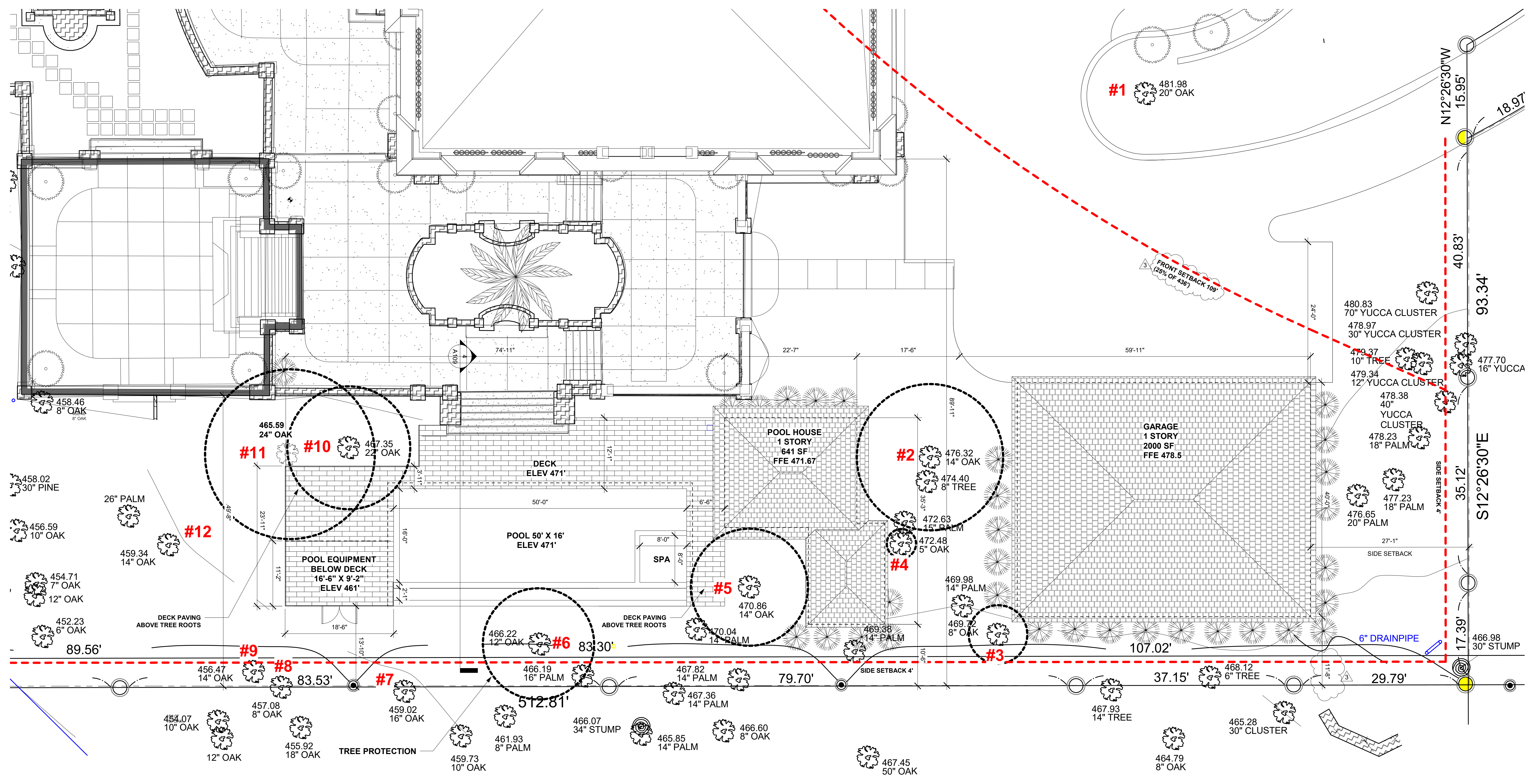


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J. Skelton

RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 62-2916-60-4



Rev	Description	Date
3	LANDMARK PRESERVATION COMMENTS	11/16/2022
2	LANDMARK PRESERVATION COMMENTS	9/26/2022

1960 SAN ANTONIO AVENUE

Date: 11/18/2022
6:13:25 PM

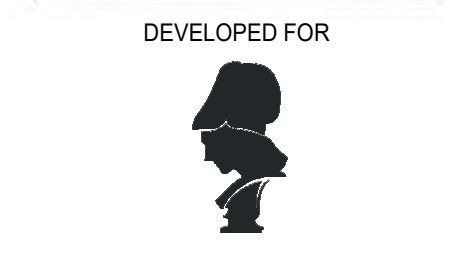
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Sheet Title

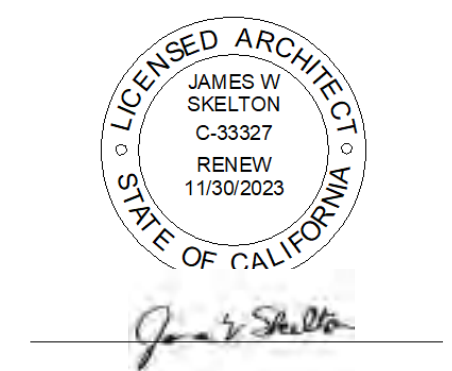
ENLARGED SITE PLAN



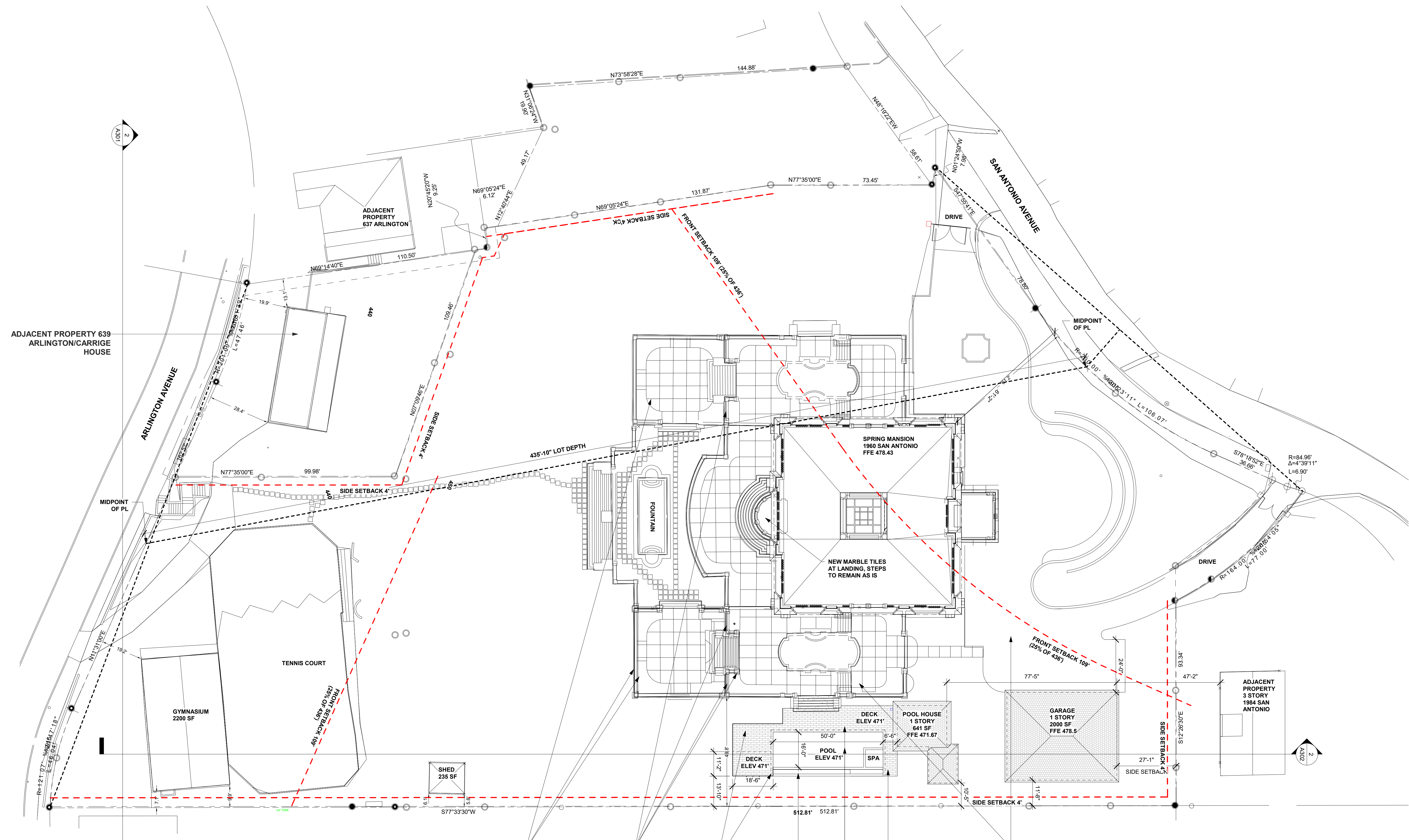
A101B



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RESIDENCE
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APN: 62-2916-60-4



- BALUSTRADES TO RETURN TO ORIGINAL AND MIRROR TERRACE AREA TO NORTH
- WALL AND BALUSTRADE TO RETURN TO ORIGINAL CONSTRUCTION AND MIRROR SAME AREA TO NORTH
- ELEVATED DECK OVER TREE ROOTS, TYP.
- POOL EQUIPMENT UNDER DECKING 16'-6" X 9'-2" ELEV 461'
- SUSPENDED SPILLWAY BASIN
- NEW POOL AND DECK
- ELEVATED DECK OVER TREE ROOTS, TYP.
- NEW DRIVEWAY AND RENOVATED PAVING AT TERRACES, SEE LANDSCAPE PLAN

Rev	Description	Date
3	LANDMARK PRESERVATION COMMENTS	11/16/2022
2	LANDMARK PRESERVATION COMMENTS	9/26/2022
1	REVISION 1 COMMENTS	8/18/2022

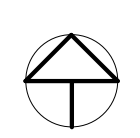
1960 SAN ANTONIO AVENUE

Date: 11/18/2022
6:13:35 PM

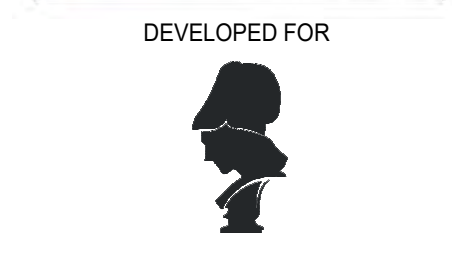
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Sheet Title

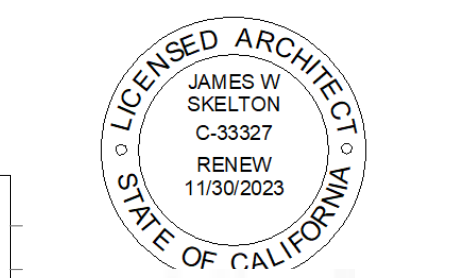
SITE PLAN - SIMPLIFIED



A101C



Jonathan Rachman Design



RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 062-291605905

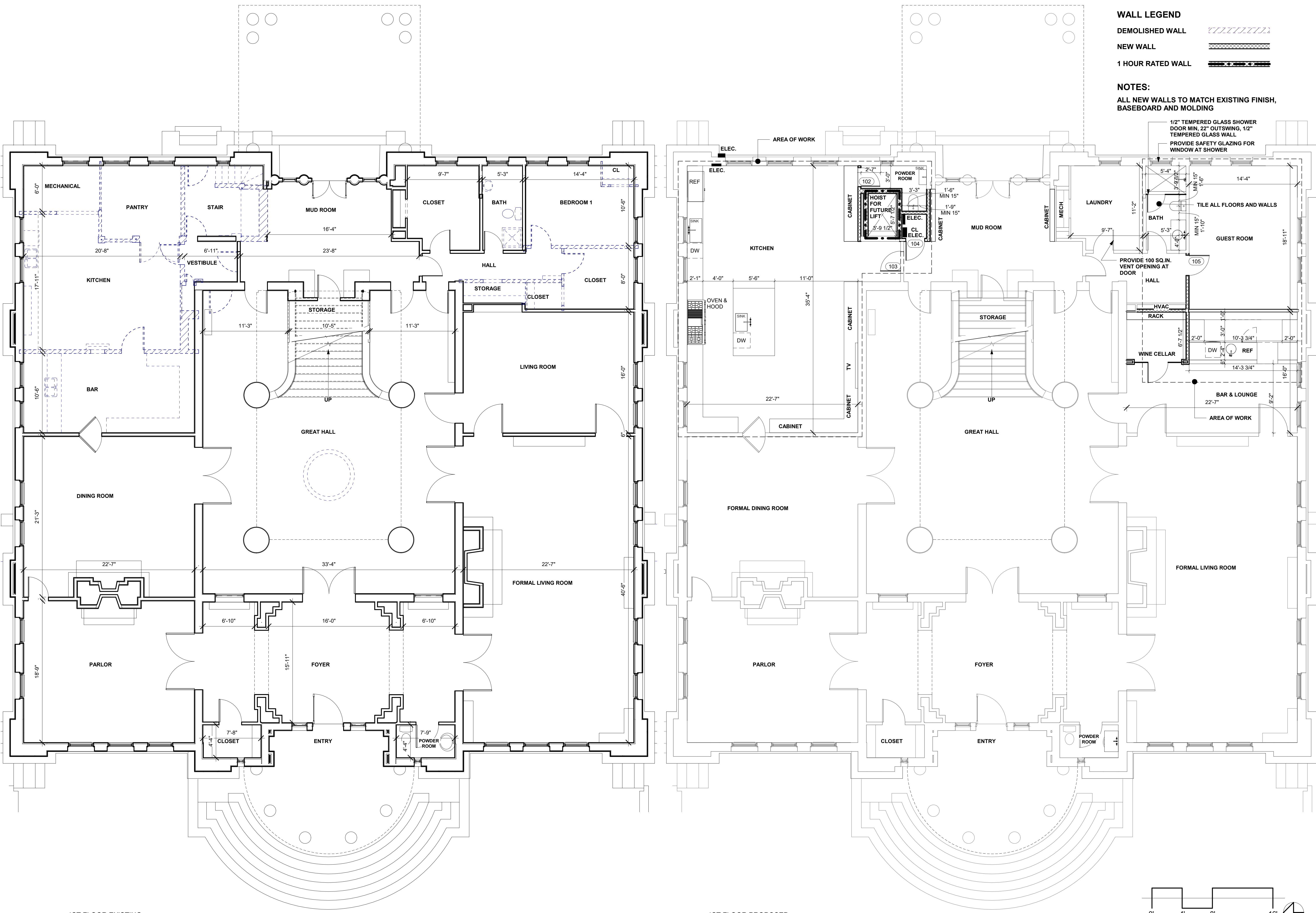
WALL LEGEND
DEMOLISHED WALL
NEW WALL
1 HOUR RATED WALL

NOTES:
ALL NEW WALLS TO MATCH EXISTING FINISH, BASEBOARD AND MOLDING

1/2" TEMPERED GLASS SHOWER DOOR MIN. 22" OUTSWING, 1/2" TEMPERED GLASS WALL
PROVIDE SAFETY GLAZING FOR WINDOW AT SHOWER

TILE ALL FLOORS AND WALLS

PROVIDE 100 SQ. IN. VENT OPENING AT DOOR



1 1ST FLOOR EXISTING
3/16" = 1'-0"

2 1ST FLOOR PROPOSED
3/16" = 1'-0"

Rev A
Description LANDMARK PRESERVATION COMMISSION
Date 03/11/2022

1960 SAN ANTONIO AVENUE

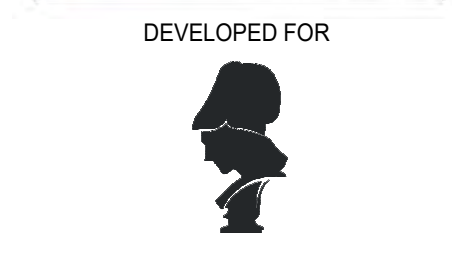
Date: 3/14/2022 12:27:41 PM

Scale: As indicated

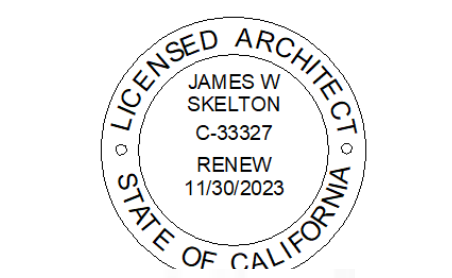
Sheet Title

MAIN 1ST FLOOR PLAN - EXISTING & PROPOSED

A102



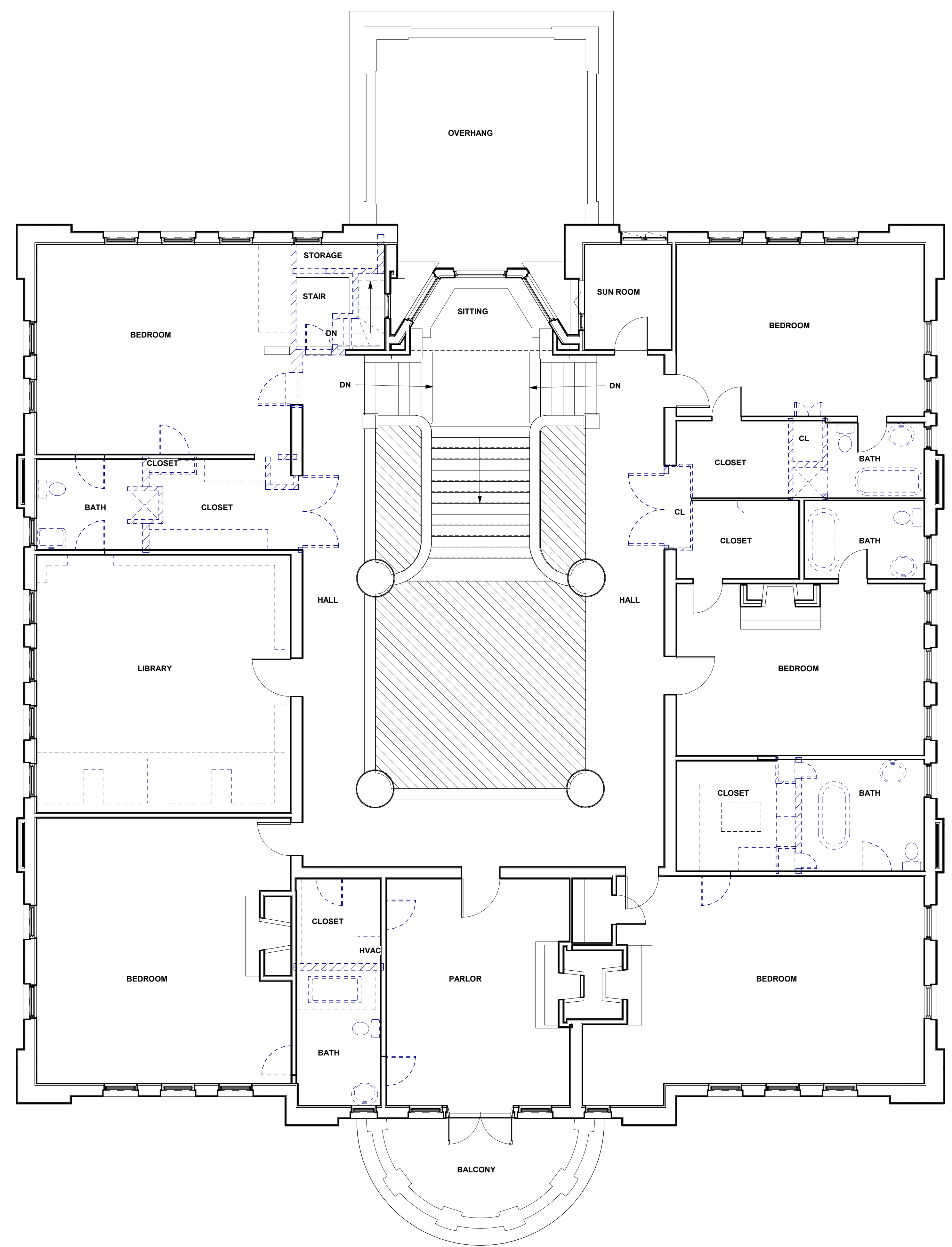
Jonathan Rachman Design



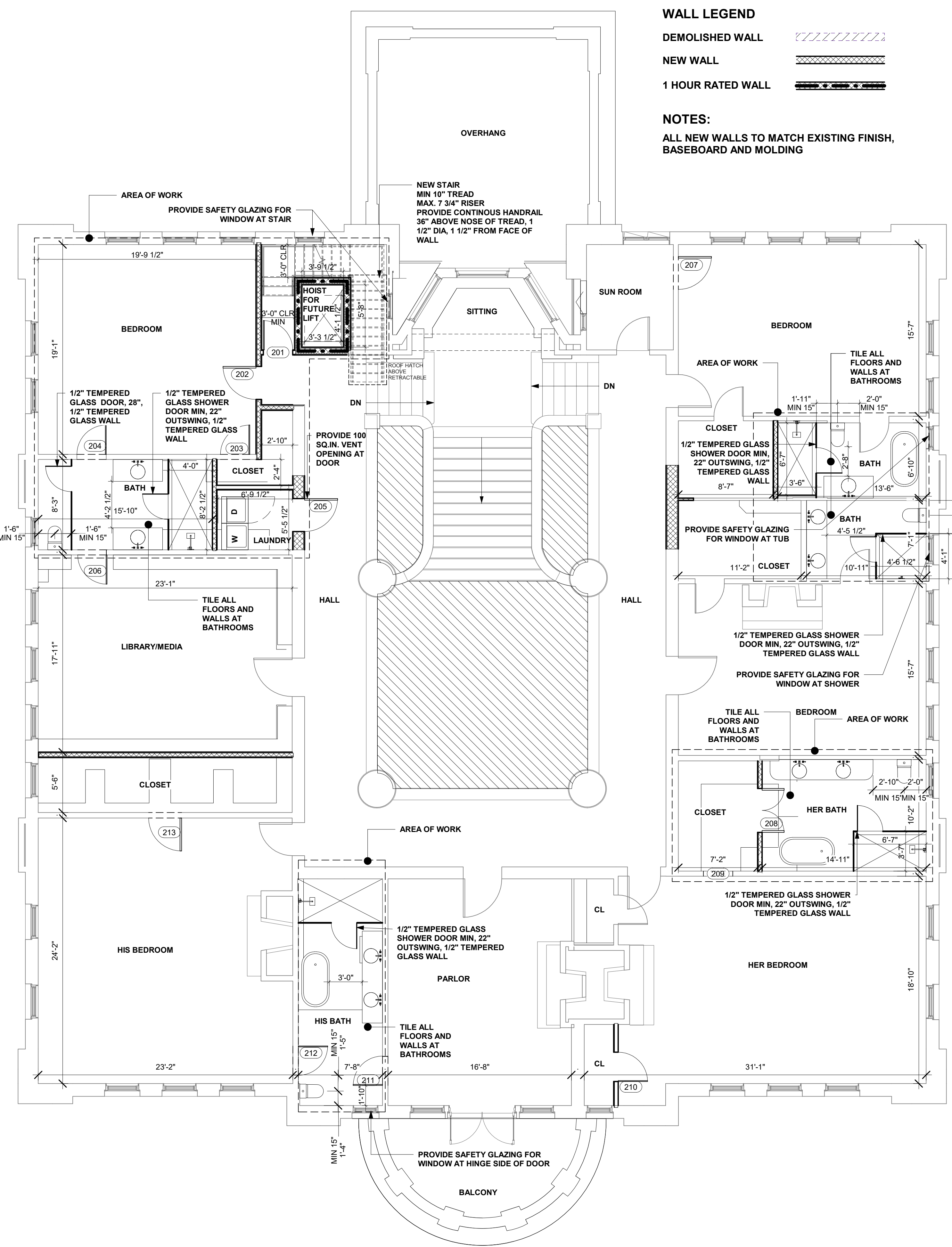
James W. Skelton

RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 062-291605905

WALL LEGEND
DEMOLISHED WALL
NEW WALL
1 HOUR RATED WALL
NOTES:
ALL NEW WALLS TO MATCH EXISTING FINISH,
BASEBOARD AND MOLDING



① 2ND FLOOR EXISTING
3/16" = 1'-0"



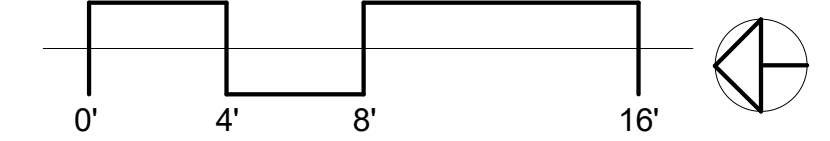
② 2ND FLOOR PROPOSED
3/16" = 1'-0"

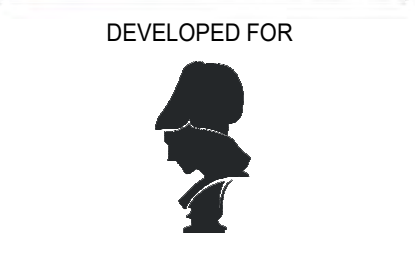
Rev	Description	Date
A	LANDMARK PRESERVATION COMMISSION	03/11/2022

1960 SAN ANTONIO AVENUE
Date: 3/14/2022 12:27:43 PM
Scale: As indicated
Sheet Title

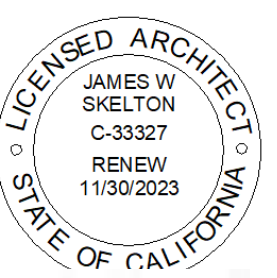
MAIN 2ND FLOOR PLAN - EXISTING & PROPOSED

A103



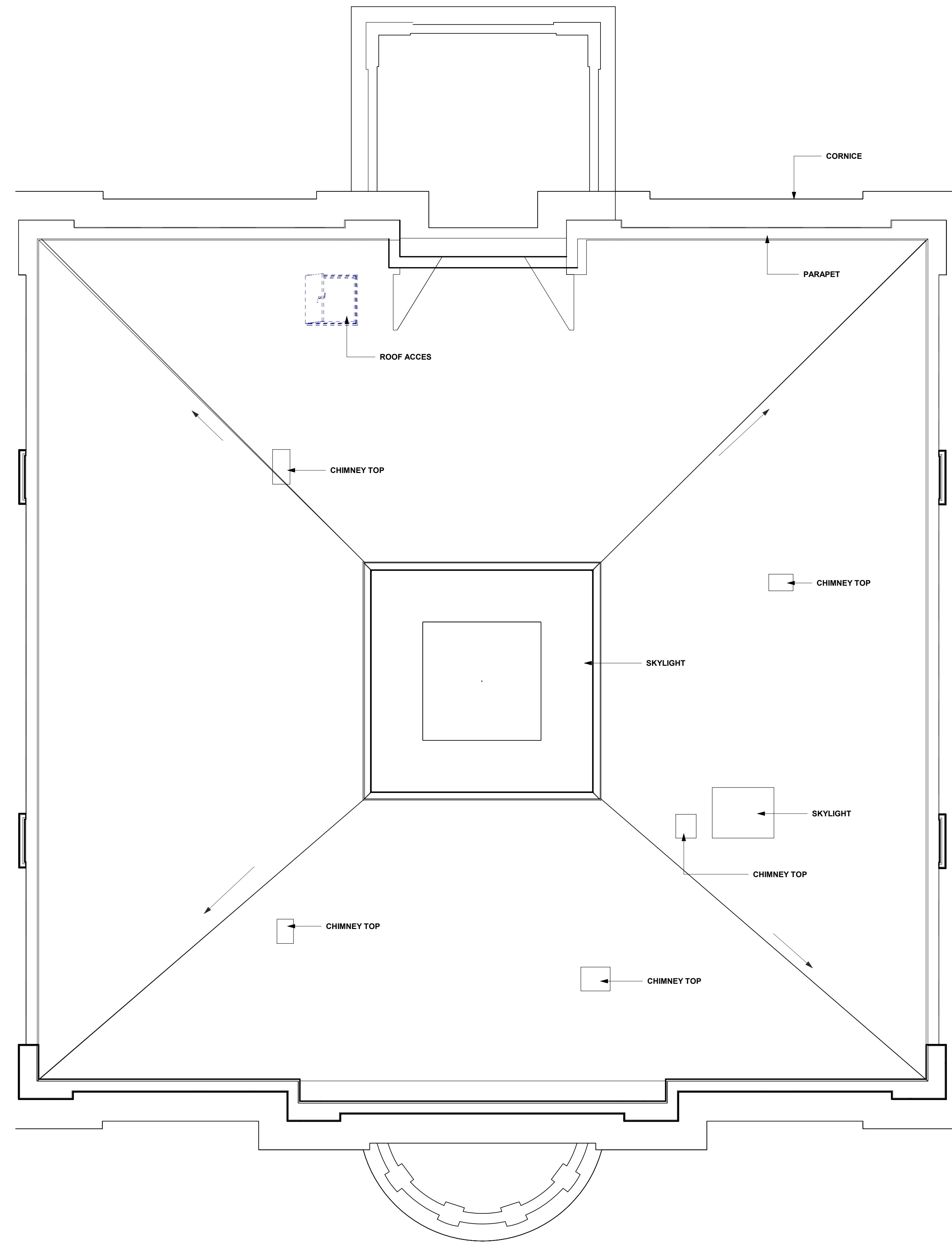


Jonathan Rachman Design

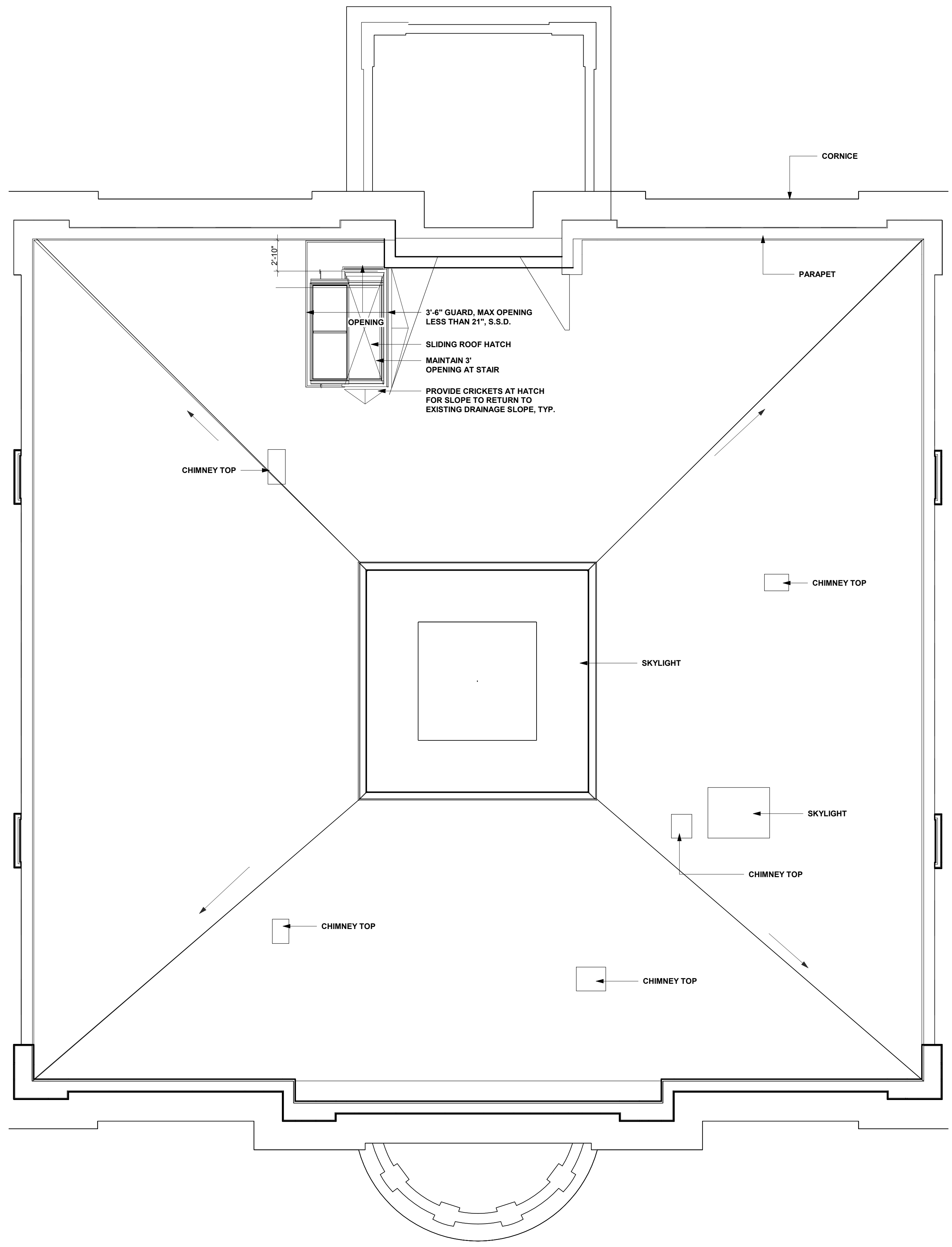


James W. Skelton

RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 062-291605905



① ROOF EXISTING
3/16" = 1'-0"



② ROOF PROPOSED
3/16" = 1'-0"

Rev	Description	Date
A	LANDMARK PRESERVATION COMMISSION	03/11/2022

1960 SAN ANTONIO AVENUE
Date: 3/14/2022 12:27:44 PM
Scale: 3/16" = 1'-0"
Sheet Title

MAIN ROOF PLANS -
EXISTING & PROPOSED

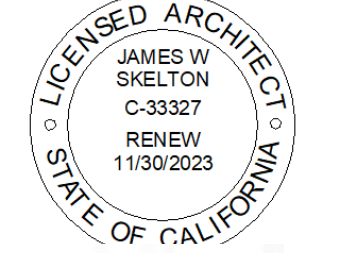
A104



DEVELOPED FOR



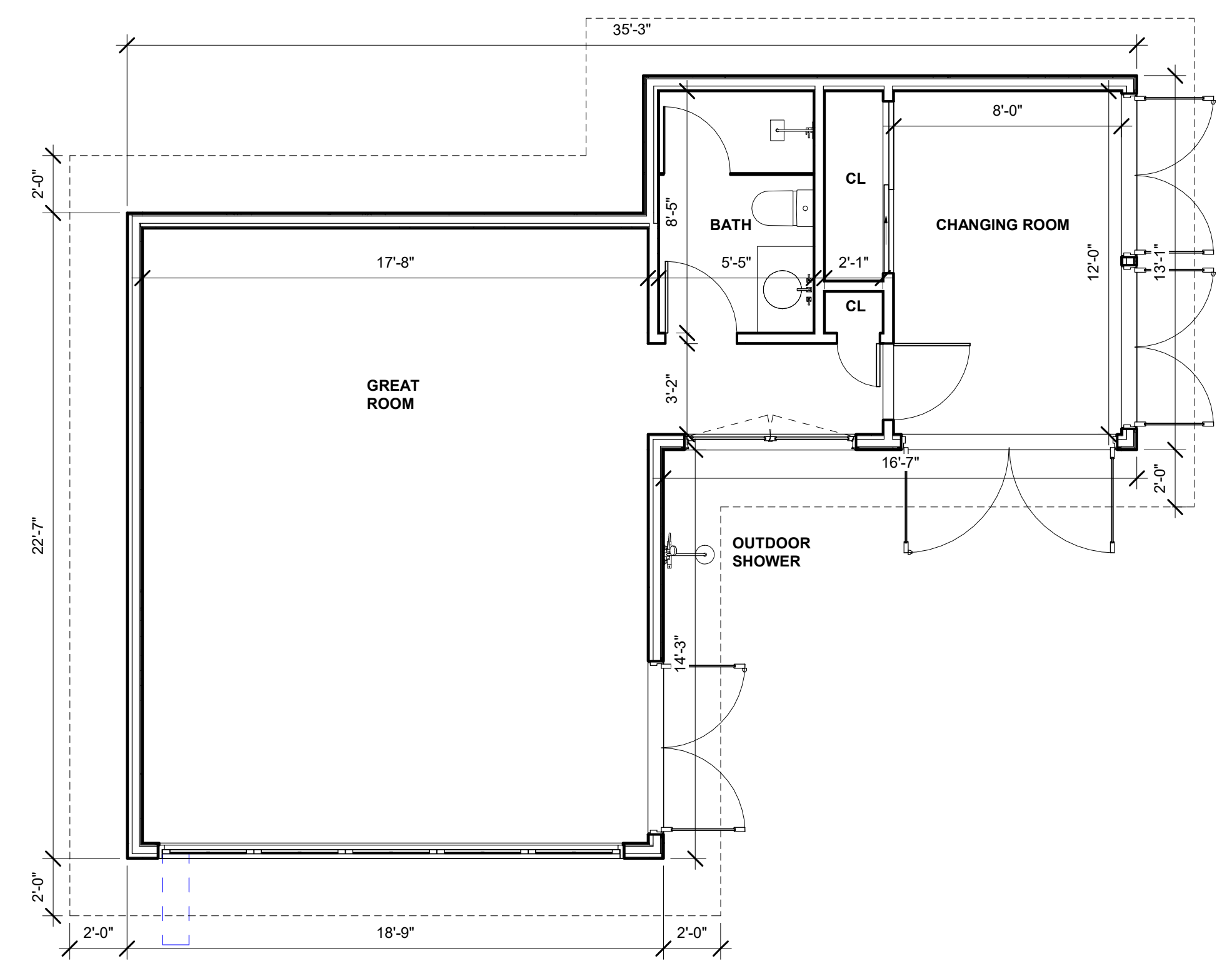
Jonathan Rachman Design



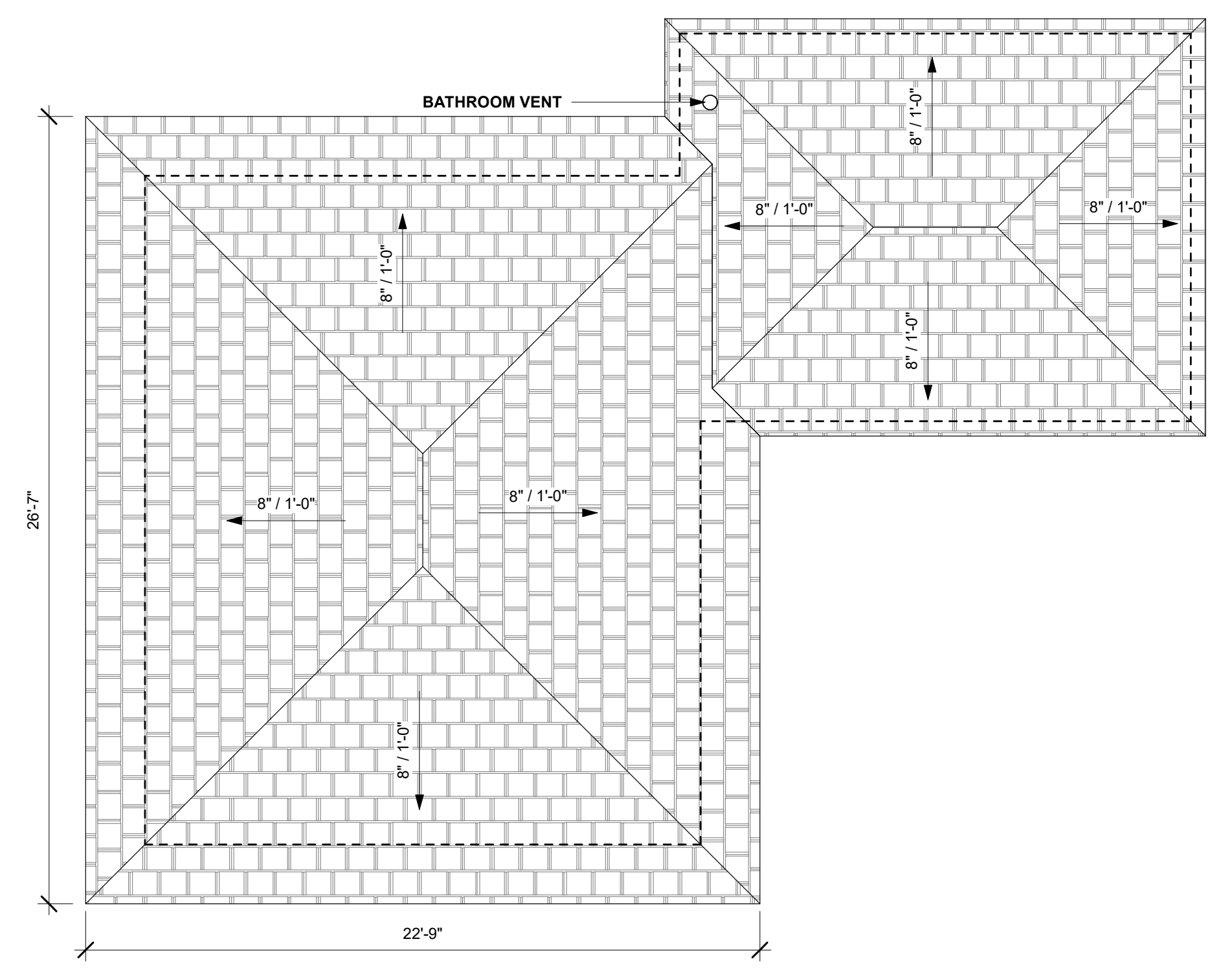
James W. Skelton

RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707

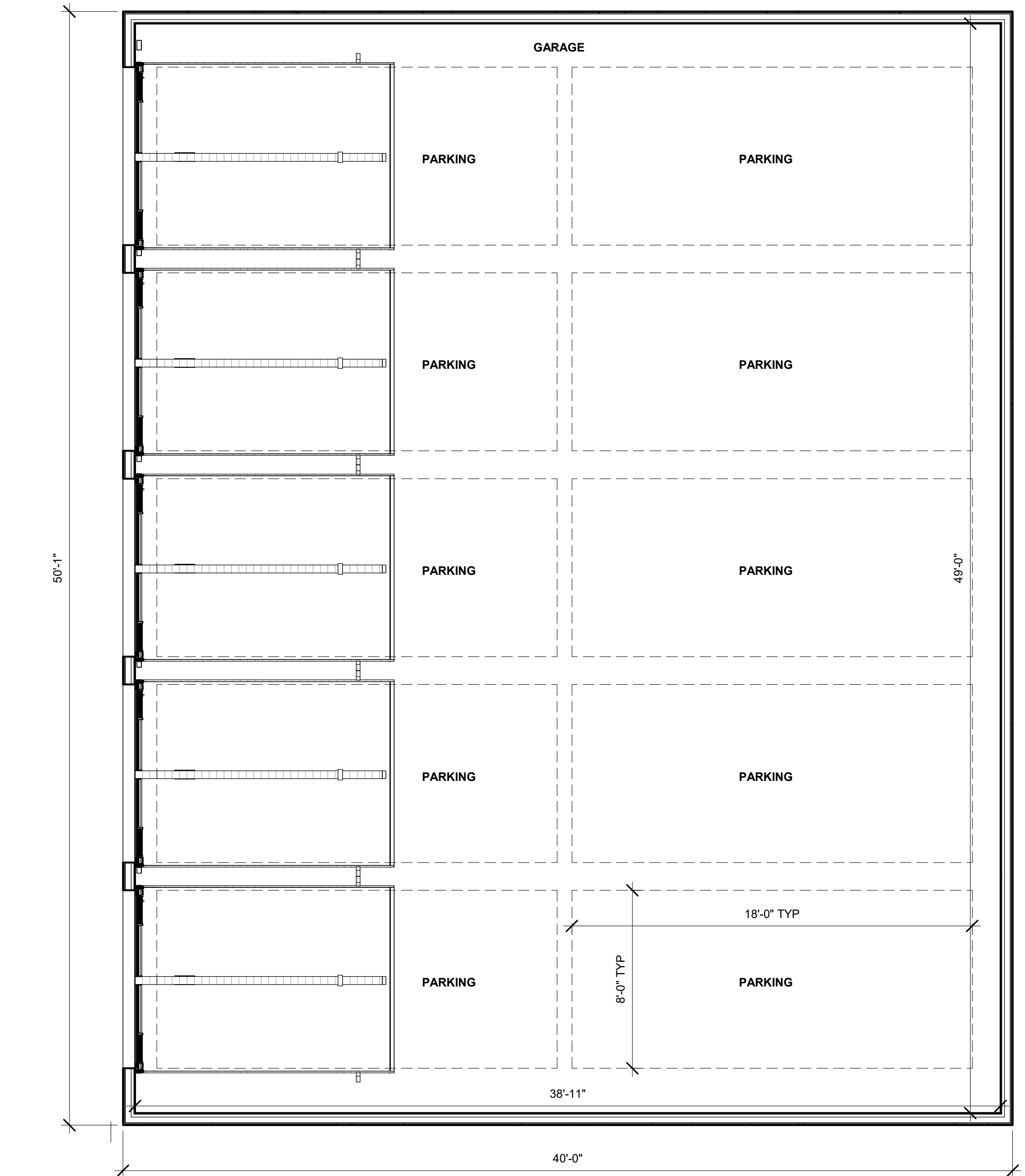
APN: 62-2916-60-4



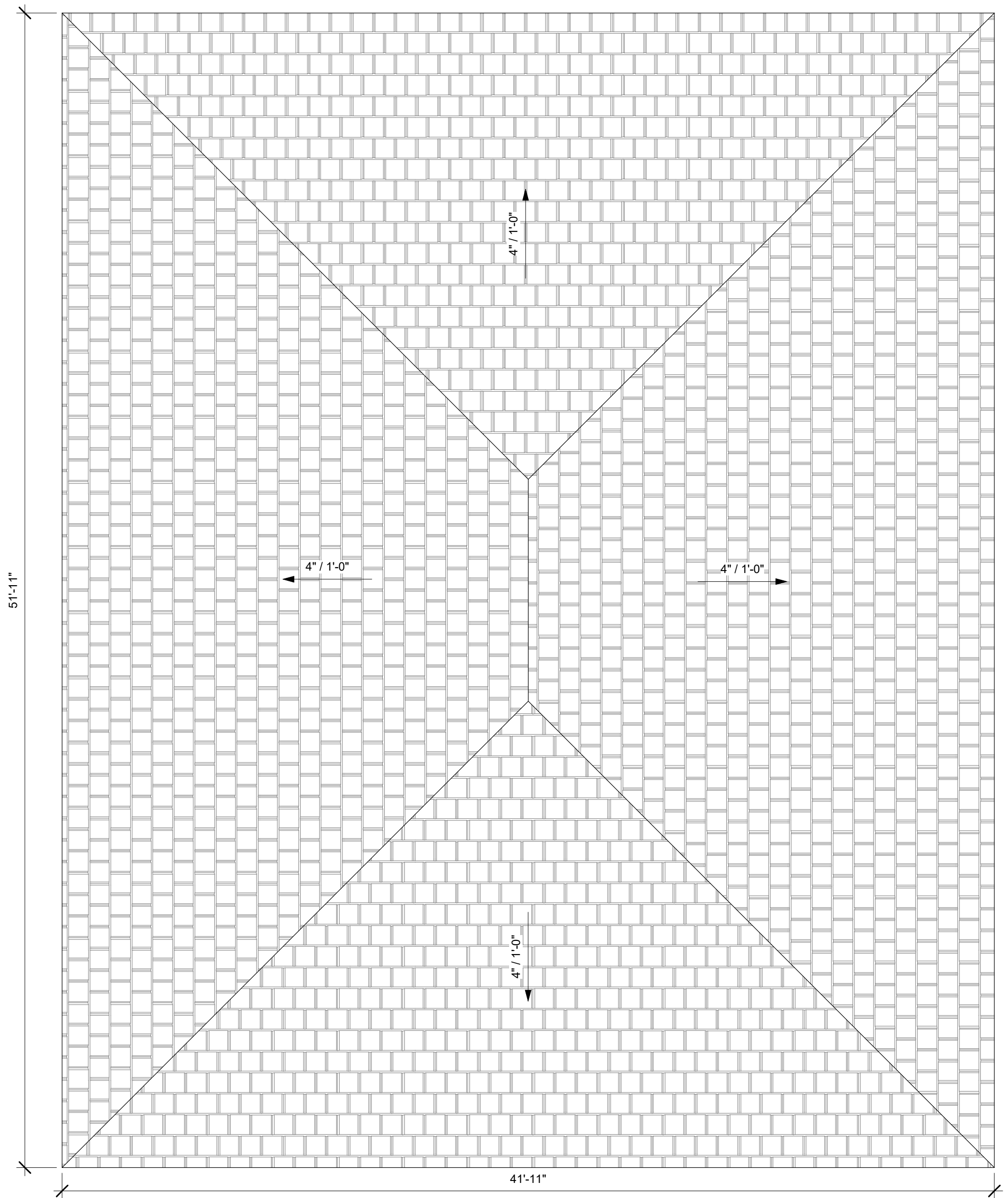
3 POOL HOUSE FLOOR
1/4" = 1'-0"



5 POOL HOUSE ROOF
1/4" = 1'-0"



1 GARAGE
1/4" = 1'-0"



2 GARAGE ROOF
1/4" = 1'-0"

Rev	Description	Date
A	LANDMARK PRESERVATION COMMISSION	03/11/2022

1960 SAN ANTONIO AVENUE

Date: 11/18/2022
6:13:38 PM

Scale: 1/4" = 1'-0"

Sheet Title

**POOL HOUSE & GARAGE
PLANS - PROPOSED**

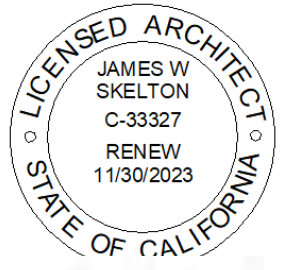
A105



DEVELOPED FOR



Jonathan Rachman Design



James W. Skelton

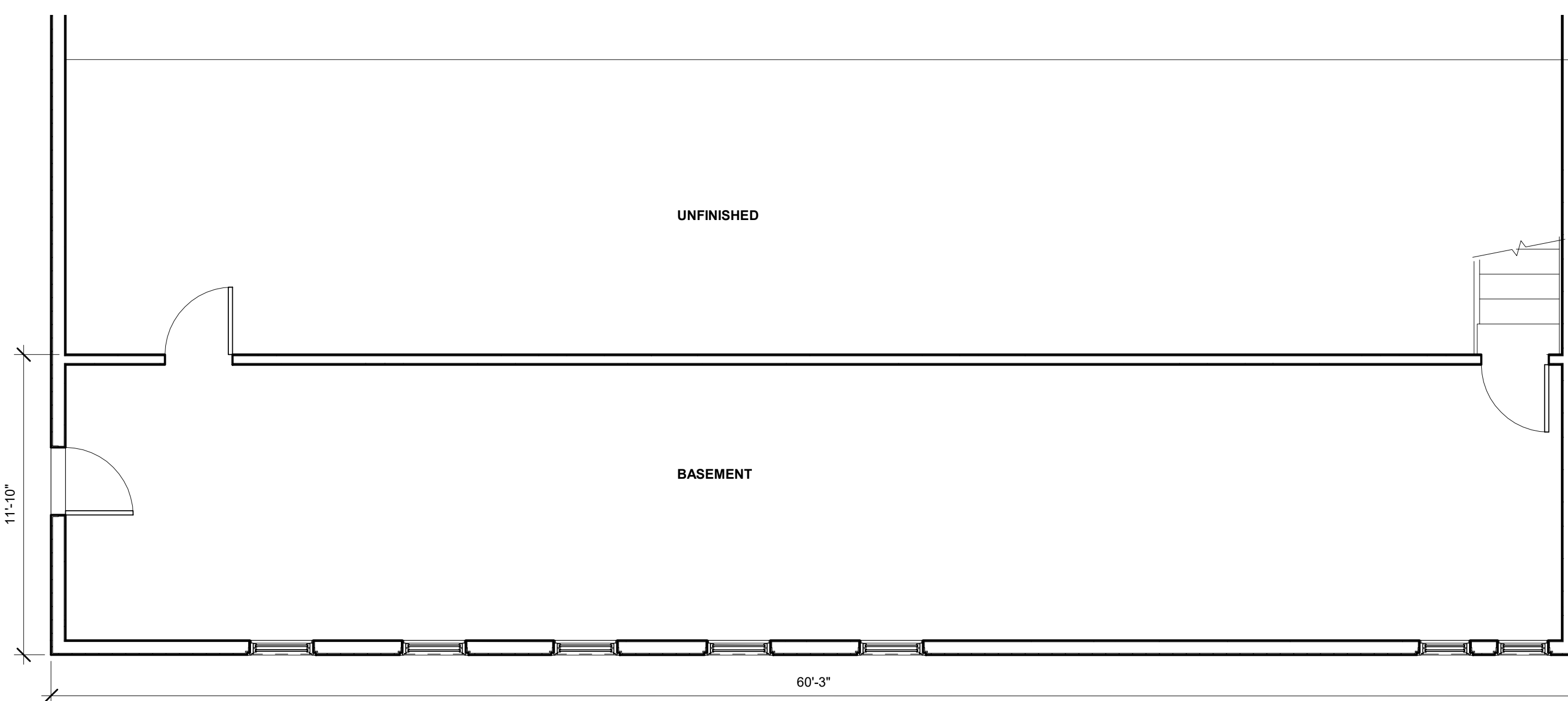
RESIDENCE

1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707

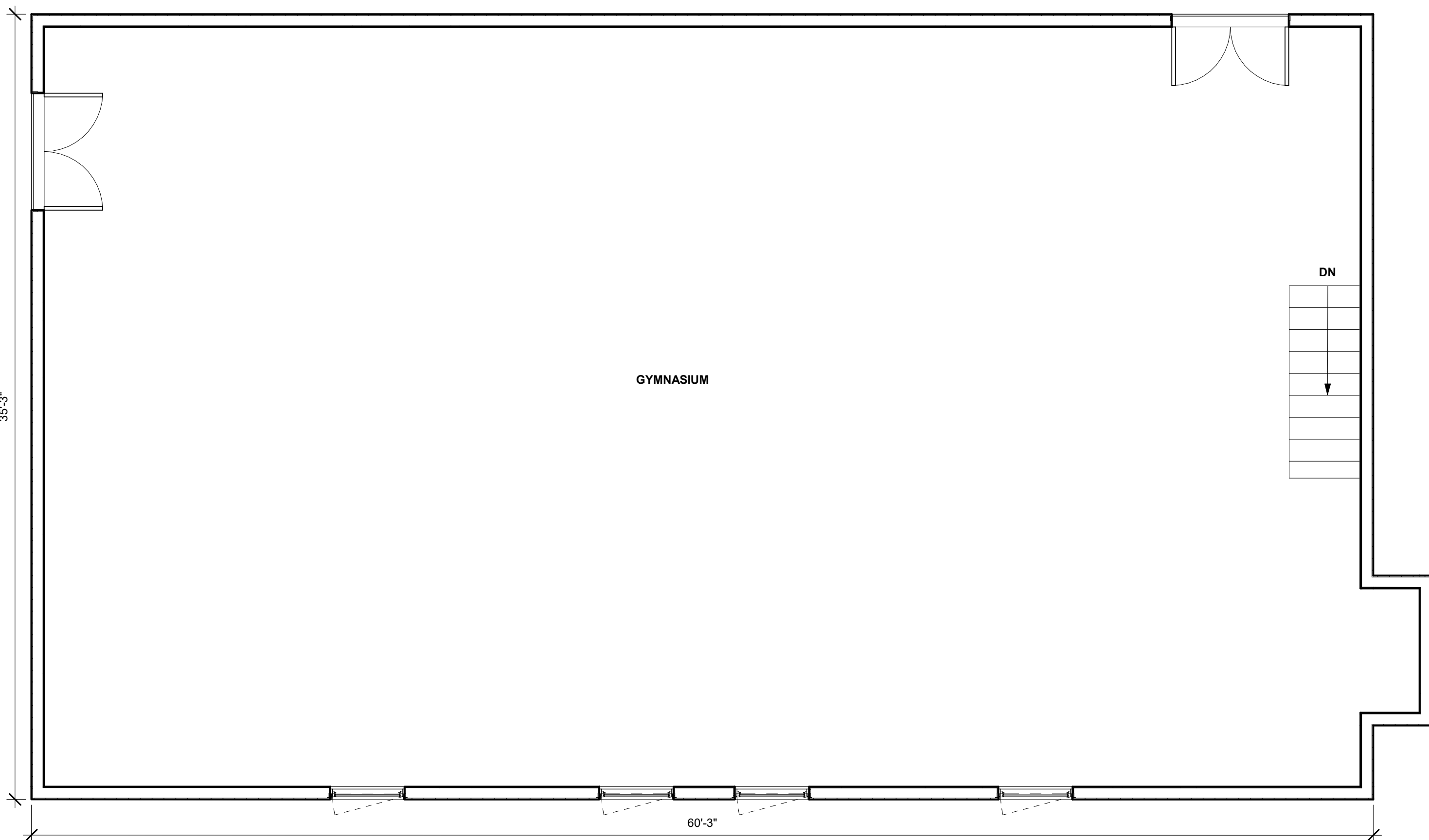
APN: 62-2916-60-4



③ GYM ROOF
1/4" = 1'-0"



① GYM BASEMENT
1/4" = 1'-0"



② GYMNASIUM
1/4" = 1'-0"

03/11/2022 Date
LANDMARK PRESERVATION COMMISSION Description
A Rev

1960 SAN ANTONIO AVENUE

Date: 11/18/2022
6:13:40 PM

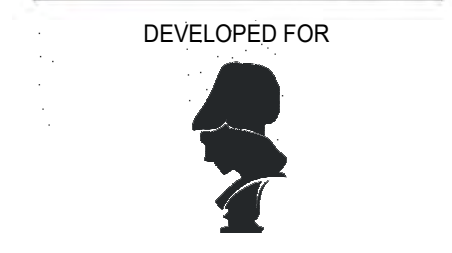
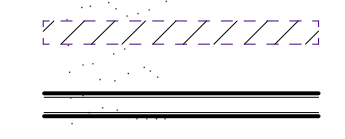
Scale: 1/4" = 1'-0"

Sheet Title

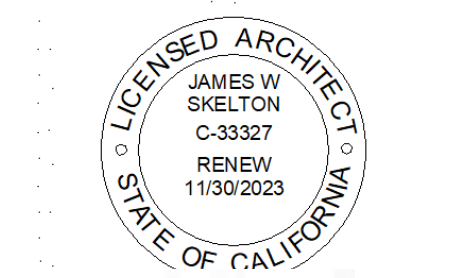
**GYMNASIUM PLANS -
EXISTING**

A106

WALL LEGEND
 DEMOLISHED WALL
 EXISTING WALL

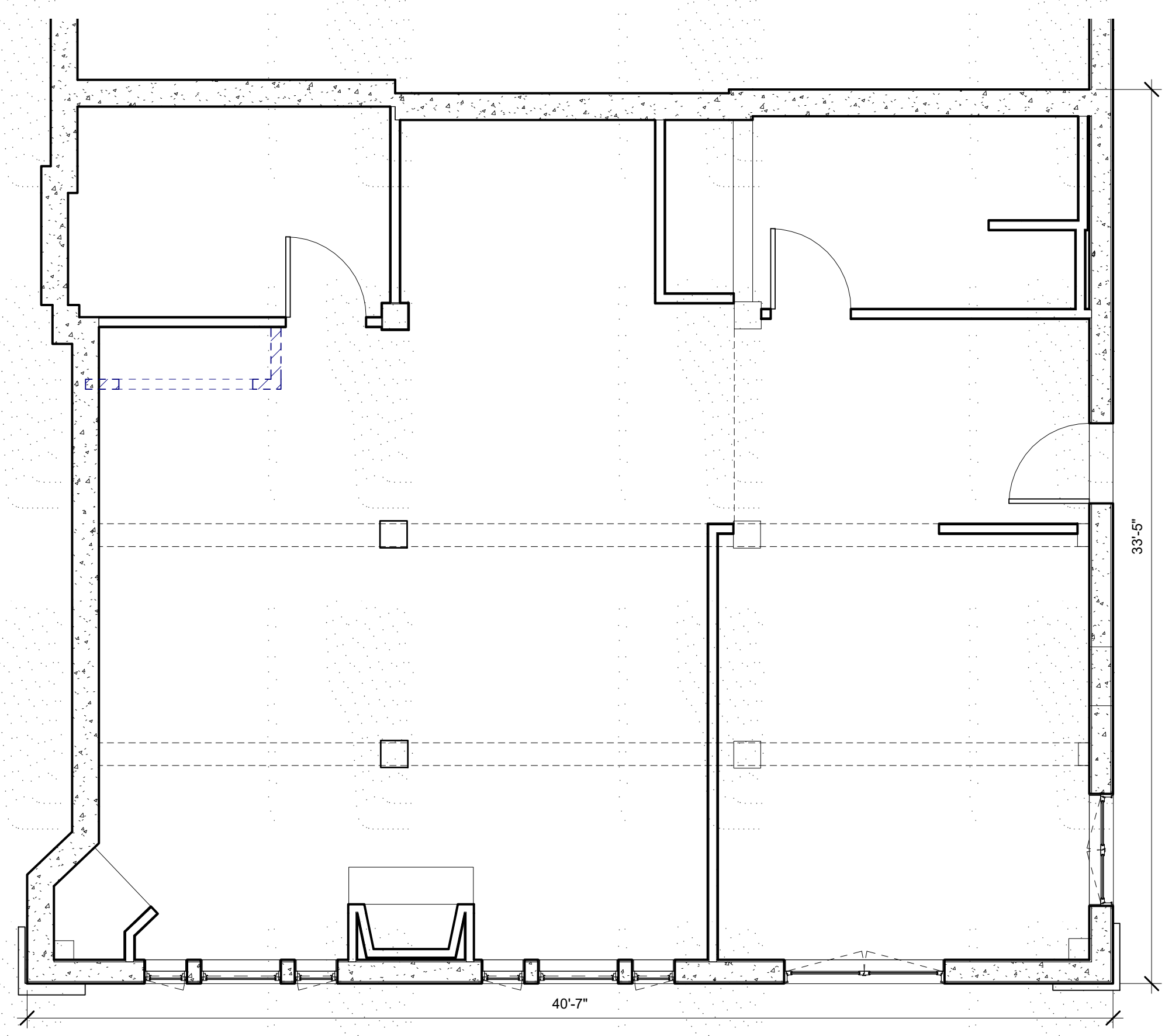


Jonathan Rachman Design

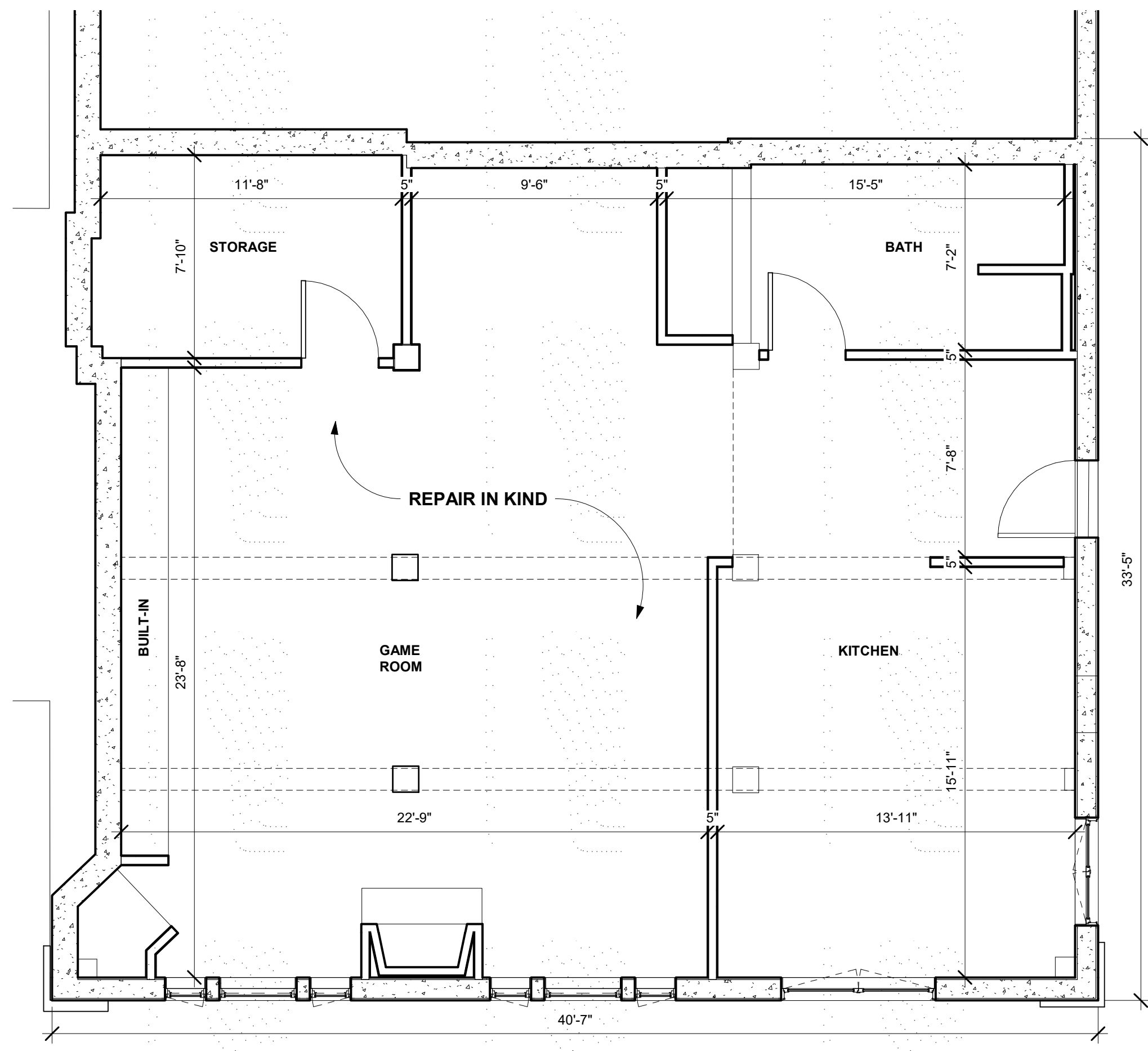


James W. Skelton

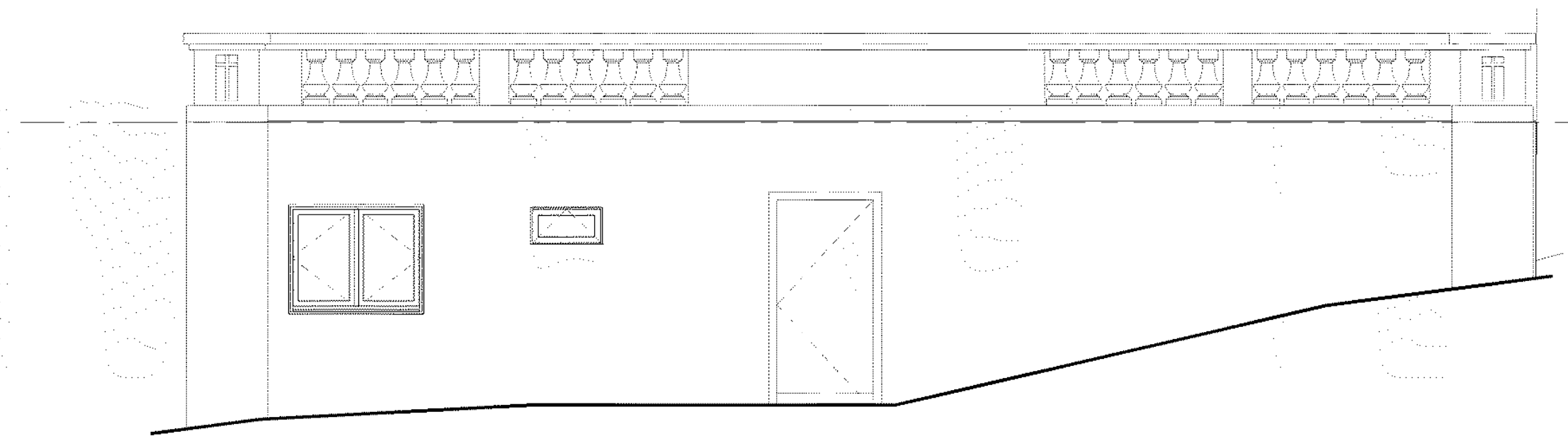
RESIDENCE
 1960 SAN ANTONIO AVENUE &
 645 ARLINGTON AVENUE
 BERKELEY, CA 94707
 APN: 62-2916-60-4



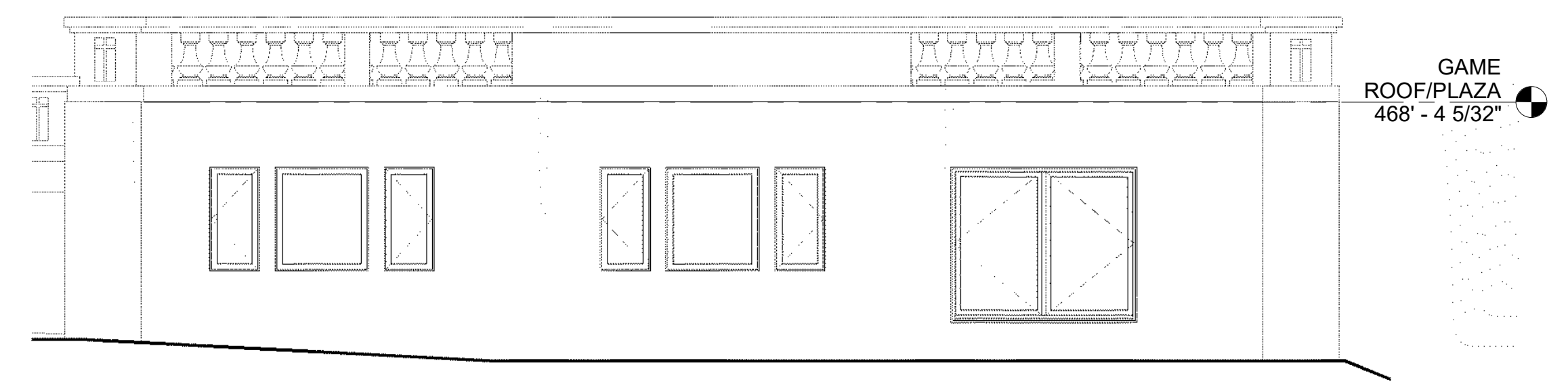
① GAME ROOM EXISTING & DEMOLITION
1/4" = 1'-0"



② GAME ROOM PROPOSED
1/4" = 1'-0"



③ GAME ROOM - SOUTH ELEVATION
1/4" = 1'-0"



④ GAME ROOM - WEST ELEVATION
1/4" = 1'-0"

Date
Description
Rev

1960 SAN ANTONIO AVENUE

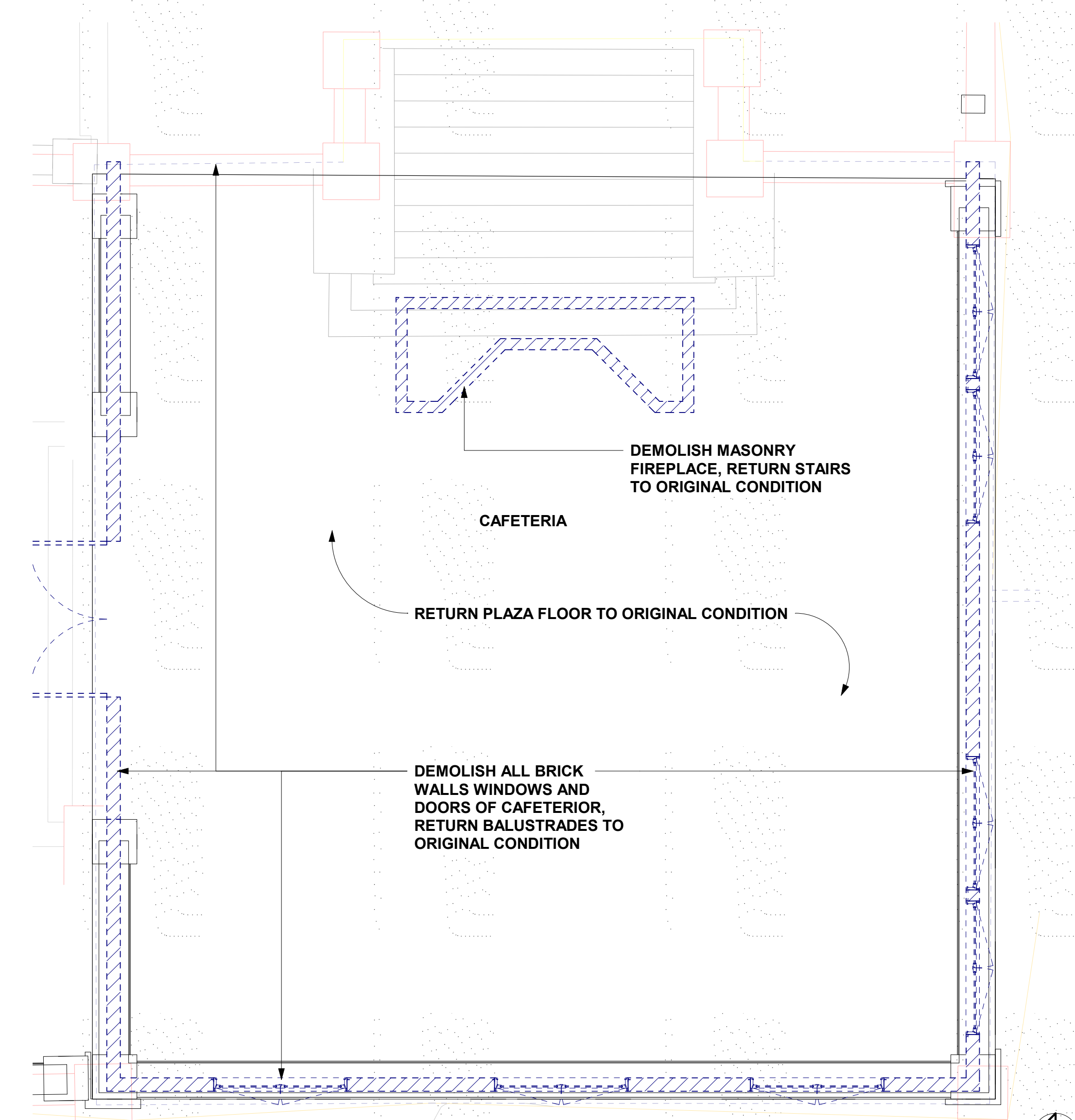
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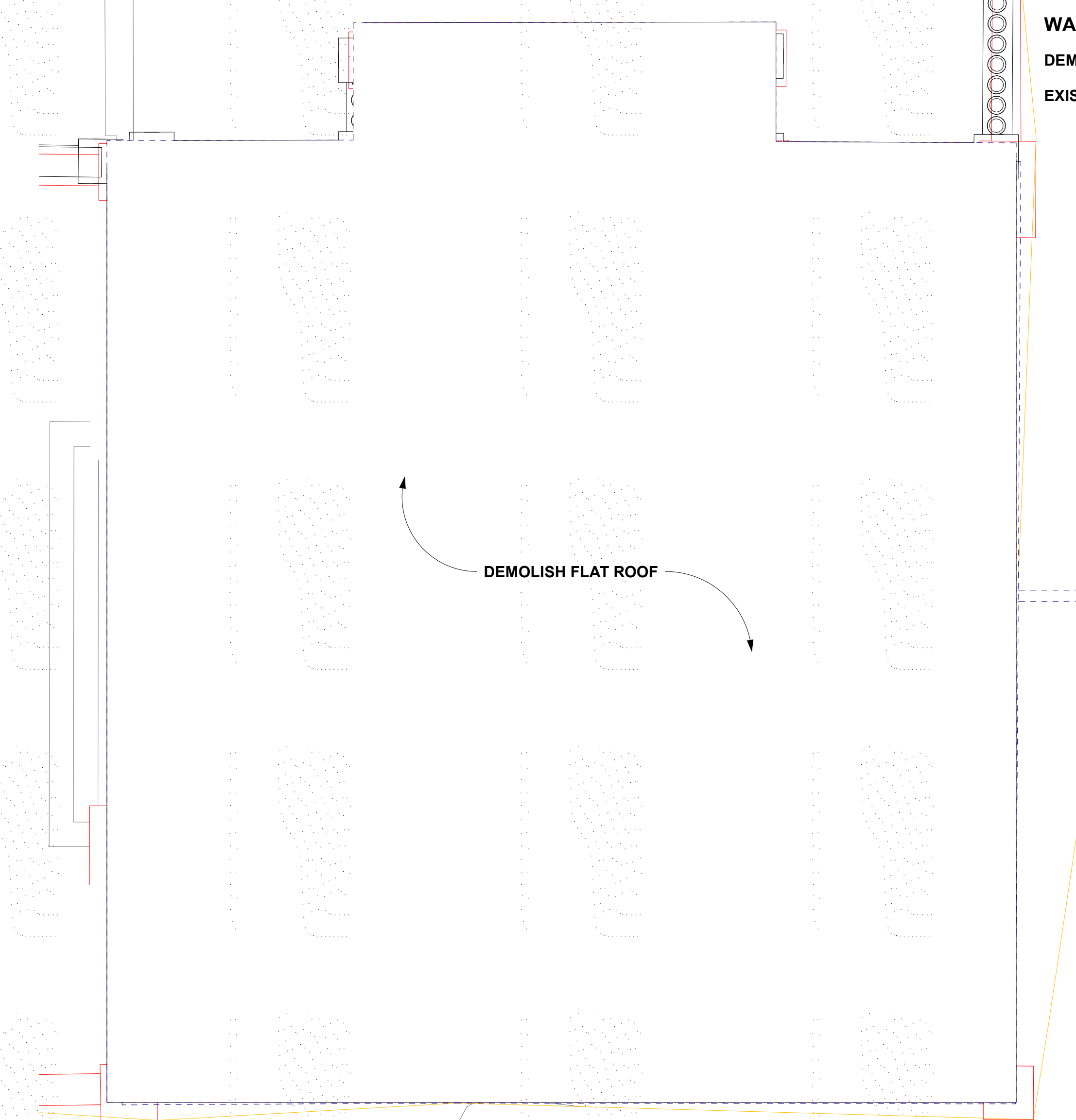
Sheet Title

**GAME ROOM PLANS &
ELEVATIONS - EXISTING &
PROPOSED**

A107



1 CAFETERIA - DEMOLITION
1/4" = 1'-0"



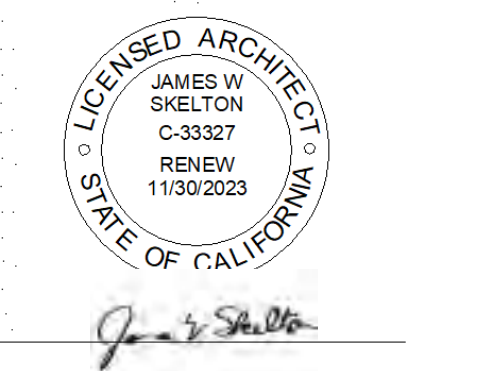
2 CAFETERIA ROOF - DEMOLITION
1/4" = 1'-0"

WALL LEGEND
DEMOLISHED WALL 
EXISTING WALL 

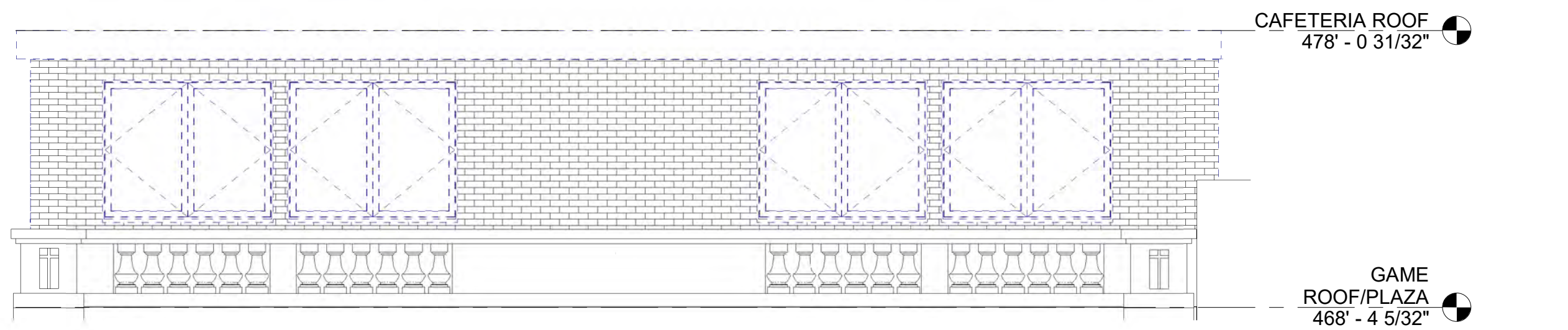


DEVELOPED FOR

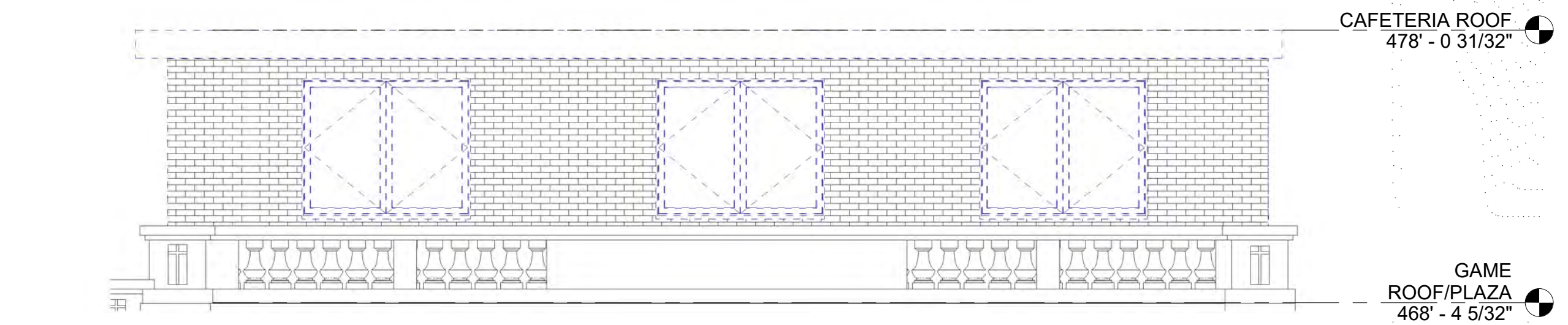
Jonathan Rachman Design



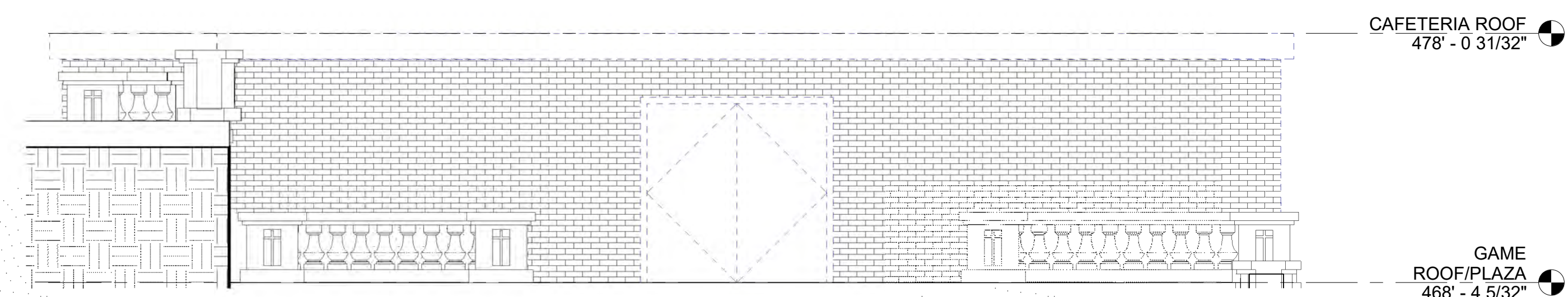
RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 62-2916-60-4



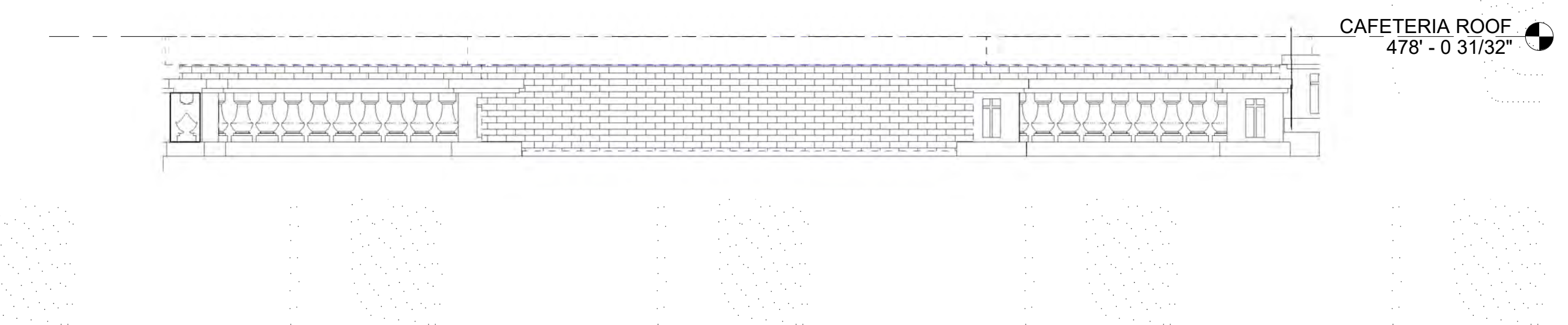
3 CAFETERIA - SOUTH ELEVATION
1/4" = 1'-0"



4 CAFETERIA - WEST ELEVATION
1/4" = 1'-0"



5 CAFETERIA - NORTH ELEVATION
1/4" = 1'-0"

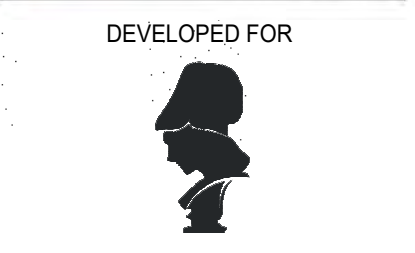


6 CAFETERIA - EAST ELEVATION
1/4" = 1'-0"

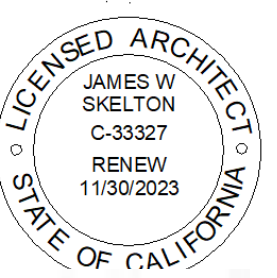
Date	Description	Rev
11/18/2022	1960 SAN ANTONIO AVENUE	1
6:13:51 PM		
1/4" = 1'-0"		

CAFETERIA - DEMOLITION

A108

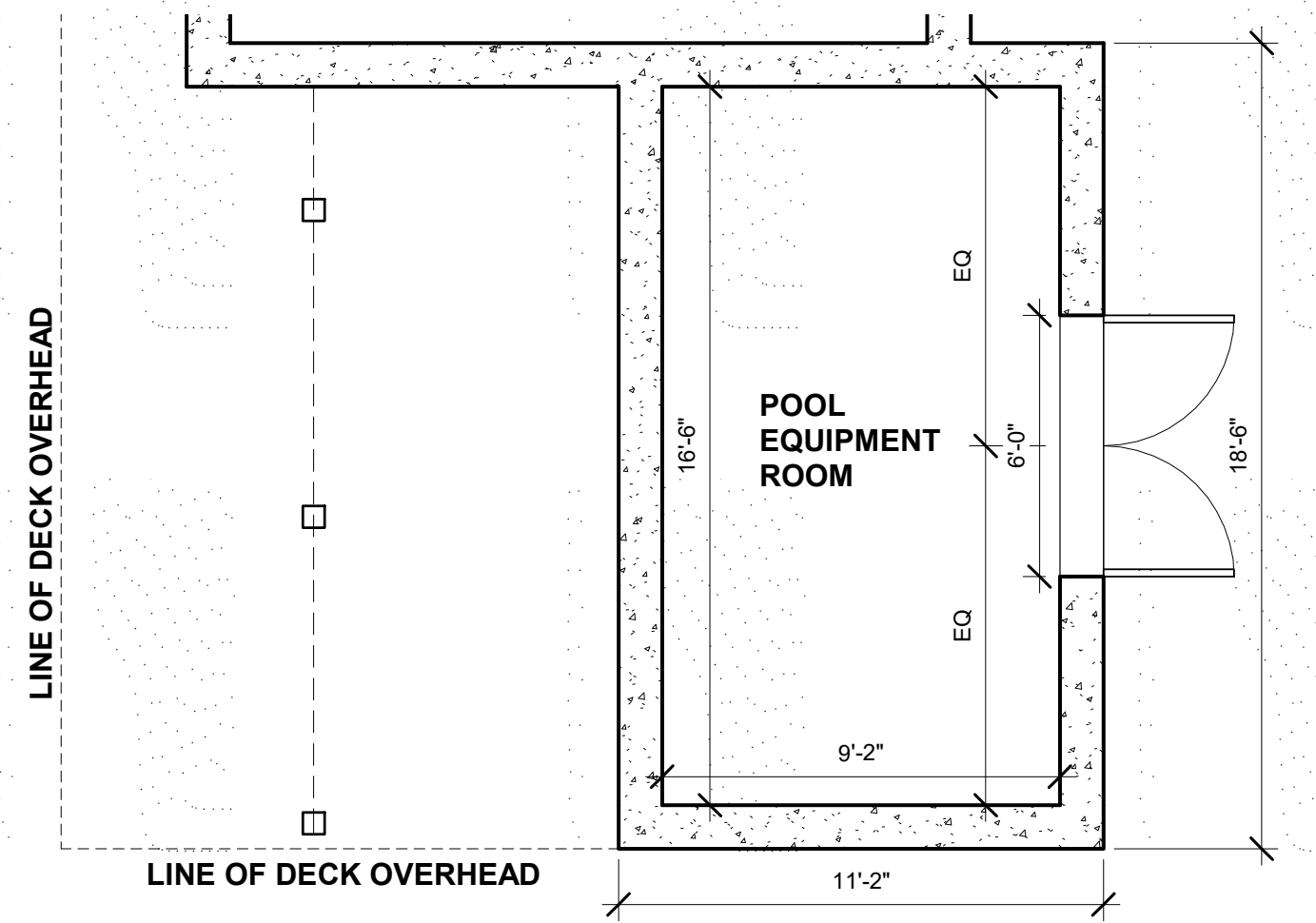


Jonathan Rachman Design

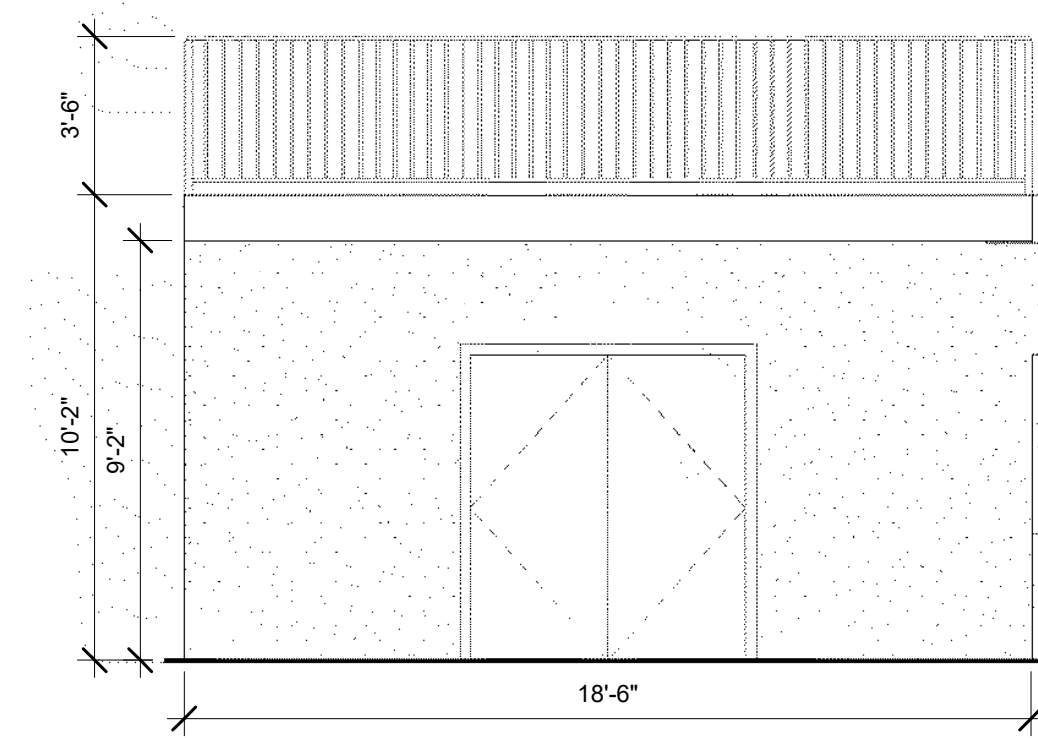


James W. Skelton

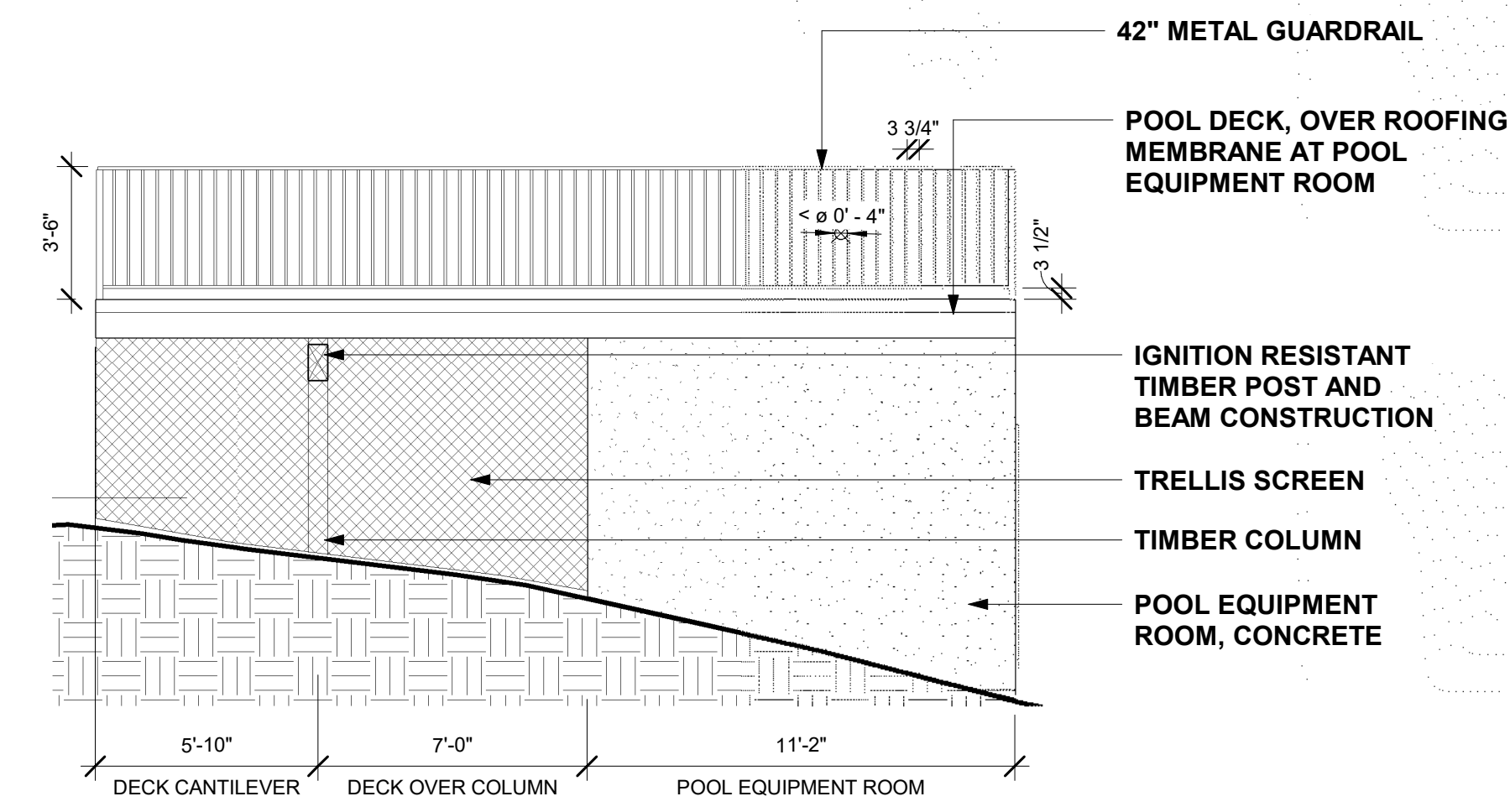
RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 62-2916-60-4



① POOL EQUIPMENT ROOM
1/4" = 1'-0"



② POOL EQUIPMENT - SOUTH ELEVATION
1/4" = 1'-0"



③ POOL EQUIPMENT - WEST ELEVATION
1/4" = 1'-0"



④ SECTION AT TERRACE STAIRS TO POOL DECK
1/4" = 1'-0"

Rev	Description	Date
3	LANDMARK PRESERVATION COMMENTS	11/16/2022

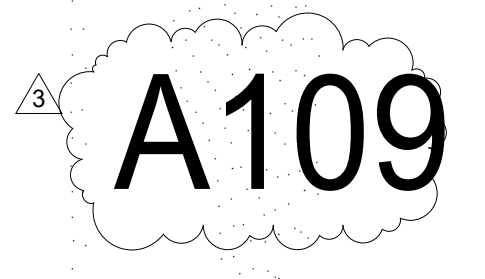
1960 SAN ANTONIO AVENUE

Date: 11/18/2022
6:13:54 PM

Scale: 1/4" = 1'-0"

Sheet Title

**POOL EQUIPMENT ROOM
PLAN, ELEVATION &
SECTION**

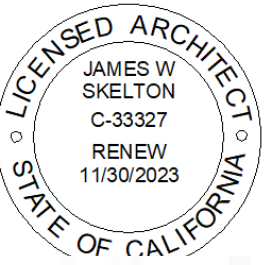




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BERKELEY, CA 94707
APN: 62-2916-60-4

POOL HOUSE
ROOF (MIDLINE)
487' - 3 15/32"

POOL HOUSE
AVERAGE
ELEVATION
472' - 5 1/32"
POOL HOUSE
FLOOR
471' - 8 1/32"

8/18/2022
03/11/2022
Date

REVISION 1 COMMENTS
LANDMARK PRESERVATION COMMISSION
Description

1 A Rev

1960 SAN ANTONIO AVENUE

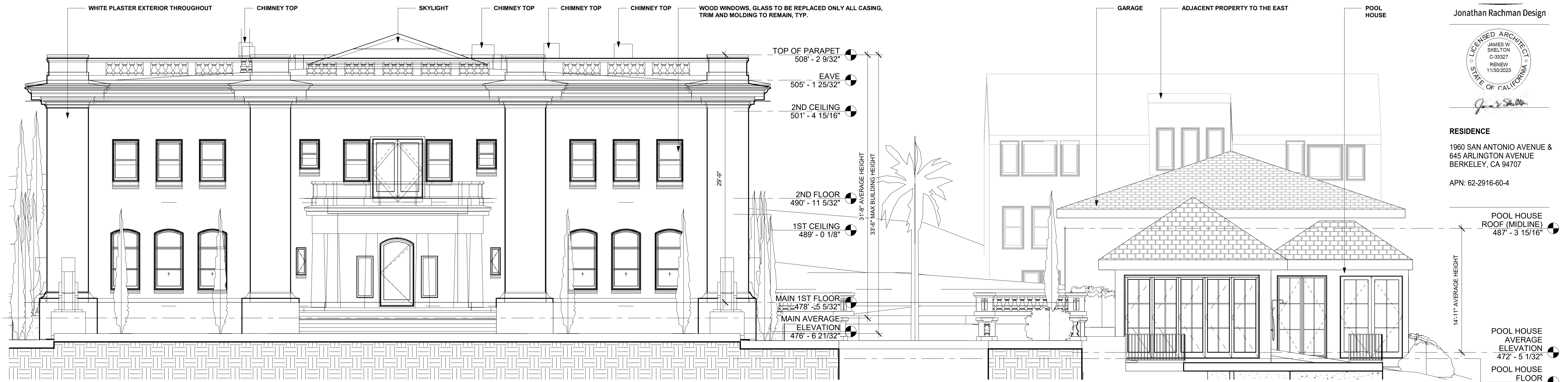
Date: 11/18/2022
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Scale: 3/16" = 1'-0"

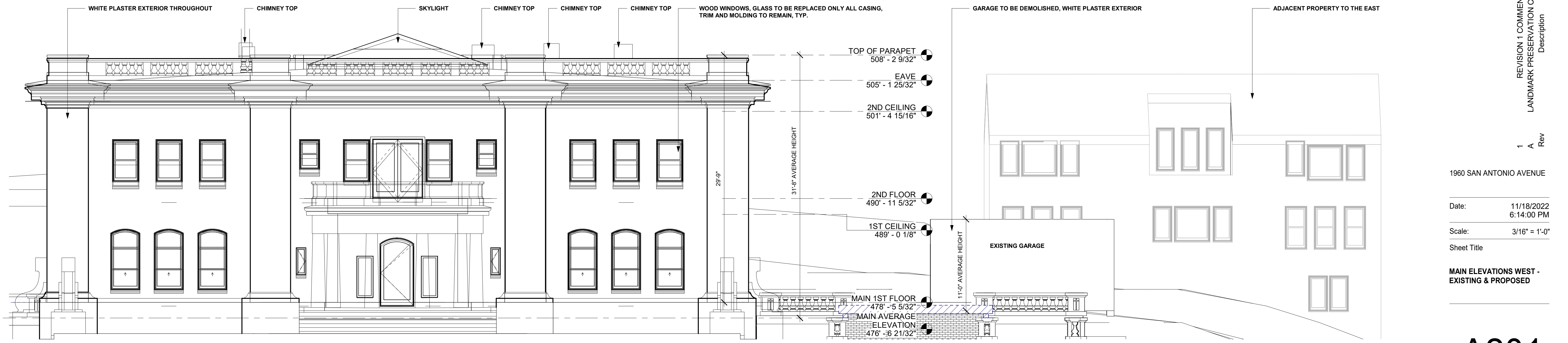
Sheet Title

MAIN ELEVATIONS WEST -
EXISTING & PROPOSED

A201



2 WEST ELEVATION PROPOSED
3/16" = 1'-0"



1 WEST ELEVATION EXISTING
3/16" = 1'-0"



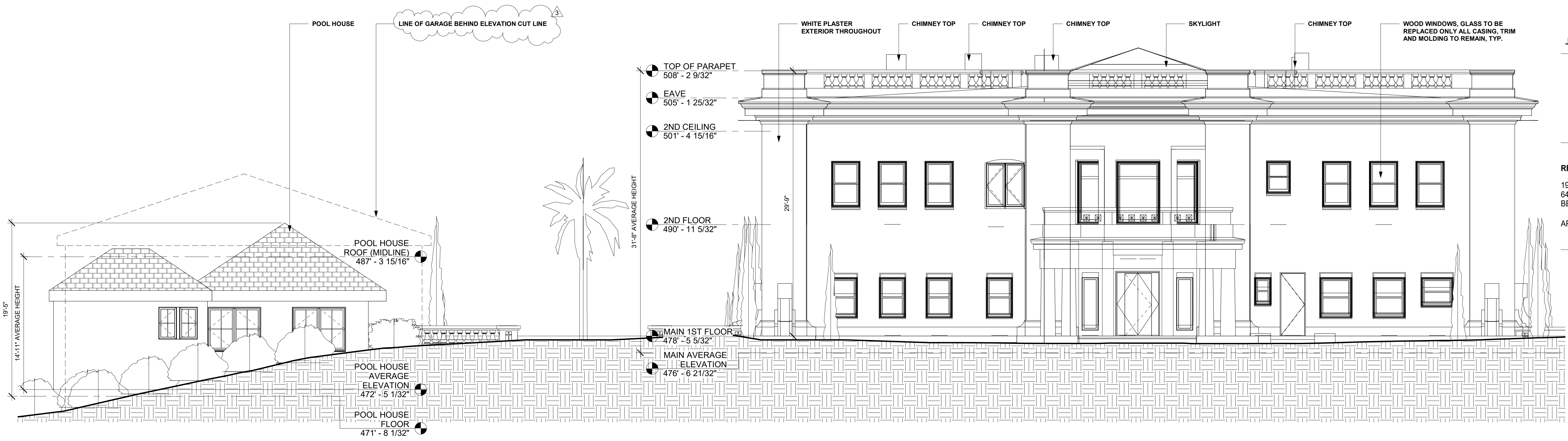
DEVELOPED FOR



Jonathan Rachman Design



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1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 62-2916-60-4



② EAST ELEVATION PROPOSED
3/16" = 1'-0"



① EAST ELEVATION EXISTING
3/16" = 1'-0"

Date
11/16/2022
9/26/2022
8/18/2022
03/11/2022

Description
LANDMARK PRESERVATION COMMENTS
LANDMARK PRESERVATION COMMENTS
REVISION 1 COMMENTS
LANDMARK PRESERVATION COMMISSION

Rev
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1960 SAN ANTONIO AVENUE

Date: 11/18/2022
6:14:04 PM

Scale: 3/16" = 1'-0"

Sheet Title

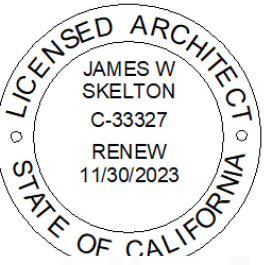
MAIN ELEVATIONS EAST -
EXISTING & PROPOSED

A202



DEVELOPED FOR

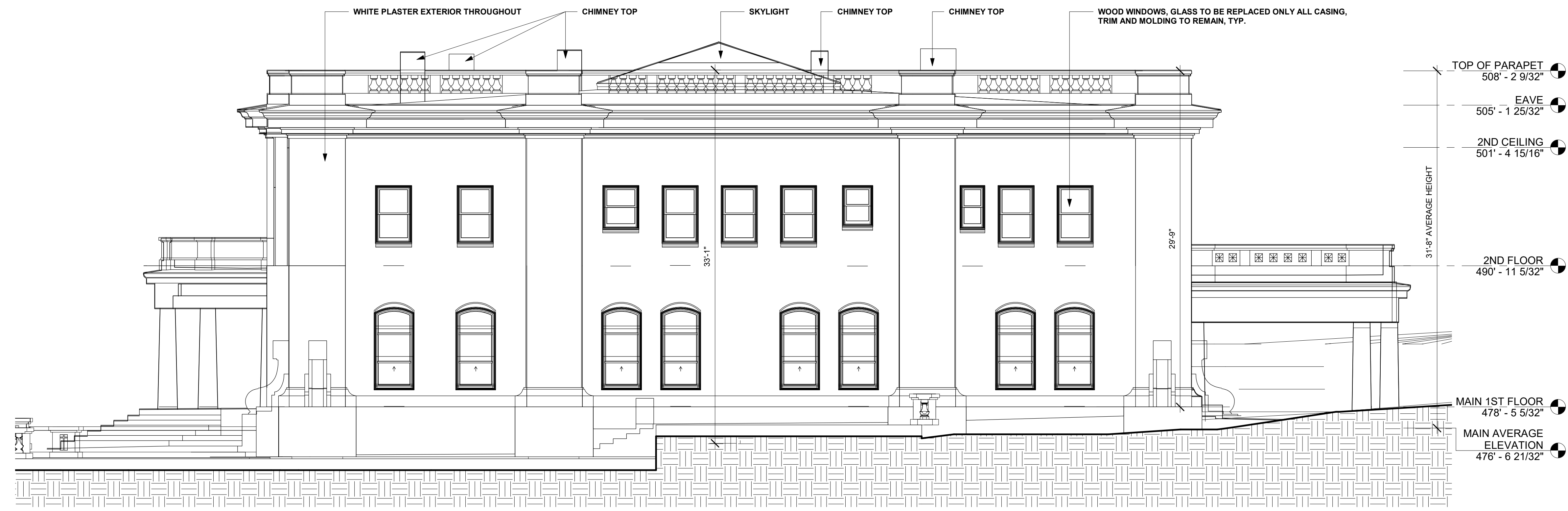
Jonathan Rachman Design



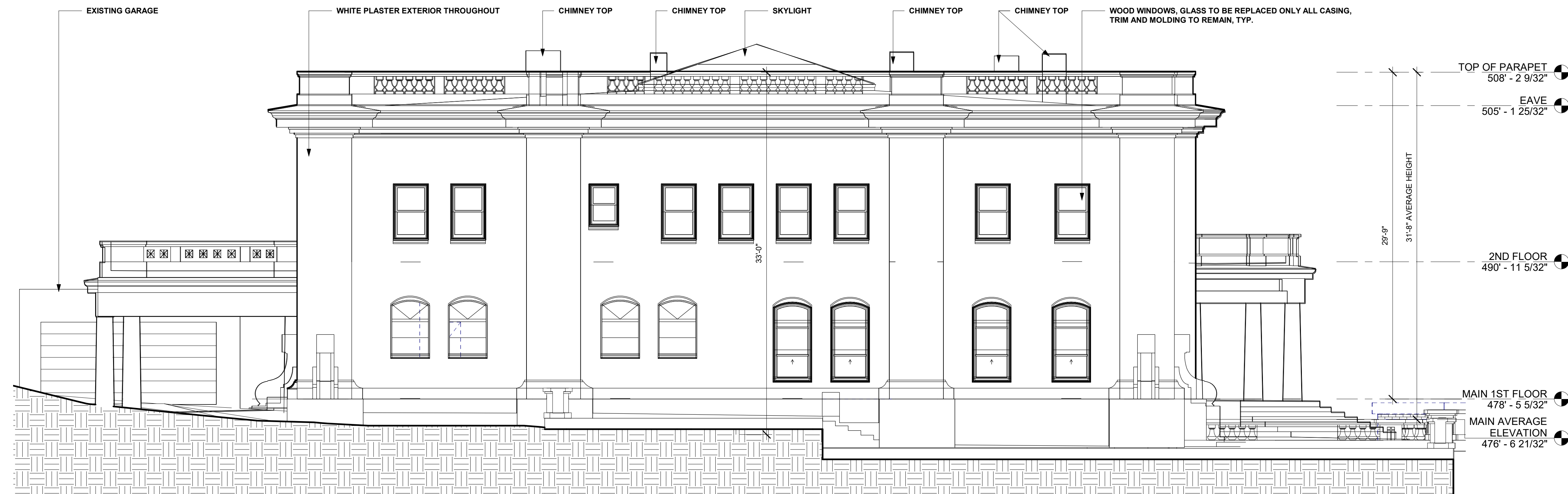
James W. Skelton

RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707

APN: 62-2916-60-4



② SOUTH ELEVATION EXISTING
3/16" = 1'-0"



① NORTH ELEVATION EXISTING
3/16" = 1'-0"

8/18/2022
03/11/2022
Date

REVISION 1 COMMENTS
LANDMARK PRESERVATION COMMISSION
Description

1 A Rev

1960 SAN ANTONIO AVENUE

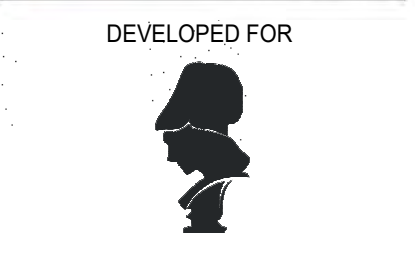
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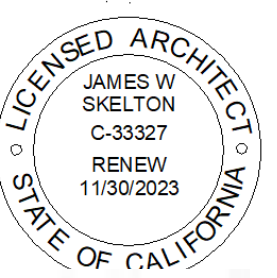
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Sheet Title
MAIN ELEVATIONS NORTH & SOUTH - EXISTING

A203

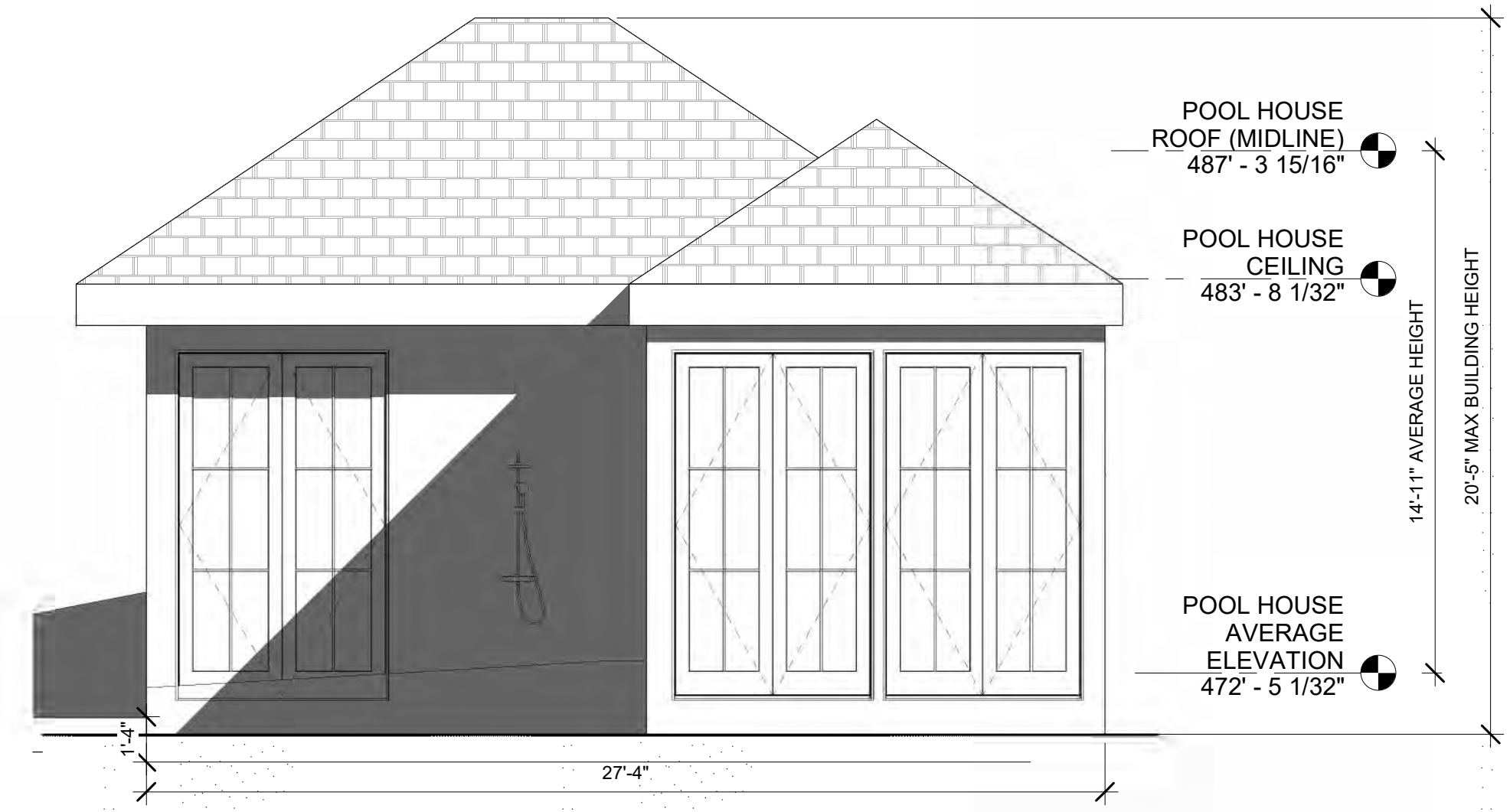


Jonathan Rachman Design

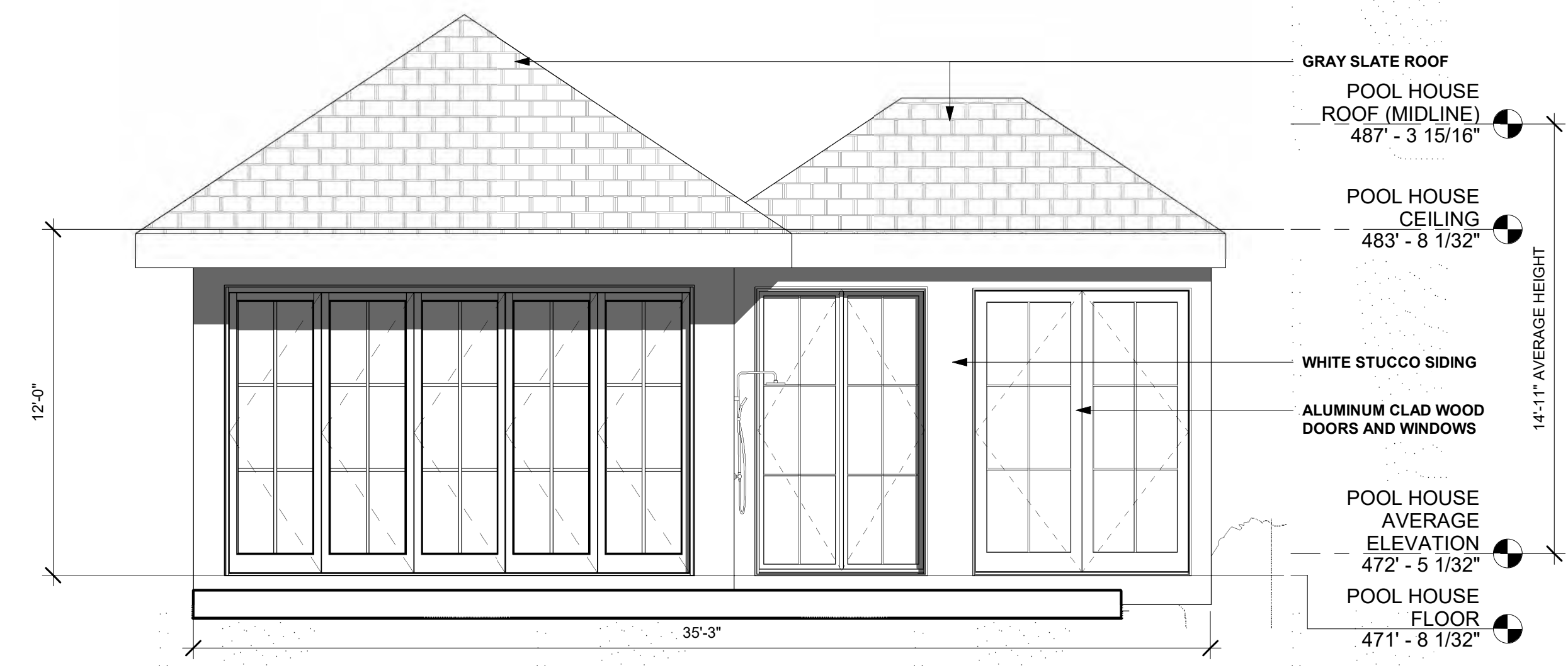


James W. Skelton

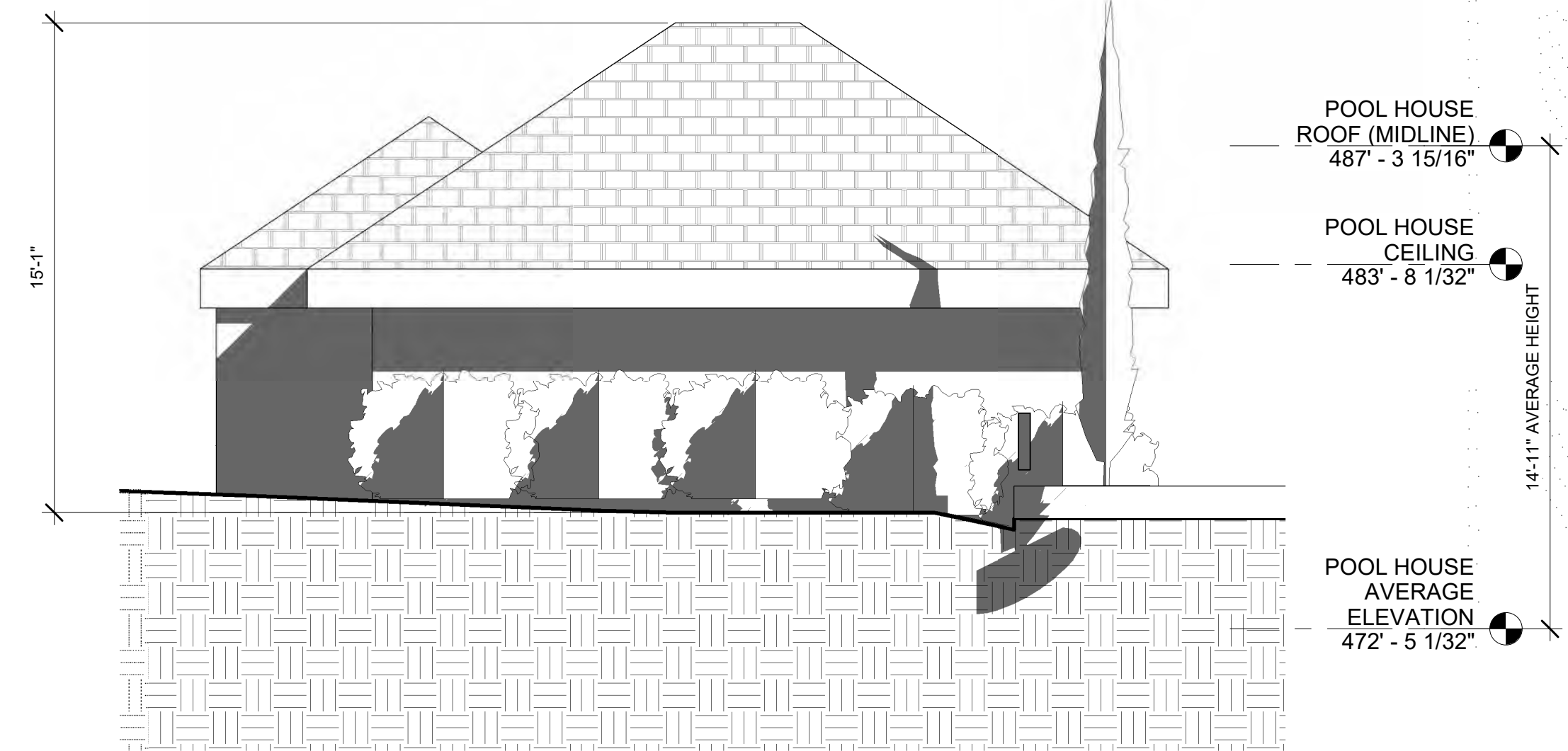
RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 62-2916-60-4



1 POOL HOUSE - NORTH ELEVATION
1/4" = 1'-0"



2 POOL HOUSE - EAST ELEVATION
1/4" = 1'-0"



3 POOL HOUSE - SOUTH ELEVATION
1/4" = 1'-0"



4 POOL HOUSE - WEST ELEVATION
1/4" = 1'-0"

Rev	Description	Date
1	LANDMARK PRESERVATION COMMENTS	9/26/2022
2	REVISION 1 COMMENTS	8/18/2022
A	LANDMARK PRESERVATION COMMISSION	03/11/2022

1960 SAN ANTONIO AVENUE

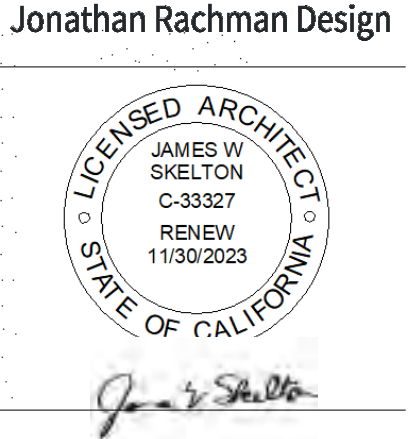
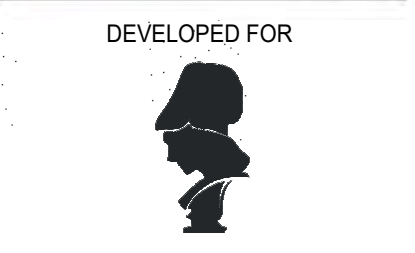
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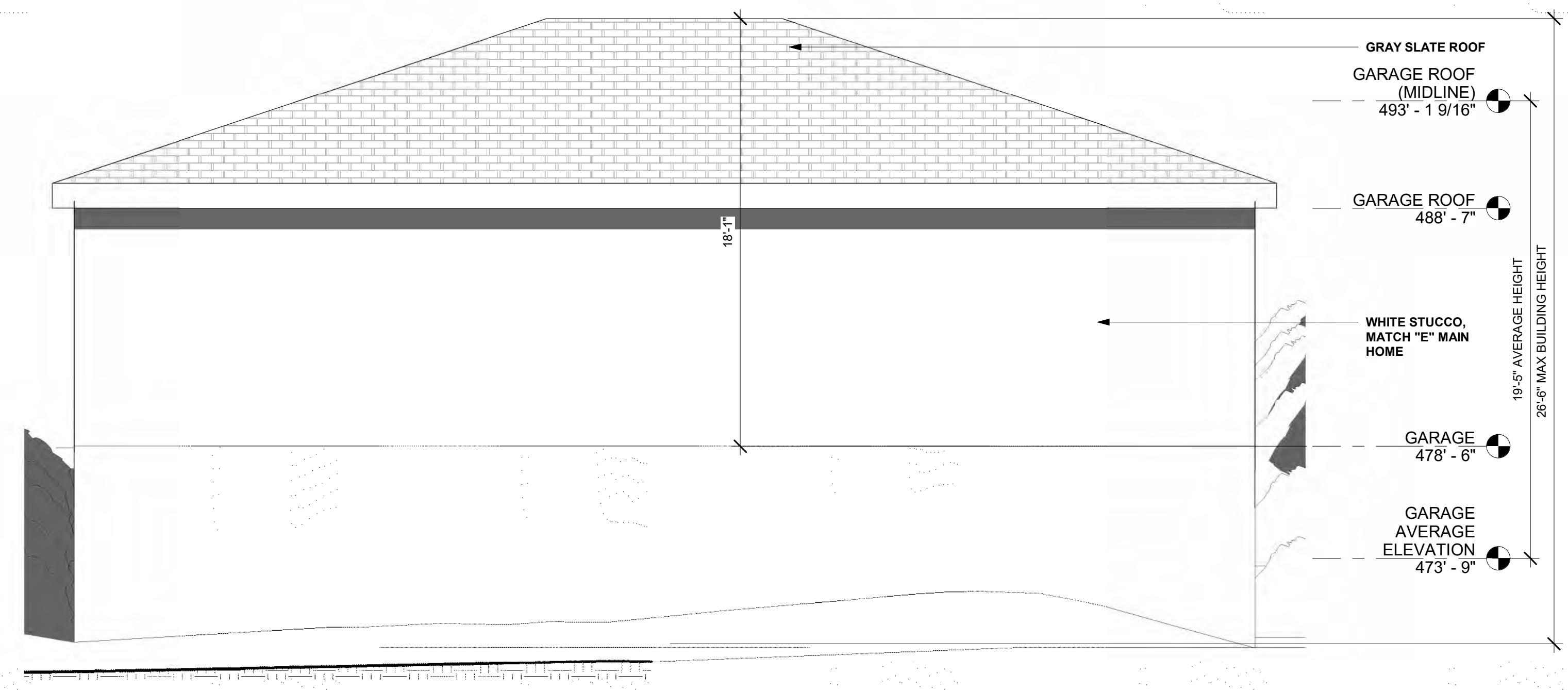
Sheet Title

POOL HOUSE ELEVATION - PROPOSED

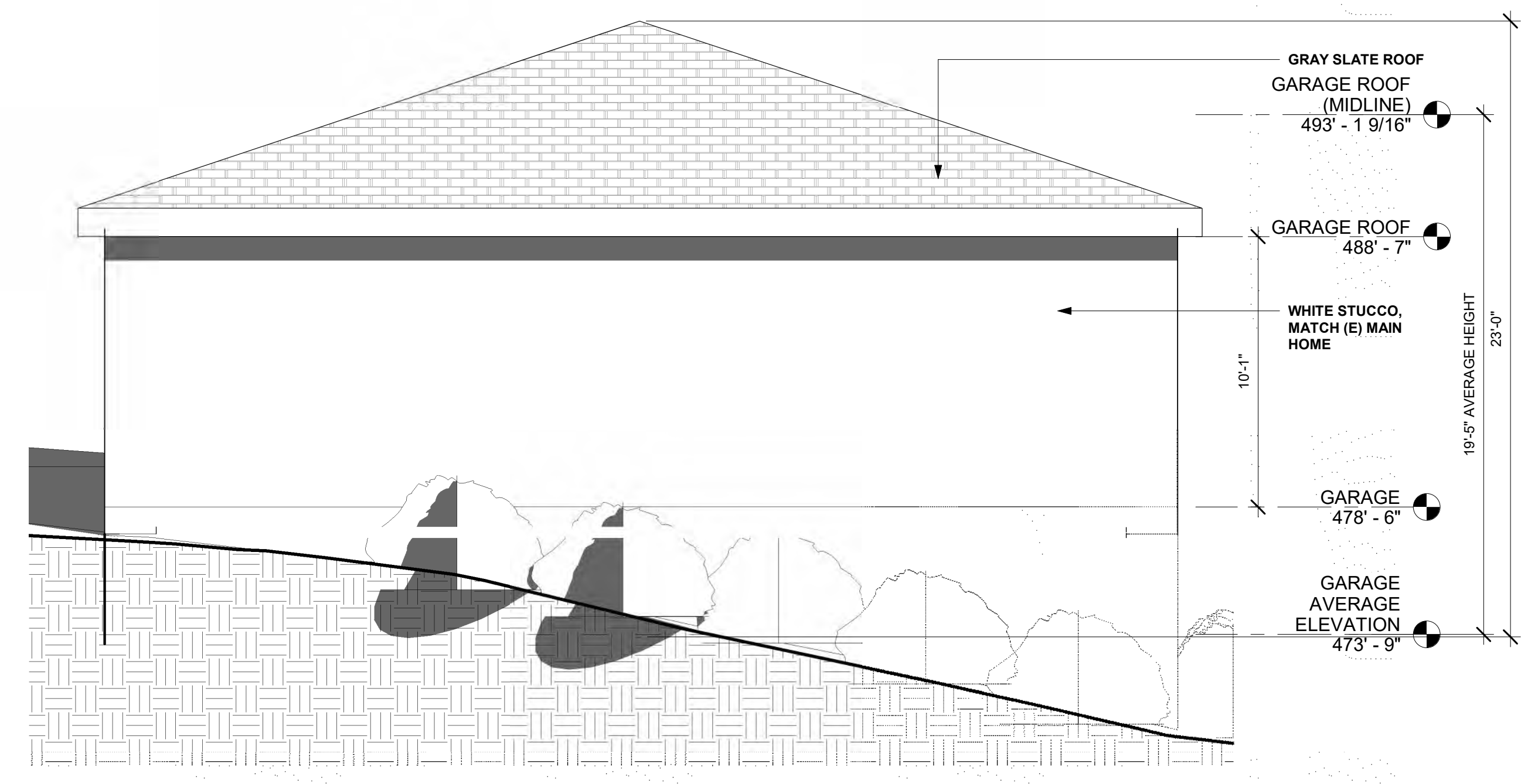
A204



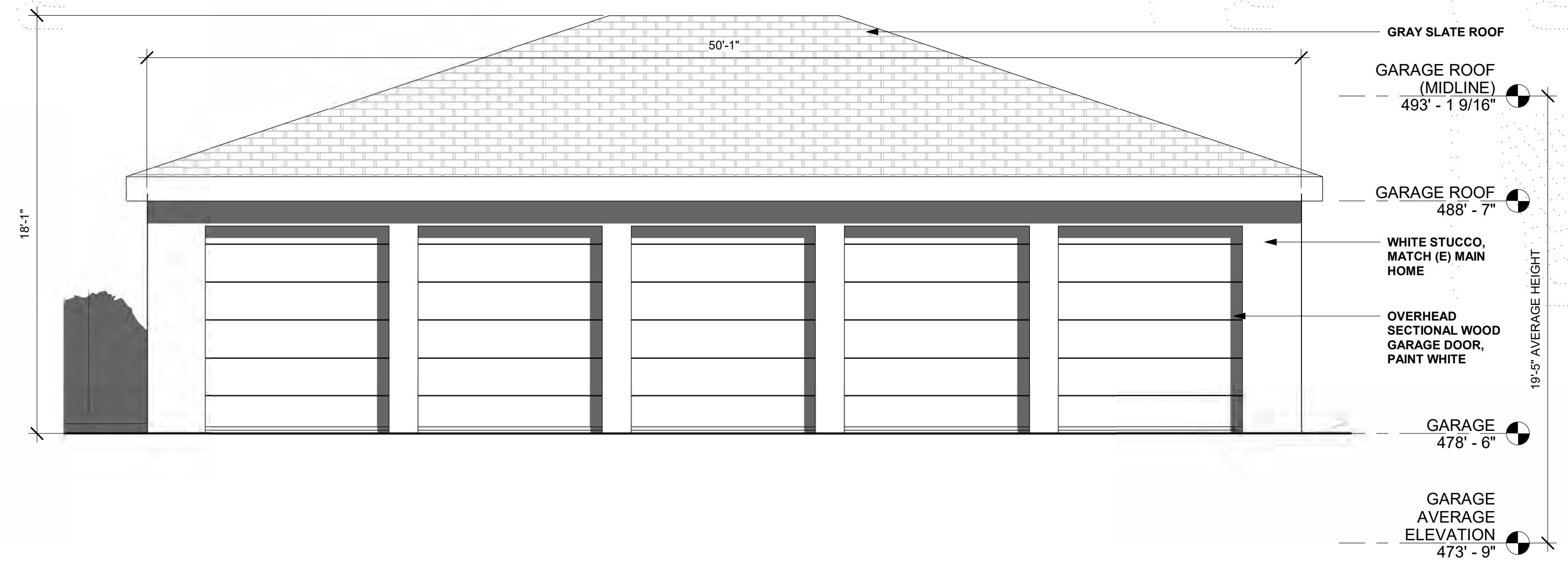
RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 62-2916-60-4



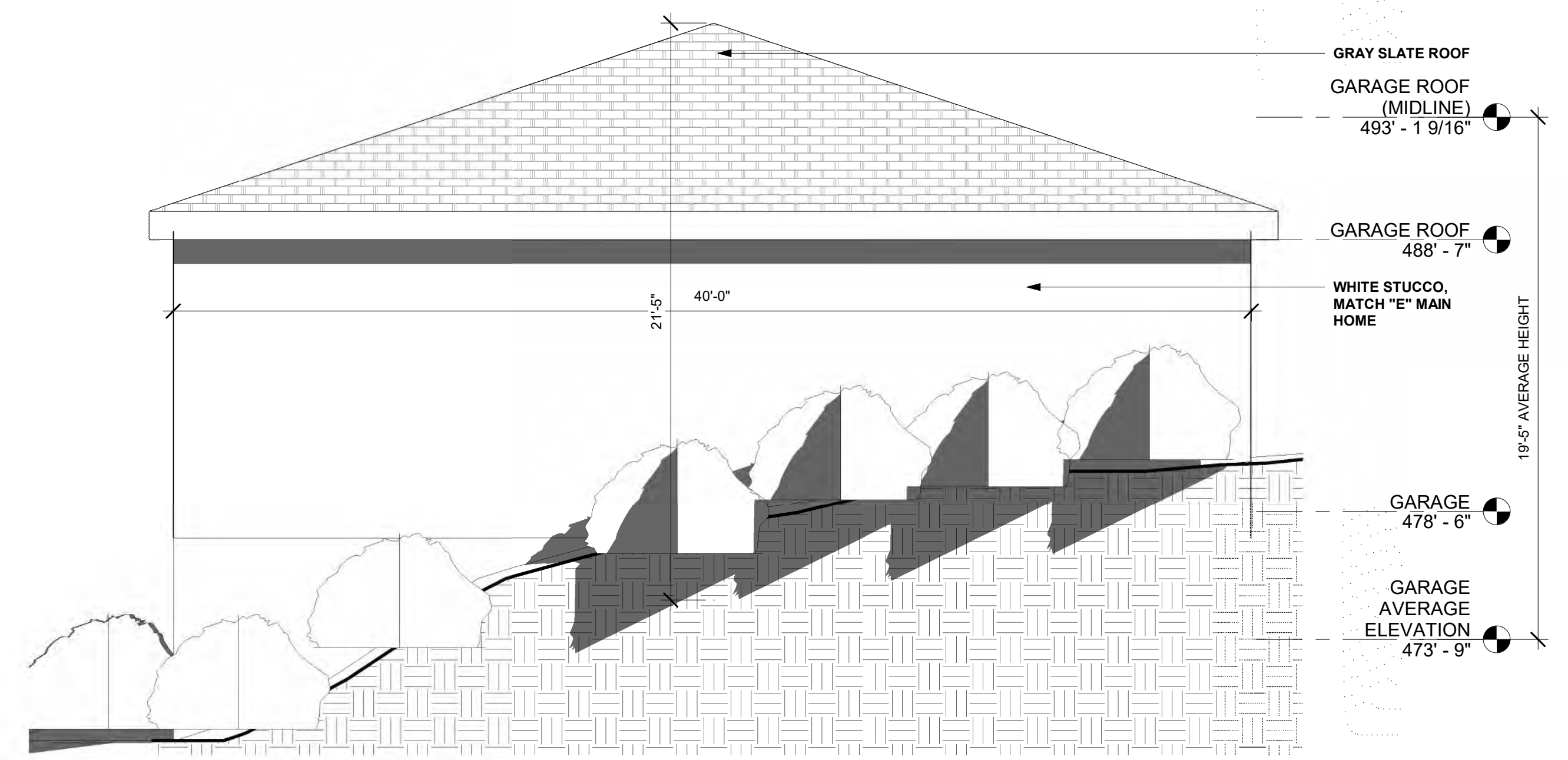
① GARAGE - SOUTH ELEVATION
1/4" = 1'-0"



② GARAGE - WEST ELEVATION
1/4" = 1'-0"



③ GARAGE - NORTH ELEVATION
1/4" = 1'-0"



④ GARAGE - EAST ELEVATION
1/4" = 1'-0"

8/18/2022
03/11/2022
Date

REVISION 1 COMMENTS
LANDMARK PRESERVATION COMMISSION
Description

1 A Rev

1960 SAN ANTONIO AVENUE

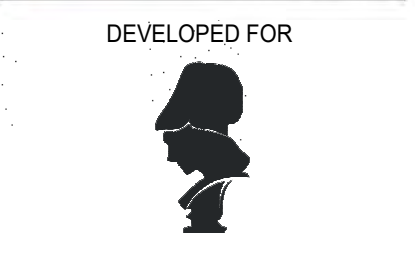
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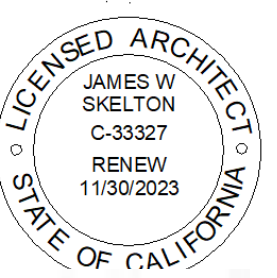
Sheet Title

GARAGE ELEVATIONS - PROPOSED

A205



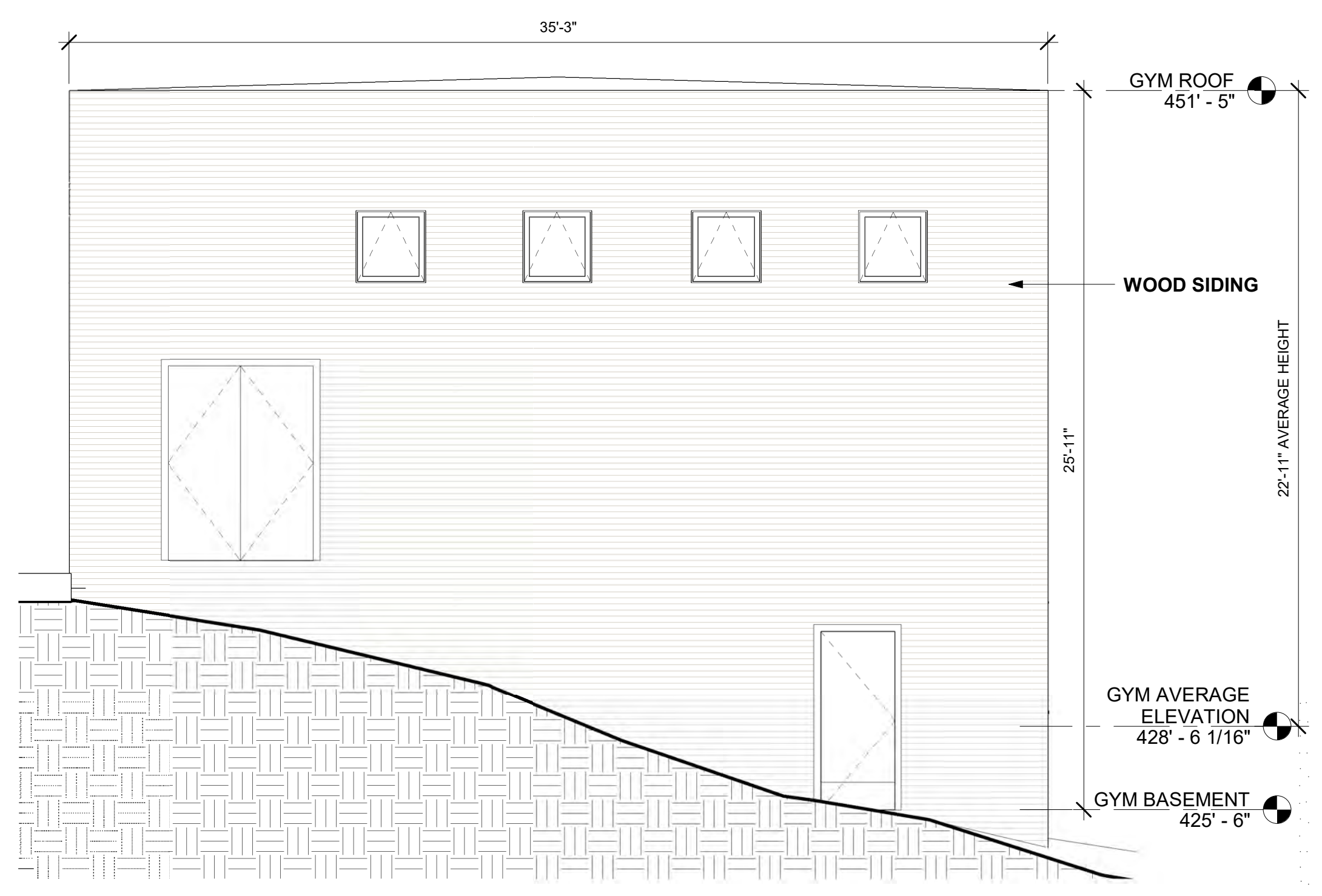
Jonathan Rachman Design



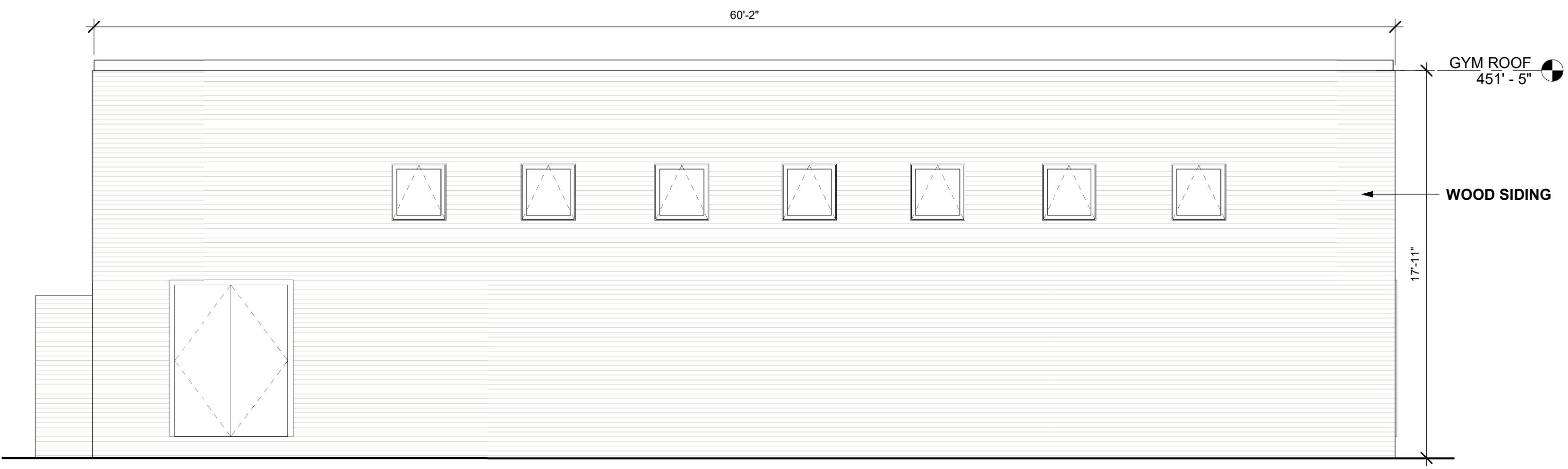
James W. Skelton

RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707

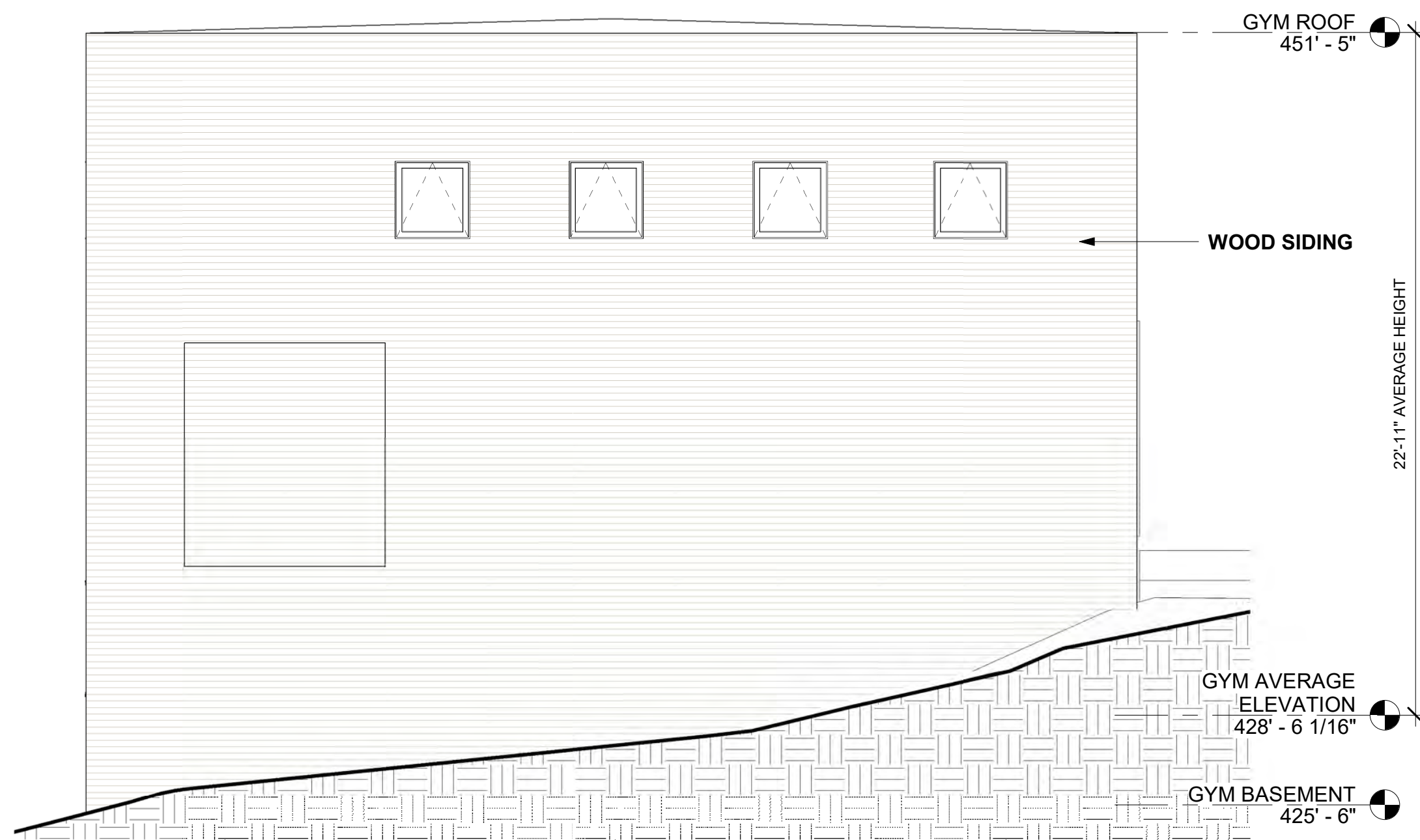
APN: 62-2916-60-4



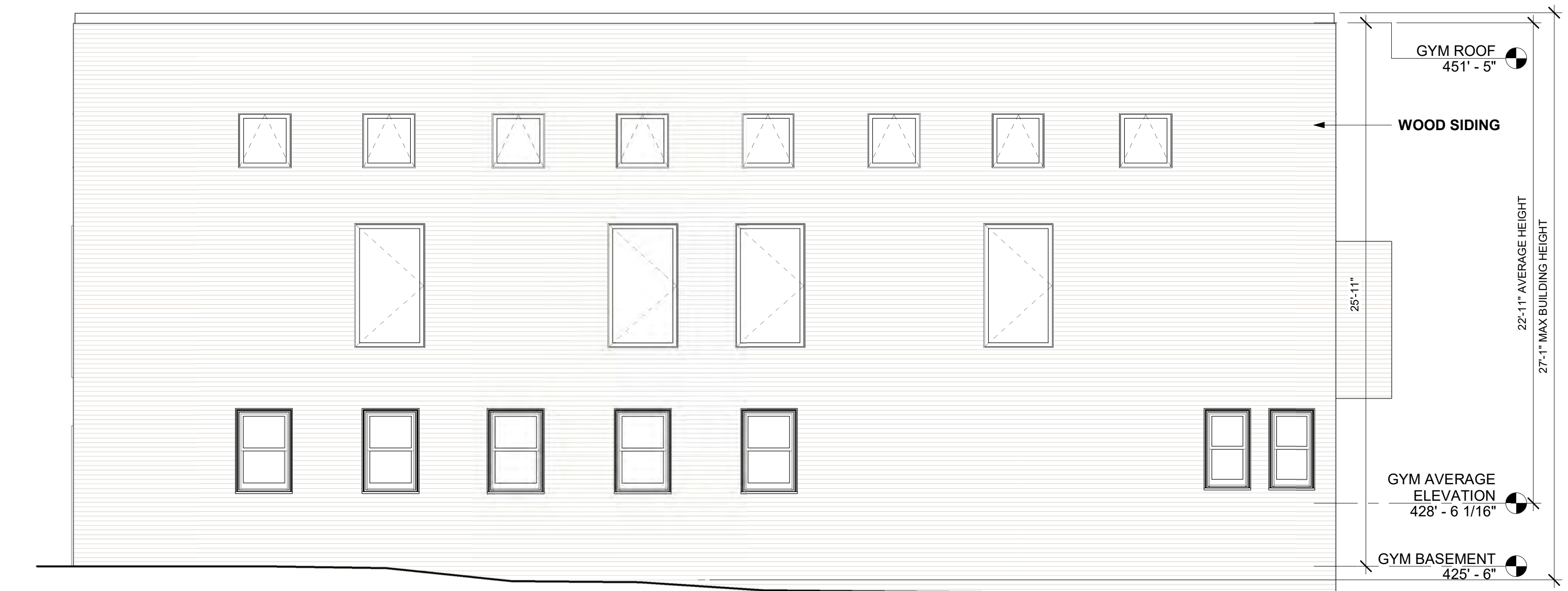
① GYMNASIUM - NORTH ELEVATION
1/4" = 1'-0"



② GYMNASIUM - EAST ELEVATION
1/4" = 1'-0"



③ GYMNASIUM - SOUTH ELEVATION
1/4" = 1'-0"



④ GYMNASIUM - WEST ELEVATION
1/4" = 1'-0"

8/18/2022
03/11/2022
Date

REVISION 1 COMMENTS
LANDMARK PRESERVATION COMMISSION
Description

1 A Rev

1960 SAN ANTONIO AVENUE

Date: 11/18/2022
6:14:27 PM

Scale: 1/4" = 1'-0"

Sheet Title

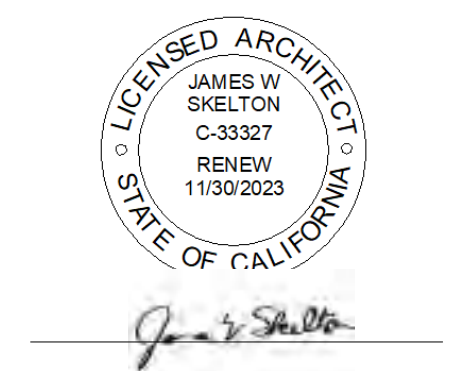
GYMNASIUM ELEVATIONS - EXISTING

A206

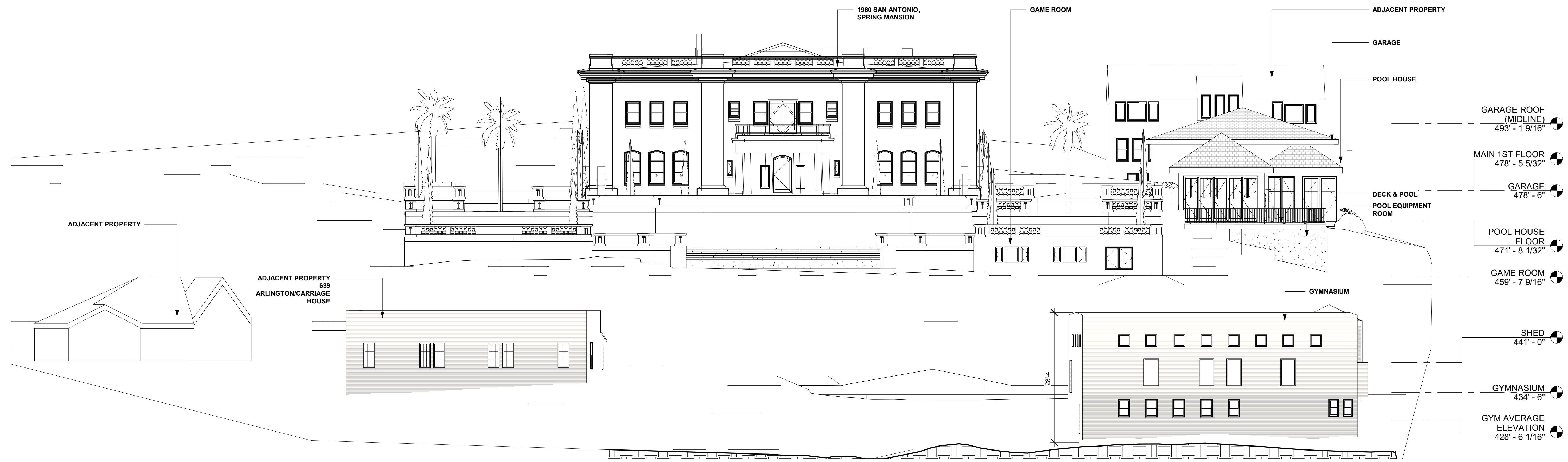


DEVELOPED FOR

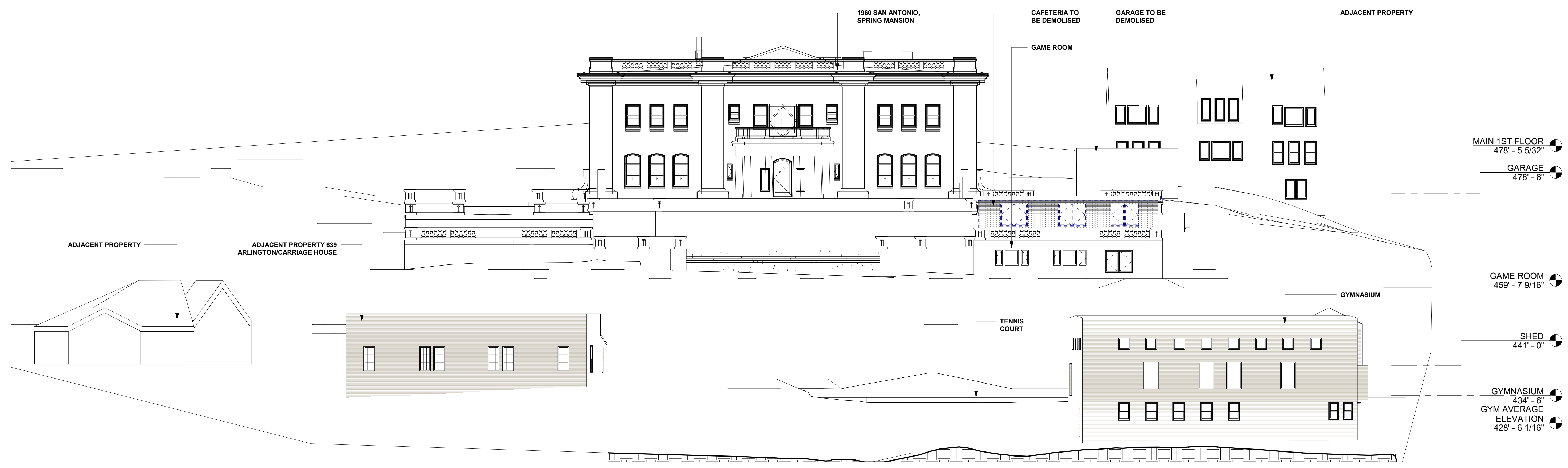
Jonathan Rachman Design



RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 62-2916-60-4



② SITE SECTION FROM ARLINGTON AVE - PROPOSED
3/32" = 1'-0"



① SITE SECTION FROM ARLINGTON AVE - EXISTING
3/32" = 1'-0"

8/18/2022
03/11/2022
Date

REVISION 1 COMMENTS
LANDMARK PRESERVATION COMMISSION
Description

1
A
Rev

1960 SAN ANTONIO AVENUE
Date: 11/18/2022 6:14:35 PM
Scale: 3/32" = 1'-0"
Sheet Title

SITE SECTIONS

A301



DEVELOPED FOR



Jonathan Rachman Design

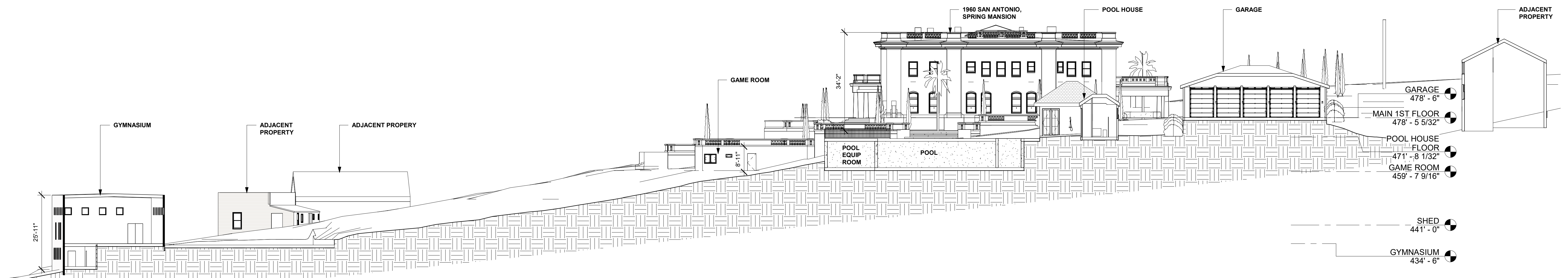


James W. Skelton

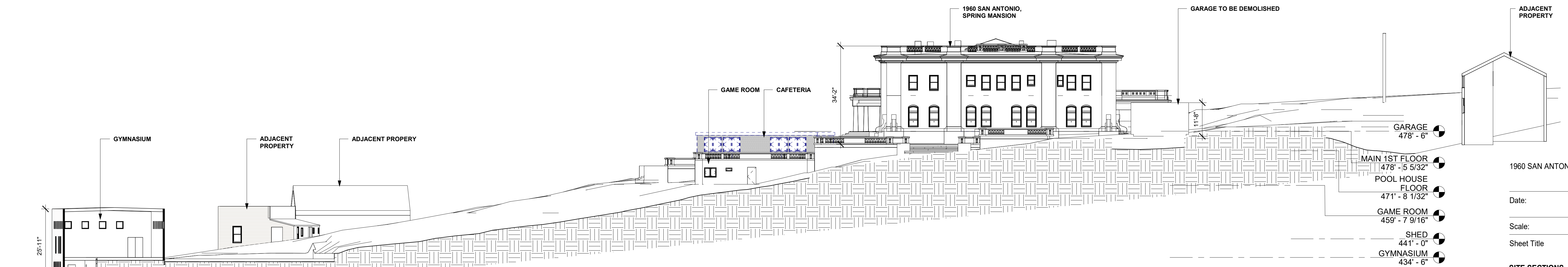
RESIDENCE

1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707

APN: 62-2916-60-4



② SITE SECTION PROPOSED
1/16" = 1'-0"



① SITE SECTION EXISTING
1/16" = 1'-0"

8/18/2022
03/11/2022
Date

REVISION 1 COMMENTS
LANDMARK PRESERVATION COMMISSION
Description

1 A Rev

1960 SAN ANTONIO AVENUE

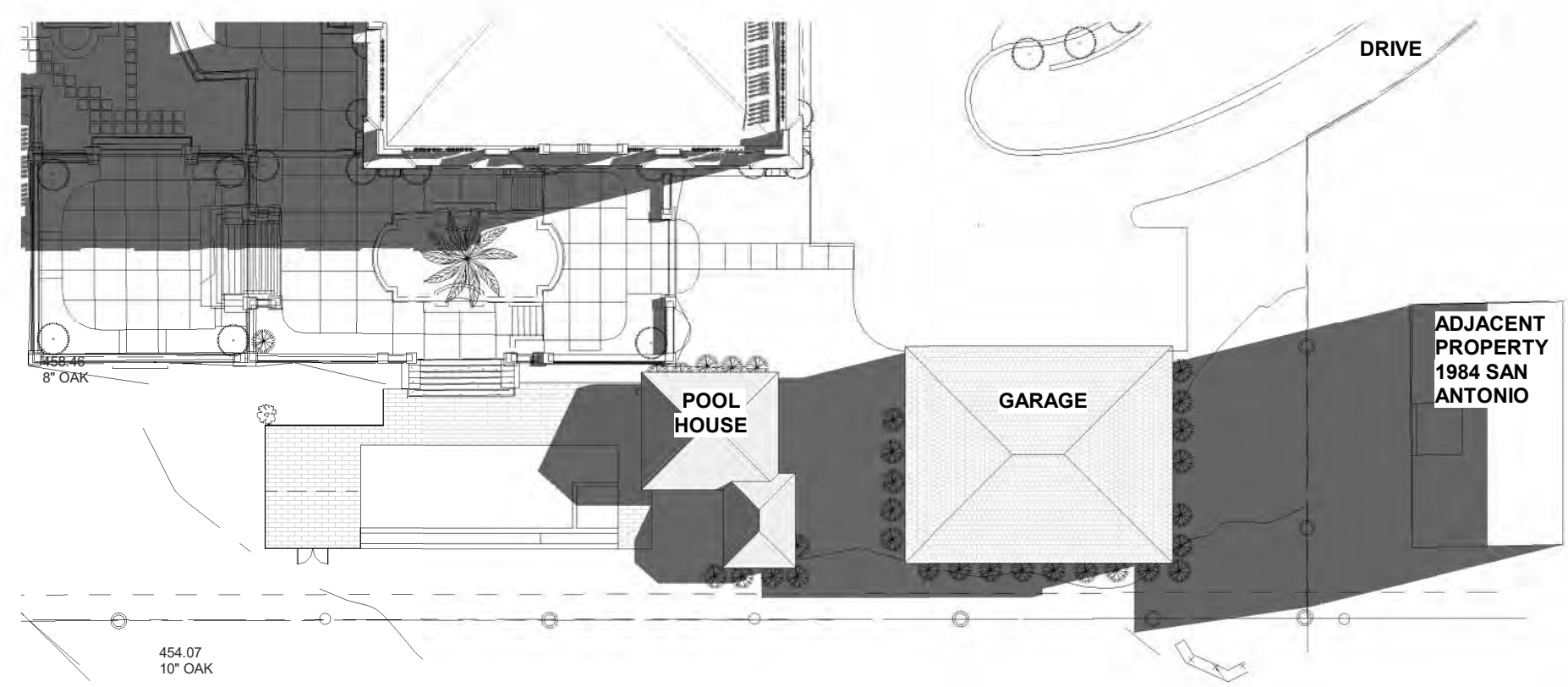
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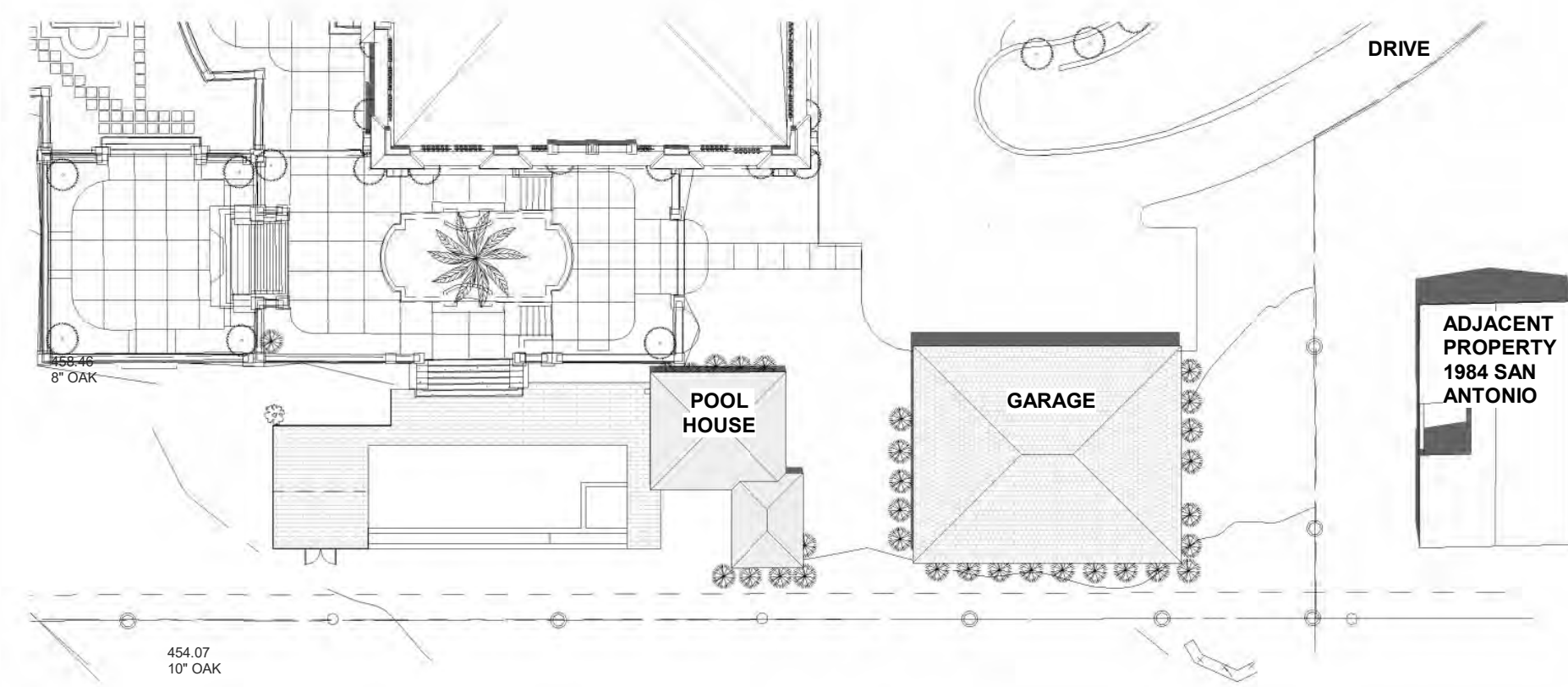
Sheet Title

SITE SECTIONS

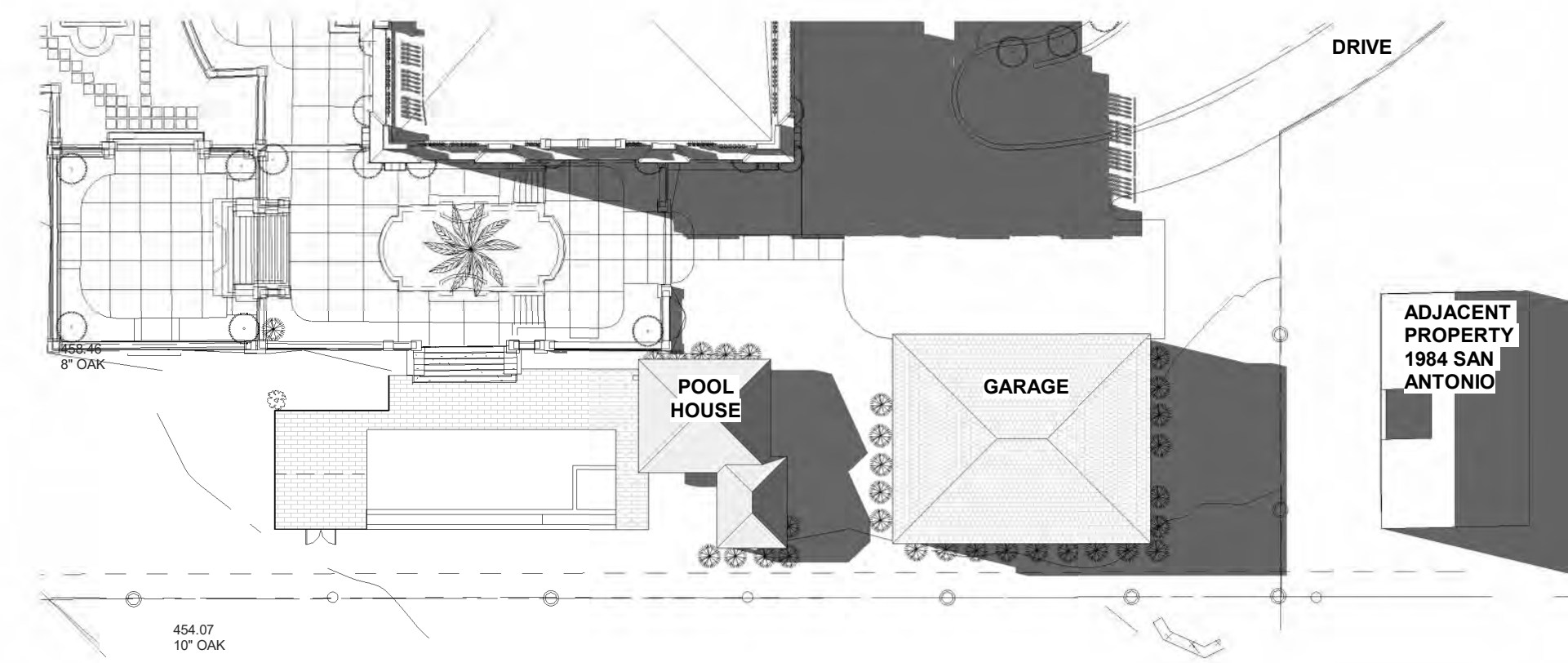
A302



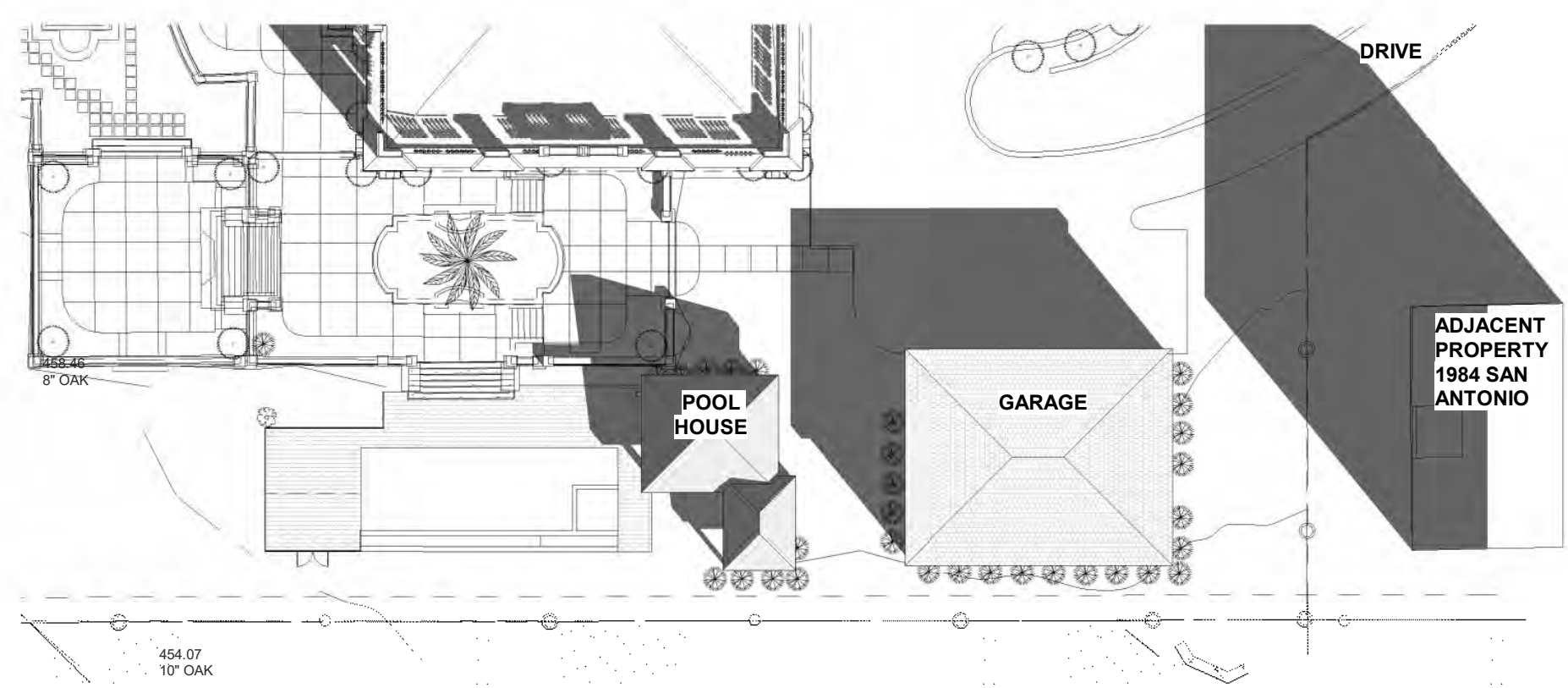
① SHADOW STUDY - SUMMER SOLSTICE - 2HRS AFTER SUNRISE
1" = 30'-0"



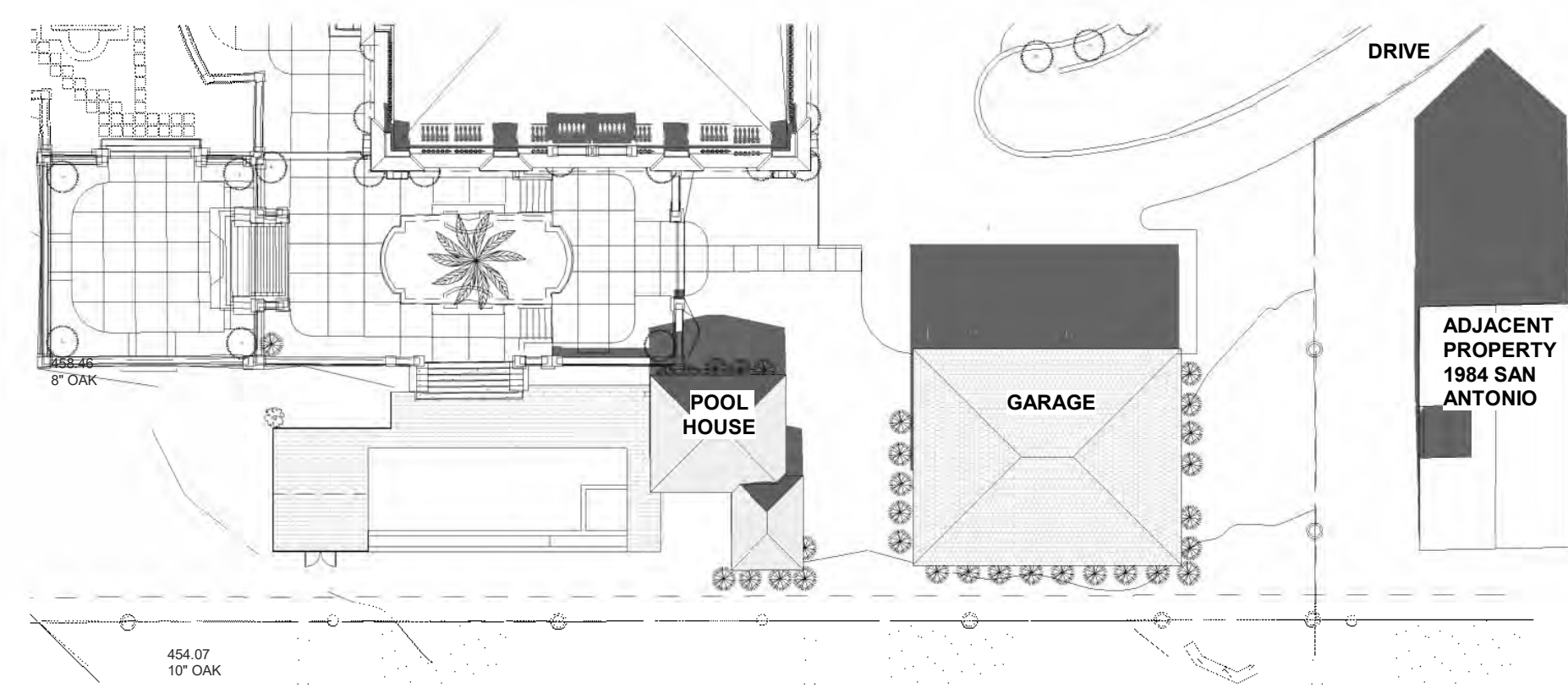
② SHADOW STUDY - SUMMER SOLSTICE - NOON
1" = 30'-0"



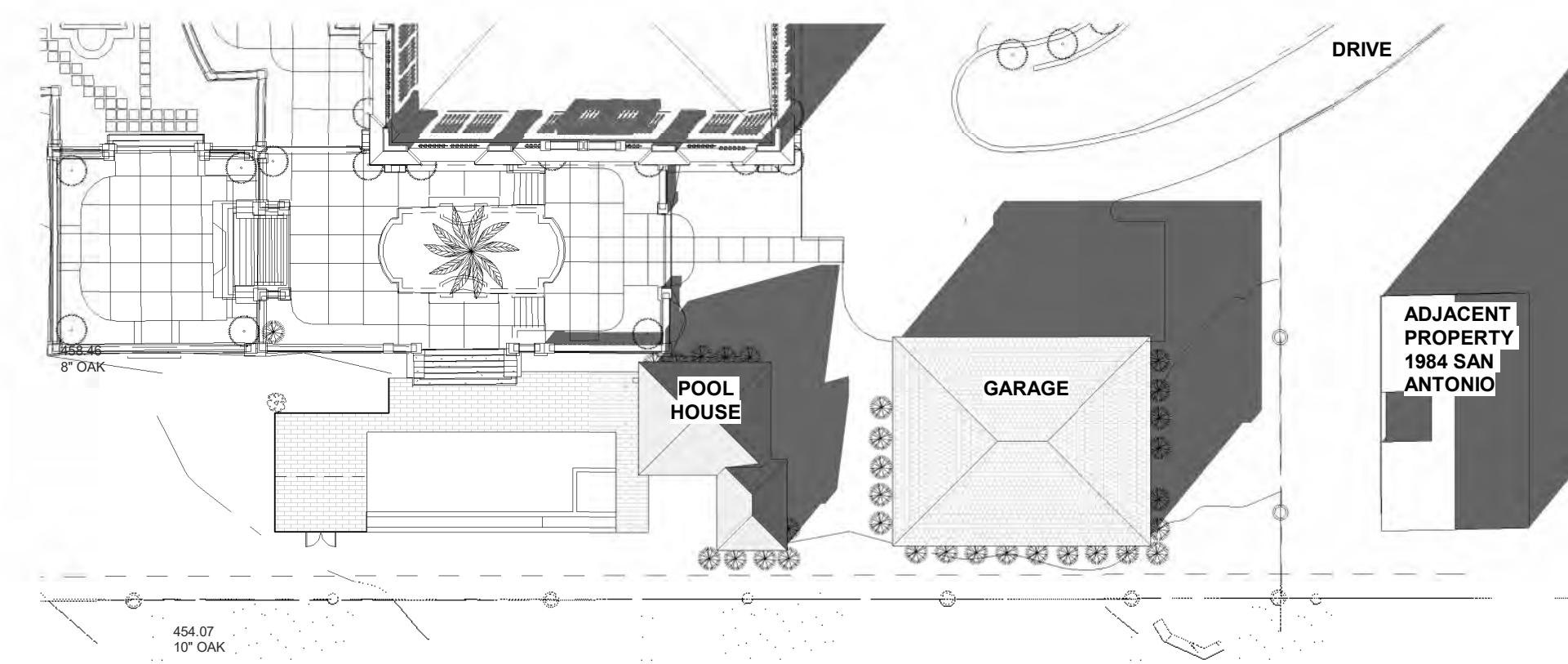
③ SHADOW STUDY - SUMMER SOLSTICE - 2HRS BEFORE SUNSET
1" = 30'-0"



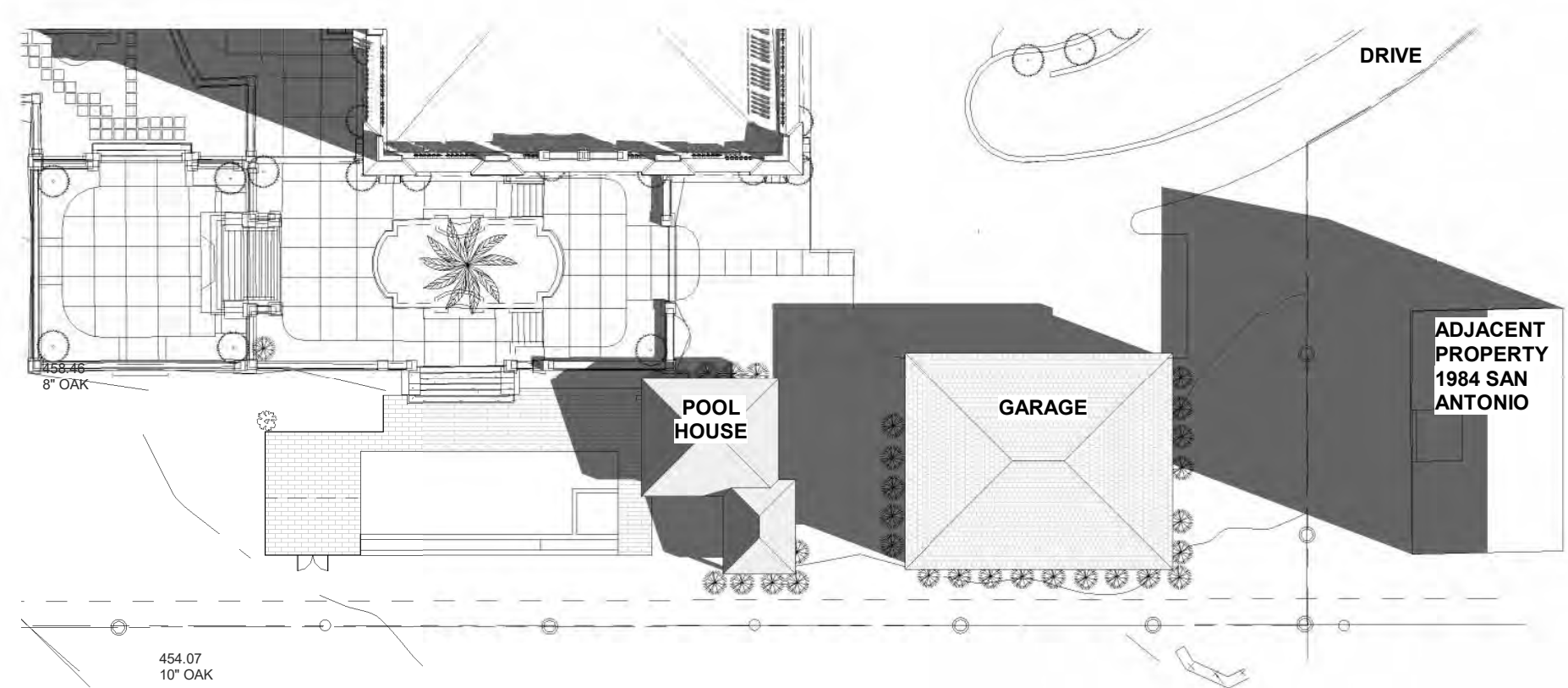
④ SHADOW STUDY - WINTER SOLSTICE - 2HRS AFTER SUNRISE
1" = 30'-0"



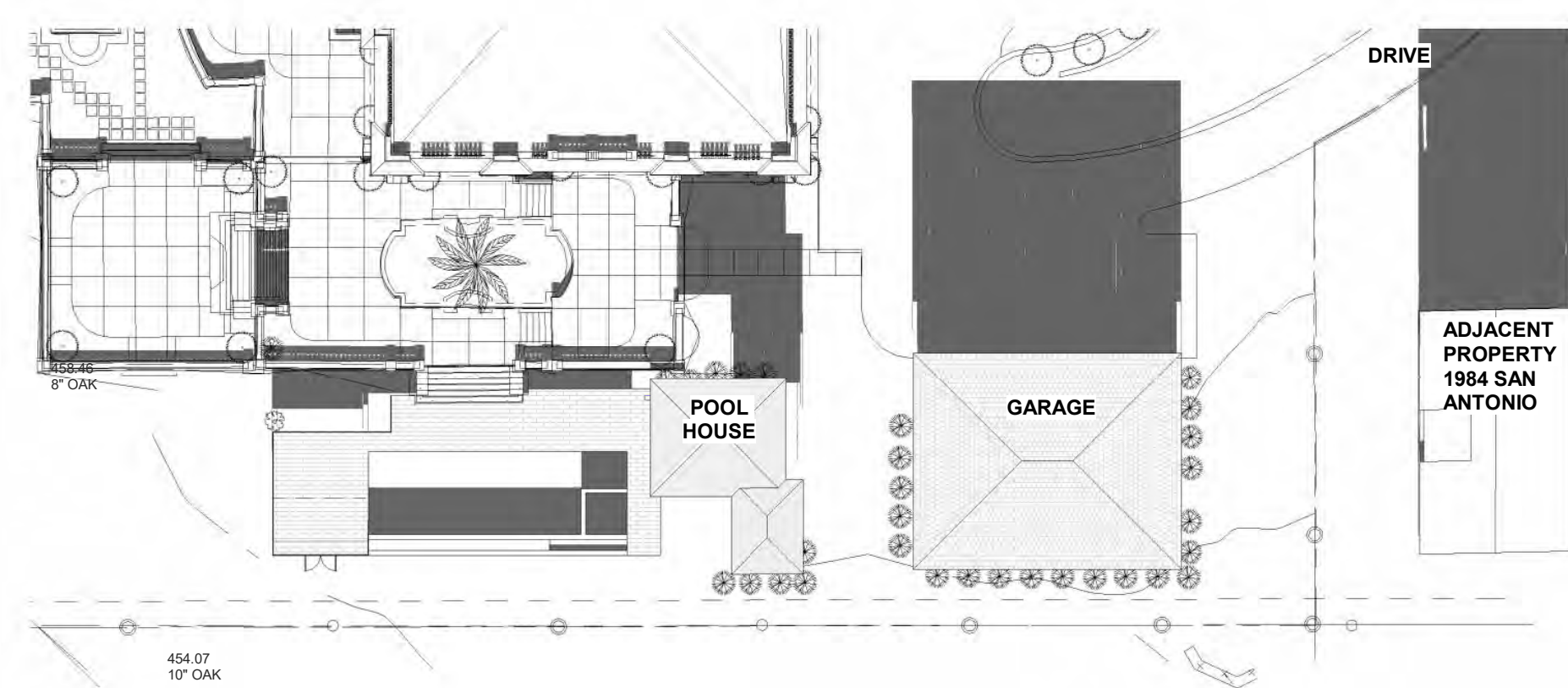
⑤ SHADOW STUDY - WINTER SOLSTICE - NOON
1" = 30'-0"



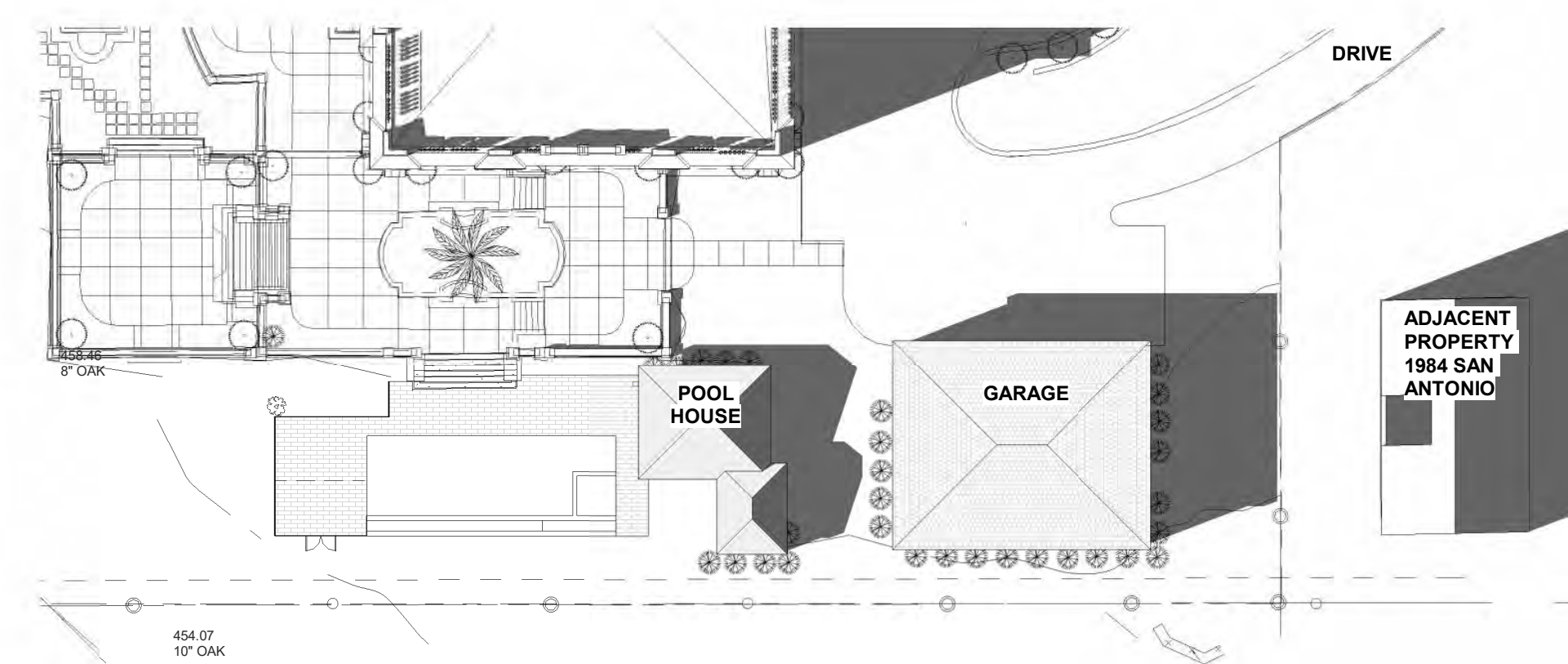
⑥ SHADOW STUDY - WINTER SOLSTICE - 2HRS BEFORE SUNSET
1" = 30'-0"



⑦ SHADOW STUDY - 9/26/2022 - 2HRS AFTER SUNRISE
1" = 30'-0"



⑧ SHADOW STUDY - 9/26/2022 - NOON
1" = 30'-0"



⑨ SHADOW STUDY - 9/26/2022 - 2HRS BEFORE SUNSET
1" = 30'-0"

EDIT San Francisco
www.editarch.com

DEVELOPED FOR

Jonathan Rachman Design

LICENSED ARCHITECT
JAMES W. SKELTON
C-33327
RENEW 11/30/2023
STATE OF CALIFORNIA

Jonathan Rachman

RESIDENCE
1960 SAN ANTONIO AVENUE &
645 ARLINGTON AVENUE
BERKELEY, CA 94707
APN: 62-2916-60-4

Rev	Description	Date
2	LANDMARK PRESERVATION COMMENTS	9/26/2022

1960 SAN ANTONIO AVENUE
Date: 11/18/2022
6:15:05 PM
Scale: 1" = 30'-0"
Sheet Title

SHADOW STUDY

A901



Planning and Development Department
Land Use Planning Division

December 19, 2022

Sent via email: Bahadour (Ben)
Zarrin ben@paymun.com

Ben Paymun
Paymun Building & Development
25 Orinda Way, Suite 200
Orinda, CA

Re: AUP #ZP2022-0070 and SAP #LMSAP2022-0005 for 1960 San Antonio
Avenue/645 Arlington Avenue

Dear Ben Paymun,

On June 1, 2022 you submitted an application for an Administrative Use Permit to add a new accessory building (pool house), a garage more than 24 feet in length with 10 parking spaces, and an unenclosed spa/hot tub, and a Structural Alteration Permit to demolish the detached garage, the auditorium building on top of the southwest terrace, and concrete walls, concrete steps, and the fountain near the San Antonio Avenue entrance; repair concrete walkways, retaining walls, railings, and balusters north, south, and west of the mansion; rehabilitate the room below the auditorium; modify the driveway area off of San Antonio Avenue; and add a pool, pool house, and new garage. Based on my review, the following permits are needed for your project:

1. Administrative Use Permit pursuant to Berkeley Municipal Code Section 23.304.060(C)(1) to add an accessory building (pool house).
2. Administrative Use Permit pursuant to BMC Section 23.304.060(C)(2) to add an accessory structure (garage) more than 24 feet in length (parallel to side lot line).
3. Administrative Use Permit pursuant to BMC Section 23.304.070(D) to add an unenclosed spa/hot tub.

I have reviewed your November 19, 2022 resubmittal materials and have determined that your application is incomplete and the following items are needed to complete our review of your application:

1. **Rehabilitation Plan for gym, faculty house, and overgrown vegetation: The condition of the property does not comply with BMC Section [3.24.290](#), *good repair and maintenance required*. Please update the plans and applicant statement to describe the rehabilitation plan for the gym, faculty house, and overgrown vegetation. Staff cannot make a favorable recommendation to the LPC without a plan for the Arlington portion of the property.**
2. **Renderings: Please provide renderings for the pool house and garage to provide more details on the proposed design.**
3. **Material Boards:**
 - The revised material board for the garage is much smaller than the revised material board for the pool house. **Please provide a larger material board for the garage.**
 - The material board for the outdoor features at the main house shows a material change at the landing outside of the west entrance, from concrete to marble tiles, but that material change is not discussed in the plan set, applicant statement, or Secretary of the Interior's Standards for Rehabilitation Analysis. **If you are proposing to add marble tiles, please**

note that change in the plans, applicant statement, and Secretary of the Interior's Standards for Rehabilitation Analysis.

4. **Tabulation Form:** Please explain what changes were made to the Tabulation Form in a response letter.
5. **Pre-Application Neighbor Outreach:** Provide evidence that neighbors have been contacted and have seen the plans (page 4 of the [Zoning Project Submittal Requirements](#)). Per the [instructions](#), signatures must be placed within a table on a copy of the site plan. If a neighbor is not available please send a copy of the plans to the neighbor via certified mail, and provide a scanned copy of the certified mail receipts. Signatures or certified mail receipts are missing for the following addresses: 1986 San Antonio Ave/ San Luis Ct Home Association, 1984 San Antonio Ave, 632 San Luis Rd, 626 San Luis Rd, 1965 San Antonio, 1959 San Antonio, 1950 San Antonio, 629 Arlington Ave, 640 Arlington Ave, 642 Arlington Ave, 652 Arlington Ave, 656 Arlington Ave, 660 Arlington Ave, 664 Arlington Ave.
6. **Gross Floor Areas:** Please explain why the footprint of the game room is decreasing.
7. **Site Plan:** Since this is a through lot, please dimension the required front setbacks. On a through lot, the front setback for an accessory building or structure is 25 percent of the lot depth (Table 23.304-7). Draw a straight line connecting the end points of the two frontages (since they are curved/irregular). Find the midpoint of that line (extend to the lot line if it's not on the line). Connect the midpoints of the frontages with a straight line to get the depth of the lot. Additional AUPs may apply based on the location of the proposed garage and pool house (BMC Section 23.304.060(C)(2)(a)). Dimension the lot depth and the front setbacks. **The midpoint on the Arlington frontage is too far north because Parcel 4 (639 Arlington) was included in the calculation. Please only include the subject parcel and recalculate the lot depth.**
8. **Pool Decking:** Show the section cut in the site plan.
9. **Elevations:** The labels for the pool house elevations are incorrect (sheet A204), and don't match the elevations that include the other buildings (such as A201).
10. **Arborist Report:** The City's consulting arborist disagrees with the conclusions of Ricardo Terrazas. The Tree Protection Zone, root zone, and foundation details (including details on the pool deck) should be in the plans and in the arborist report. **A thorough assessment of the impact of the project on protected trees is needed. See page 2 of the [Tree Protection Instructions](#).**

Advisory Comments

Report Distribution. I have routed the various forms and reports to appropriate staff for review and comment:

- a. Stormwater Requirements Checklist, **please correct:** The form used is for smaller projects with less than 10,000 sq. ft impervious created or replaced. Use the attached form because you have more than 10,000 sq. ft. of impervious. You also need to treat the stormwater before it discharges into the city's storm drain. Typically flow through planters are used.

Please submit responses to all requested items at once, and not incrementally. **In your resubmittal, include a letter stating how you have addressed the incomplete items.** If you submit hardcopies of plans do not bring plans larger than 11x17 or 12x18.

1960 San Antonio Avenue
Incomplete Letter – Submittal #4

December 19, 2022
AUP #ZP2022-0070 and SAP #LMSAP2022-0005

Sincerely,

A handwritten signature in blue ink, appearing to read "Allison Riemer".

Allison Riemer, Associate Planner

Stormwater Requirements Checklist

I.B. Is the project a "C.3 Regulated Project" per MRP 2.0 Provision C.3.b? (continued)

	Yes	No	NA
I.B.2 In Item I.B.1, does the Total New Impervious Surface equal 10,000 sq.ft. or more? <i>If YES, skip to Item I.B.5 and check "Yes." If NO, continue to Item I.B.3.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I.B.3 Does the Item I.B.1 Total New Impervious Surface equal 5,000 sq.ft. or more, but less than 10,000 sq.ft.? <i>If YES, continue to Item I.B.4. If NO, skip to Item I.B.5 and check "No."</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I.B.4 Is the project a "Special Land Use Category" per Item I.A.10? For uncovered parking, check YES only if there is 5,000 sq.ft. or more uncovered parking. <i>If NO, go to Item I.B.5 and check "No." If YES, go to Item I.B.5 and check "Yes."</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I.B.5 Is the project a C.3 Regulated Project? <i>If YES, go to Item I.B.6; if NO, continue to Item I.C.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I.B.6 Does the total amount of Replaced impervious surface equal 50 percent or more of the Pre-Project Impervious Surface? <i>If YES, stormwater treatment requirements apply to the whole site; if NO, these requirements apply only to the impervious surface created and/or replaced.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I.B.7 Is the project installing a total of 3,000 sq.ft. or more (excluding private-use patios in single family homes, townhomes, or condominiums) of new pervious pavement systems? (Pervious pavement systems include pervious concrete, pervious asphalt, pervious pavers and grid pavers etc. and are described in the C3 Technical Guidance at www.cleanwaterprogram.org) If YES, stormwater treatment system inspection requirements (C.3.h) apply; (Municipal staff – add this site to your list of sites needing a final inspection at the end of construction and on-going O&M inspections.) If NO, inspection requirements only apply if there are other treatment systems installed on the project.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

I.C. Projects that are NOT C.3 Regulated Projects

If you answered NO to Item I.B.5, or the project creates/replaces less than 5,000 sq. ft. of impervious surface, then the project is NOT a C.3 Regulated Project, and stormwater treatment is not required, BUT the municipality may determine that source controls and site design measures are required. Skip to Section II.

I.D. Projects that ARE C.3 Regulated Projects

If you answered YES to Item I.B.5, then the project is a C.3 Regulated Project. The project must include appropriate site design measures and source controls AND hydraulically-sized stormwater treatment measures. Hydromodification management may also be required; refer to Section II to make this determination. If final discretionary approval was granted on or after **DECEMBER 1, 2011**, Low Impact Development (LID) requirements apply, except for "Special Projects." See Section II.

I.E. Identify C.6 Construction-Phase Stormwater Requirements

	Yes	No
I.E.1 Does the project disturb 1.0 acre (43,560 sq.ft.) or more of land? (See Item I.A.14). <i>If Yes, obtain coverage under the state's Construction General Permit at https://smarts.waterboards.ca.gov/smarts/faces/SwSmartsLogin.jsp. Submit to the municipality a copy of your Notice of Intent and Storm Water Pollution Prevention Plan (SWPPP) before a grading or building permit is issued.</i>	<input type="checkbox"/>	<input type="checkbox"/>
I.E.2 Is the site a "High Priority Site" that disturbs less than 1.0 acre (43,560 sq.ft.) of land? (Municipal staff will make the final determination.) "High Priority Sites" are sites having any of the following criteria: <ul style="list-style-type: none"> ▪ that require a grading permit, ▪ are adjacent to a creek, ▪ or are otherwise high priority for stormwater protection during construction (see MRP 2.0 Provision C.6.e.ii.(2)(c)) 	<input type="checkbox"/>	<input type="checkbox"/>
I.E.3 Is the site a "Hillside Site" that disturbs 5,000 sq.ft. or more, but less than 1.0 acre (43,560 sq.ft.) of land? (Municipal staff will make the final determination.) <ul style="list-style-type: none"> ▪ "Hillside Sites" are located on hillsides, as indicated on a jurisdictional map of hillside development areas or as indicated by meeting jurisdictional hillside development criteria. ▪ If no map or criteria exist, then Hillside Sites are sites with a slope of 15% or more (see I.A.13 above and MRP 2.0 Provision C.6.e.ii.(2)(b)). 	<input type="checkbox"/>	<input type="checkbox"/>

➤ NOTE TO APPLICANT: All projects require appropriate stormwater best management practices (BMPs) during construction. Refer to the Section II to identify appropriate construction BMPs.

➤ NOTE TO MUNICIPAL STAFF: If the answer is "Yes" to I.E.1, I.E.2, OR I.E.3, refer this project to construction site inspection staff to be added to their list of projects that require stormwater inspections at least monthly during the wet season (October 1 through April 30) and other times of the year as appropriate.

II. Implementation of Stormwater Requirements

II.A. Complete the appropriate sections for the project. For non-C.3 Regulated Projects, Sections II.B, II.C, and II.D apply. For C.3 Regulated Projects, all sections of Section II apply.

II.B. Select Appropriate Site Design Measures

- *Required for C.3 Regulated Projects.*
- *Starting December 1, 2012, projects that create and/or replace 2,500 - 10,000 sq.ft. of impervious surface, and stand-alone single family homes that create/replace 2,500 sq.ft. or more of impervious surface, must include one of Site Design Measures a through f.⁸*
- *All other projects are encouraged to implement site design measures, which may be required at municipality discretion.*
- *Consult with municipal staff about requirements for your project.*

II.B.1 Is the site design measure included in the project plans?

Yes	No	Plan Sheet No.
<input type="checkbox"/>	<input type="checkbox"/>	a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
<input type="checkbox"/>	<input type="checkbox"/>	b. Direct roof runoff onto vegetated areas.
<input type="checkbox"/>	<input type="checkbox"/>	c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
<input type="checkbox"/>	<input type="checkbox"/>	d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
<input type="checkbox"/>	<input type="checkbox"/>	e. Construct sidewalks, walkways, and/or patios with pervious surfaces. Use the specifications in the C3 Technical Guidance (Version 4.1) or for small projects see the BASMAA Pervious Paving Factsheet. For these documents and others go to www.cleanwaterprogram.org and click on "Resources."
<input type="checkbox"/>	<input type="checkbox"/>	f. Construct bike lanes, driveways, and/or uncovered parking lots with pervious surfaces. Use the specifications in the C3 Technical Guidance (Version 4.1) or for small projects see the BASMAA Pervious Paving Factsheet. For these documents and others go to the program website at: www.cleanwaterprogram.org and click on "Resources."
<input type="checkbox"/>	<input type="checkbox"/>	g. Minimize land disturbance and impervious surface (especially parking lots).
<input type="checkbox"/>	<input type="checkbox"/>	h. Maximize permeability by clustering development and preserving open space.
<input type="checkbox"/>	<input type="checkbox"/>	i. Use micro-detention, including distributed landscape-based detention.
<input type="checkbox"/>	<input type="checkbox"/>	j. Protect sensitive areas, including wetland and riparian areas, and minimize changes to the natural topography.
<input type="checkbox"/>	<input type="checkbox"/>	k. Self-treating area (see Section 4.1 of the C.3 Technical Guidance)
<input type="checkbox"/>	<input type="checkbox"/>	l. Self-retaining area (see Section 4.2 of the C.3 Technical Guidance)
<input type="checkbox"/>	<input type="checkbox"/>	m. Plant or preserve interceptor trees (Section 4.5, C.3 Technical Guidance)

⁸ See MRP Provision C.3.a.i(6) for non-C.3 Regulated Projects, C.3.c.i(2)(a) for Regulated Projects, C.3.i for projects that create/replace 2,500 to 10,000 sq.ft. of impervious surface and stand-alone single family homes that create/replace 2,500 sq.ft. or more of impervious surface.

Stormwater Requirements Checklist

II.C. Select appropriate source controls (Applies to C.3 Regulated Projects; encouraged for other projects. Consult municipal staff.⁹)

Are these features in project?		Features that require source control measures	Source control measures (Refer to Local Source Control List for detailed requirements)	Is source control measure included in project plans?		
Yes	No			Yes	No	Plan Sheet No.
<input type="checkbox"/>	<input type="checkbox"/>	Storm Drain	Mark on-site inlets with the words "No Dumping! Flows to Bay" or equivalent.	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Floor Drains	Plumb interior floor drains to sanitary sewer ¹⁰ [or prohibit].	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Parking garage	Plumb interior parking garage floor drains to sanitary sewer. ⁹	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Landscaping	<ul style="list-style-type: none"> ▪ Retain existing vegetation as practicable. ▪ Select diverse species appropriate to the site. Include plants that are pest- and/or disease-resistant, drought-tolerant, and/or attract beneficial insects. ▪ Minimize use of pesticides and quick-release fertilizers. ▪ Use efficient irrigation system; design to minimize runoff. 	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Pool/Spa/Fountain	Provide connection to the sanitary sewer to facilitate draining. ⁹	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Food Service Equipment (non-residential)	Provide sink or other area for equipment cleaning, which is: <ul style="list-style-type: none"> ▪ Connected to a grease interceptor prior to sanitary sewer discharge.⁹ ▪ Large enough for the largest mat or piece of equipment to be cleaned. ▪ Indoors or in an outdoor roofed area designed to prevent stormwater run-on and run-off, and signed to require equipment washing in this area. 	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Refuse Areas	<ul style="list-style-type: none"> ▪ Provide a roofed and enclosed area for dumpsters, recycling containers, etc., designed to prevent stormwater run-on and runoff. ▪ Connect any drains in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities to the sanitary sewer.⁹ 	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Outdoor Process Activities ¹¹	Perform process activities either indoors or in roofed outdoor area, designed to prevent stormwater run-on and runoff, and to drain to the sanitary sewer. ⁹	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Outdoor Equipment/Materials Storage	<ul style="list-style-type: none"> ▪ Cover the area or design to avoid pollutant contact with stormwater runoff. ▪ Locate area only on paved and contained areas. ▪ Roof storage areas that will contain non-hazardous liquids, drain to sanitary sewer⁹, and contain by berms or similar. 	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Vehicle/Equipment Cleaning	<ul style="list-style-type: none"> ▪ Roofed, pave and berm wash area to prevent stormwater run-on and runoff, plumb to the sanitary sewer⁹, and sign as a designated wash area. ▪ Commercial car wash facilities shall discharge to the sanitary sewer.⁹ 	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Vehicle/Equipment Repair and Maintenance	<ul style="list-style-type: none"> ▪ Designate repair/maintenance area indoors, or an outdoors area designed to prevent stormwater run-on and runoff and provide secondary containment. Do not install drains in the secondary containment areas. ▪ No floor drains unless pretreated prior to discharge to the sanitary sewer.⁹ ▪ Connect containers or sinks used for parts cleaning to the sanitary sewer.⁹ 	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Fuel Dispensing Areas	<ul style="list-style-type: none"> ▪ Fueling areas shall have impermeable surface that is a) minimally graded to prevent ponding and b) separated from the rest of the site by a grade break. ▪ Canopy shall extend at least 10 ft in each direction from each pump and drain away from fueling area. 	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Loading Docks	<ul style="list-style-type: none"> ▪ Cover and/or grade to minimize run-on to and runoff from the loading area. ▪ Position downspouts to direct stormwater away from the loading area. ▪ Drain water from loading dock areas to the sanitary sewer.⁹ ▪ Install door skirts between the trailers and the building. 	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Fire Sprinklers	Design for discharge of fire sprinkler test water to landscape or sanitary sewer. ⁹	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Miscellaneous Drain or Wash Water	<ul style="list-style-type: none"> ▪ Drain condensate of air conditioning units to landscaping. Large air conditioning units may connect to the sanitary sewer.⁹ ▪ Roof drains shall drain to unpaved area where practicable. ▪ Drain boiler drain lines, roof top equipment, all washwater to sanitary sewer⁹. 	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Architectural Copper	Discharge rinse water to sanitary sewer ⁹ , or collect and dispose properly offsite. See flyer "Requirements for Architectural Copper."	<input type="checkbox"/>	<input type="checkbox"/>	

⁹ See MRP Provision C.3.a.i(7) for non-C.3 Regulated Projects and Provision C.3.c.i(1) for C.3 Regulated Projects.¹⁰ Any connection to the sanitary sewer system is subject to sanitary district approval.¹¹ Businesses that may have outdoor process activities/equipment include machine shops, auto repair, industries with pretreatment facilities.

Stormwater Requirements Checklist

II.D. Implement Construction Best Management Practices (BMPs) (Applies to all projects – see Provision C.6 for more details.)

Yes	No	Best Management Practice (BMP)
<input type="checkbox"/>	<input type="checkbox"/>	Attach the municipality's construction BMP plan sheet to project plans and require contractor to implement the applicable BMPs on the plan sheet.
<input type="checkbox"/>	<input type="checkbox"/>	Temporary erosion controls to stabilize all denuded areas until permanent erosion controls are established.
<input type="checkbox"/>	<input type="checkbox"/>	Delineate with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
<input type="checkbox"/>	<input type="checkbox"/>	Provide notes, specifications, or attachments describing the following: <ul style="list-style-type: none"> ▪ Construction, operation and maintenance of erosion and sediment controls, include inspection frequency; ▪ Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material; ▪ Specifications for vegetative cover & mulch, include methods and schedules for planting and fertilization; ▪ Provisions for temporary and/or permanent irrigation.
<input type="checkbox"/>	<input type="checkbox"/>	Perform clearing and earth moving activities only during dry weather.
<input type="checkbox"/>	<input type="checkbox"/>	Use sediment controls or filtration to remove sediment when dewatering and obtain all necessary permits.
<input type="checkbox"/>	<input type="checkbox"/>	Protect all storm drain inlets in vicinity of site using sediment controls such as berms, fiber rolls, or filters.
<input type="checkbox"/>	<input type="checkbox"/>	Trap sediment on-site, using BMPs such as sediment basins or traps, earthen dikes or berms, silt fences, check dams, soil blankets or mats, covers for soil stock piles, etc.
<input type="checkbox"/>	<input type="checkbox"/>	Divert on-site runoff around exposed areas; divert off-site runoff around the site (e.g., swales and dikes).
<input type="checkbox"/>	<input type="checkbox"/>	Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
<input type="checkbox"/>	<input type="checkbox"/>	Limit construction access routes and stabilize designated access points.
<input type="checkbox"/>	<input type="checkbox"/>	No cleaning, fueling, or maintaining vehicles on-site, except in a designated area where washwater is contained and treated.
<input type="checkbox"/>	<input type="checkbox"/>	Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater.
<input type="checkbox"/>	<input type="checkbox"/>	Contractor shall train and provide instruction to all employees/subcontractors re: construction BMPs.
<input type="checkbox"/>	<input type="checkbox"/>	Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, washwater or sediments, rinse water from architectural copper, and non-stormwater discharges to storm drains and watercourses.

PROJECTS THAT ARE NOT C.3 REGULATED PROJECTS STOP HERE!

II.E. Biotreatment, Infiltration and Rain Water Harvesting and Use.

MRP 2.0 no longer requires that a feasibility analysis of infiltration and rainwater harvesting be conducted. However, applicants using biotreatment are encouraged to maximize infiltration of stormwater if site conditions allow. If feasible and desired, infiltration and rainwater harvesting may be cost effective solutions depending on the project.

II.F. Stormwater Treatment Measures (Applies to C.3 Regulated Projects)

II.F.1 Check the applicable box and indicate the treatment measures to be included in the project.

Yes	No											
<input type="checkbox"/>	<input type="checkbox"/>	Is the project a Special Project? (See Appendix K of the C.3 Technical Guidance for criteria.) If Yes, complete the Special Projects Worksheet (go to the program website at: www.cleanwaterprogram.org and click on "Resources") and consult with municipal staff about the need to prepare a discussion of the feasibility and infeasibility of 100% LID treatment. Indicate the type of non-LID treatment to be used, the hydraulic sizing method*, and percentage of the amount of runoff specified in Provision C.3.d that is treated: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;"><u>Non-LID Treatment</u></td> <td style="width: 33%;"><u>Hydraulic sizing method*</u></td> <td style="width: 33%;"><u>% of C.3.d amount of runoff treated</u></td> </tr> <tr> <td><input type="checkbox"/> Media filter</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Tree well filter</td> <td></td> <td></td> </tr> </table>	<u>Non-LID Treatment</u>	<u>Hydraulic sizing method*</u>	<u>% of C.3.d amount of runoff treated</u>	<input type="checkbox"/> Media filter			<input type="checkbox"/> Tree well filter			
<u>Non-LID Treatment</u>	<u>Hydraulic sizing method*</u>	<u>% of C.3.d amount of runoff treated</u>										
<input type="checkbox"/> Media filter												
<input type="checkbox"/> Tree well filter												
<input type="checkbox"/>	<input type="checkbox"/>	Is the project using biotreatment to treat the C.3.d amount of runoff? For more information on infiltration and rainwater harvesting and use of stormwater, refer to the C3 Technical Guidance downloadable at the program website: www.cleanwaterprogram.org If Yes, indicate the biotreatment measures to be used, and the hydraulic sizing method: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;"><u>Biotreatment Measures</u></td> <td style="width: 40%;"><u>Hydraulic sizing method*</u></td> </tr> <tr> <td><input type="checkbox"/> Bioretention area</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Flow-through planter</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Other (specify):</td> <td></td> </tr> </table>	<u>Biotreatment Measures</u>	<u>Hydraulic sizing method*</u>	<input type="checkbox"/> Bioretention area		<input type="checkbox"/> Flow-through planter		<input type="checkbox"/> Other (specify):			
<u>Biotreatment Measures</u>	<u>Hydraulic sizing method*</u>											
<input type="checkbox"/> Bioretention area												
<input type="checkbox"/> Flow-through planter												
<input type="checkbox"/> Other (specify):												
<input type="checkbox"/>	<input type="checkbox"/>	Is the project using infiltration or rainwater harvesting/use? For more information on infiltration and rainwater harvesting and use of stormwater, refer to the C3 Technical Guidance downloadable at the program website: www.cleanwaterprogram.org If Yes, indicate the measures to be used, and hydraulic sizing method: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;"><u>LID Treatment Measure (non-biotreatment)</u></td> <td style="width: 40%;"><u>Hydraulic sizing method*</u></td> </tr> <tr> <td><input type="checkbox"/> Rainwater harvesting and use</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Bioinfiltration¹²</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Infiltration trench</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Other (specify): _____</td> <td></td> </tr> </table>	<u>LID Treatment Measure (non-biotreatment)</u>	<u>Hydraulic sizing method*</u>	<input type="checkbox"/> Rainwater harvesting and use		<input type="checkbox"/> Bioinfiltration ¹²		<input type="checkbox"/> Infiltration trench		<input type="checkbox"/> Other (specify): _____	
<u>LID Treatment Measure (non-biotreatment)</u>	<u>Hydraulic sizing method*</u>											
<input type="checkbox"/> Rainwater harvesting and use												
<input type="checkbox"/> Bioinfiltration ¹²												
<input type="checkbox"/> Infiltration trench												
<input type="checkbox"/> Other (specify): _____												

***Hydraulic Sizing Method:** Indicate which of the following Provision C.3.d.i hydraulic sizing methods were used:

1. Volume based approaches – Refer to Provision C.3.d.i.(1):
 - 1(a) Urban Runoff Quality Management approach, or
 - 1(b) 80% capture approach (recommended volume-based approach).
2. Flow-based approaches – Refer to Provision C.3.d.i.(2):
 - 2(a) 10% of 50-year peak flow approach,
 - 2(b) Percentile rainfall intensity approach, or
 - 2(c) 0.2-Inch-per-hour intensity approach (this is recommended flow-based approach AND the basis for the 4% rule of thumb described in Section 5.1 of the C.3 Technical Guidance).
3. Combination hydraulic sizing approach -- Refer to Provision C.3.d.i.(3):
 If a combination flow and volume design basis was used, indicate which flow-based and volume-based criteria were used.

¹² See Section 6.1 of the C.3 Technical Guidance for conditions in which bioretention areas provide bioinfiltration.

Stormwater Requirements Checklist

II.G. Is the project a Hydromodification Management¹³ (HM) Project? (Complete this section for C.3 Regulated Projects)

- II.G.1 Does the project create and/or replace 1 acre (43,560 sq. ft.) or more of impervious surface? (Refer to Item I.B.1.)
- Yes. *Continue to Item II.G.2.*
- No. *The project is NOT required to incorporate HM measures. Skip to Item II.G.6 and check "No."*
- II.G.2 Is the total impervious area increased over the pre-project condition? (Refer to Item I.B.1.)
- Yes. *Continue to Item II.G.3.*
- No. *The project is NOT required to incorporate HM measures. Skip to Item II.G.6 and check "No."*
- II.G.3 Is the site located in a tidally influenced/depositional area, or in the extreme eastern portion of the county that is not subject to HM requirements? (See HMP Susceptibility Map in Appendix I of the C.3 Technical Guidance.)
- Yes. *Project is exempt from HM requirements. Attach map indicating project location. Skip to II.G.6 and check "No."*
- No. *Continue to II.G.4.*
- II.G.4 Is the site located in a high slope zone or special consideration watershed, as shown on the HMP Susceptibility Map?
- Yes. *Project is subject to HM requirements. Attach map indicating project location. Skip to II.G.6 and check "Yes."*
- No. *Continue to II.G.5.*
- II.G.5 For sites located in a white area on the HMP Susceptibility Map, has an engineer or qualified environmental professional determined that runoff from the project flows only through a hardened channel or enclosed pipe along its entire length before emptying into a waterway in the exempt area?
- Yes. *Project is exempt from HM requirements. Attach signed statement by qualified professional. Go to II.G.6 and check "No."*
- No. *Project is subject to HM requirements. Attach map indicating project location. Go to Item G.6 and check "Yes."*
- II.G.6 Is the project a Hydromodification Management Project?
- Yes. *The project is subject to HM requirements in Provision C.3.g of the Municipal Regional Stormwater Permit.*
- No. *The project is EXEMPT from HM requirements.*
- HM requirements are impracticable. (Attach documentation needed to comply with the impracticability provision in MRP Attachment B.)
- *If the project is subject to the HM requirements, incorporate in the project flow duration stormwater control measures designed such that post-project stormwater discharge rates and durations match pre-project discharge rates and durations. The Bay Area Hydrology Model (BAHM) has been developed to size flow duration controls. See www.bayareahydrologymodel.org. Guidance is provided in Chapter 7 of the C.3 Technical Guidance.*

II.H Stormwater Treatment Measure and/HM Control Owner or Operator's Information:

Name: _____

Address: _____

Phone: _____ Email: _____

- *Applicant must call for inspection and receive inspection within 45 days of installation of treatment measures and/or hydromodification management controls.*

Name of applicant completing the form: _____

Signature: _____ Date: _____

¹³ Hydromodification is the modification of a stream's hydrograph, caused in general by increases in flows and durations that result when land is developed (made more impervious). The effects of hydromodification include, but are not limited to, increased bed and bank erosion, loss of habitat, increased sediment transport and deposition, and increased flooding. Hydromodification management control measures are designed to reduce these effects.

III. For Completion By Municipal Staff

III.1 Alternative Certification: Was the treatment system sizing and design reviewed by a qualified third-party professional that is not a member of the project team or agency staff?

Yes No Name of Reviewer _____

III.2. Confirm Operations and Maintenance (O&M) Submittal:

The following questions apply to C.3 Regulated Projects and Hydromodification Management Projects.

	Yes	No	N/A
III.2.a Was maintenance plan submitted?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
III.2.b Was maintenance plan approved?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
III.2.c Was maintenance agreement submitted? (Date executed: _____)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

➤ Attach the executed maintenance agreement as an appendix to this checklist.

III.3 Incorporate HM Controls (if required)

Are the applicable items for HM compliance included in the plan submittal?

Yes	No	NA	Documentation for HM Compliance
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Site plans with pre- and post-project impervious surface areas, surface flow directions of entire site, locations of flow duration controls and site design measures per HM site design requirement
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Soils report or other site-specific document showing soil types at all parts of site
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If project uses the Bay Area Hydrology Model (BAHM), a list of model inputs.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If project uses custom modeling, a summary of the modeling calculations with corresponding graph showing curve matching (existing, post-project, and post-project with HM controls curves), goodness of fit, and (allowable) low flow rate.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If project uses the Impracticability Provision, a listing of all applicable costs and a brief description of the alternative HM project (name, location, date of start up, entity responsible for maintenance).
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If the project uses alternatives to the default BAHM approach or settings, a written description and rationale.

➤ Municipal staff: Refer to the "Flow Duration Control Review Worksheet for HM Submittals" to review the documentation submitted for HM compliance.

III.4 Annual Operations and Maintenance (O&M) Submittals:

For C.3 Regulated Projects and Hydromodification Management Projects, indicate the dates on which the Applicant submitted annual reports for project O&M: _____

III.5 Comments:

III.6 Notes:

Section I Notes: _____
 Section II Notes: _____
 Section III Notes: _____

III.7 Project Close-Out:

III.7.a Were final Conditions of Approval met?

Stormwater Requirements Checklist

- III.7.b Was initial inspection of the completed treatment/HM measure(s) conducted?
(Date of inspection: _____)
- III.7.c Was maintenance plan submitted?
(Date executed: _____)
- III.7.d Was project information provided to staff responsible for O&M verification inspections?
(Date provided to inspection staff: _____)

Name of staff confirming project is closed out: _____

Signature: _____ Date: _____

Name of O&M staff receiving information: _____

Signature: _____ Date: _____

Appendices

- Appendix A: O&M Agreement
- Appendix B: O&M Annual Report Form



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113


LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC HEARING

SUBJECT: 1960 San Antonio Avenue
#LMSAP2022-0005

WHEN: Thursday, March 2, 2023
Meeting starts at 7:00pm

WHERE: Frances Albrier Community Center
San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

«NAME1»
«NAME2»
«ADDRESS1» «ADDRESS2»

	<p>SUBJECT: 1960 San Antonio Avenue, Structural Alteration Permit (#LMSAP2022-0005) to restore the terrace, remove the non-historic building addition, and repair railings and walkways of the Spring Mansion; demolish the detached, non-historic garage and construct a new ten-car garage, and construct a new, detached pool house at a City Landmark residential property.</p> <p>CEQA status: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15331 ("Historic Resource Restoration/Rehabilitation") and Section 15303 ("New Construction") of the CEQA Guidelines.</p>
<p>NOTICE CONCERNING YOUR LEGAL RIGHTS: If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing or in written correspondence delivered to the Commission at, or prior to the public hearing.</p>	<p>All persons are welcome to attend the hearing and will be given an opportunity to address the Commission. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Commission may limit the time granted to each speaker.</p> <p>Send written comments to the Landmarks Preservation Commission Secretary, City of Berkeley Permit Service Center, 1947 Center Street, Berkeley, CA 94704, or e-mail to: LPC@CityofBerkeley.info or fax (510) 981-7420. To ensure inclusion in the packet, submit correspondence seven (7) days before the hearing. For any correspondence submitted less than seven days before the meeting, submit 11 copies which staff will deliver to the Commission at its meeting.</p> <p>Persons with disabilities may request accommodation (via agendas in large print or Braille, assistive listening devices or a sign language interpreter) by contacting the City Clerks Department at (510) 981-6900, or (510) 981-6903 (TTY).</p> <p>PLEASE NOTE: email addresses, names, street addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, it will become part of the public record, and will become accessible on the City Website.</p>
<p>Mail and Post Date: February 16, 2023</p>	<p>The agenda and project files for this meeting will be available online 3 days prior to this meeting at: http://www.cityofberkeley.info/landmarksreservationcommission</p>



Planning and Development Department
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San Pablo Park
2800 Park Street, Berkeley
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Berkeley Hills Progressive Neighbors
861 REGAL RD
BERKELEY CA 94708



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1947 Center Street, 2nd Floor
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San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

North East Berkeley Association
P.O. BOX 7477
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

Thousand Oaks Neighborhood Association
1811 SAN PEDRO AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

UCB Facilities Services
A&E Building, Room 300
Berkeley, CA 94720-1382



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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WHERE: Frances Albrier Community Center
San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

Bananas Inc.
5232 CLAREMONT AVE
OAKLAND CA 94618



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

Berkeley Central Library
2090 KITTREDGE ST
BERKELEY CA 94704



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

Adams Broadwell Joseph & Cardoza
601 GATEWAY BLVD. Su 1000
SO SAN FRANCISCO CA 94080



Planning and Development Department
Land Use Planning Division
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Berkeley, CA 94704-1113

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San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

COMPAGNO SALVATORE J TR
640 ARLINGTON AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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#LMSAP2022-0005

WHEN: Thursday, March 2, 2023
Meeting starts at 7:00pm

WHERE: Frances Albrier Community Center
San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

HELPUS INC
18 DEER OAKS DR
PLEASANTON CA 94588



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC HEARING

SUBJECT: 1960 San Antonio Avenue
#LMSAP2022-0005

WHEN: Thursday, March 2, 2023
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San Pablo Park
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Wheelchair accessible.

DAOUDI BEN M & LALIA A
637 ARLINGTON AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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MIKHAILOV ANTON & RENWICK KATE
1910 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
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Berkeley, CA 94704-1113

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READ HOWARD D TR
1934 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
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Berkeley, CA 94704-1113

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San Pablo Park
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DANIELS THEA L TR
1918 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
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ONEILL PAT
1939 SAN ANTONIO AVE
BERKELEY CA 94707



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OLIVIER PIERRE & DEMETZOLIVIER
LAURE M TRS
626 SAN LUIS RD
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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CHON JAECHOON & HONG YOUJEONG
627 ARLINGTON BLVD
BERKELEY CA 94707



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Berkeley, CA 94704-1113

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TANOV ERICA & EMERSON STEVEN
TRS
600 SAN LUIS RD
BERKELEY CA 94707



Planning and Development Department
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1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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KARIMI MEHDI
632 SAN LUIS RD
BERKELEY CA 94707



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BOAS CHRISTOPHER B & FERRARI
CLAIRE
1940 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
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JOHNSON JEFFREY R TR
406 S BOULDER AVE, 5-500
TULSA OK 74103



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
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JOHNSON JAMES
612 SAN LUIS RD
BERKELEY CA 94707



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DORNFELD BARBARA B & BENNETT
JOHN & SHERYL TRS
1965 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
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KURIYAN JOHN & CHANDRA DEVAKI
TRS
622 SAN LUIS RD
BERKELEY CA 94707



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DYM MIRIAM TR
1959 SAN ANTONIO AVE
BERKELEY CA 94707



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SHAKIBA JAMSHID & IVANKA F TRS
1933 SAN ANTONIO AVE
BERKELEY CA 94707



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BRADLEY BRENT I & AQUINO ANTONIO T
JR
1925 SAN ANTONIO AVE
BERKELEY CA 94707



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BOHN DAVIS V & DIANA L TRS
618 SAN LUIS RD
BERKELEY CA 94707



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MADANAT SAMER M & TOMAIRA RANA V
TRS
594 SAN LUIS RD
BERKELEY CA 94707



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SAN LUIS CT HOME ASSN
PO BOX 7193
BERKELEY CA 94707



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BROCK JO A TR
1951 SAN ANTONIO AVE
BERKELEY CA 94707



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FOUDA HASSAN & MARGARET TRS
608 SAN LUIS RD
BERKELEY CA 94707



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VANHUYSSSE JAMES & JANET TRS
1950 SAN ANTONIO AVE
BERKELEY CA 94707



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PROCEK BRETT & SOHEE TRS
615 ARLINGTON AVE
BERKELEY CA 94707



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COVE JOHN F JR & BALFOUR NATALIE A
TRS
621 ARLINGTON AVE
BERKELEY CA 94707



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GRAY THEA A & LAWRENCE R
629 ARLINGTON AVE
BERKELEY CA 94707



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FORSTER ROCHELLE
611 ARLINGTON
BERKELEY CA 94707



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WAGONER JOHN B & TURNER
MARGARET L TRS
1929 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
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Berkeley, CA 94704-1113

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MORRISON LARRY TRT
1922 SAN ANTONIO AVE
BERKELEY CA 94707



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San Pablo Park
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LEIBOWITZ STANLEY & MILLMAN
PAULA L TRS
1930 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
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OCCUPANTS
637 ARLINGTON AV
BERKELEY CA 94707



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645 ARLINGTON AV
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OCCUPANTS
621 ARLINGTON AV
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OCCUPANTS
614 ARLINGTON AV L
BERKELEY CA 94707



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OCCUPANTS
1950 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
1951 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
1925 SAN ANTONIO AV
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OCCUPANTS
1933 SAN ANTONIO AV
BERKELEY CA 94707



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1940 SAN ANTONIO AV
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OCCUPANTS
1944 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
1930 SAN ANTONIO AV
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SUBJECT: 1960 San Antonio Avenue
#LMSAP2022-0005

WHEN: Thursday, March 2, 2023
Meeting starts at 7:00pm

WHERE: Frances Albrier Community Center
San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

OCCUPANTS
1939 SAN ANTONIO AV
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC HEARING

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1910 SAN ANTONIO AV
BERKELEY CA 94707



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WHERE: Frances Albrier Community Center
San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

Abbas Mash
18 DEER OAKS DR
PLEASANTON CA 94588



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC HEARING

SUBJECT: 1960 San Antonio Avenue
#LMSAP2022-0005

WHEN: Thursday, March 2, 2023
Meeting starts at 7:00pm

WHERE: Frances Albrier Community Center
San Pablo Park
2800 Park Street, Berkeley
Wheelchair accessible.

Bahadour Zarrin, Paymun Building &
Development
25 Orinda Way, Suite 200
Orinda, CA 94563



Planning and Development Department
 Land Use Planning Division
 1947 Center Street, 2nd Floor
 Berkeley, CA 94704-1113

LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC MEETING

WHEN: March 2, 2023
 Meeting starts at 7:00 p.m.

WHERE: Frances Albrier Community Center, San Pablo Park
 2800 Park Street, Berkeley
Meeting is wheelchair accessible

SUBJECT: 1960 San Antonio Avenue
 Structural Alteration Permit (#LMSAP2022-0005) to restore the terrace, remove the non-historic building addition, and repair railings and walkways of the Spring Mansion; demolish the detached, non-historic garage and construct a new ten-car garage, and construct a new, detached pool house at a City Landmark residential property.

All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

Send written comments to:

Landmarks Preservation Commission Secretary
 City of Berkeley Land Use Planning Division
 1947 Center Street, 2nd Fl. / Berkeley, CA 94704
 or email to: LPC@CityofBerkeley.info.

To ensure inclusion in the packet, submit correspondence **seven (7)** days prior to the hearing. For any correspondence submitted less than seven days before the meeting, submit 11 copies which staff will deliver to the Commission at its meeting.

PLEASE NOTE: Email addresses, names, street addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, it will become part of the public record, and will become accessible on the City Website.

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services Specialist at 981-6418 (V) or 981-6347 (TDD) at least three business days before the meeting date.

NOTICE CONCERNING YOUR LEGAL RIGHTS:

If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing or in written correspondence delivered to the Commission at or prior to, the public hearing.

The agenda and project files for this meeting will be available online 3 days prior to this meeting at:
<https://berkeleyca.gov/your-government/boards-commissions/landmarks-preservation-commission>

Post Date: February 16, 2023



MEMORANDUM

Planning and Development Department

DATE: February 21, 2023

TO: Allison Riemer, Associate Planner

FROM: Darya Barar, Consulting Urban Forester

SUBJECT: 1960 San Antonio Avenue – Arborist report review

I discussed the application with the applicant and reviewed the full plan set dated November 18, 2022. Based on my conversation with the client and on my review of the plans, I recommend including the following comments on all landscape plans. In addition, tree locations and tree protection zones shall be included on all plans.

Based on my review of the plans, coast live oaks #5, 10, and 11 will have construction within the dripline (driplines shown in plans). These trees were in good condition. The distances shown on the plans indicate that the proposed deck will be 2 and 4 ft. from trees #10 and 11, respectively (**Table 1** below and **Figure 1**, next page). The plans indicate that the deck will be elevated over the tree roots. Without a deck detail plan, I cannot assess impacts to trees #10 and 11. Based on the information I have now, impacts to tree #11 could be severe and impacts to tree #10 could be moderate.

Before the project can be approved I will need to review the deck or foundation plan details and may recommend design changes if tree impacts will be severe.

Table 1. Calculated Tree Protection Zone and Estimated Distances to Proposed Development. 1960 San Antonio Avenue. Berkeley, CA

Tree #	Condition	Diameter (in.)	Multiplication factor	Calculated tree protection zone (ft.)	Approximate distance to building or edge of excavation
5	Good	15	8 X	10	4 ft. on east, and 8 ft. on north.
10	Good	14,11	8 X	10.5	4 ft. from pool.
11	Good	19,16	8 X	14.5	2 ft. from deck.

The following information should be included on every plan:

- Any root pruning required for construction purposes shall receive the prior approval of and be supervised by the Consulting Arborist. Roots should be cut with a saw to provide a flat and smooth cut. Removal of roots larger than 2 in. in diameter should be avoided.
- If roots 2 in. and greater in diameter are encountered during site work and must be cut to complete the construction, the Consulting Arborist must be consulted to evaluate effects on the health and stability of the tree and recommend treatment.

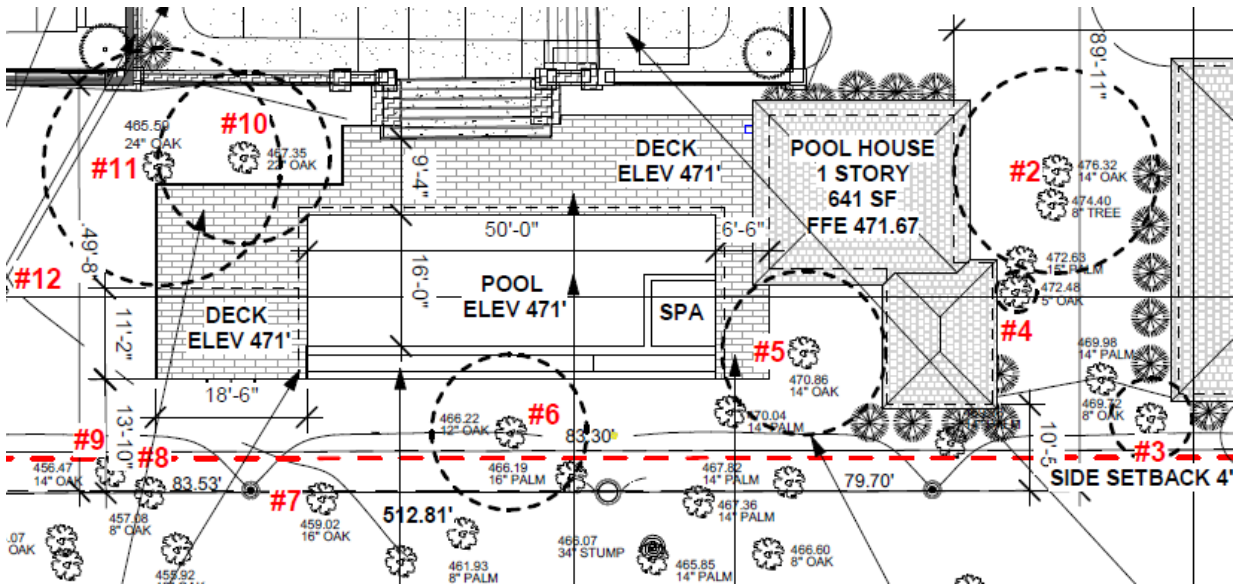


Figure 1. The black dotted lines are the **TREE PROTECTION ZONE**. Work in this area is prohibited.

3. Fence all trees to be retained to completely enclose the **TREE PROTECTION ZONE** prior to demolition, grubbing or grading. Fences shall be 6 ft. chain link with posts sunk into the ground or equivalent.
4. The tree **TREE PROTECTION ZONE** shown on all plans shall be fenced to enclose the entire area (Figure 1). No grading, excavation, construction or storage of materials shall occur within that zone. No underground services including utilities, sub-drains, water or sewer shall be placed in the **TREE PROTECTION ZONE**. No motorized equipment shall be used in the **TREE PROTECTION ZONE**. The limits of the **TREE PROTECTION ZONE** will be adjusted following review of grading and construction plans. For design purposes, the **TREE PROTECTION ZONE** shall be defined as the tree dripline.

From: [MARGARET FOU DA](#)
To: [Landmarks Preservation Commission](#)
Subject: 1960 San Antonio Ave. Berkeley CA
Date: Wednesday, February 22, 2023 2:21:51 PM

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

I wish to show my support to planned improvements to 1960 San Antonio Ave. I am a neighbor just above the property on San Luis Rd. and would be happy to see the property restored.

It is unfortunate that the previous owner was not allowed to create a few condominium units and sell some of the surrounding lots for housing was not allowed. With high demand for homes in Berkeley, this would have been an excellent location for multifamily housing on a very large parcel of land.

Margaret Fouda
608 San Luis Rd.
Berkeley CA 94707
510 703-5533
foudamc@yahoo.com

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING BUILDING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING WORK. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY REPORT TO THE DESIGNER-OF-RECORD FOR CLARIFICATION.
- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES AND REGULATION GOVERNING CONSTRUCTION, BUILDING ACCESS, AND THE USE OF FACILITIES AS SET BY FEDERAL, STATE, AND LOCAL CODES, AND BUILDING DEPARTMENT AGENCIES.
- IT IS THE PURPOSE OF THE DRAWINGS TO SHOW THE GENERAL APPRANGEMENT/LAYOUT OF WALLS WITHIN THE PROPOSED STRUCTURE. ELEMENTS OF WORK THAT ARE TO BE CONSTRUCTED ON A DESIGN-BUILD BASIS SHALL BE APPROVED BY THE CITY/COUNTY BEFORE START OF CONSTRUCTION.
- LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS; DETAILS TAKE PRECEDENCE OVER ALL. CONTRACTOR SHALL NOTIFY ENGINEER OF CONFLICTS IN WRITING PRIOR TO COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON.
- ALL DIMENTIONS ARE TAKEN FRIM FACE OF STUD OR CENTERLINE OF STUD AS SHOWN FOR NEW CONSTRUCTION UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TAKEN FROM FACE OF FINISH UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE PERFORMED IN AN APPROVED WORKMANLIKE MANNER.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE LIGHTING, HVAC OUTLETS, ALONG WITH THE CEILINGS AND SOFFITTS BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR SHALL COMPLY WITH CURRENT APPLICABLE LOCAL ORDINANCES FOR UTILITY SERVICES.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED FEES, PERMITS, AND INSPECTION ASSESSED BY ANY GOVERNMENTAL AGENCY OR UTILITY COMPANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILIES, WHERE ENCOUNTERED, MAKE ALL NECESSARY ARRANGEMENTS FOR SUPPORT, SHORE-UP, RE-ROUTE OR PROVIDE UTILITY DISCONNECTIONS AS REQUIRED BY APPLICABLE PUBLIC OR PRIVATE UTILITY COMPANIES.
- THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL TAKE CAUTION WHEN WORKING AROUND THE EXISTING UTILITIES AND UNDERGROUND LINES.
- AT ALL TIMES, THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR CONDITIONS OF THE SITE, INCLUDING THE SAFETY OF PERSONS AND PROPERTY; ALSO DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING DURING SHORING, TEMPORARY, ETC. ENGINEER'S JOB SITE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- THE CONTRACTOR SHALL WARRANT THAT ALL MATERIALS AND WORKMANSHIP ARE IN COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS. ANY AND ALL CHANGES MUST HAVE THE ENGINEER'S APPROVAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPARING AND COORDINATING ALL DRAWINGS FOR PROPER FIT AND ATTACHMENT OF ALL PARTS. DETAILS NOT SHOWN, NOR DETAILED ON DRAWINGS, NOR CALLED FOR IN THESE NOTES SHALL BE CONSTRUCTED TO THE SAME SIZE AND CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN, DETAILED, OR SPECIFIED.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER ALL NON ITEMS NOT SHOWN ON DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL SUBCONTRACTORS UNDER HIS HIRE, AND SHALL COORDINATE WITH ANY SUBCONTRACTORS UNDER SEPARATE HIRE BY OWNER TO MAINTAIN EFFICIENT WORKMANLIKE PROGRESS OF THE WORK. THE CONTRACTOR SHALL COORDINATE THE OMITTED, BLOCKED OUT OR RELOCATED WITHOUT PRIOR APPROVAL WITH ENGINEER.
- THE CONTRACTORS AND SUBCONTRACTORS OF EACH TRADE SHALL KEEP PREMISES CLEAN AT ALL TIME AND SHALL REMOVE ALL RUBBISH AS OFTEN AS REQUIRED (AT LEAST WEEKLY) FOR THE CONTRACTION AND FOR THE CONVENIENCE OF THE OWNER
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT THE ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT, OR DEBRIS ONTO PUBLIC OR ADJACENT PRIVATE PROPERTY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF ALL TEMPORARY AND SHORING TO SUSTAIN ALL CONSTRUCTION LOADS, SOIL PRRESSURE, LATERAL, AND ANY OTHER LOADS THAT THE STRUCTURE MAY BE SUBJECTED.
- ALL PARTITIONS SHALL BE BRACED TO ABOVE STUCTURE PER REQUIREMENTS OF LOCAL BUILDING CODE.
- THE PROPOSED BUILDING SHALL BE CONNECTED TO THE STREET SEWER. SEE CIVIL PLANS FOR PROPOSED SANITARY SEWER PIPING AND CLEANOUTS.
- A SEPARATE INSPECTION BY THE COUNTY BUILDING INSPECTOR IS REQUIRED TO DETERMINE THE DEPTH AND CLEANLINESS OF THE HOLES REQUIRED FOR EPOXY BOLTS BEFORE THEY ARE INSTALLED.

PROJECT DATA

ADDRESS:	1960 SAN ANTONIO AVENUE, BERKELEY CA 94707
APN:	62-2916-60-4
LOCAL JURISDICTION:	BERKELEY
OCCUPANCY CLASS:	R3
BASE ZONING:	R1-H
CONSTRUCTION TYPE:	VB NON SPRINKLERED

EXISTING PRIMARY BUILDING FOOTPRINT	6572	SQ.FT.
TOTAL BUILDING FOOTPRINT	12969	SQ.FT.
BUILDING HEIGHT	30	FT.
BUILDING STORIES	2	
TOTAL LOT AREA	120873	SQ.FT.
NUMBER OF BUILDINGS ON LOT (EXISTING)	5	
NUMBER OF BUILDINGS ON LOT (PROPOSED)	6	
NUMBER OF PARCELS ON LOT (EXCLUDES PARCEL 4, 639 ARLINGTON, SHOWN ON SURVEY)	3	
NUMBER OF PARKING SPACES (EXISTING)	2	
NUMBER OF PARKING SPACES (PROPOSED)	10	

EXISTING LOT COVERAGE

MAIN BUILDING	6540	SQ.FT.
COVERED PORCH 1	277	SQ.FT.
COVERED PORCH 2	519	SQ.FT.
GYM	2200	SQ.FT.
GAME ROOM/CAFETERIA	1868	SQ.FT.
GARAGE	443	SQ.FT.
SHED	235	SQ.FT.
TOTAL EXISTING AREA	12082	SQ.FT.

EXISTING LOT COVERAGE %

PROPOSED LOT COVERAGE

MAIN BUILDING	6540	SQ.FT.
COVERED PORCH 1	277	SQ.FT.
COVERED PORCH 2	519	SQ.FT.
GYM	2200	SQ.FT.
GAME ROOM	1321	SQ.FT.
GARAGE	2000	SQ.FT.
SHED	235	SQ.FT.
POOL HOUSE	641	SQ.FT.
TOTAL EXISTING AREA	13733	SQ.FT.

TOTAL LOT COVERAGE SQ.FT.
PROPOSED LOT COVERAGE %

SPRING MANSION

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707



PROJECT DIRECTORY

OWNER:
ABBAS MASH
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

DESIGNER:
PAYMUN BUILDING AND DEVELOPMENT
IN COLLABORATION WITH
JONATHAN RACHMAN DESIGN
25 ORINDA WAY, SUITE 200
ORINDA, CA 94563
TEL: 925-587-2140

ARCHITECT:
PAYMUN BUILDING AND DEVELOPMENT
IN COLLABORATION WITH
EDIT
25 ORINDA WAY, SUITE 200
ORINDA, CA 94563
TEL: 925-587-2140

LANDSCAPE ARCHITECT:
DON WILHBORG DESIGN
13 SEMINOLE AVE
CORTE MADERA, CA 94925
TEL: 415 924 4466

STRUCTURAL ENGINEER:
ADVANCED ENGINEERING
3381 WALNUT BLVD, SUITE 220
BRENTWOOD, CA 94513
TEL: 925 516 3502

GENERAL CONTRACTOR:
PAYMAN BUILDING AND DEVELOPMENT
25 ORINDA WAY, SUITE 200
ORINDA, CA 94563
TEL: 925-587-2140

SHEET INDEX

A010	PROJECT DATA
A020	GENERAL INFORMATION
L1	IRRIGATION PLAN
L2	IRRIGATION DETAIL
L3	IRRIGATION DETAILS & LEGEND
L4	PLANTING PLAN
L5	PLANTING DETAILS & LEGEND
L6	GRADING & DRAINAGE
A050	LOT COVERAGE - EXISTING & PROPOSED
A060	PHOTOS
A070	PHOTOS (MAIN HOUSE)
A080	PHOTOS (OUTDOOR)
A100 ⁴	SITE PLAN - EXISTING
A101	SITE PLAN - PROPOSED
A101B	ENLARGED SITE PLAN
A101C	SITE PLAN - SIMPLIFIED
A102	MAIN 1ST FLOOR PLAN - EXISTING & PROPOSED
A103	MAIN 2ND FLOOR PLAN - EXISTING & PROPOSED
A104 ⁴	MAIN ROOF PLAN - EXISTING & PROPOSED
A105	POOL HOUSE PLANS - PROPOSED
A105A	GARAGE PLANS - PROPOSED
A106	GYMNASIUM PLANS - EXISTING
A107	GAME ROOM PLANS & ELEVATIONS - EXISTING & PROPOSED
A108 ⁴	CAFETERIA - DEMOLITION
A109	POOL EQUIPMENT ROOM PLAN, ELEVATION & SECTION
A201	MAIN ELEVATIONS WEST - EXISTING & PROPOSED
A202	MAIN ELEVATIONS EAST - EXISTING & PROPOSED
A203	MAIN ELEVATIONS NORTH & SOUTH - EXISTING
A204 ⁴	POOL HOUSE ELEVATION - PROPOSED
A205	GARAGE ELEVATIONS - PROPOSED
A206	GYMNASIUM ELEVATIONS - EXISTING
A301	SITE SECTIONS
A302	SITE SECTIONS
A901 ⁴	SHADOW STUDY
A902	GARAGE AND POOL HOUSE RENDERING

BUILDING CODE

CALIFORNIA BUILDING CODE	2022	CALIFORNIA ENERGY CODE	2022
CALIFORNIA MECHANICAL CODE	2022	CALIFORNIA RESIDENTIAL CODE	2022
CALIFORNIA PLUMBING CODE	2022	CALIFORNIA GREEN BUILDING CODE	2022
CALIFORNIA ELECTRICAL CODE	2022	CALIFORNIA FIRE CODE	2022
CITY OF BERKELEY MUNICIPAL CODE			

SCOPE OF WORK

SCOPE OF WORK INVOLVES :

- CONSTRUCTION OF A NEW GARAGE, POOL, POOL HOUSE, POOL DECK, DRIVEWAY, AND LANDSCAPING
- INTERIOR REMODEL OF MAIN BUILDING ON 1ST AND 2ND FLOORS UNDER A SEPERATE PERMIT
- GLASS REPLACEMENT OF MAIN BUILDING WINDOWS, FRAMES TO REMAIN.

PAYMUN

25 Orinda way, Suite#200
Orinda, CA 94563
Tel: (925) 587-2140

Ben@paymun.com

LEAD DESIGN CONSULTANT

PAYMUN BUILDING &
DEVELOPMENT, Inc.

DESIGNER & DRAFTER :
SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

PROJECT DATA

SCALE

AS INDICATED

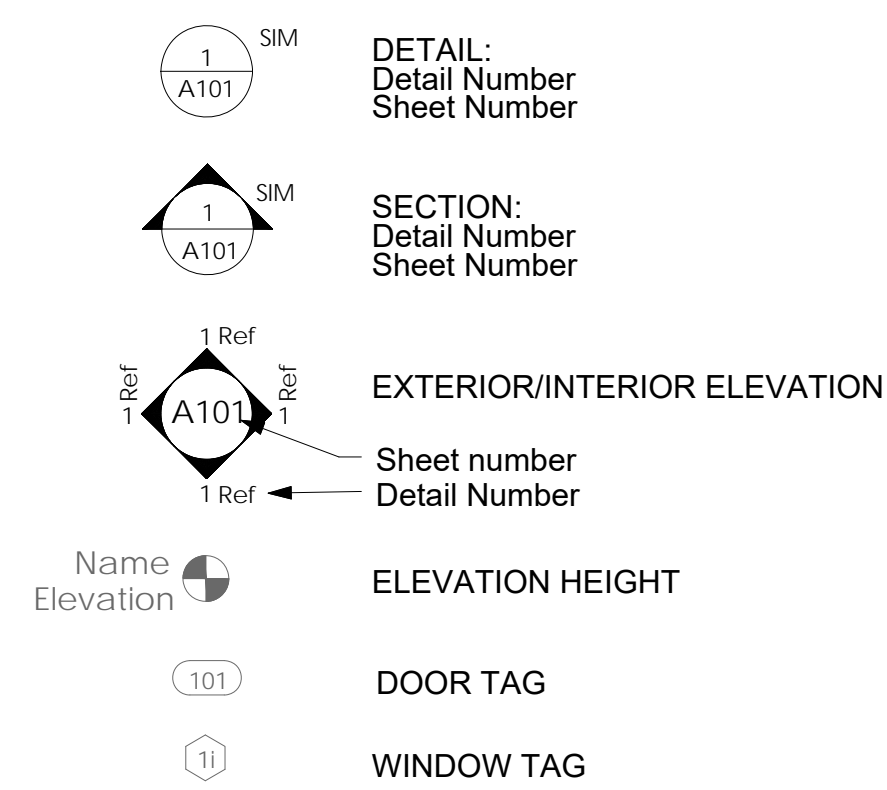
SHEET NUMBER

A010

ABBREVIATIONS

&	AND	GALV.	GALVANIZED	REINF	REINFORCED
ANGLE	ANGLE	G.B.	GRAB BAR	REQ	REQUIRED
@	AT	GL.	GLASS	REV	REVISION
⌒	CENTERLINE	GND.	GROUND	RGTR	REGISTER
/	DIAMETER	GYP. BD.	GYP SUM BOARD	RM	ROOM
#	POUND OR NUMBER	H.B.	HOSE BIBB	RWD	REDWOOD
ABV.	ABOVE	H.C.	HOLLOW CORE	S	SOUTH
ACOUS.	ACOUSTICAL	H.M.	HOLLOW METAL	S.C.	SOLID CORE
A.D.	AREA DRAIN	H.R.	HAND RAIL	S.E.D	SEE ELECTRICAL DWGS
A.T.	ACOUSTIC TILE	H.W.	HOT WATER	S.J	SEISMIC JOINT
ADJ.	ADJUSTABLE	HDR	HEADER	S.S.	STAINLESS STEEL
AGGR.	AGGREGATE	HR	HOUR	S.S.D	SEE STRUCTURAL DWGS
AL.	ALUMINUM	I.D.	INSIDE DIAMETER	SCHED	SCHEDULE
APPROX.	APPROXIMATE	INSUL	INSULATION	SECT	SECTION
ARCH.	ARCHITECTURAL	INT	INTERIOR	SHGT	SHEATHING
ASB.	ASBESTOS	JAN	JANITOR	SHT	SHEET
ASPH.	ASPHALT	KIT	KITCHEN	SIM	SIMILAR
BD.	BOARD	LAM	LAMINATE	SL	SKY LIGHT
BITUM	BITUMEN	LAV	LAVATORY	SPEC	SPECIFICATION
BLDG.	BUILDING	LBS	POUNDS	SPF	SPRAY FOAM INSULATION
BLK.	BLOCK	LTG	LIGHTING	SQ	SQUARE
BM	BEAM	M.D.F.	MEDIUM DENSITY FIBERBOARD MATERIAL	STD	STANDARD
BOT.	BOTTOM	MATL	MATERIAL	STL	STEEL
BSE.	BASE	MAX	MAXIMUM	STOR	STORAGE
CAB.	CABINET	MECH	MECHANICAL	STRUC	STRUCTURAL
C.B.	CATCH BASIN	MFR	MANUFACTURER	SUSP	SUSPENDED
CEM.	CEMENT	MH	MANHOLE	T	TREAD
CER.	CERAMIC	MIN	MINIMUM	T.O.	TOP OF
C.I.	CAST IRON	MISC	MISCELLANEOUS	T.O.P.	TOP OF PLATE
C.B.	CORNER BOARD	MTD	MOUNTED	T.O.S.	TOP OF SLAB
CLG.	CEILING	MTL	METAL	T.O.W.	TOP OF WALL
CLKG.	CAULKING	MUL	MULLION	TEL	TELEPHONE
CLO.	CLOSET	N	NEW	TEMP	TEMPERED
CLR.	CLEAR	N	NORTH	THK	THICK
C.O.	CLEAN OUT	N.I.C.	NOT IN CONTRACT	TYP	TYPICAL
COL.	COLUMN	N.T.S.	NOT TO SCALE	UNF	UNFINISHED
EMER.	EMERGENCY	NO	NUMBER	UON	UNLESS OTHERWISE NOTED
ENCL.	ENCLOSURE	NOM	NOMINAL	UR	URINAL
E.P.	ELECTRIC PANELBOARD	O.C.	ON CENTER	V.C.T	VINYL COMPOSITION TILE
EQ.	EQUAL	O.D.	OUTSIDE DIAMETER	VAR	VARIES
EQUIP.	EQUIPMENT	OFF	OFFICE	W	WEST
E.W.P.	ELECTRIC WATER COOLER	OPER	OPERABLE	W.C.	WATER CLOSET
EXPO	EXPOSURE	OPNG	OPENING	W.G.	WATER GLASS
EXP.	EXPANSION	OPP	OPPOSITE	W.M.	WALL MOUNT
EXT.	EXTERIOR	P.LAM.	PLASTIC LAMINATE	W.O.	WHERE OCCURS
F.A.	FIRE ALARM	P.T.	PRESSURE TREATED	W.R.	WATER RESISTANT
F.B.	FLAT BAR	PAV	PAVING	W.W.F	WIRE WELDED FABRIC
F.D.	FLOOR DRAIN	PERF	PERFORATED	W.W.M	WOVEN WIRE MESH
FON.	FOUNDATION	PERP	PERPENDICULAR	W/D	WASHER / DRYER
F.E.	FIRE EXTINGUISHER	PL	PLATE	W/O	WITHOUT
F.E.C.	FIRE EXTINGUISHER CABINET	PL	PROPERTY LINE	WD	WOOD
F.H.C.	FIRE HOSE CABINET	PLYWD	PLYWOOD	WDW	WINDOW
FIN.	FINISH	PROP	PROPERTY	WP	WATERPROOFING
FL.	FLASHING	PT	PAINT	WT	WEIGHT
FLUOR.	FLUORESCENT	PVC	POLYVINYL CHLORIDE		
F.O.C.	FACE OF CABINET	QTY	QUANTITY		
F.O.F	FACE OF FINISH	R	RISER		
F.O.S.	FACE OF STUDS	R.C.	RESILIENT CHANNEL		
FPRF	FIREPROOF	R.C.P	REFLECTED CEILING PLAN		
F.S.	FULL SIZE	R.D.	ROOF DRAIN		
FT.	FOOT OR FEET	R.O.	ROUGH OPENING		
FTG.	FOOTING	R.W.L	RAIN WATER LEADER		
FURR.	FURRING	RAD	RADIUS		
FUT.	FUTURE	REF	REFERENCE		
GA.	GAGE	REFR	REFRIGERATOR		

SYMBOLS



WUI

WILDLAND-URBAN INTERFACE FIRE ZONE NOTES :

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC R337.1.5. BUILDING IS LOCATED IN AN LRA HIGH FIRE HAZARD SEVERITY ZONE. ALL EXTERIOR MATERIALS AND CONSTRUCTION METHODS SHALL MEET EXTERIOR WILDFIRE EXPOSURE STANDARDS.

R337 WORKSHEET

THIS PROJECT IS LOCATED IN A LOCAL RESPONSIBILITY AREA VERY HIGH FOR WILDFIRE PROTECTION. ROOFING, ATTIC VENTILATION, EXTERIOR WALLS, WINDOWS, EXTERIOR DOORS, DECKING, FLOORS, AND UNDERFLOOR PROTECTION TO MEET CRC R337 REQUIREMENTS.

ITEM

DECKING MATERIALS
EXTERIOR WINDOWS
EXTERIOR SIDINGS AND SHEATHINGS
EXTERIOR DOORS

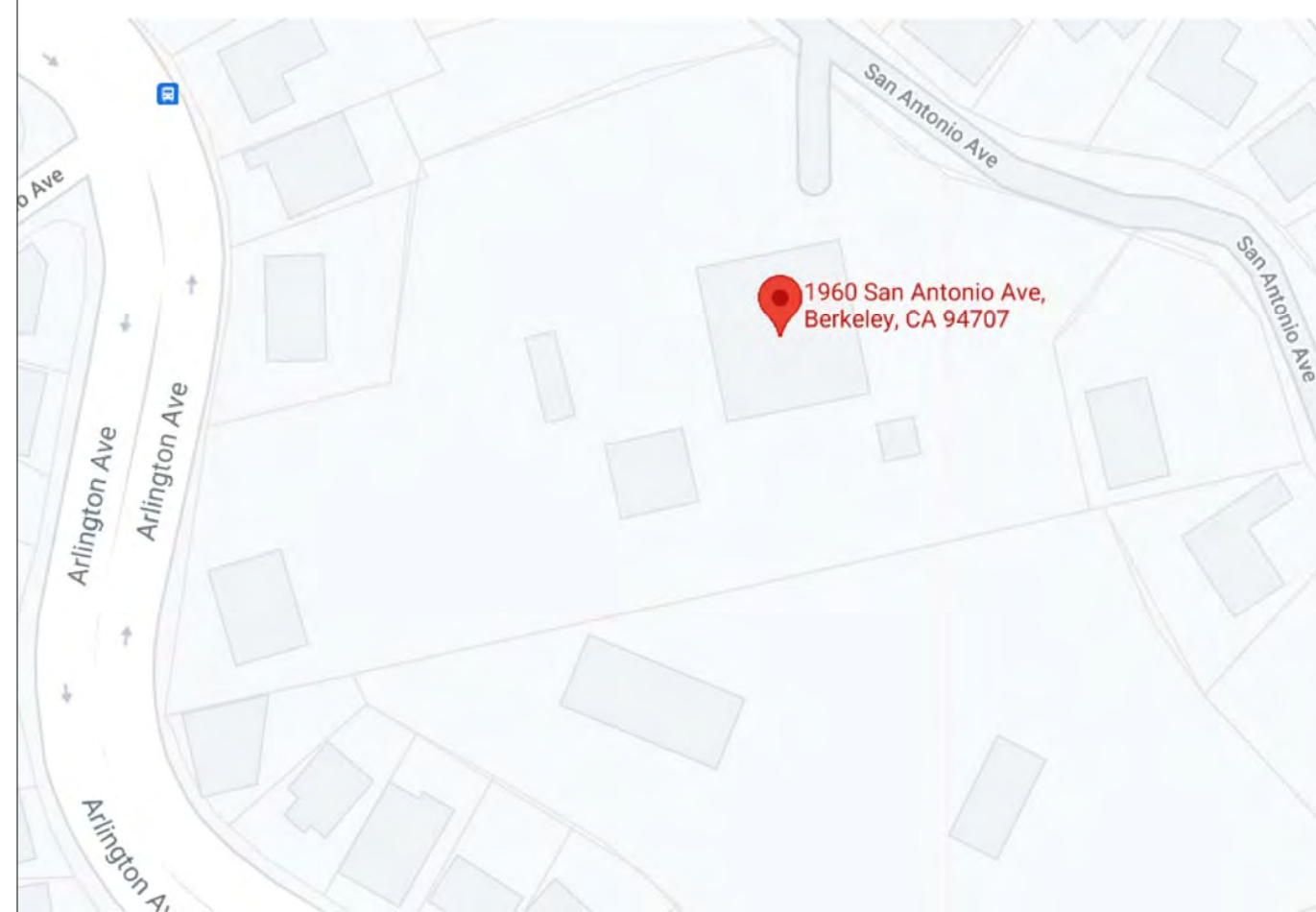
UNDER EAVE
UNDERFLOOR
VENTILATION
ROOF

MATERIAL

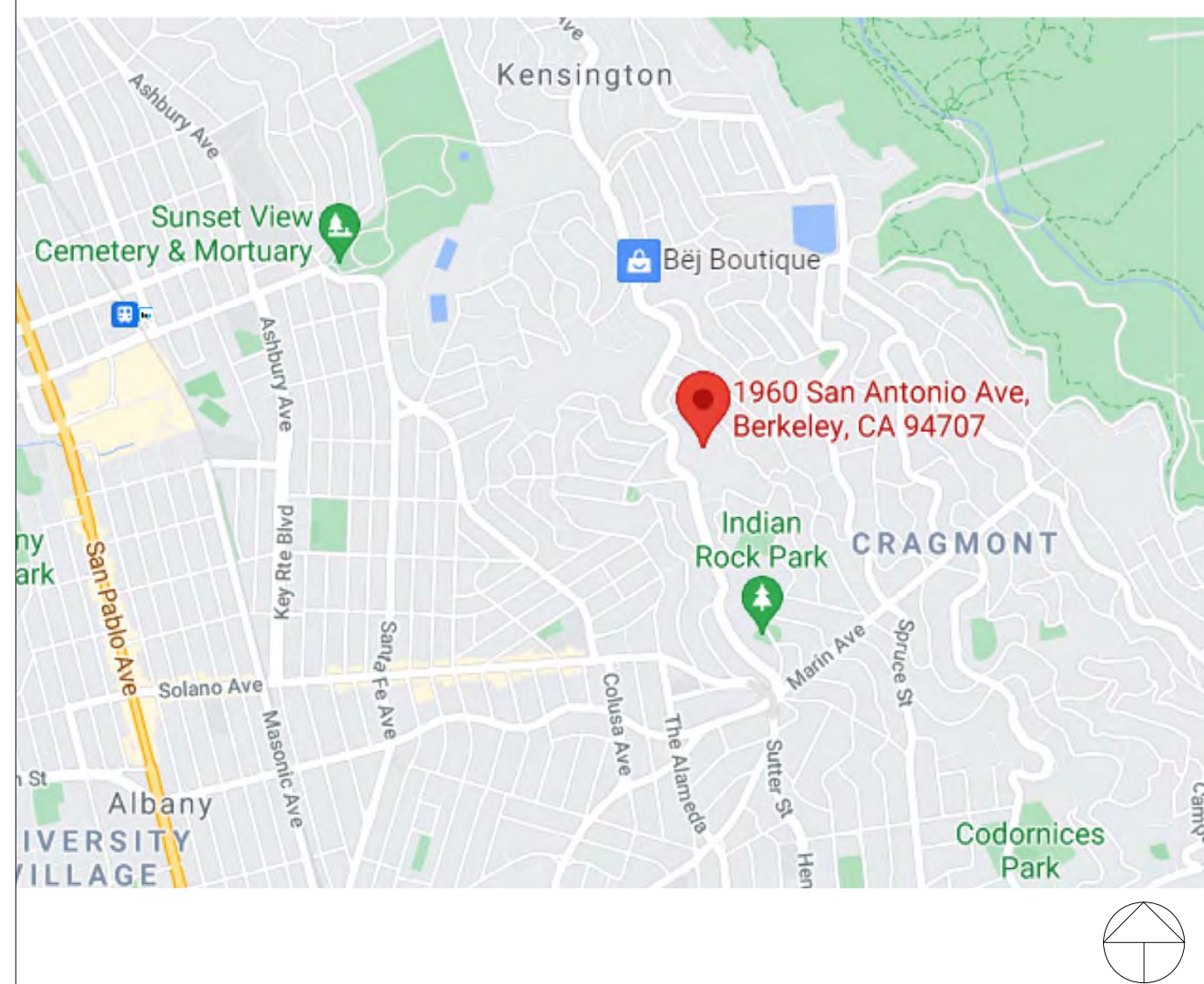
MASONRY OR CERAMIC
MULTI-PANE GLAZING WITH ONE PANE TEMPERED
1" THICK STUCCO WITH 1 HOUR FIRE RATING
MULTI-PANE GLAZING WITH ONE PANE TEMPERED
WOOD GARAGE AND WOOD EXTERIOR DOORS TO BE MIN 1 3/8" THICK SOLD CORE
IGNITION RESISTANT
IGNITION RESISTANT
CLOSED, NO VENTS
CLASS A - MODIFIED BITUMIN, SLATE AT POOL HOUSE OR APPROVED EQUAL

MAPS

AERIAL MAP



VICINITY MAP



TREE PROTECTION

- ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF AND BE SUPERVISED BY THE CONSULTING ARBORIST. ROOTS SHOULD BE CUT WITH A SAW TO PROVIDE A FLAT AND SMOOTH CUT. REMOVAL OF ROOTS LARGER THAN 2 IN. IN DIAMETER SHOULD BE AVOIDED.
- IF ROOTS 2 IN. AND GREATER IN DIAMETER ARE ENCOUNTERED DURING SITE WORK AND MUST BE CUT TO COMPLETE THE CONSTRUCTION, THE CONSULTING ARBORIST MUST BE CONSULTED TO EVALUATE EFFECTS ON THE HEALTH AND STABILITY OF THE TREE AND RECOMMEND TREATMENT.
- FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TREE PROTECTION ZONE PRIOR TO DEMOLITION, GRUBBING OR GRADING. FENCES SHALL BE 6 FT. CHAIN LINK WITH POSTS SUNK INTO THE GROUND OR EQUIVALENT.
- THE TREE TREE PROTECTION ZONE SHOWN ON ALL PLANS SHALL BE FENCED TO ENCLOSE THE ENTIRE AREA (FIGURE 1). NO GRADING, EXCAVATION, CONSTRUCTION OR STORAGE OF MATERIALS SHALL OCCUR WITHIN THAT ZONE. NO UNDERGROUND SERVICES INCLUDING UTILITIES, SUB-DRAINS, WATER OR SEWER SHALL BE PLACED IN THE TREE PROTECTION ZONE. NO MOTORIZED EQUIPMENT SHALL BE USED IN THE TREE PROTECTION ZONE. THE LIMITS OF THE TREE PROTECTION ZONE WILL BE ADJUSTED FOLLOWING REVIEW OF GRADING AND CONSTRUCTION PLANS. FOR DESIGN PURPOSES, THE TREE PROTECTION ZONE SHALL BE DEFINED AS THE TREE DRIPLINE.

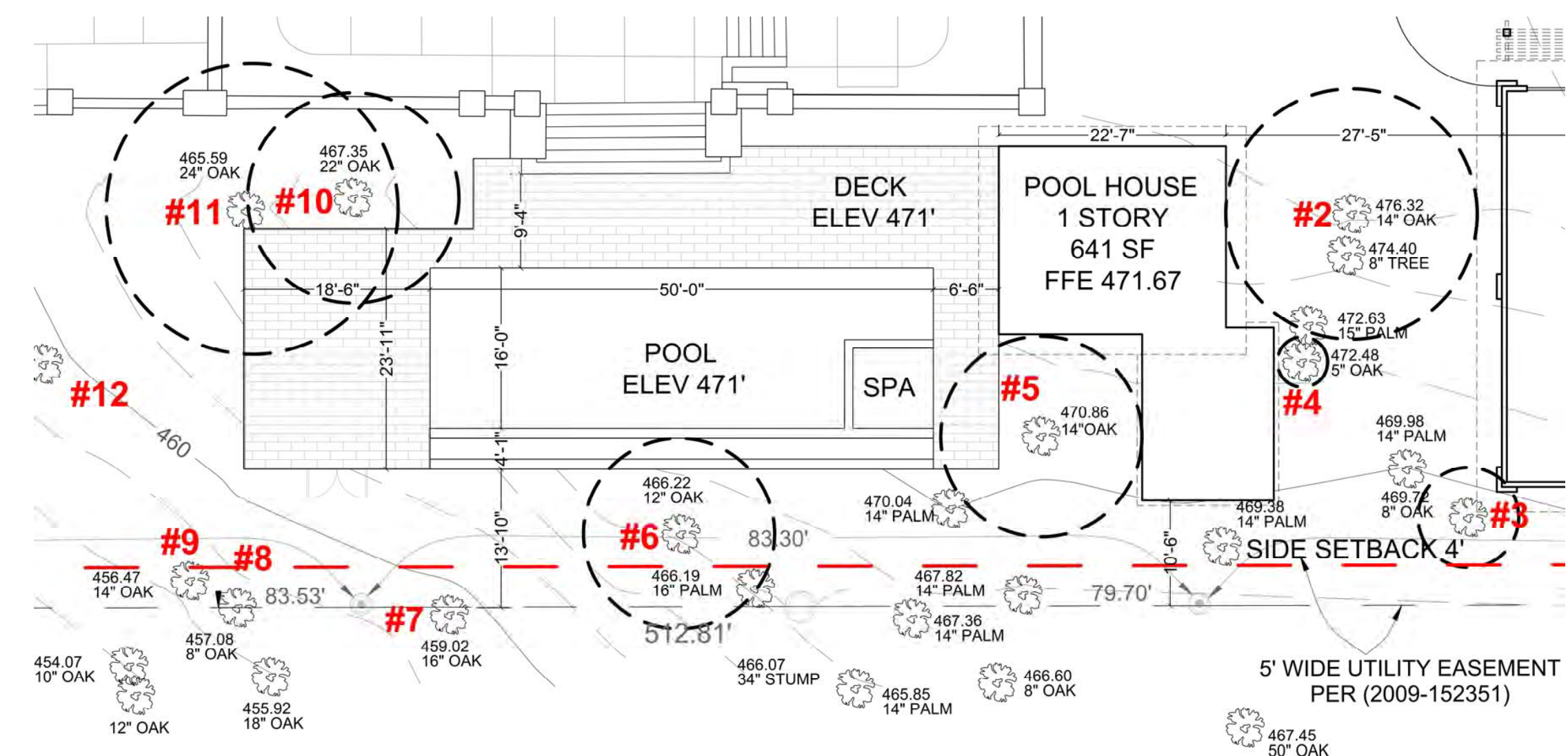


FIGURE 1. THE BLACK DOTTED LINES ARE THE TREE PROTECTION ZONE. WORK IN THIS AREA IS PROHIBITED.

PAYMUN

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Tel: (925) 587-2140

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LEAD DESIGN CONSULTANT

PAYMUN BUILDING & DEVELOPMENT, Inc.

DESIGNER & DRAFTER :
SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

GENERAL INFORMATION

SCALE

AS INDICATED

SHEET NUMBER

A020

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SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

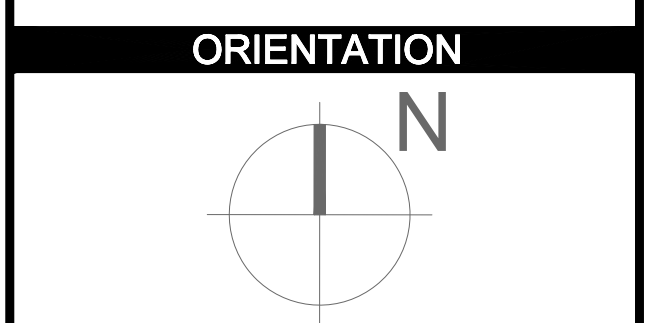
NOTES

REVISION	DATE
PLANNING SUBMITTAL 1	05/13/2023



ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

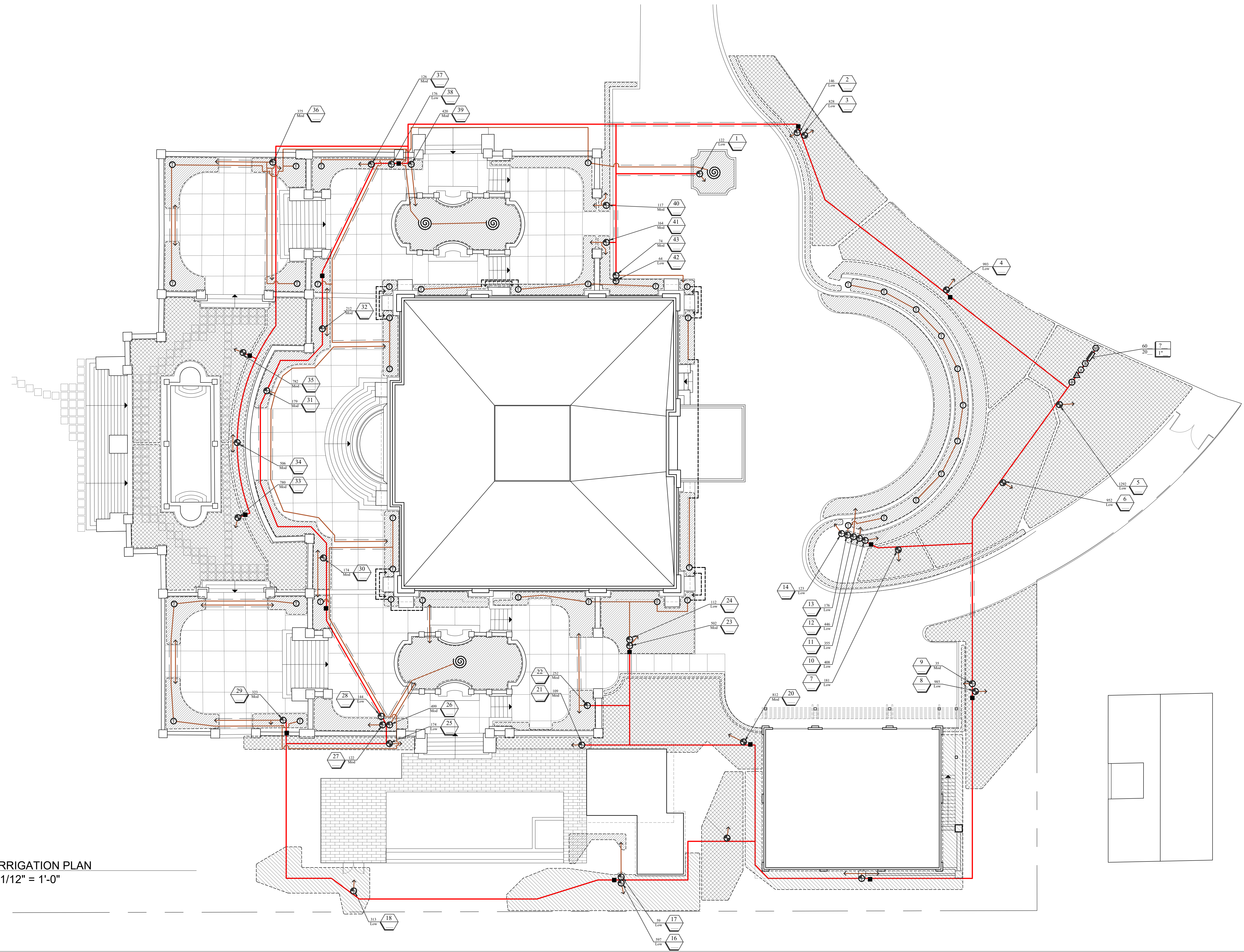
AREA



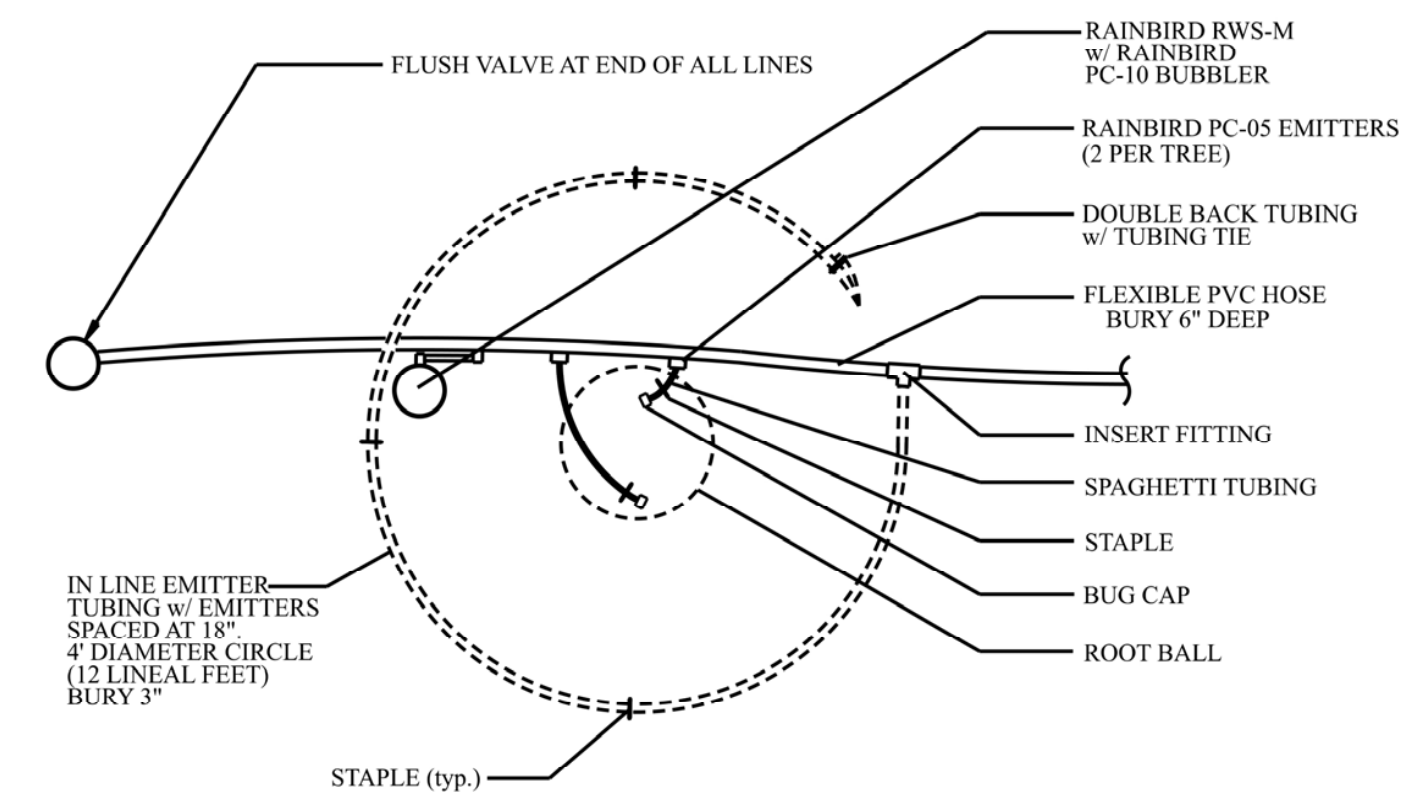
SHEET TITLE
IRRIGATION PLAN

SCALE
AS INDICATED
SHEET NUMBER

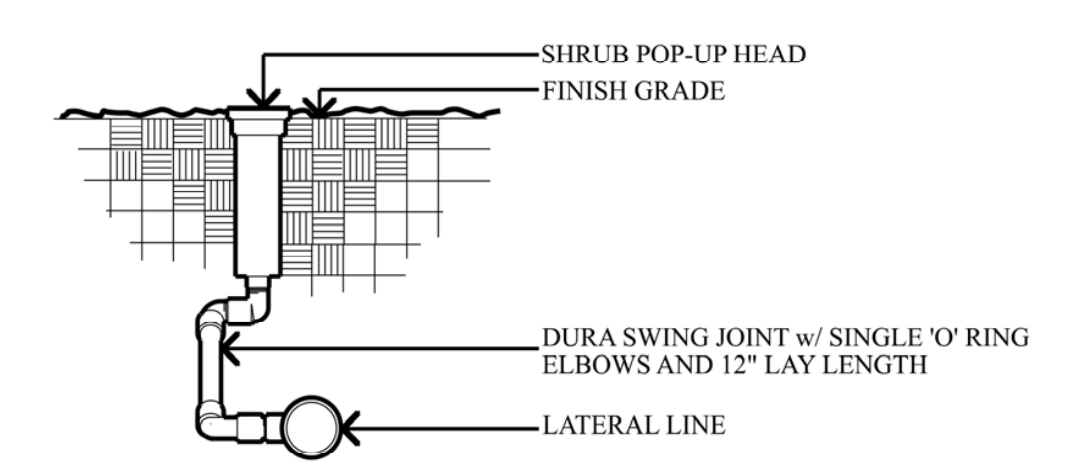
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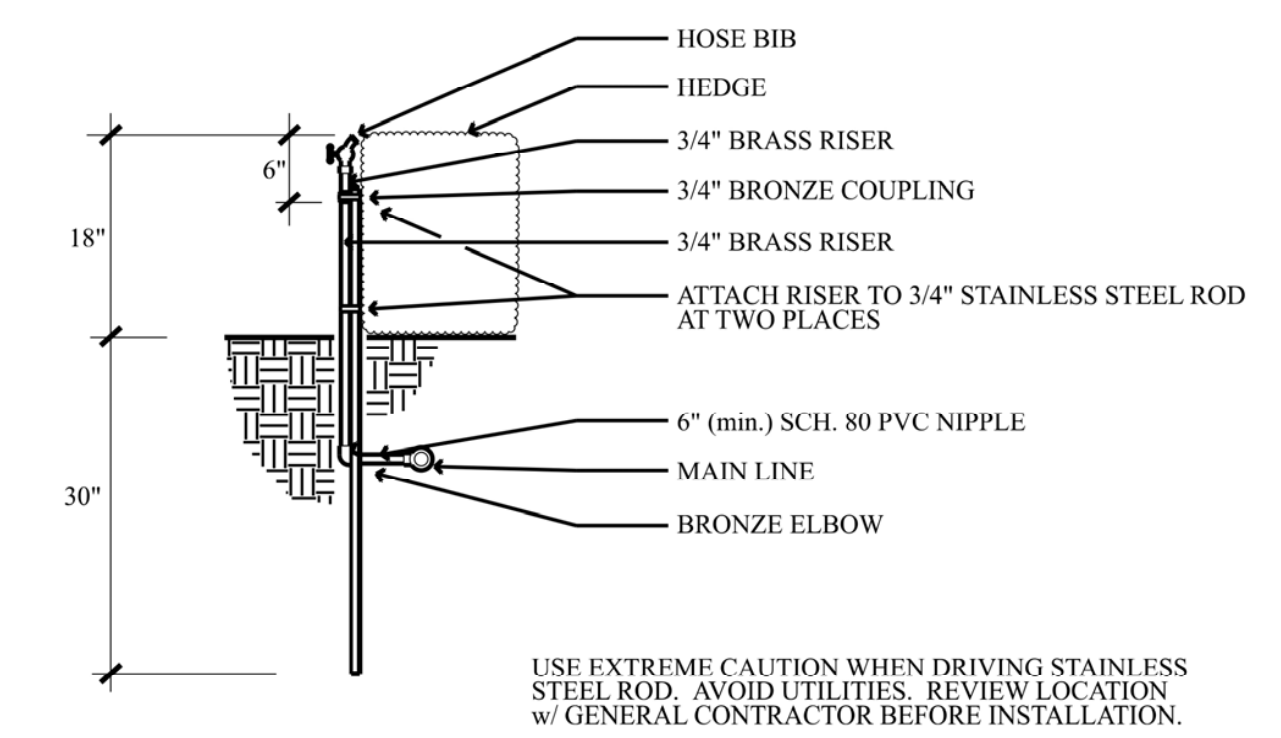
① IRRIGATION PLAN
1/12" = 1'-0"



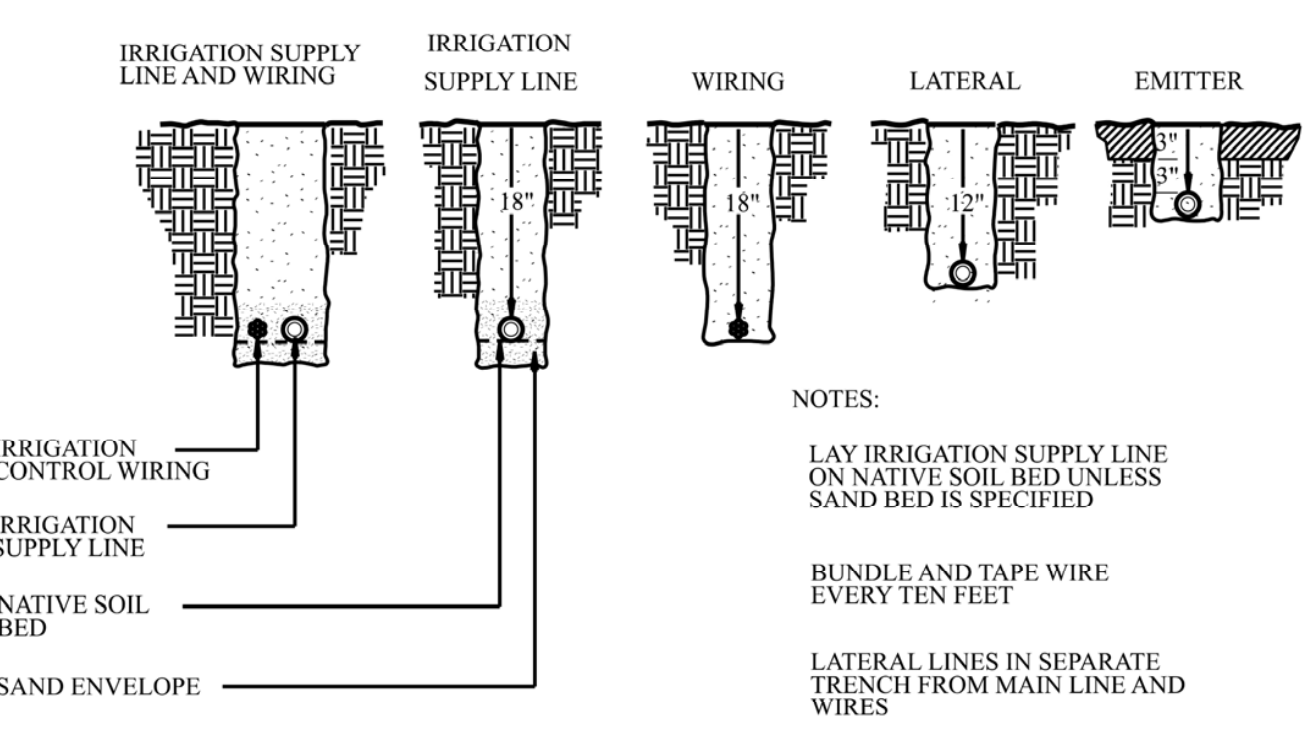
TREE EMITTER LAYOUT (36 gph)



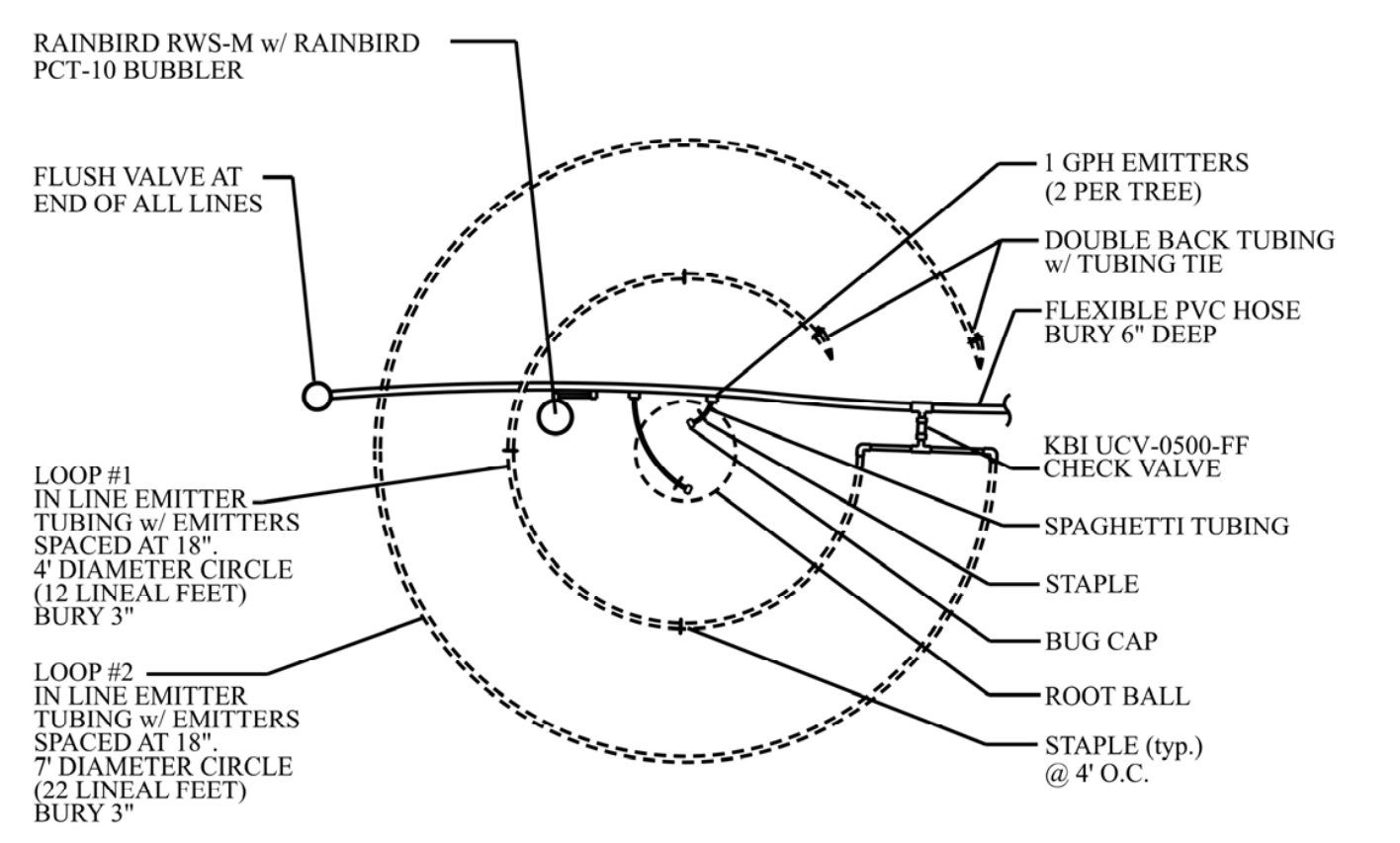
SHRUB POP-UP SPRAY HEAD



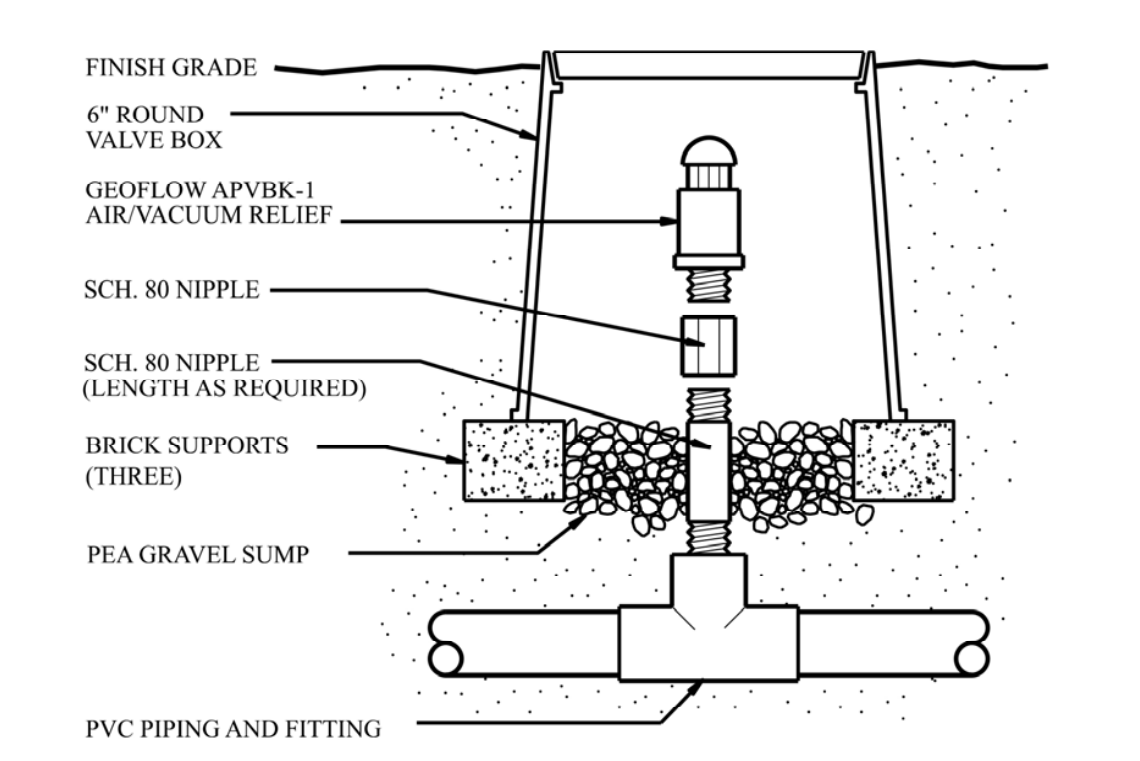
HOSE BIB



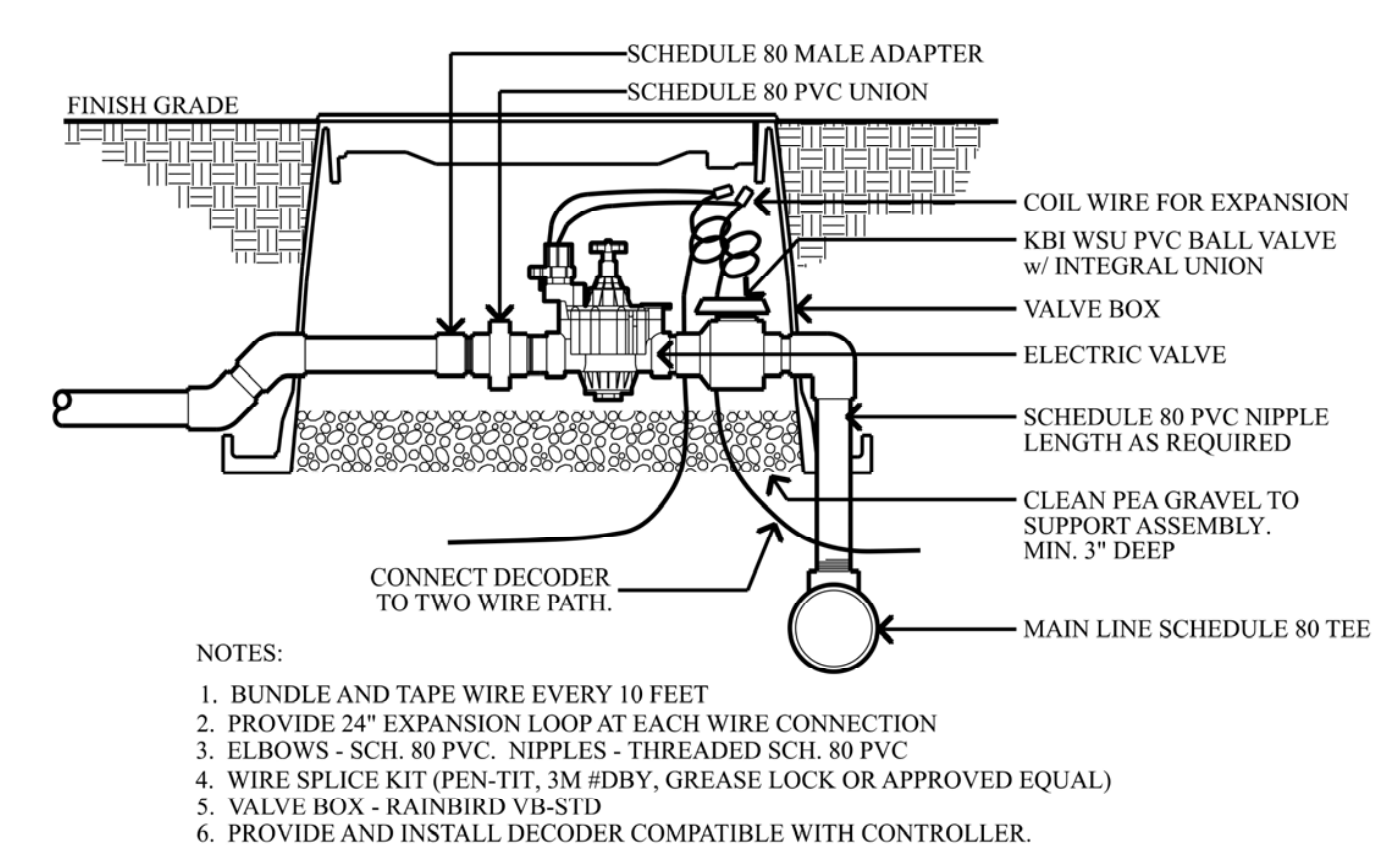
TRENCHING AND INSTALLATION



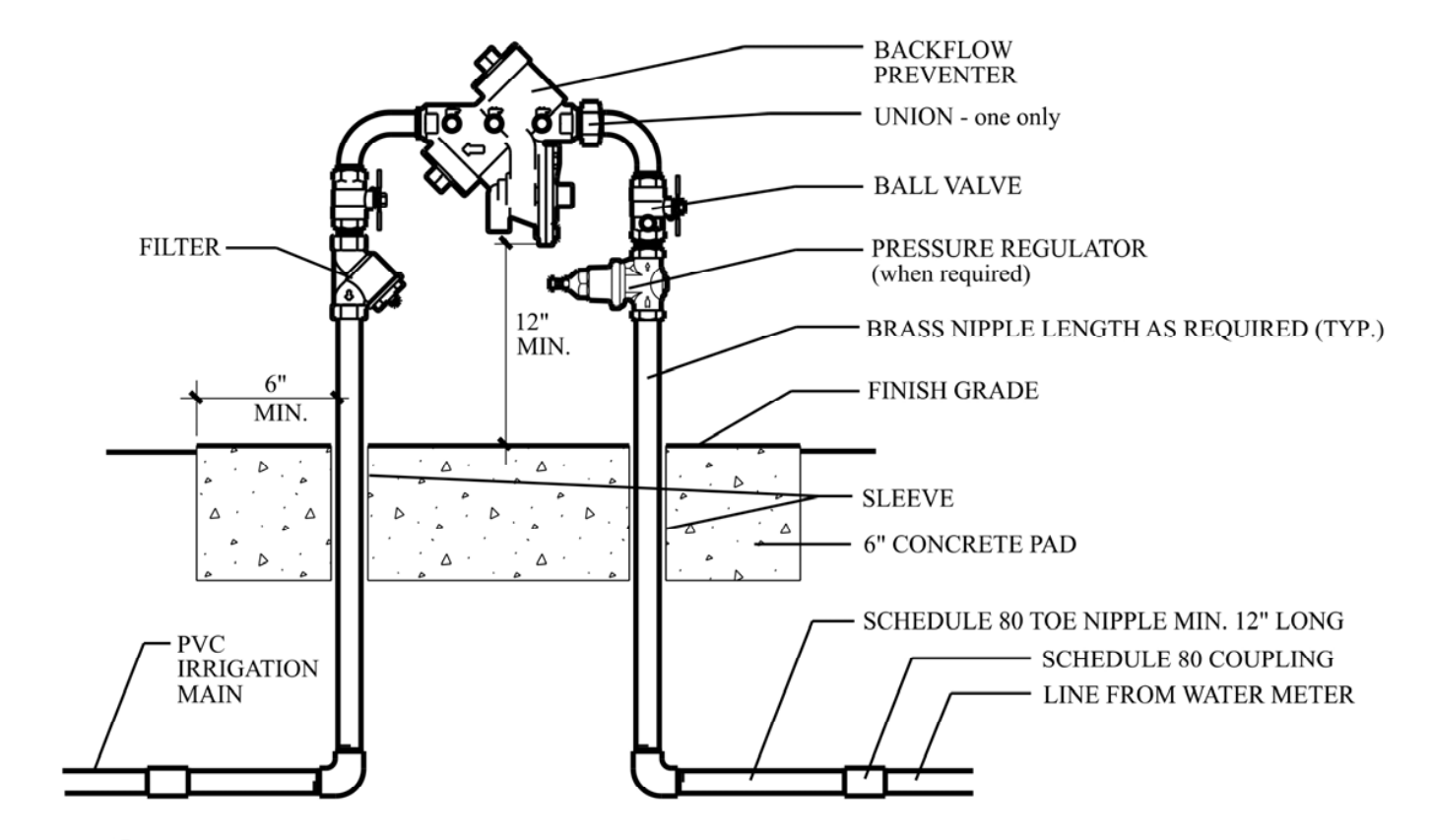
TREE EMITTER LAYOUT - LARGE (33 gph)



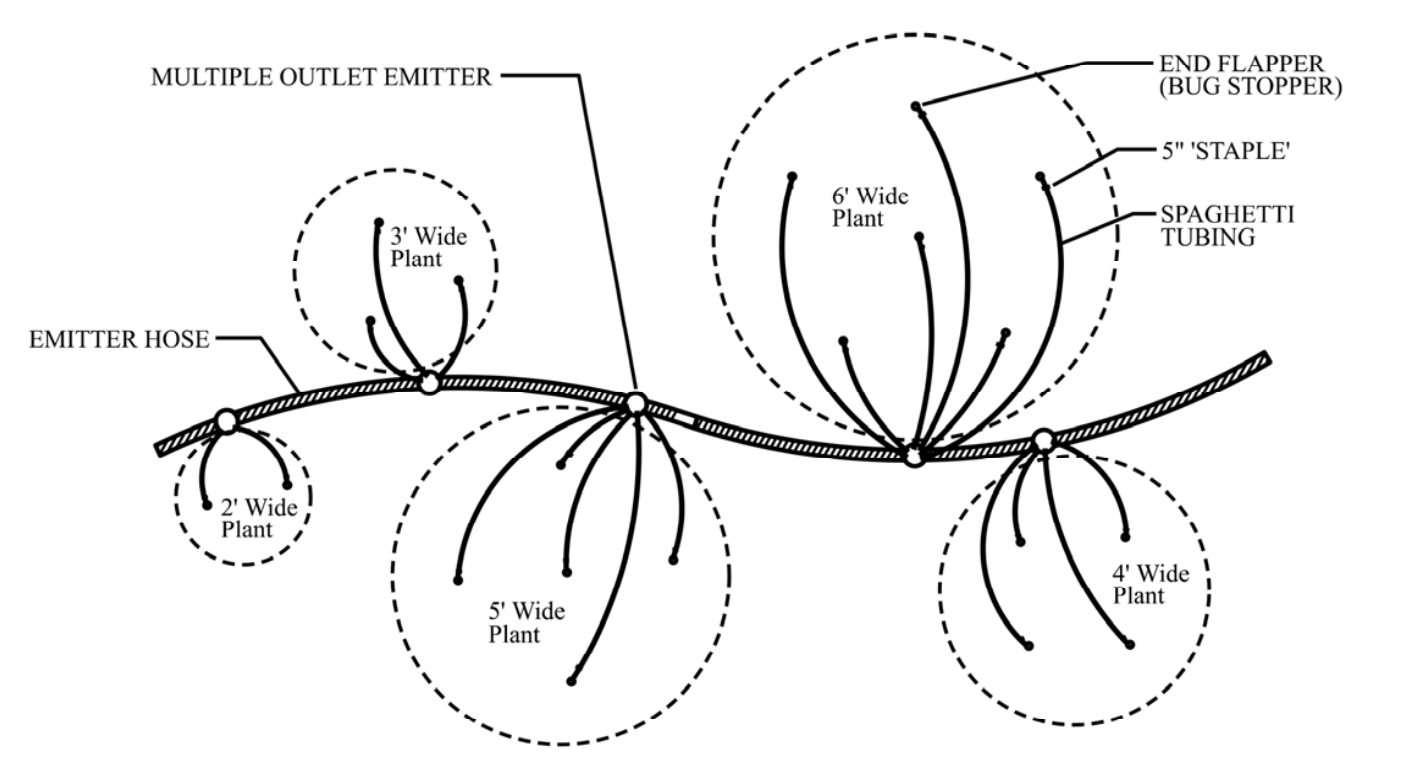
1" AIR/VACUUM RELIEF



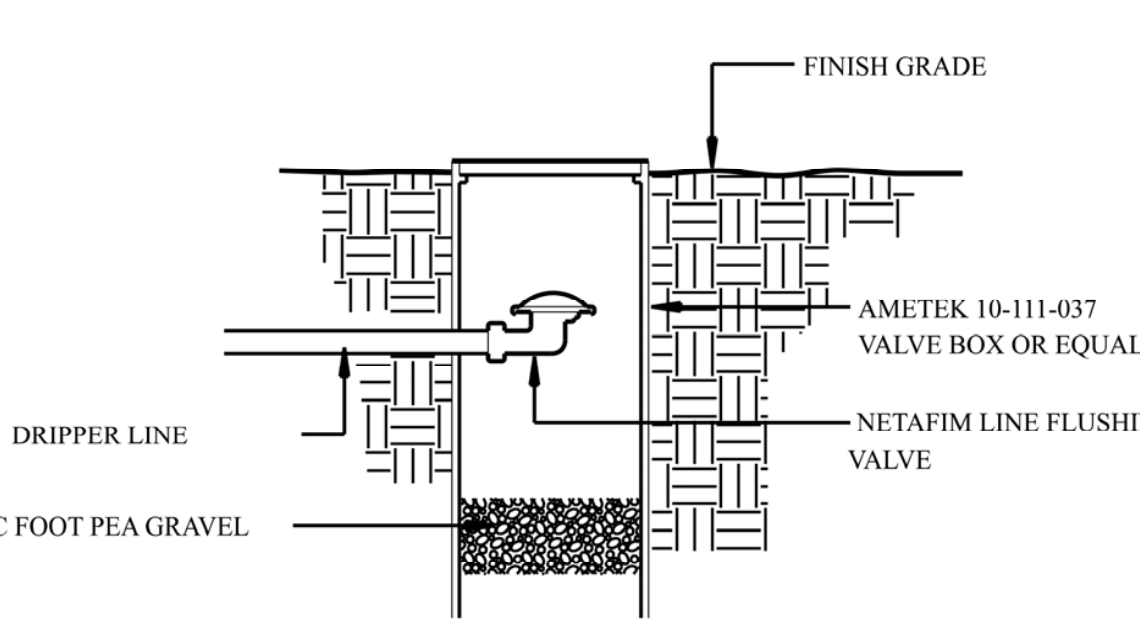
REMOTE CONTROL VALVE - TWO WIRE



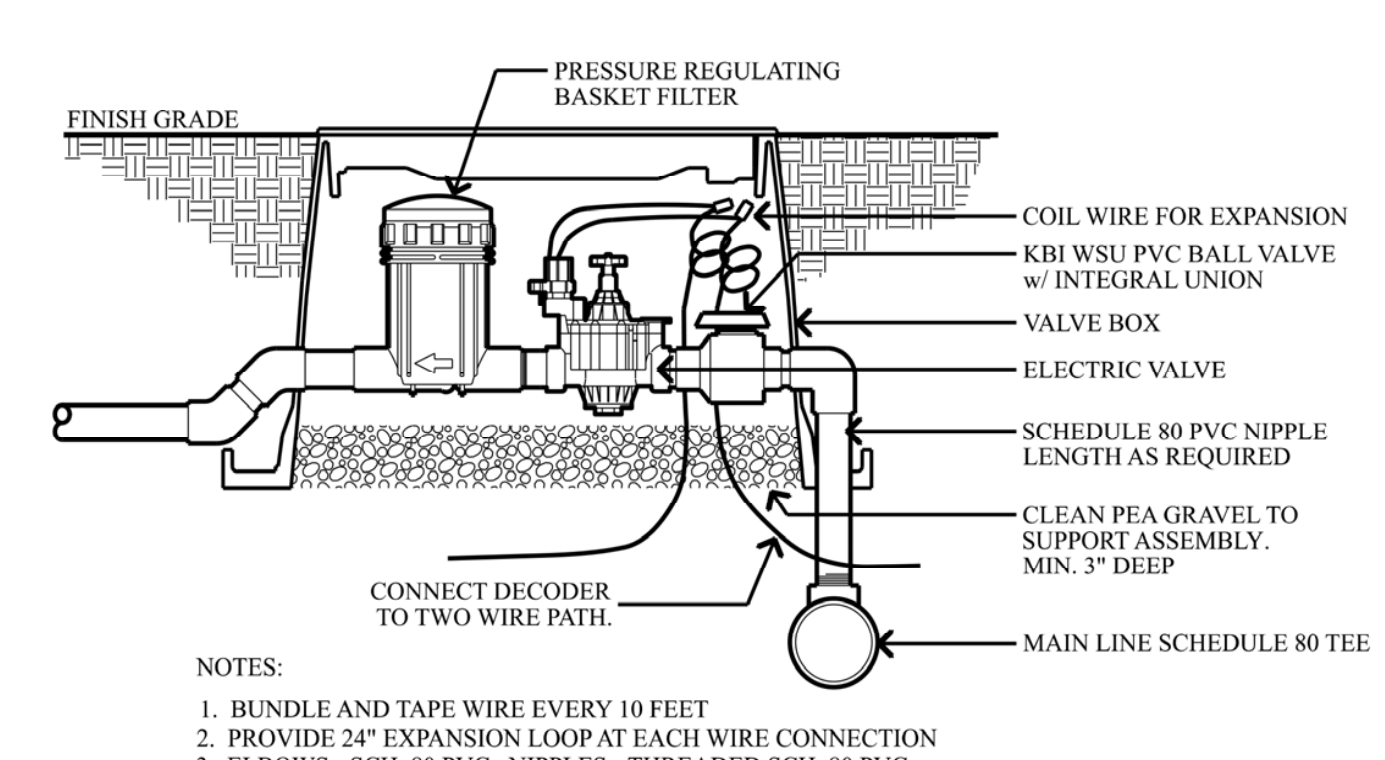
REDUCED PRESSURE BACKFLOW PREVENTER



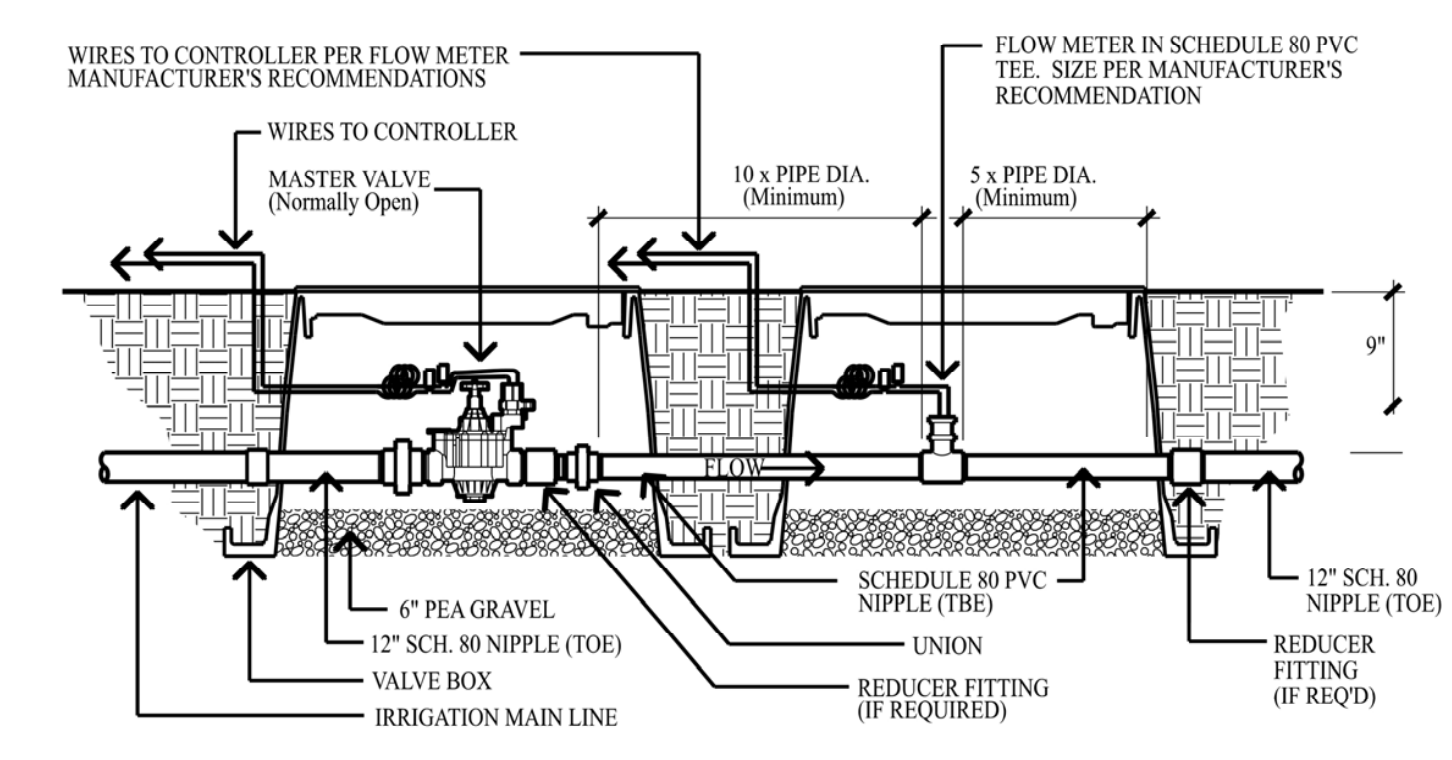
MULTIPLE OUTLET EMITTER



LINE FLUSHING VALVE



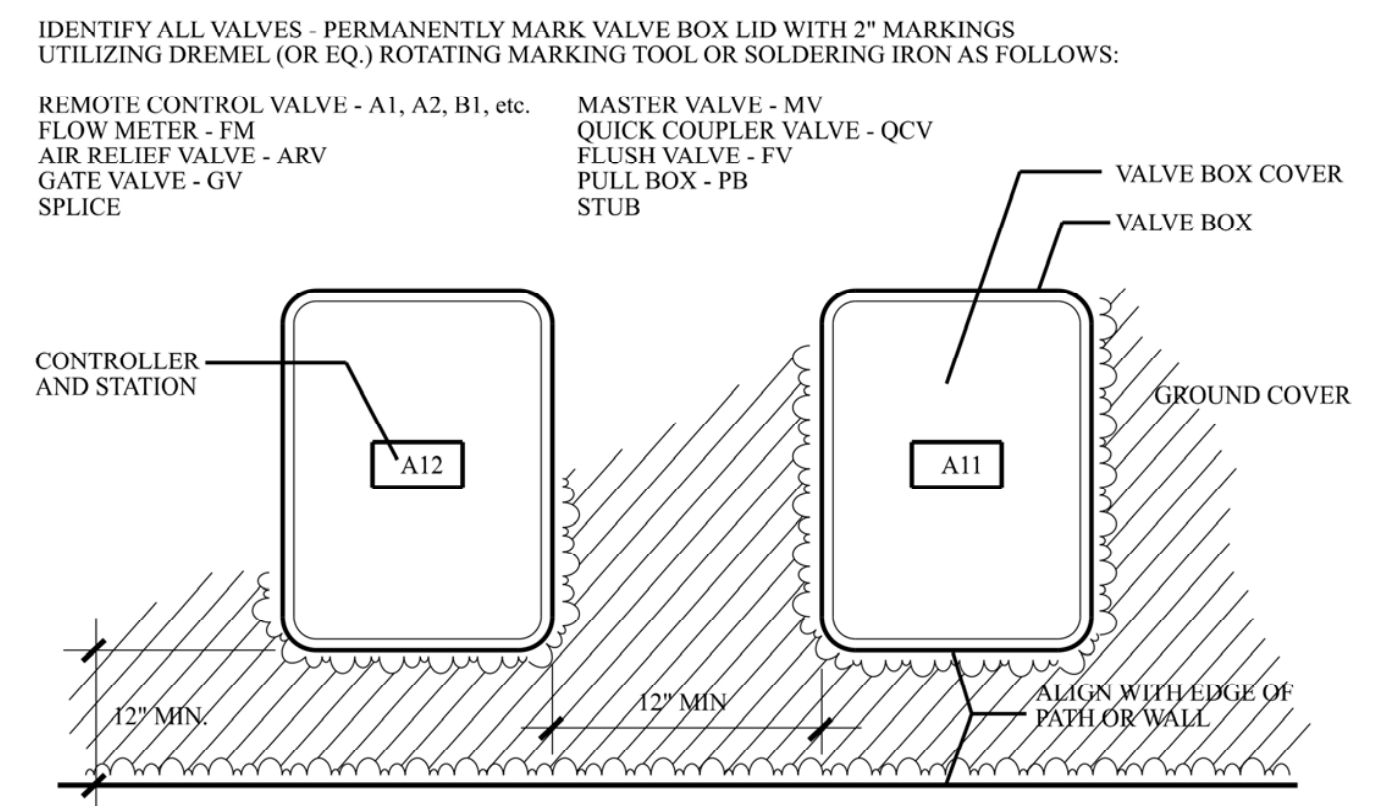
EMITTER REMOTE CONTROL VALVE - TWO WIRE



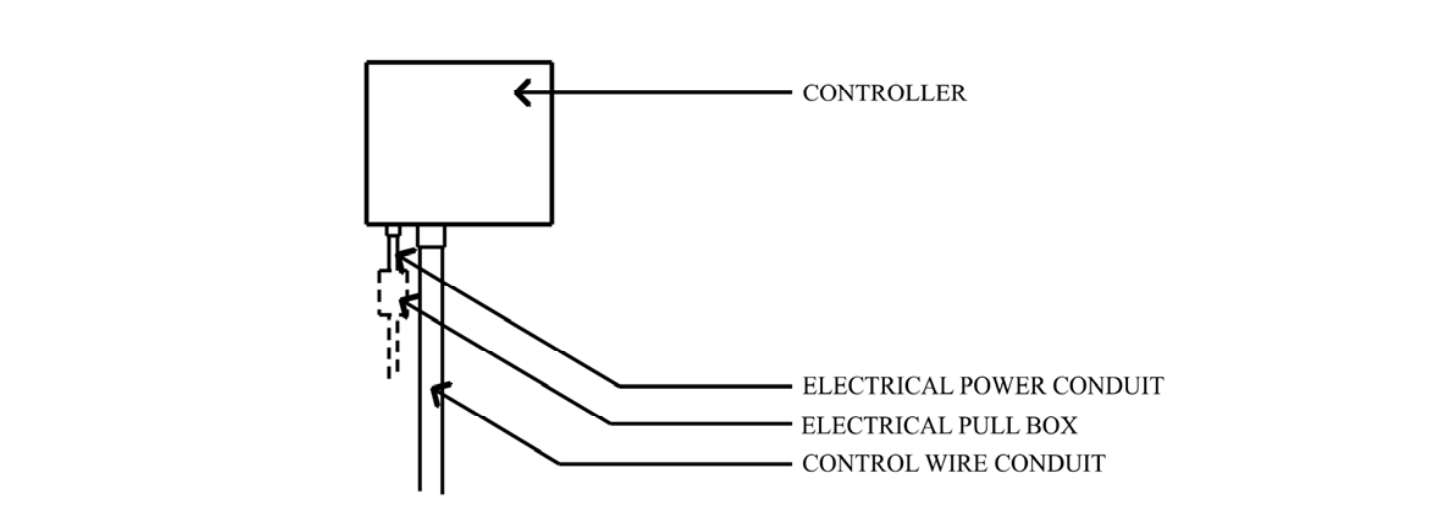
MASTER VALVE & FLOWMETER RUN



EMITTER LINE POP-UP OPERATION INDICATOR



VALVE BOXES



WALL MOUNT CONTROLLER

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Ben@paymun.com

LEAD DESIGN CONSULTANT

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DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION

ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

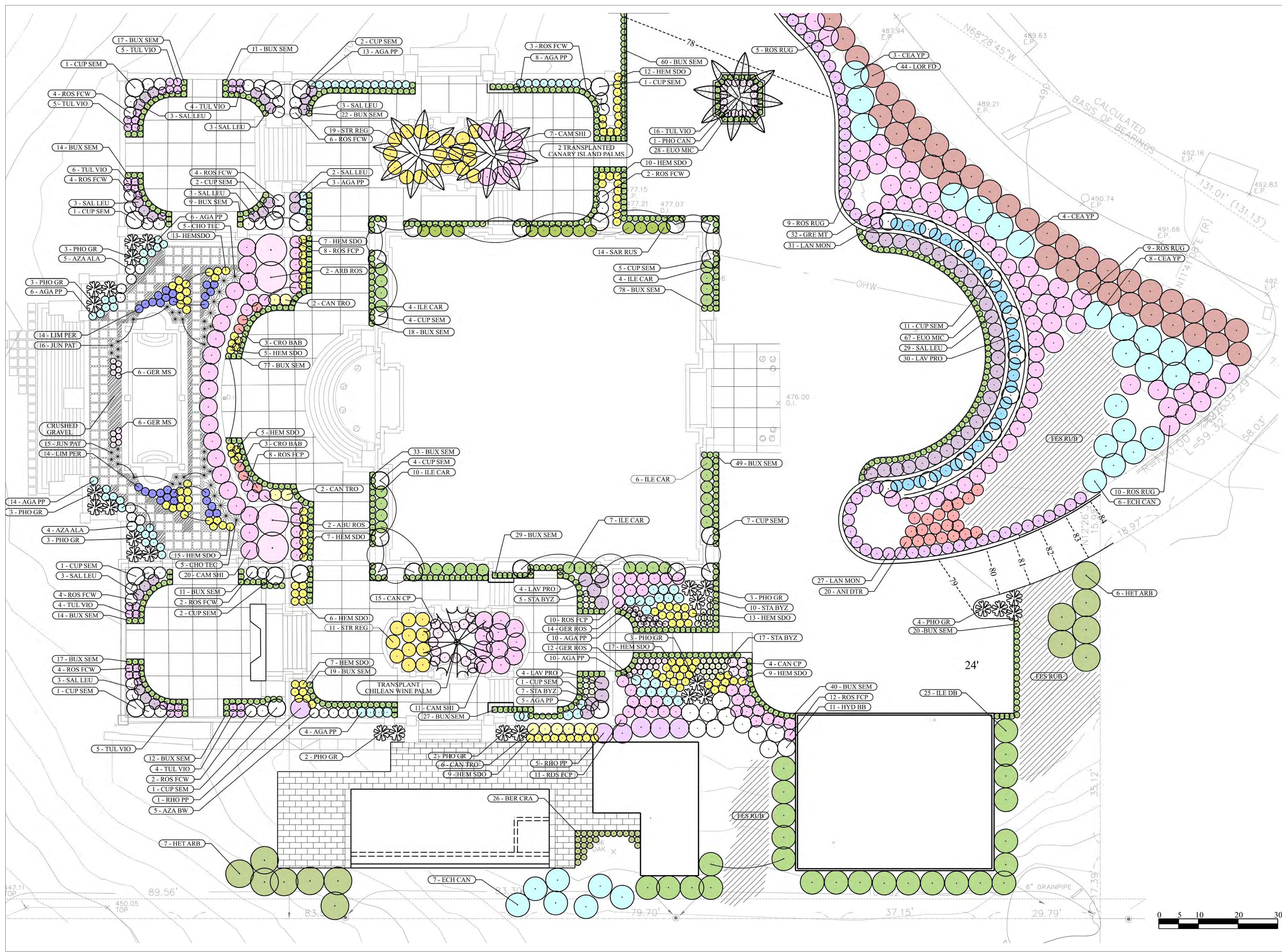
IRRIGATION DETAILS

SCALE

AS INDICATED

SHEET NUMBER

L.2



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LEAD DESIGN CONSULTANT

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DESIGNER & DRAFTER:
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PROJECT

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OWNER(S)

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LOCATION



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BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

PLANTING PLAN

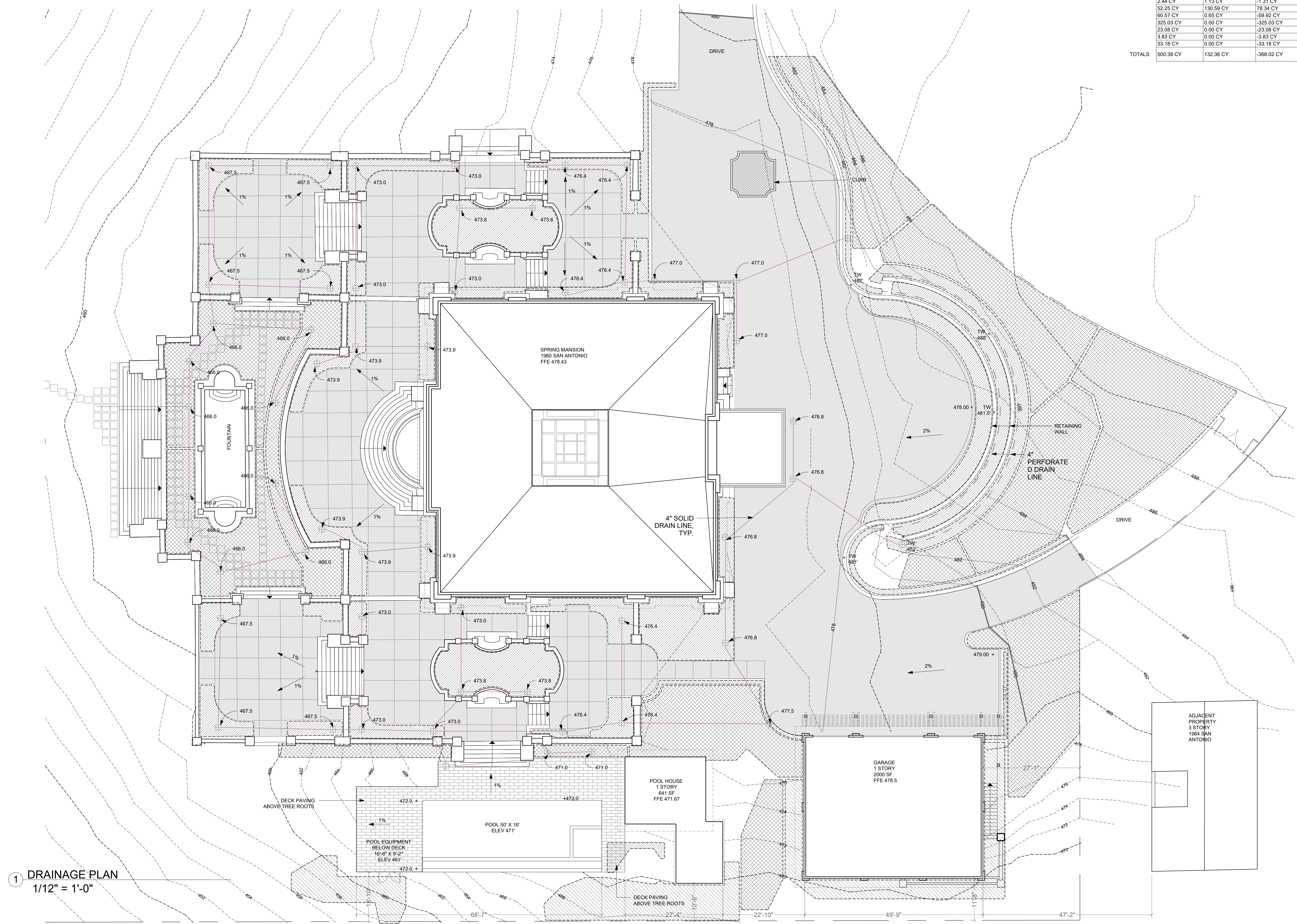
SCALE

AS INDICATED

SHEET NUMBER

L.4

TOPOGRAPHY SCHEDULE		
Cut	Fill	Net cut/fill
2.44 CY	1.13 CY	-1.31 CY
52.25 CY	130.59 CY	78.34 CY
60.57 CY	0.65 CY	-59.92 CY
325.03 CY	0.00 CY	-325.03 CY
23.98 CY	0.00 CY	-23.98 CY
9.83 CY	0.00 CY	-9.83 CY
33.18 CY	0.00 CY	-33.18 CY
TOTALS:	500.38 CY	132.36 CY



① DRAINAGE PLAN
1/12" = 1'-0"

PAYMUN

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LEAD DESIGN CONSULTANT

PAYMUN BUILDING &
DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT SPRING MANSION

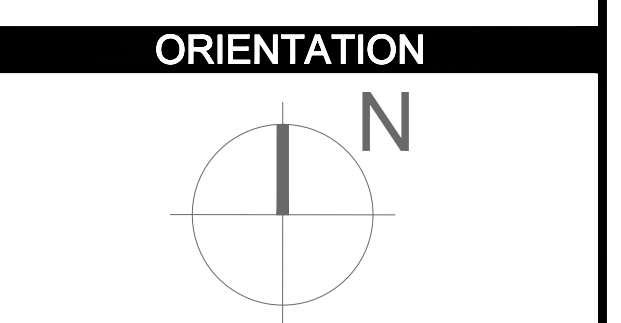
OWNER(S) ABBAS MASH

NOTES	
REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023



ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA



SHEET TITLE
GRADING & DRAINAGE

SCALE
AS INDICATED
SHEET NUMBER

L.6

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LEAD DESIGN CONSULTANT

PAYMUN BUILDING &
DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION

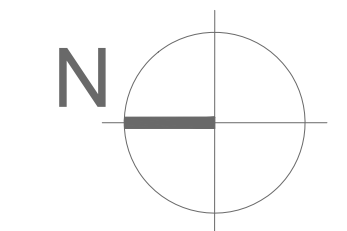


ADDRESS

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BERKELEY, CA 94707

AREA

ORIENTATION



SHEET TITLE

LOT COVERAGE
EXISTING AND PROPOSED

SCALE

AS INDICATED
SHEET NUMBER

A050

BUILDING FOOTPRINT & LOT COVERAGE AND GROSS FLOOR AREA:

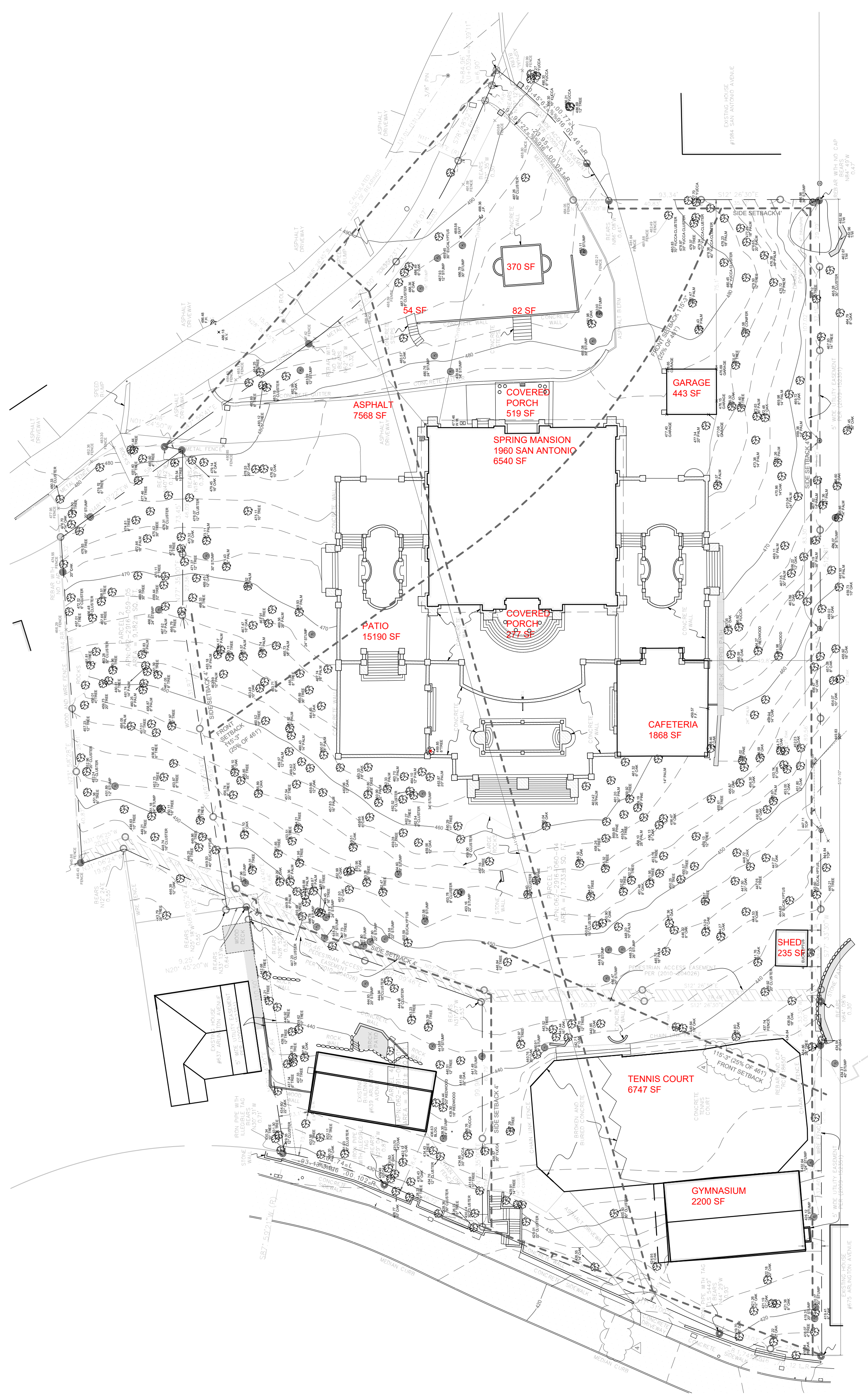
EXISTING LOT COVERAGE	
MAIN BUILDING	6,540 SF
COVERED PORCH	277 SF
COVERED PORCH	519 SF
GYM	2,200 SF
GAME ROOM/CAFETERIA	1,868 SF
GARAGE	443 SF
SHED	235 SF
TOTAL EXISTING	12,082 SF
% OF LOT COVERAGE EXISTING	10%
PROPOSED LOT COVERAGE	
MAIN BUILDING	6,540 SF
COVERED PORCH	277 SF
COVERED PORCH	519 SF
GYM	2,200 SF
GAME ROOM	1,321 SF
GARAGE	2,000 SF
SHED	235 SF
POOL HOUSE	641 SF
TOTAL PROPOSED	13,733 SF
LOT SIZE	120,873 SF
TOTAL LOT COVERAGE	12,969 SF
% OF LOT COVERAGE PROPOSED	11.4%

IMPERVIOUS SURFACES (OTHER THAN BUILDINGS)

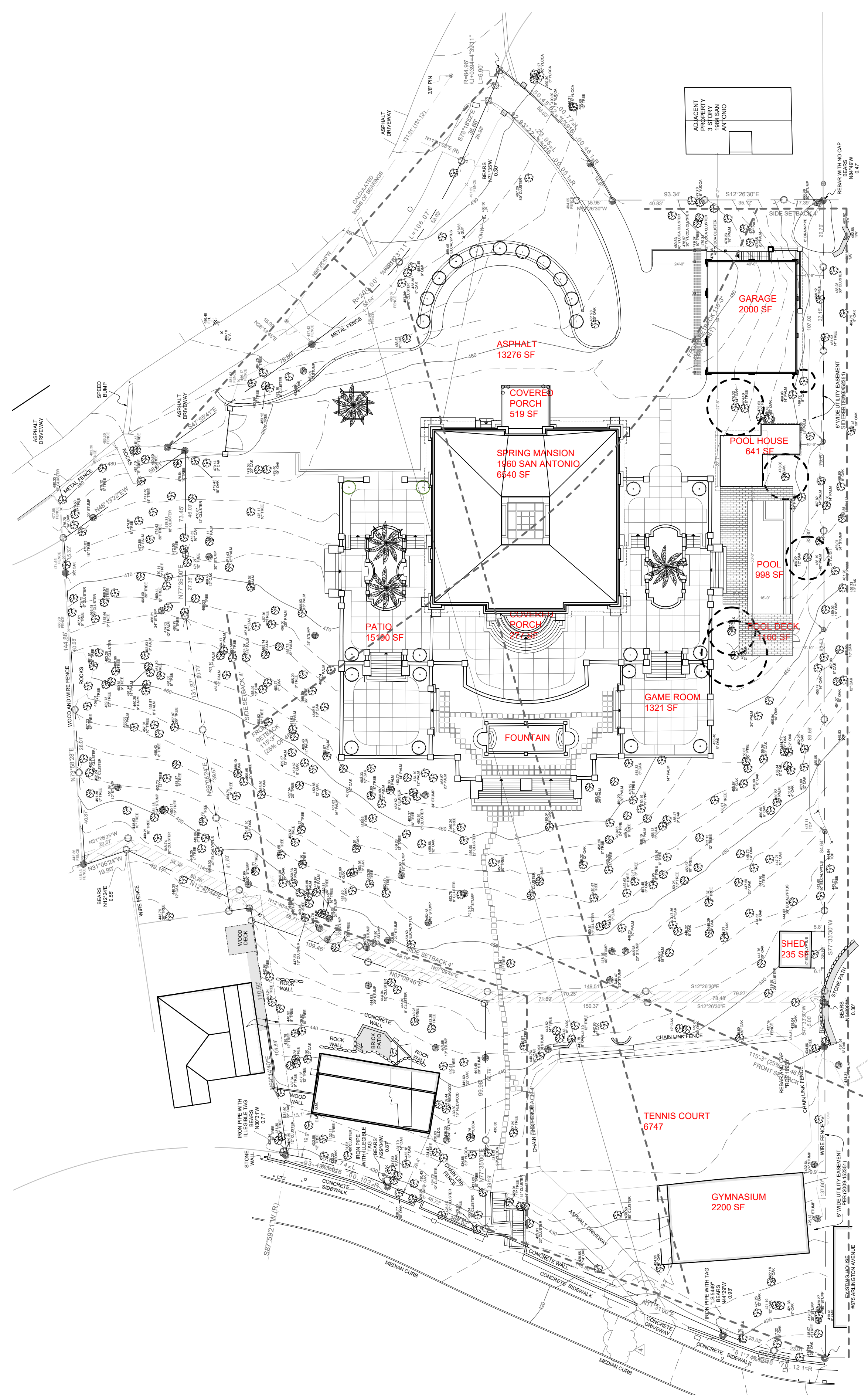
EXISTING PATIO	15,190 SF
EXISTING PAVING	14,821 SF
TOTAL EXISTING	30,011 SF
PROPOSED PATIO	15,190 SF
PROPOSED PAVING	20,023 SF
PROPOSED POOL	998 SF
PROPOSED POOL DECK	1,160 SF
TOTAL PROPOSED	37,371 SF

EXISTING GROSS FLOOR AREA	
MAIN BUILDING	13,119 SF
GYM	2,200 SF
GAME ROOM/CAFETERIA	1,868 SF
GARAGE	443 SF
SHED	235 SF
TOTAL EXISTING	17,865 SF

PROPOSED GROSS FLOOR AREA	
MAIN BUILDING	13,119 SF
GYM	2,200 SF
GAME ROOM	1,321 SF
GARAGE	2,000 SF
SHED	235 SF
POOL HOUSE	641 SF
TOTAL PROPOSED	19,516 SF



① LOT COVERAGE - EXISTING
1/30" = 1'-0"



② LOT COVERAGE - PROPOSED
1/30" = 1'-0"

FRONT VIEW



FRONT VIEW



NORTH VIEW



WEST VIEW



SOUTH VIEW



EAST VIEW



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DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

PHOTOS

SCALE

AS INDICATED

SHEET NUMBER

A060



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LEAD DESIGN CONSULTANT

PAYMUN BUILDING & DEVELOPMENT, Inc.

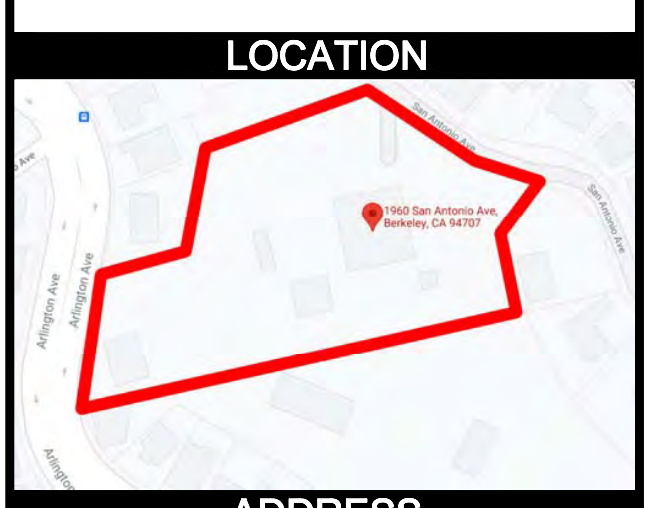
DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

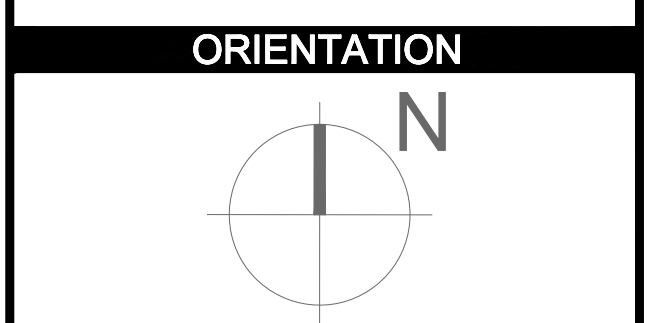
NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023



ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA



SHEET TITLE
SITE PLAN - PROPOSED

SCALE
AS INDICATED
SHEET NUMBER

A101

1. ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF AND BE SUPERVISED BY THE CONSULTING ARBORIST. ROOTS SHOULD BE CUT WITH A SAW TO PROVIDE A FLAT AND SMOOTH CUT. REMOVAL OF ROOTS LARGER THAN 2 IN. IN DIAMETER SHOULD BE AVOIDED.
2. IF ROOTS 2 IN. AND GREATER IN DIAMETER ARE ENCOUNTERED DURING SITE WORK AND MUST BE CUT TO COMPLETE THE CONSTRUCTION, THE CONSULTING ARBORIST MUST BE CONSULTED TO EVALUATE EFFECTS ON THE HEALTH AND STABILITY OF THE TREE AND RECOMMEND TREATMENT.
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4. THE TREE PROTECTION ZONE SHOWN ON ALL PLANS SHALL BE FENCED TO ENCLOSE THE ENTIRE AREA (FIGURE 1). NO GRADING, EXCAVATION, CONSTRUCTION OR STORAGE OF MATERIALS SHALL OCCUR WITHIN THAT ZONE. NO UNDERGROUND SERVICES INCLUDING UTILITIES, SUB-DRAINS, WATER OR SEWER SHALL BE PLACED IN THE TREE PROTECTION ZONE. NO MOTORIZED EQUIPMENT SHALL BE USED IN THE TREE PROTECTION ZONE. THE LIMITS OF THE TREE PROTECTION ZONE SHALL BE ADJUSTED FOLLOWING REVIEW OF GRADING AND CONSTRUCTION PLANS. FOR DESIGN PURPOSES, THE TREE PROTECTION ZONE SHALL BE DEFINED AS THE TREE DRIPLINE.

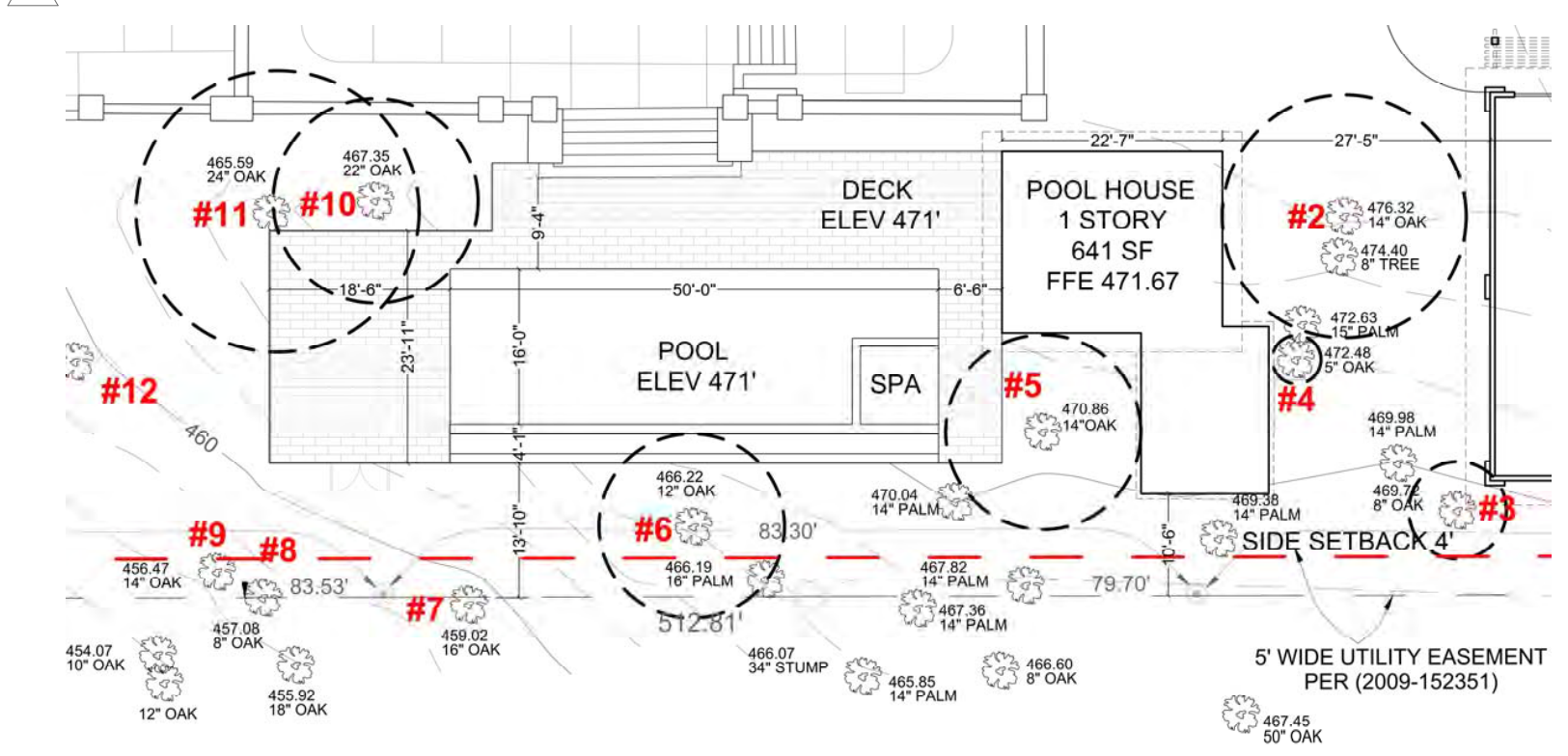
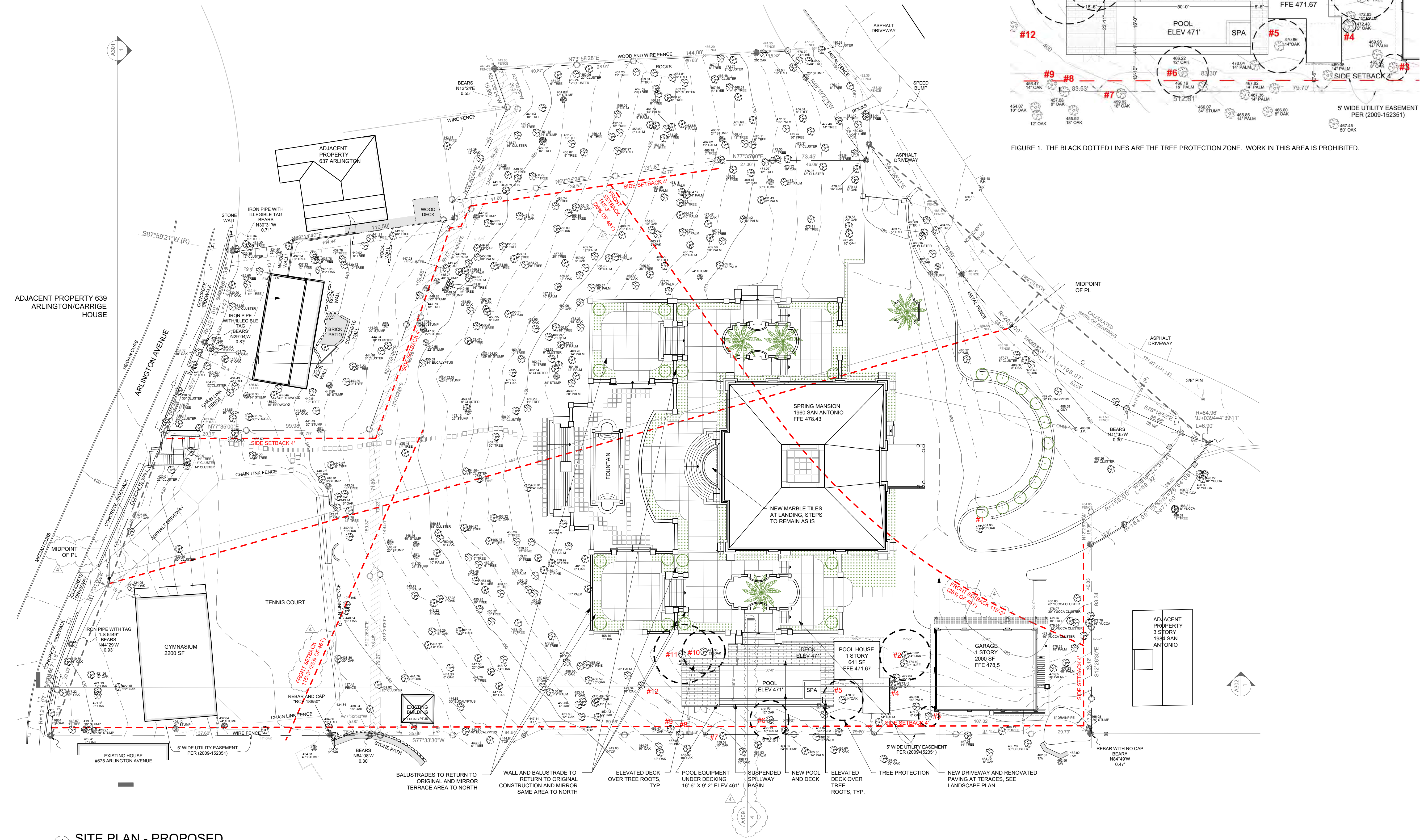
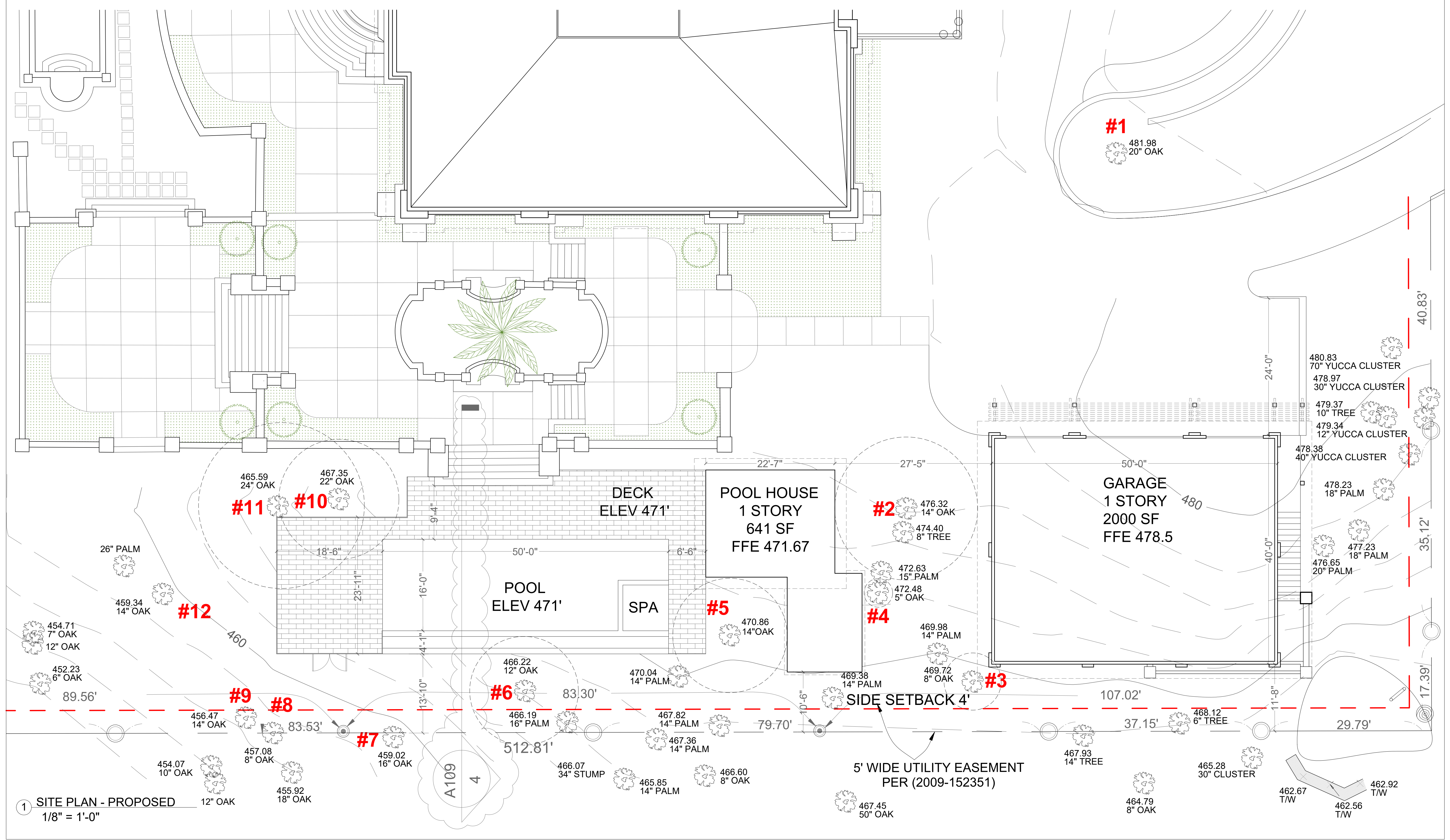
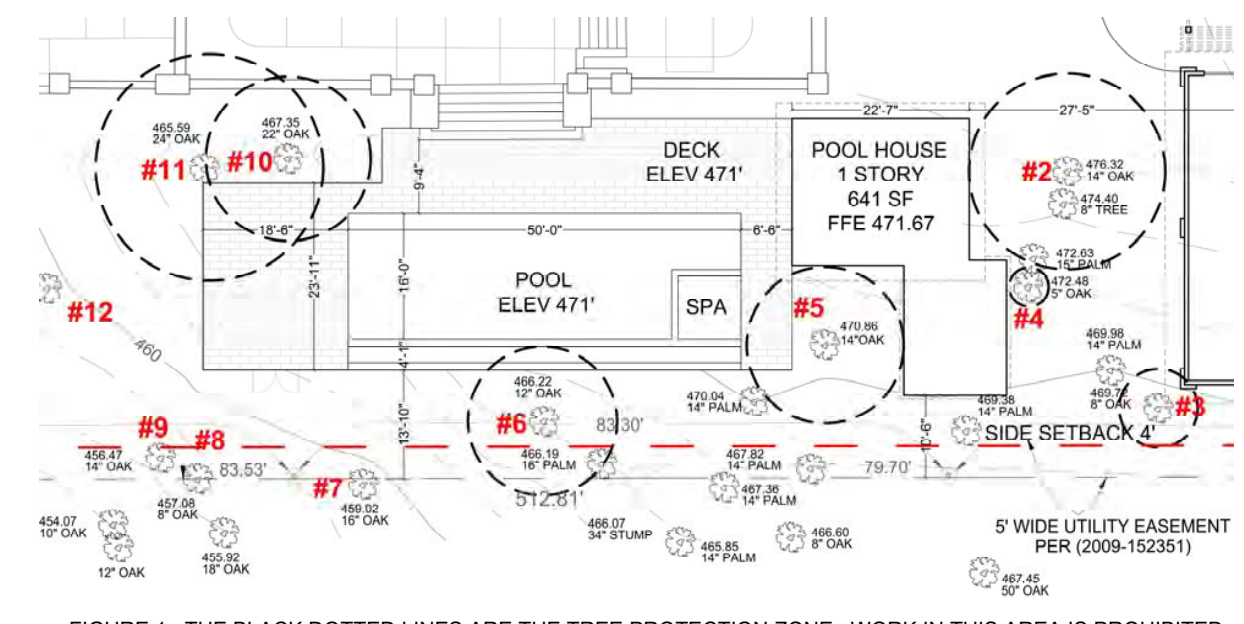


FIGURE 1. THE BLACK DOTTED LINES ARE THE TREE PROTECTION ZONE. WORK IN THIS AREA IS PROHIBITED.



1 SITE PLAN - PROPOSED
1/24" = 1'-0"

1. ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF AND BE SUPERVISED BY THE CONSULTING ARBORIST. ROOTS SHOULD BE CUT WITH A SAW TO PROVIDE A FLAT AND SMOOTH CUT. REMOVAL OF ROOTS LARGER THAN 2 IN. IN DIAMETER SHOULD BE AVOIDED.
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① SITE PLAN - PROPOSED
1/8" = 1'-0"

PAYMUN

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Orinda, CA 94563
Tel: (925) 587-2140

Ben@paymun.com

LEAD DESIGN CONSULTANT

PAYMUN BUILDING &
DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

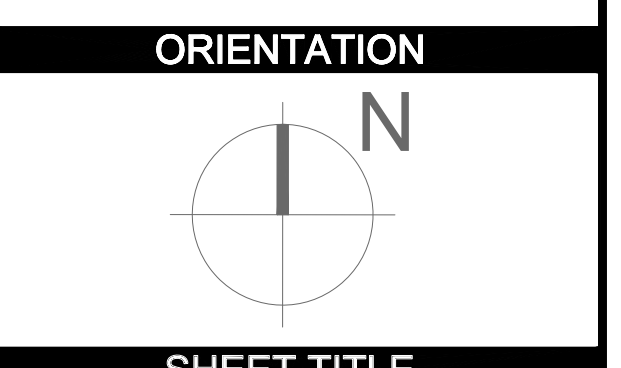
NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023



ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA



SHEET TITLE
ENLARGED SITE PLAN

SCALE
AS INDICATED
SHEET NUMBER

A101B

PAYMUN

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Orinda, CA 94563
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Ben@paymun.com

LEAD DESIGN CONSULTANT

PAYMUN BUILDING & DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

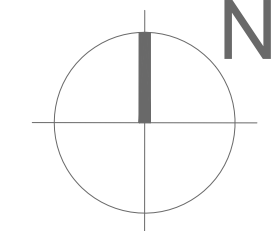


ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION



SHEET TITLE

SITE PLAN - SIMPLIFIED

SCALE

AS INDICATED
SHEET NUMBER

A101C

1. ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF AND BE SUPERVISED BY THE CONSULTING ARBORIST. ROOTS SHOULD BE CUT WITH A SAW TO PROVIDE A FLAT AND SMOOTH CUT. REMOVAL OF ROOTS LARGER THAN 2 IN. IN DIAMETER SHOULD BE AVOIDED.
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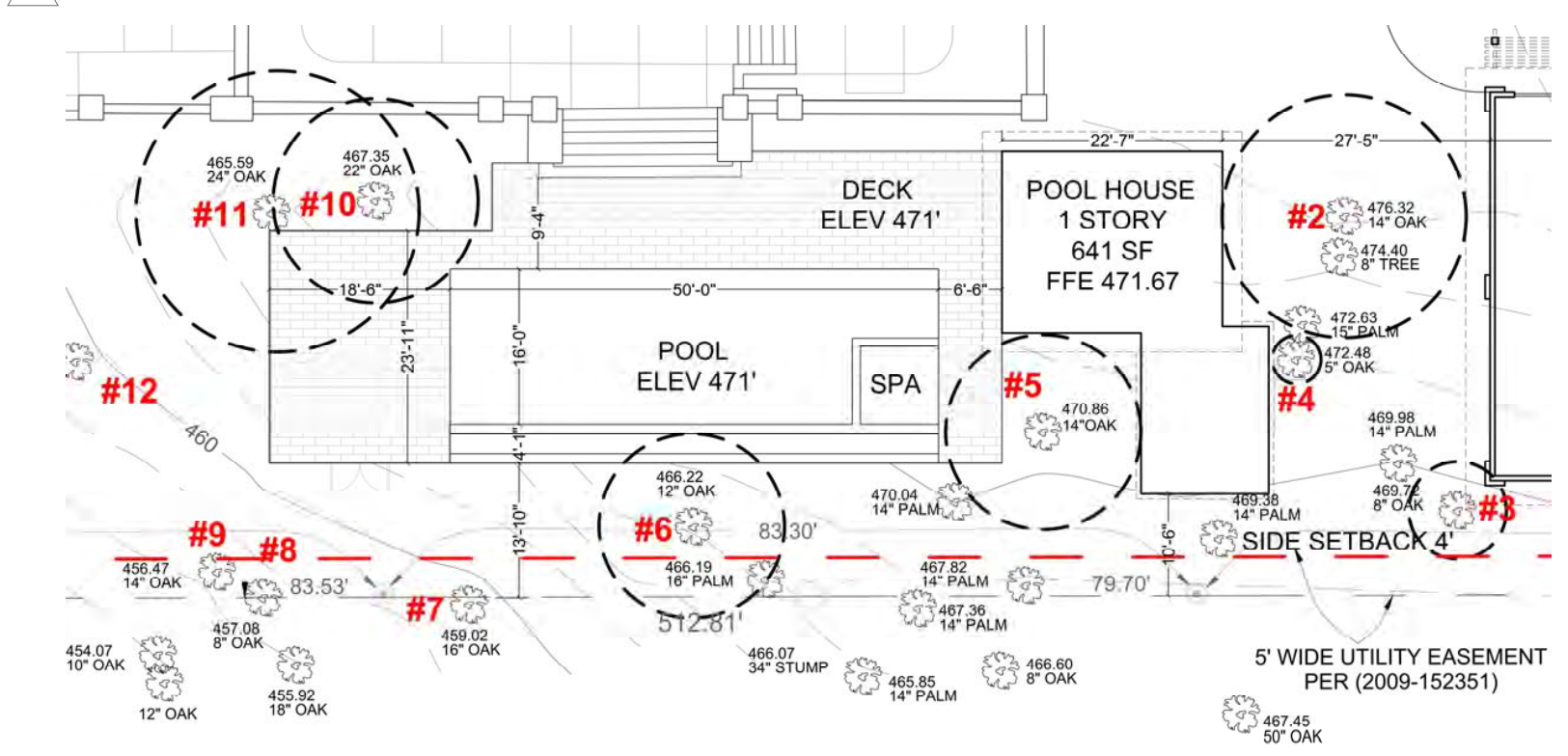
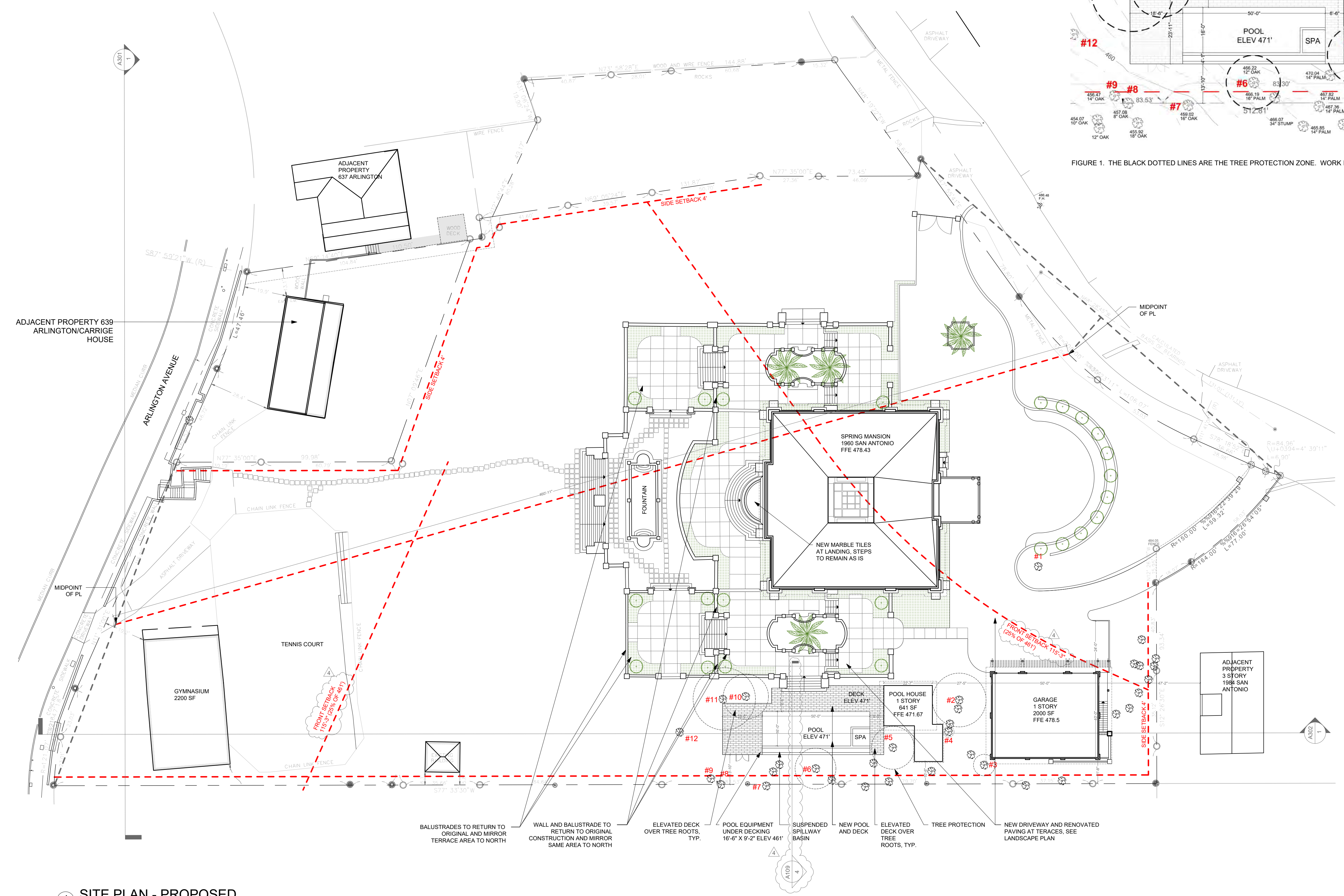





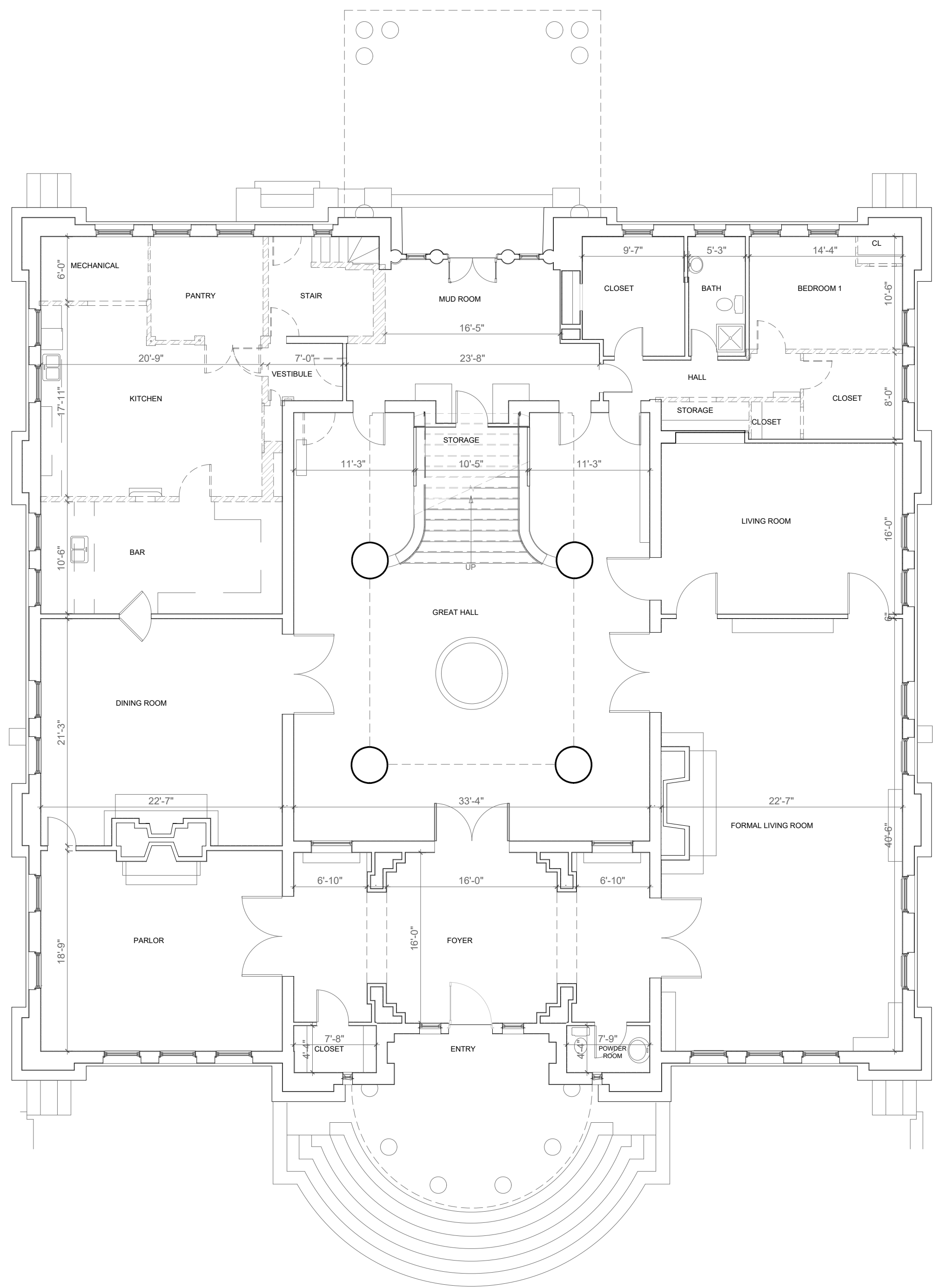
FIGURE 1. THE BLACK DOTTED LINES ARE THE TREE PROTECTION ZONE. WORK IN THIS AREA IS PROHIBITED.



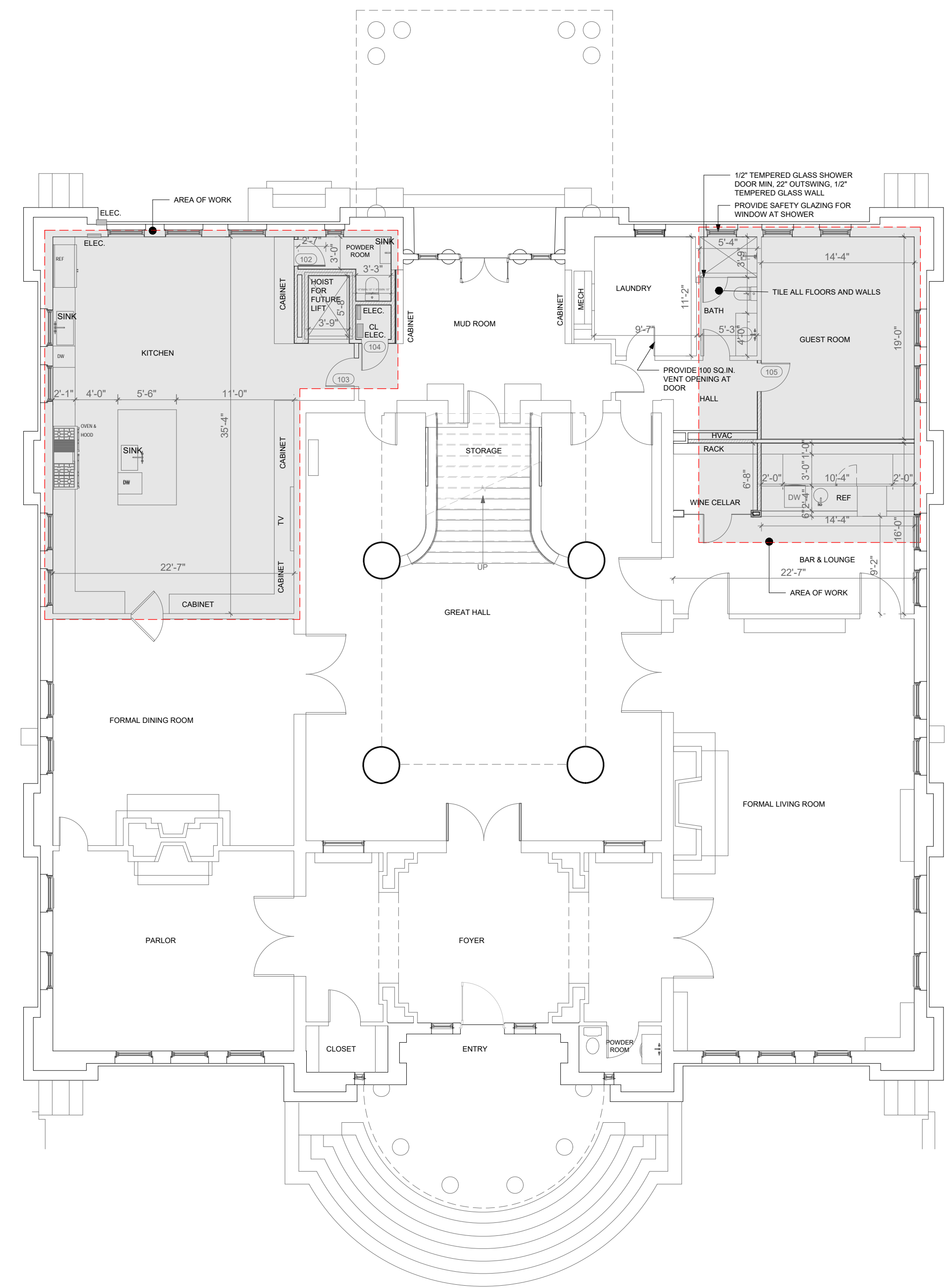
1 SITE PLAN - PROPOSED
1/24" = 1'-0"

- BALUSTRADES TO RETURN TO ORIGINAL AND MIRROR TERRACE AREA TO NORTH
- WALL AND BALUSTRADE TO RETURN TO ORIGINAL CONSTRUCTION AND MIRROR SAME AREA TO NORTH
- ELEVATED DECK OVER TREE ROOTS, TYP.
- POOL EQUIPMENT UNDER DECKING 10'-6" X 9'-2" ELEV 461'
- SUSPENDED SPILLWAY BASIN
- NEW POOL AND DECK
- ELEVATED DECK OVER TREE ROOTS, TYP.
- TREE PROTECTION
- NEW DRIVEWAY AND RENOVATED PAVING AT TERRACES, SEE LANDSCAPE PLAN

WALL LEGEND
 DEMOLISHED WALL 
 NEW WALL 
 1 HOUR RATED WALL 
NOTES:
 ALL NEW WALLS TO MATCH EXISTING FINISH, BASEBOARD AND MOLDING



① 1ST FLOOR EXISTING
1/8" = 1'-0"



② 1ST FLOOR PROPOSED
1/8" = 1'-0"

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DEVELOPMENT, Inc.

DESIGNER & DRAFTER :
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

NOTES

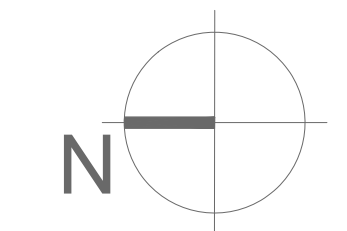
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AREA




ORIENTATION

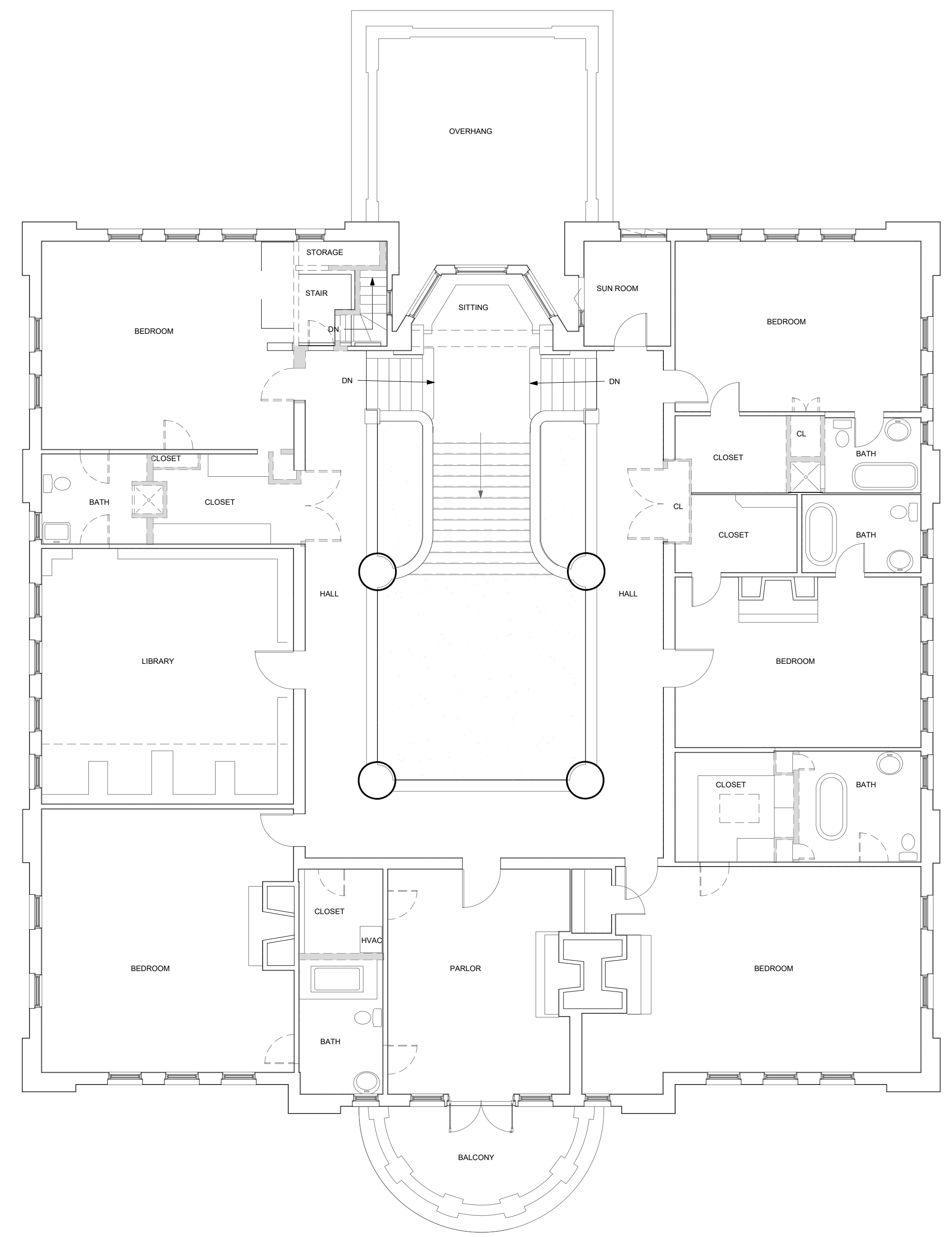


SHEET TITLE
MAIN 1ST FLOOR PLANS
EXISTING & PROPOSED

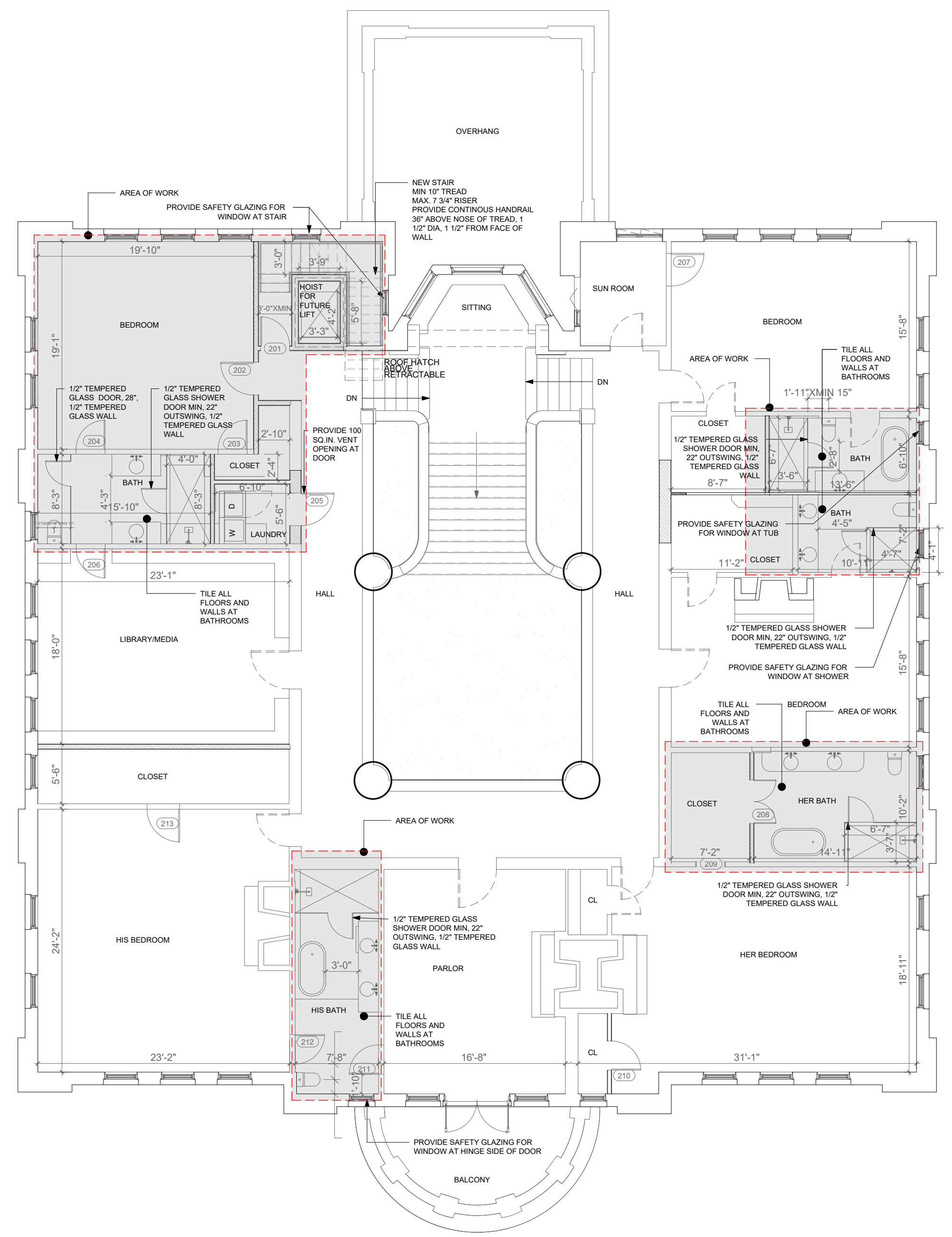
SCALE
AS INDICATED
SHEET NUMBER

A102

WALL LEGEND
 DEMOLISHED WALL 
 NEW WALL 
 1 HOUR RATED WALL 
NOTES:
 ALL NEW WALLS TO MATCH EXISTING FINISH, BASEBOARD AND MOLDING



① 2ND FLOOR EXISTING
1/8" = 1'-0"



② 2ND FLOOR PROPOSED
1/8" = 1'-0"

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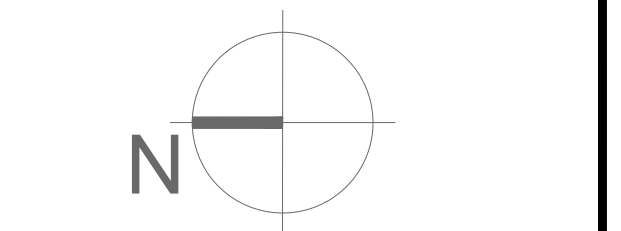
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SHEET TITLE
MAIN 2ND FLOOR PLANS
EXISTING & PROPOSED

SCALE
AS INDICATED

SHEET NUMBER

A103

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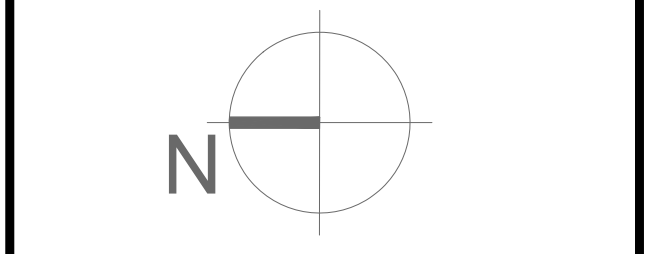
REVISION	DATE
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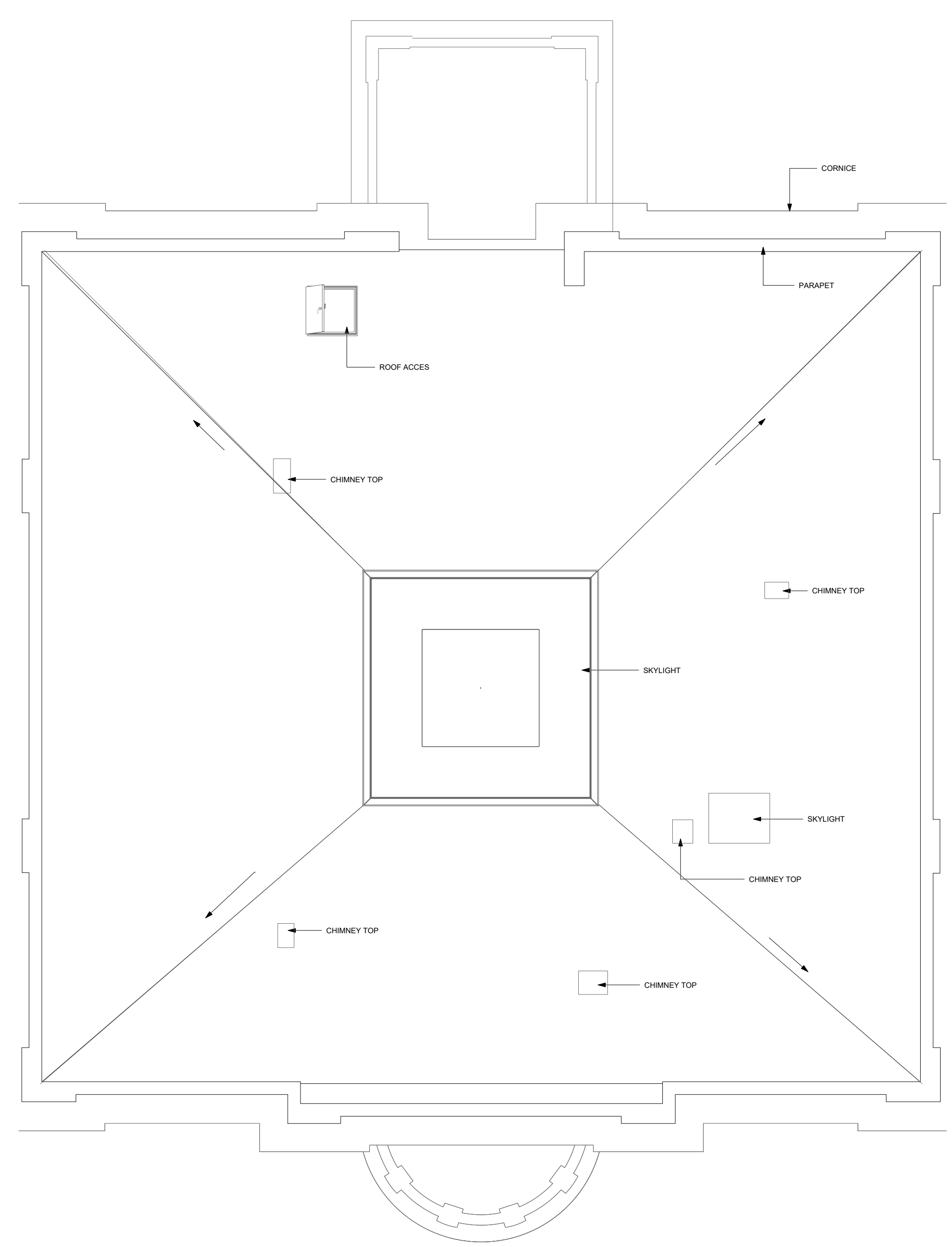
ORIENTATION



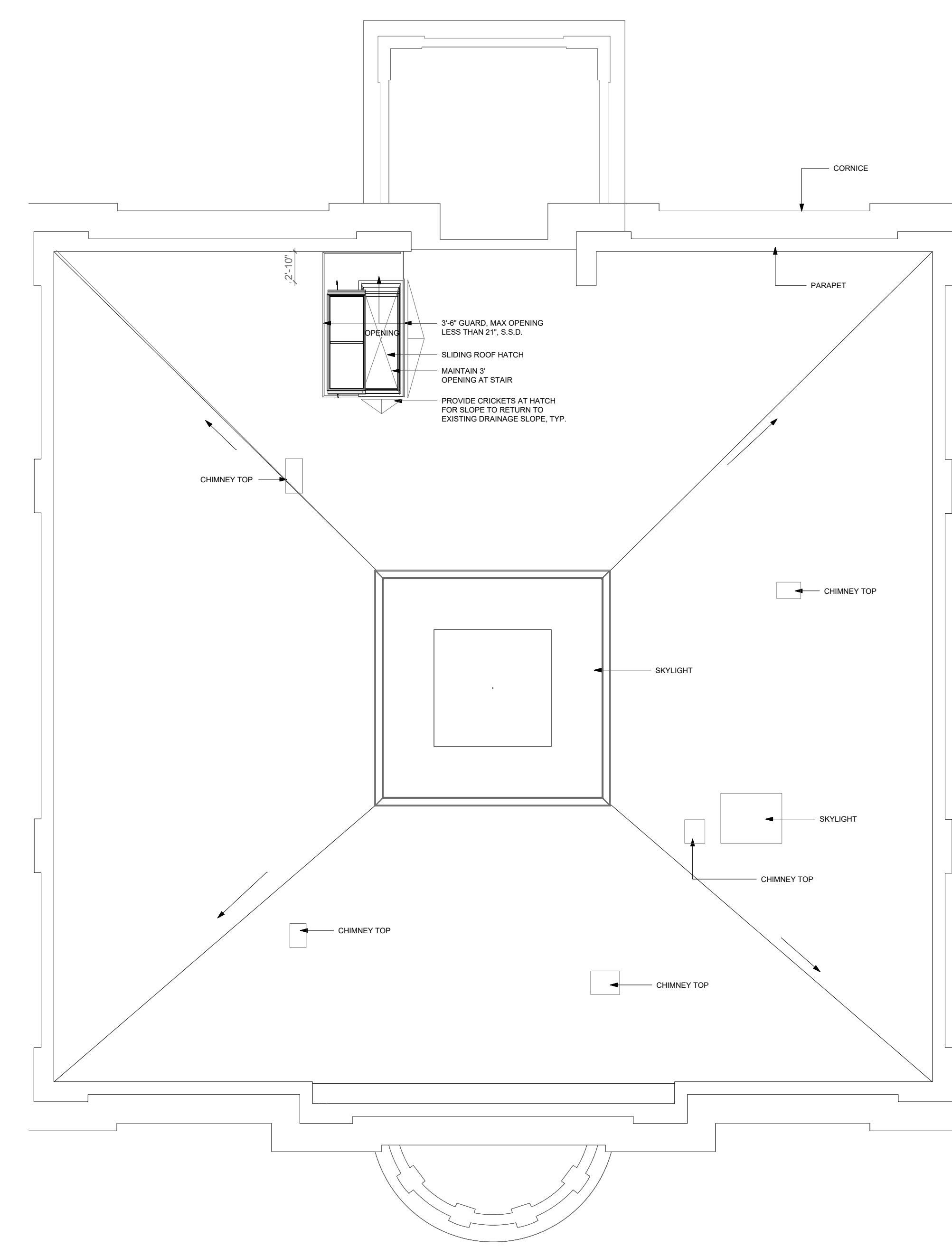
SHEET TITLE
MAIN ROOF PLANS
EXISTING & PROPOSED

SCALE
AS INDICATED



SHEET NUMBER
A104

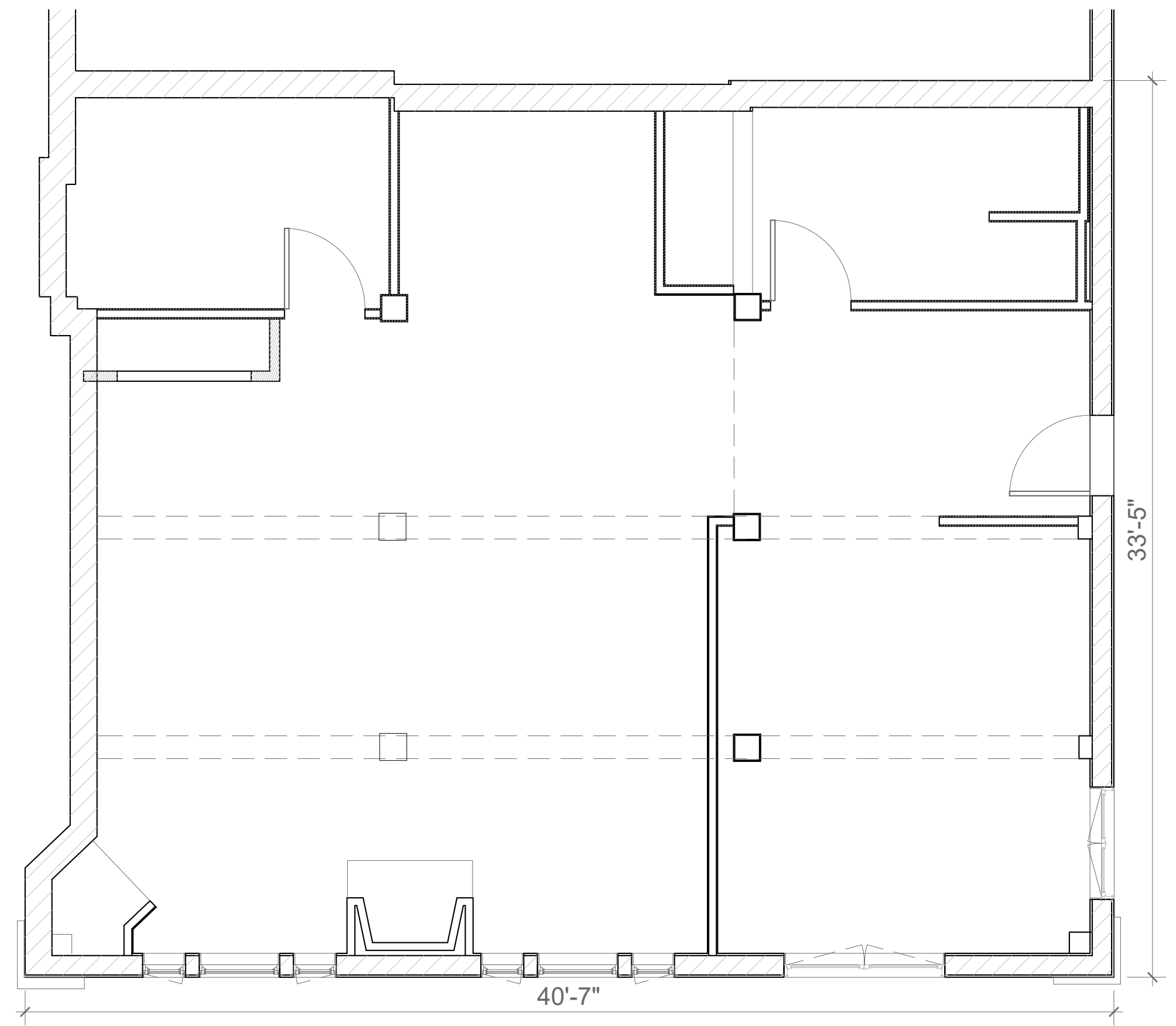


① ROOF PLAN EXISTING
1/8" = 1'-0"

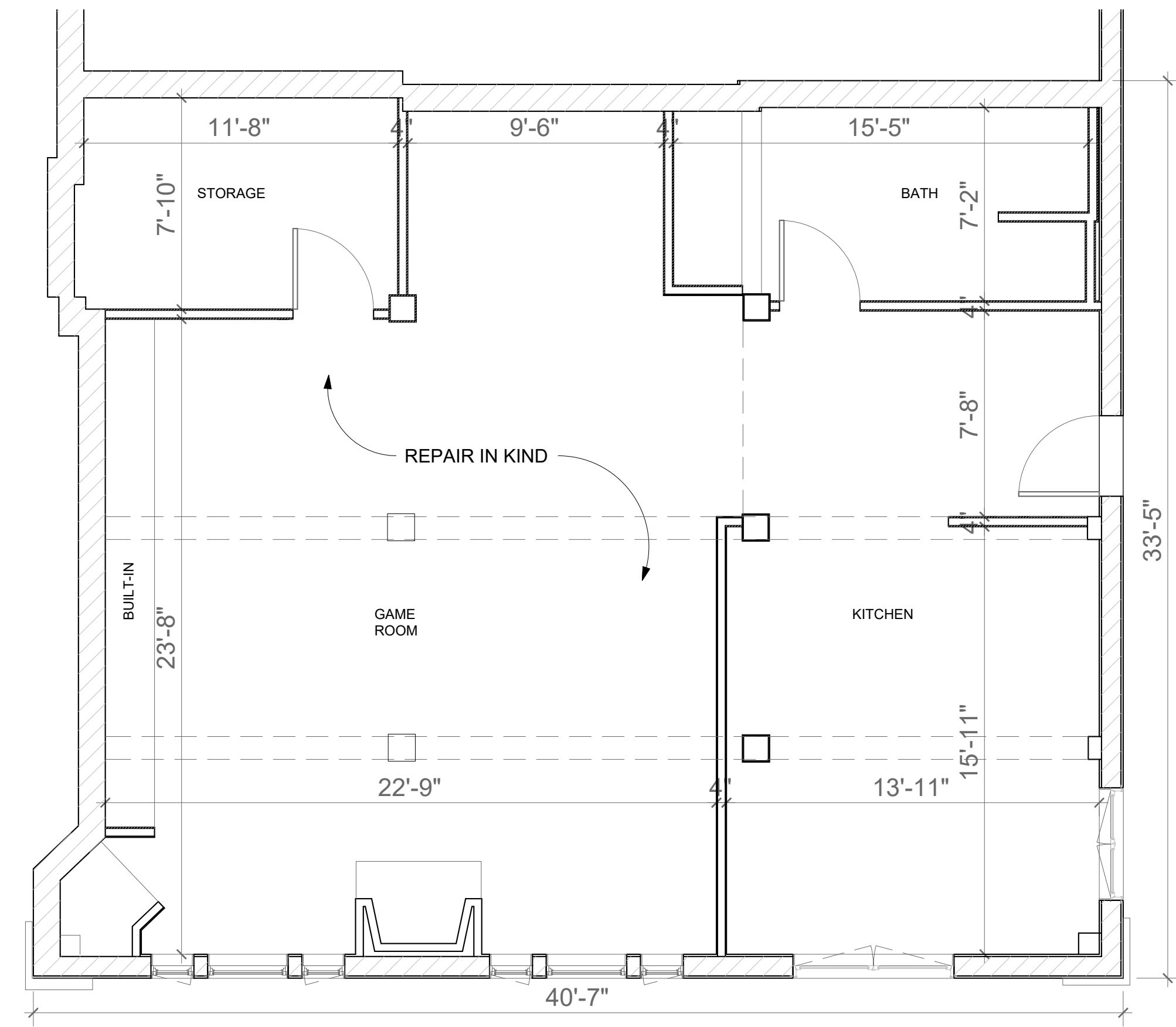


② ROOF PLAN PROPOSED
1/8" = 1'-0"

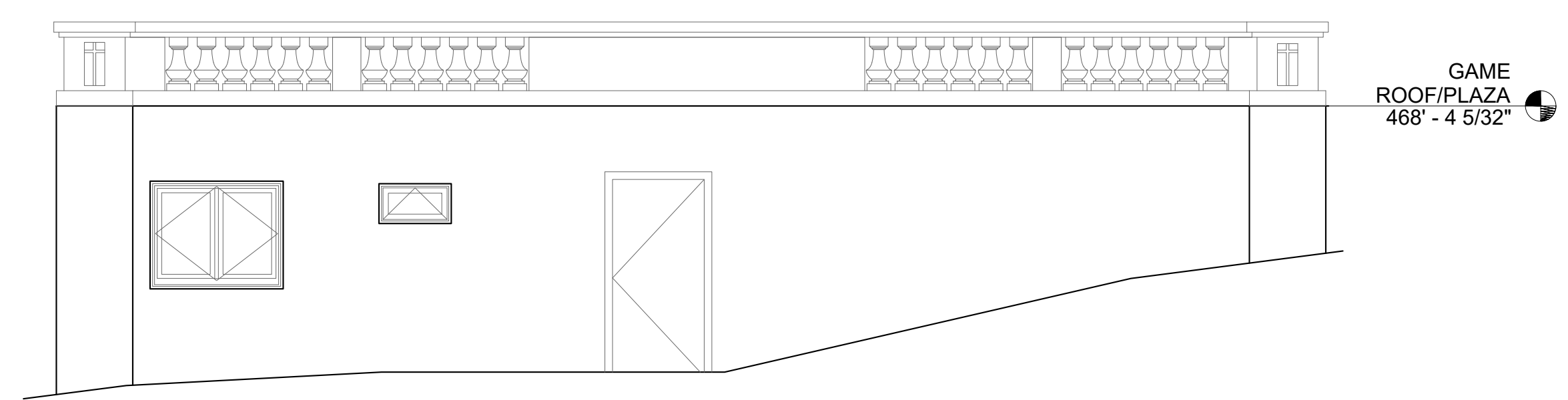
WALL LEGEND
 DEMOLISHED WALL 
 EXISTING WALL 



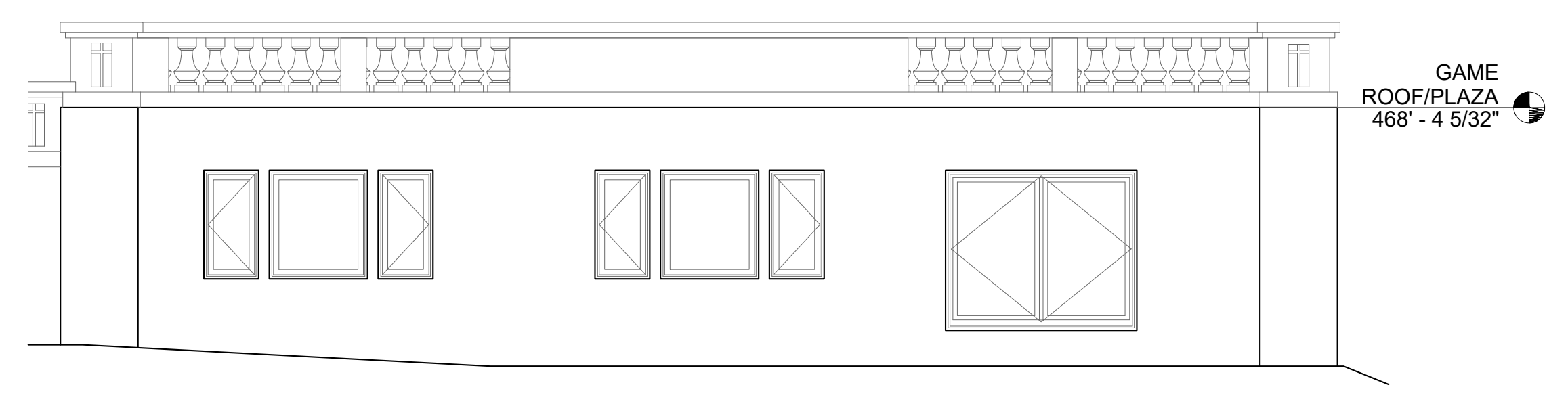
1 GAME ROOM - EXISTING & DEMOLITION
1/4" = 1'-0"



2 GAME ROOM - PROPOSED
1/4" = 1'-0"



3 GAME ROOM - SOUTH ELEVATION
1/4" = 1'-0"



4 GAME ROOM - WEST ELEVATION
1/4" = 1'-0"

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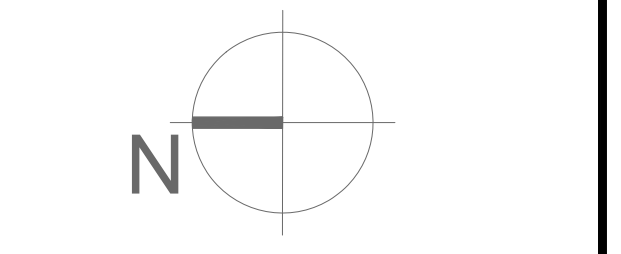
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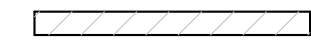

AREA
ORIENTATION

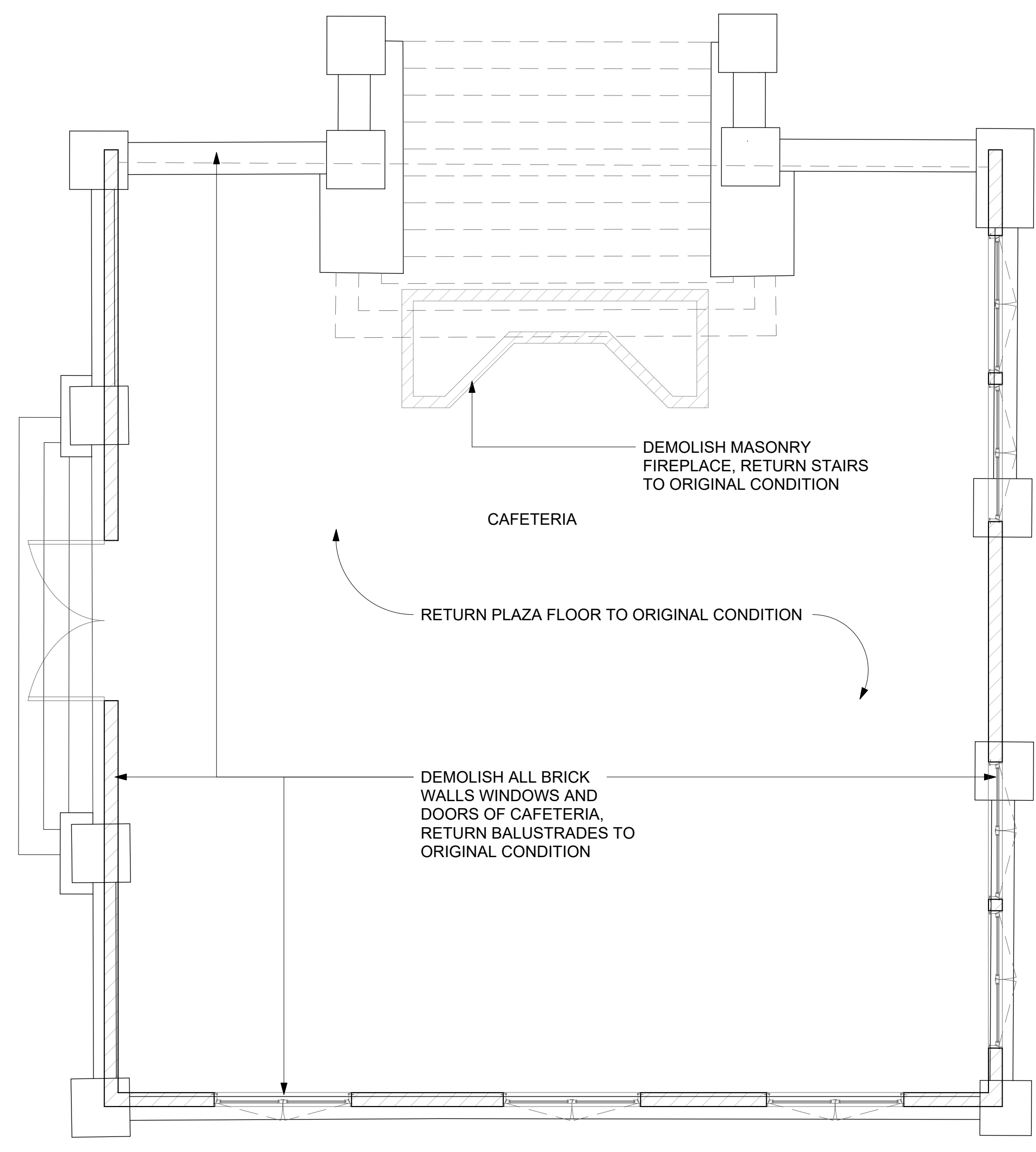


SHEET TITLE
GAMEROOM
PLANS & ELEVATIONS
EXISTING & PROPOSED

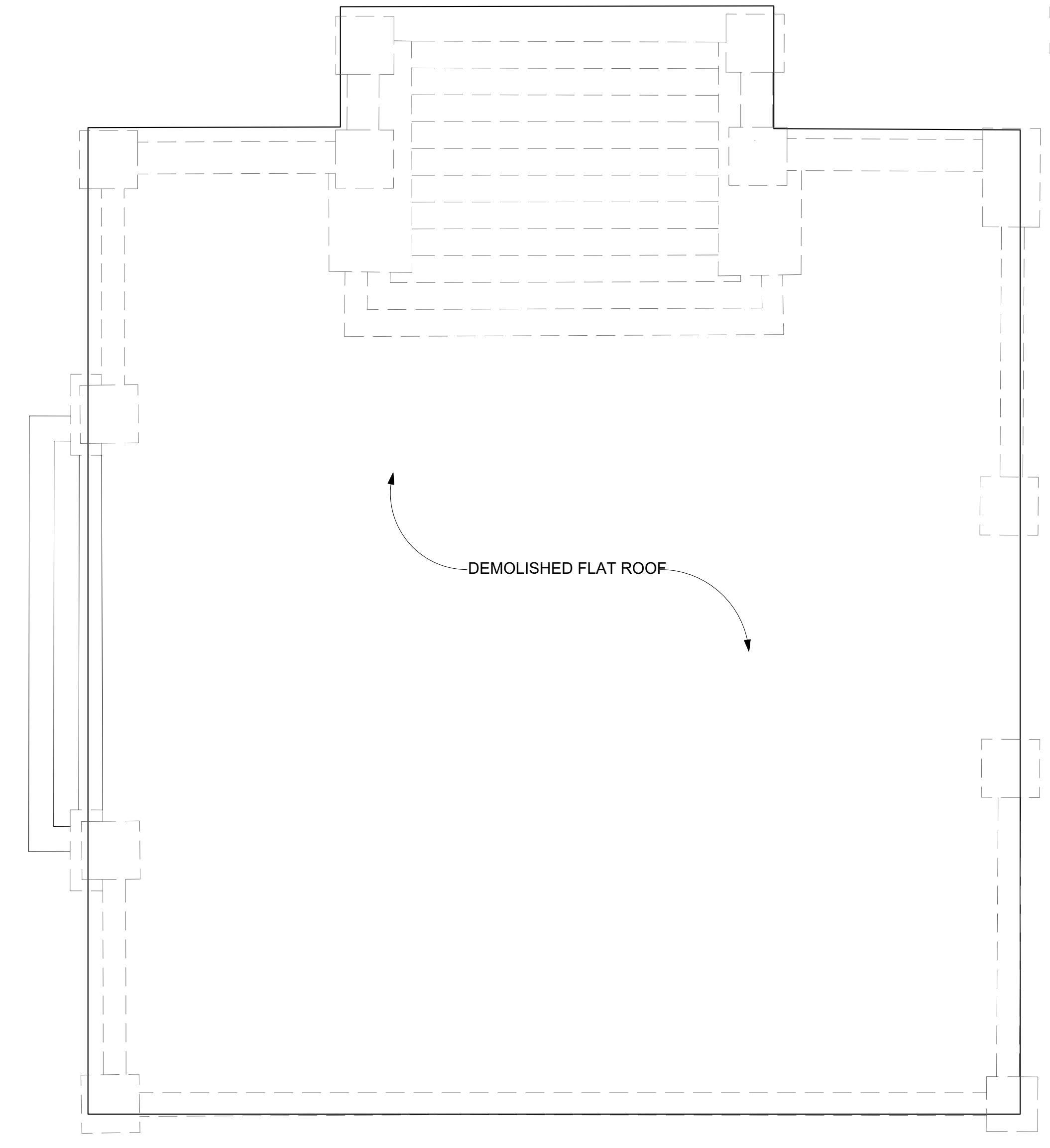
SCALE
AS INDICATED
SHEET NUMBER

A107

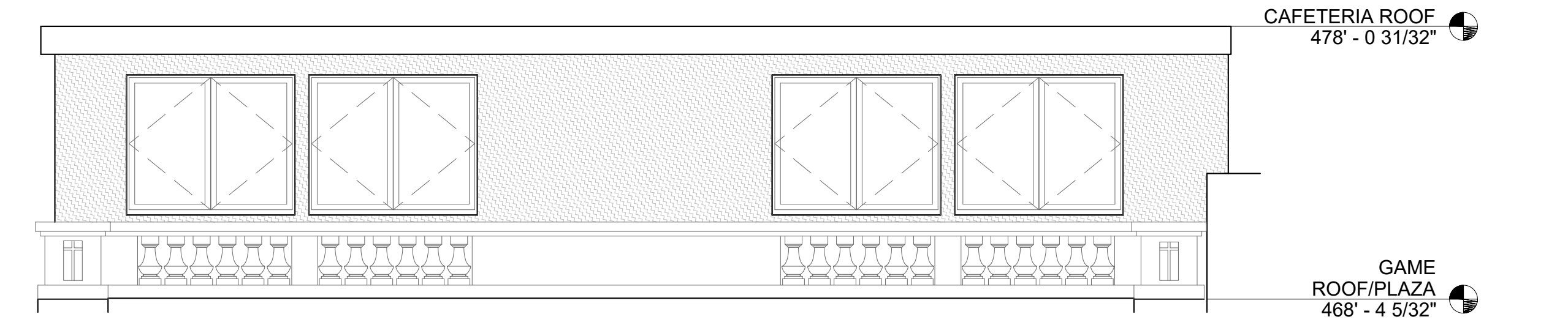
WALL LEGEND
 DEMOLISHED WALL 
 EXISTING WALL 



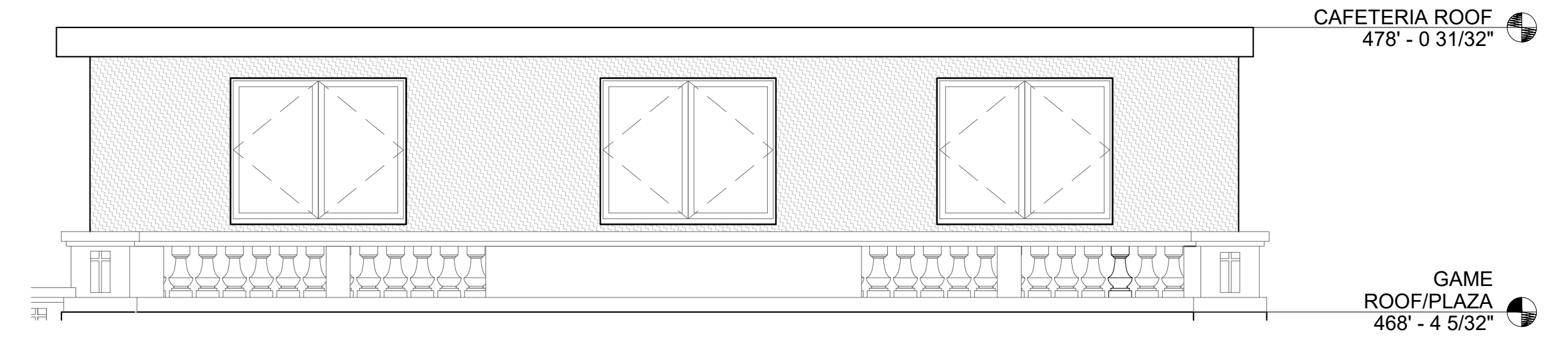
1 CAFETERIA - DEMOLITION
1/4" = 1'-0"



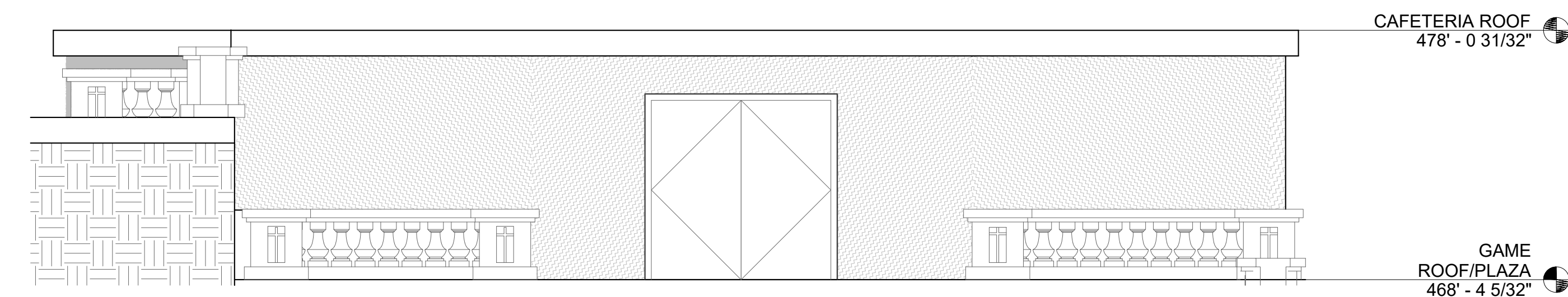
2 CAFETERIA ROOF - DEMOLITION
1/4" = 1'-0"



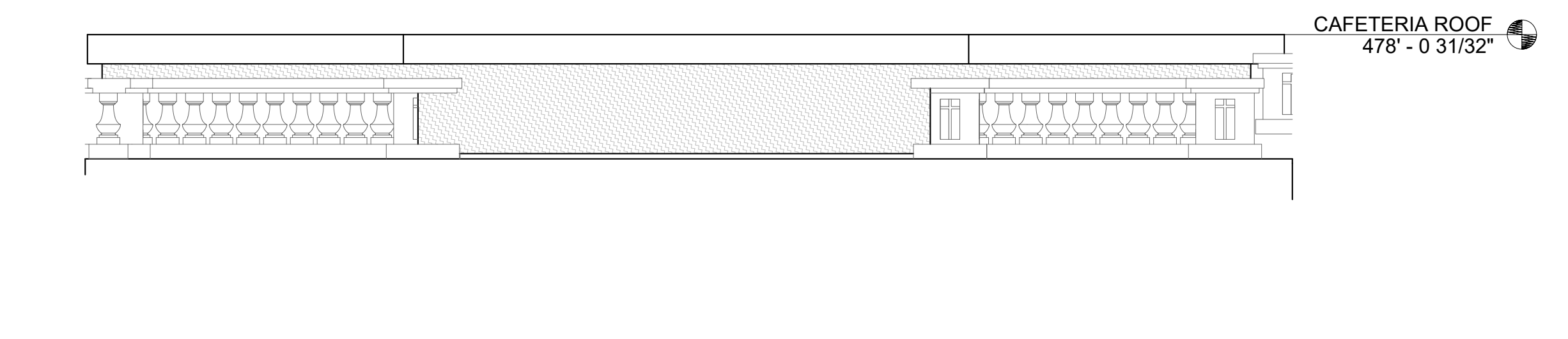
3 CAFETERIA - SOUTH ELEVATION
1/4" = 1'-0"



4 CAFETERIA - WEST ELEVATION
1/4" = 1'-0"



5 CAFETERIA - NORTH ELEVATION
1/4" = 1'-0"



6 CAFETERIA - EAST ELEVATION
1/4" = 1'-0"

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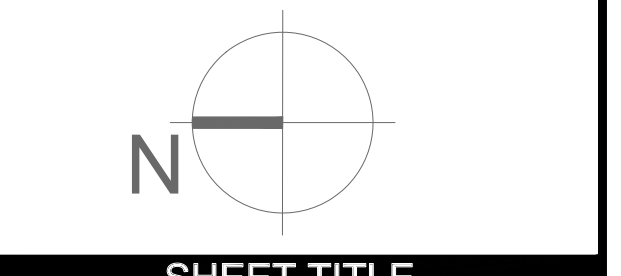
NOTES

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AREA
ORIENTATION



SHEET TITLE
CAFETERIA - DEMOLITION

SCALE
AS INDICATED
SHEET NUMBER

A108

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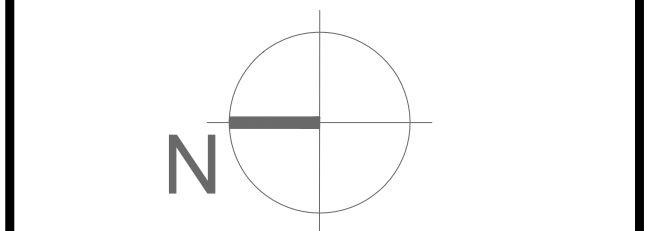


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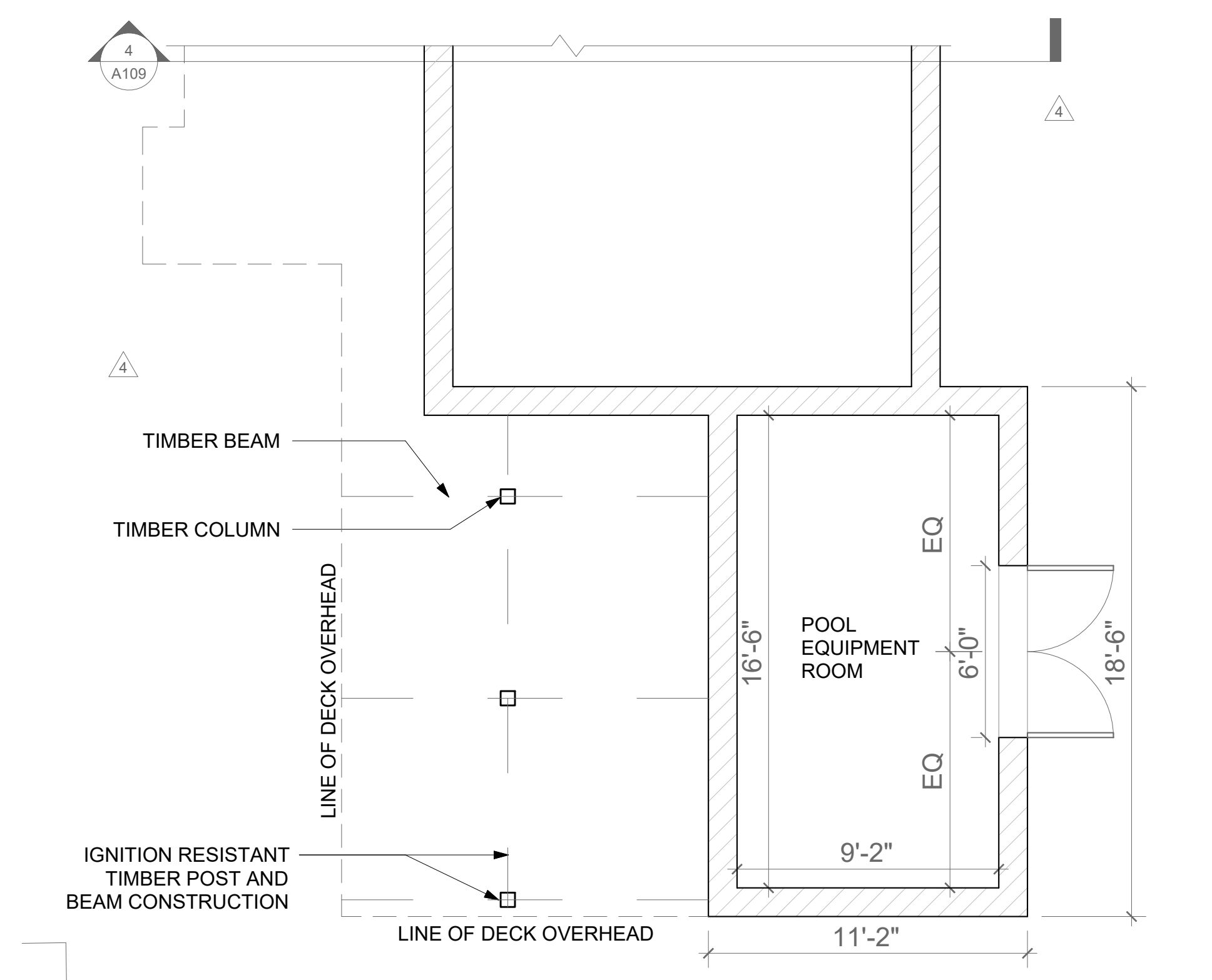
SHEET TITLE

POOL EQUIPMENT ROOM
PLAN, ELEVATION & SECTION

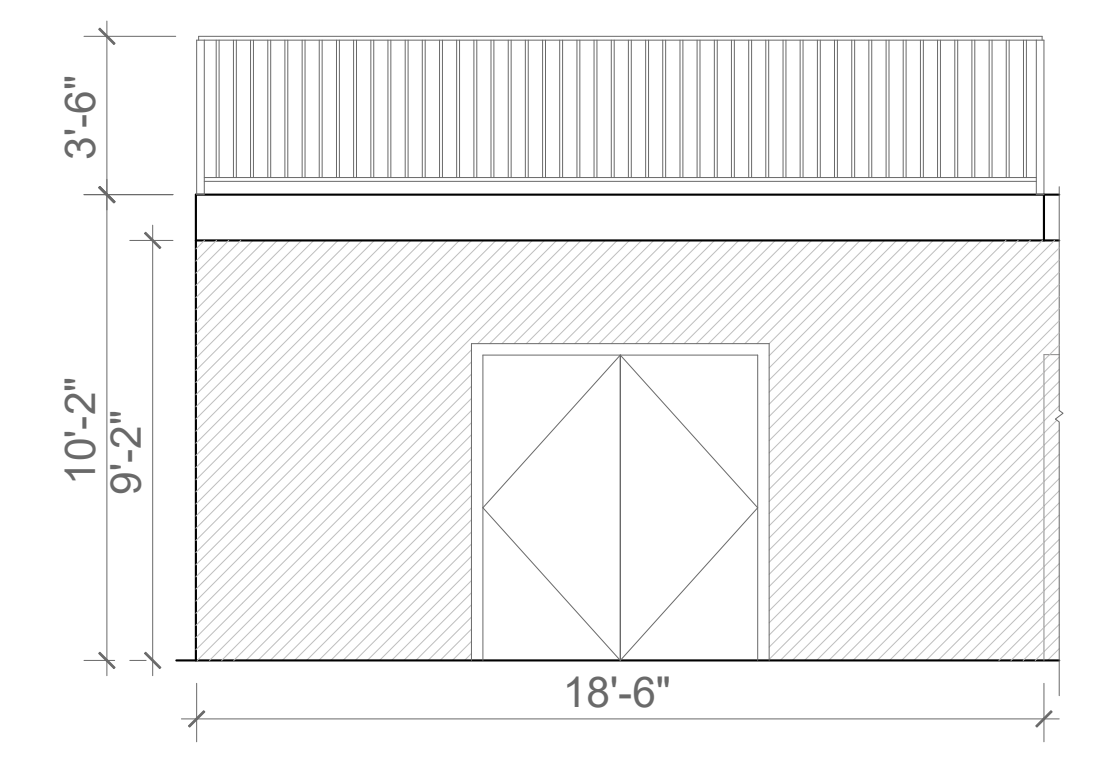
SCALE

AS INDICATED
SHEET NUMBER

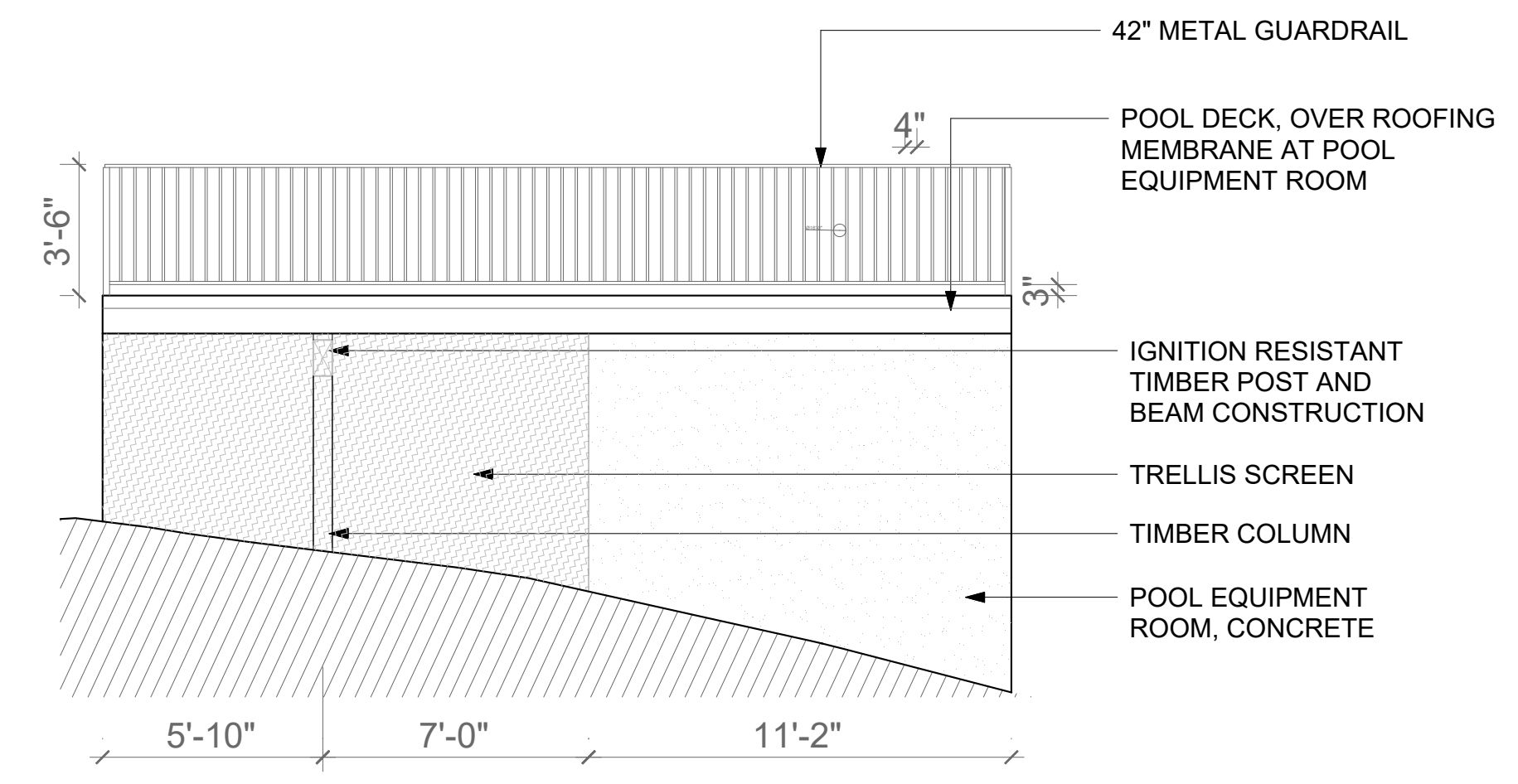
A109



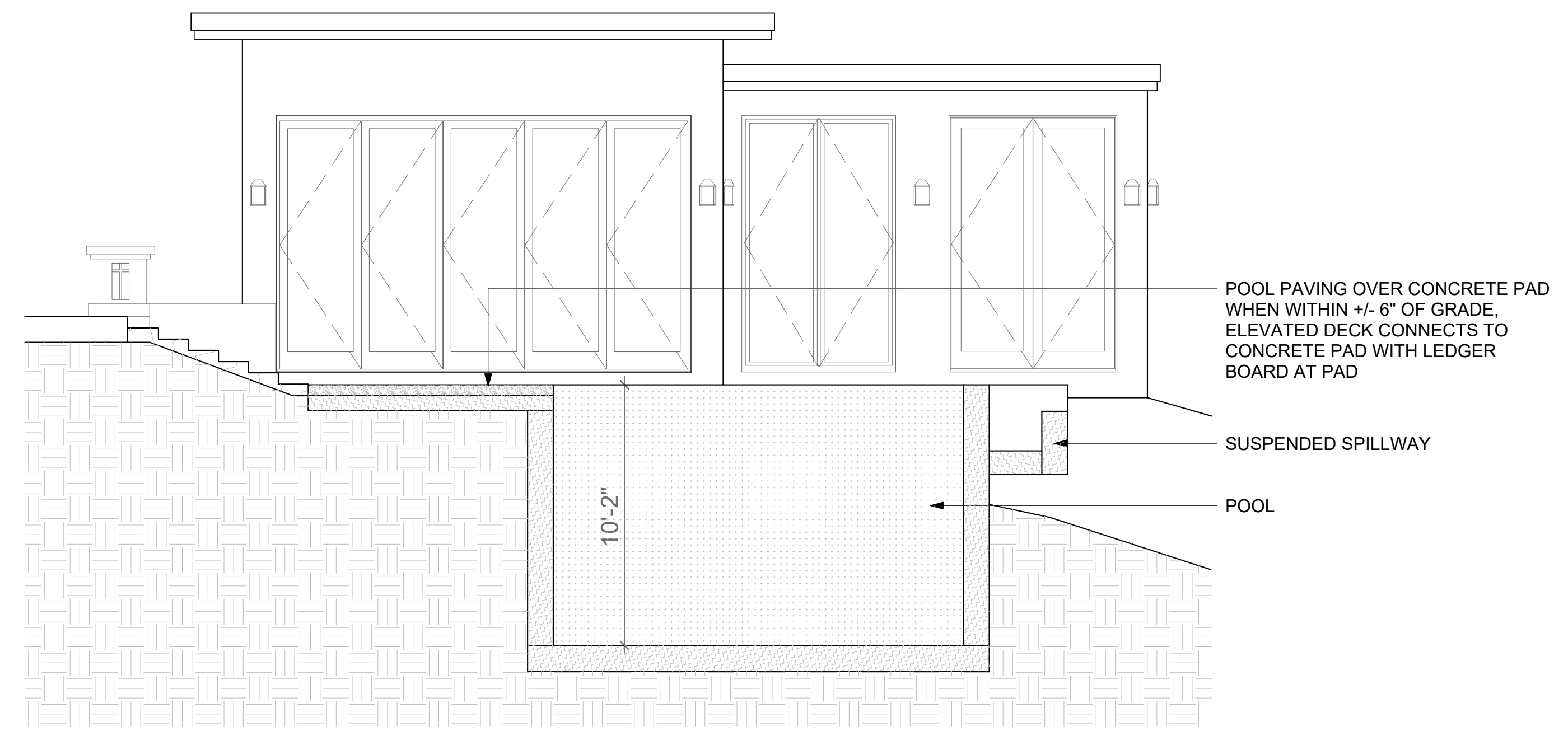
① POOL EQUIPMENT ROOM
1/4" = 1'-0"



② POOL EQUIPMENT - SOUTH ELEVATION
1/4" = 1'-0"



③ POOL EQUIPMENT - WEST ELEVATION
1/4" = 1'-0"



④ SECTION AT TERRACE STAIRS TO POOL DECK
1/4" = 1'-0"

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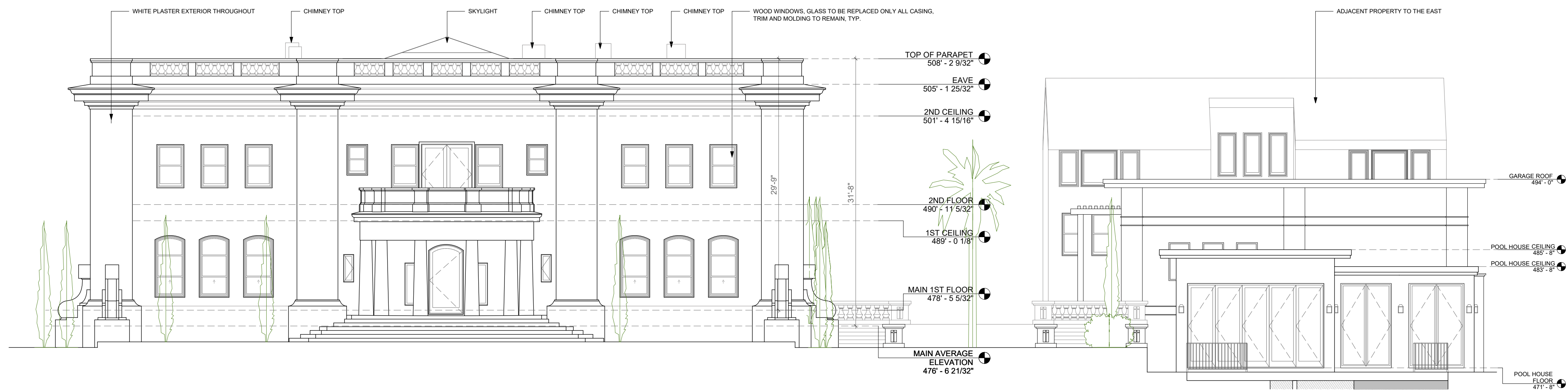
AREA

ORIENTATION

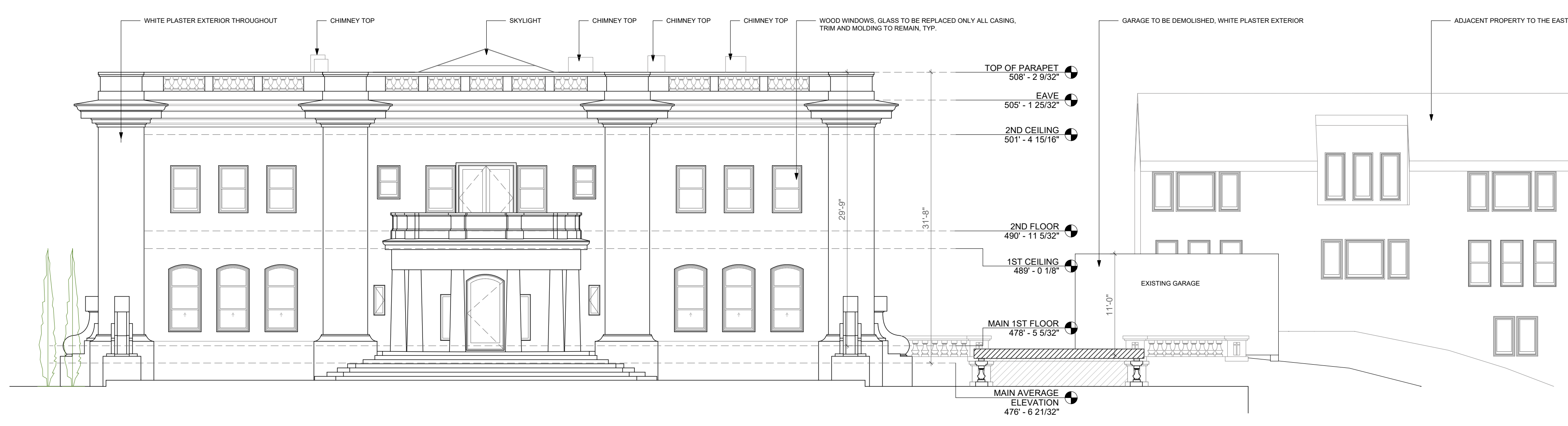
SHEET TITLE
MAIN ELEVATIONS WEST
EXISTING & PROPOSED

SCALE
AS INDICATED
SHEET NUMBER

A201



① WEST ELEVATION - PROPOSED
1/8" = 1'-0"



② WEST ELEVATION - EXISTING
1/8" = 1'-0"

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ORIENTATION

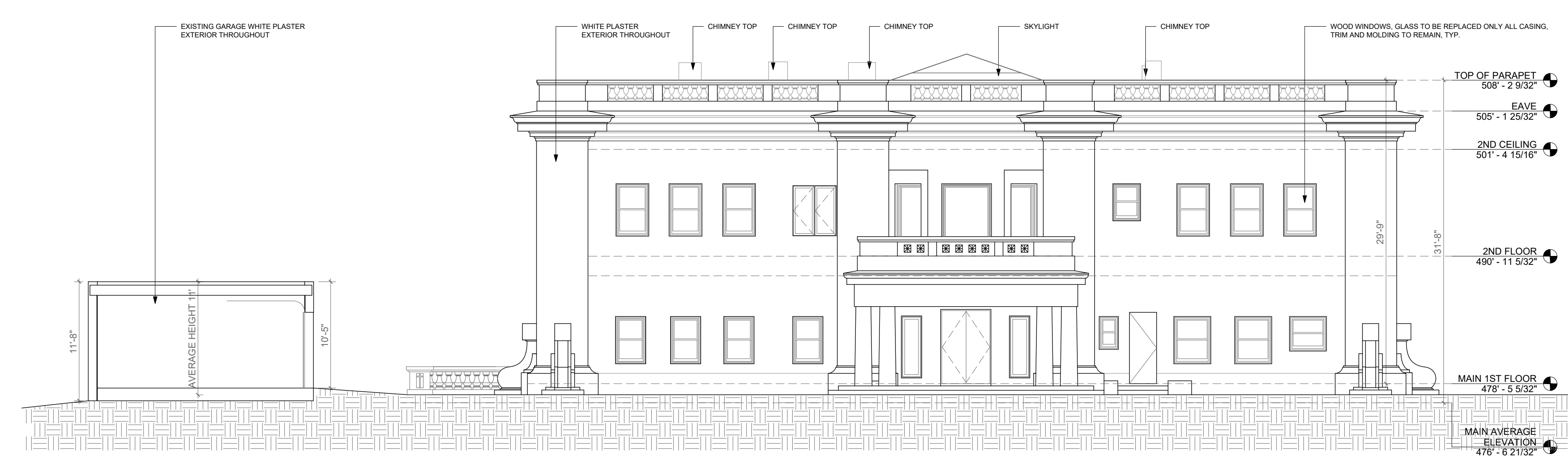
SHEET TITLE
MAIN ELEVATIONS EAST
EXISTING & PROPOSED

SCALE
AS INDICATED
SHEET NUMBER

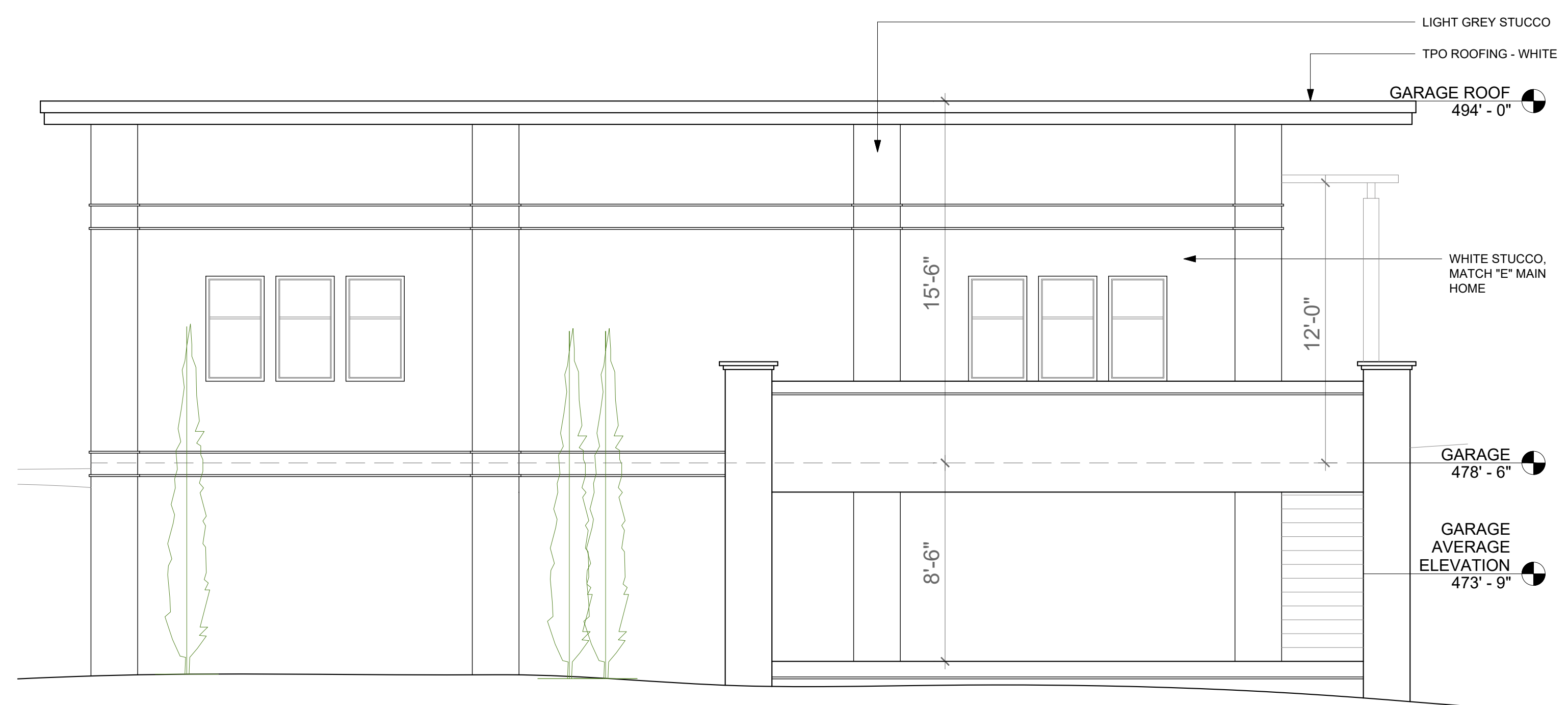
A202



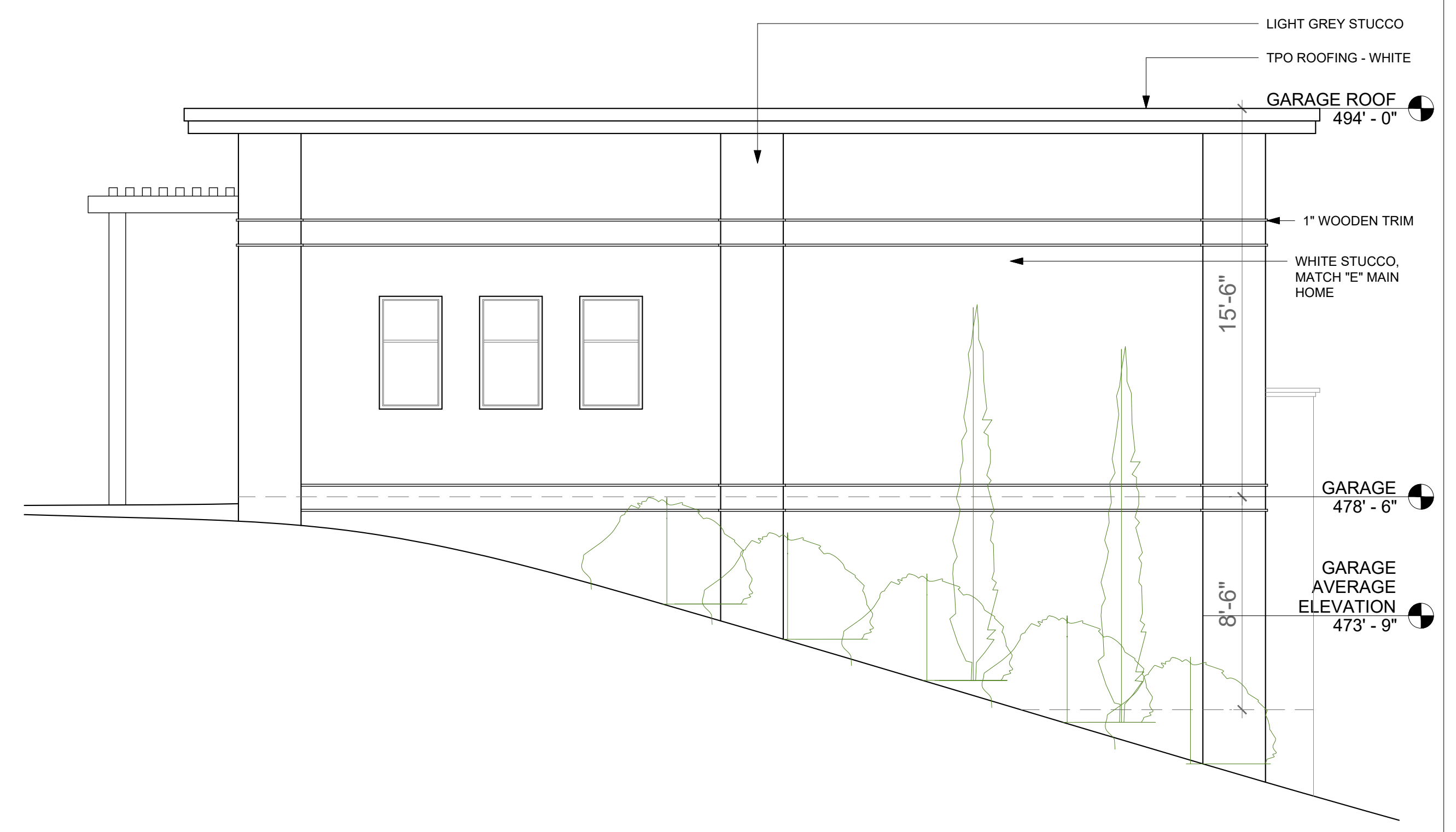
① EAST ELEVATION - PROPOSED
1/8" = 1'-0"



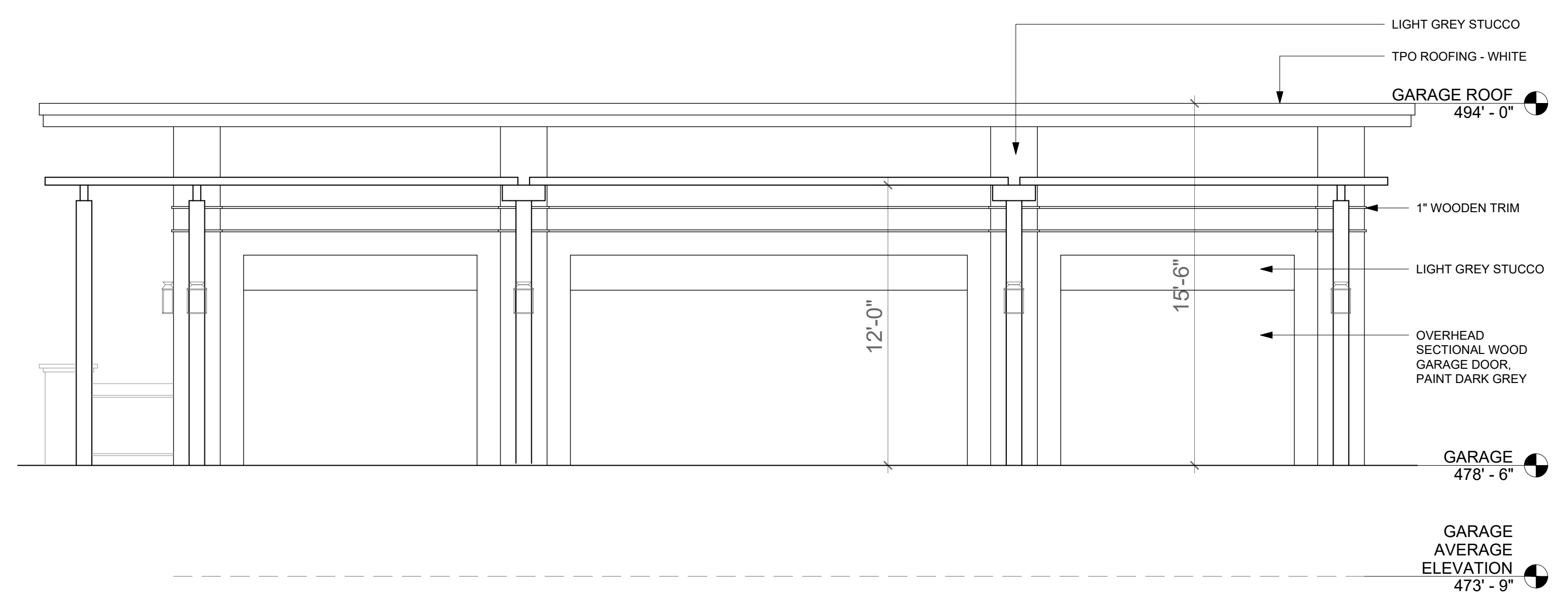
② EAST ELEVATION - EXISTING
1/8" = 1'-0"



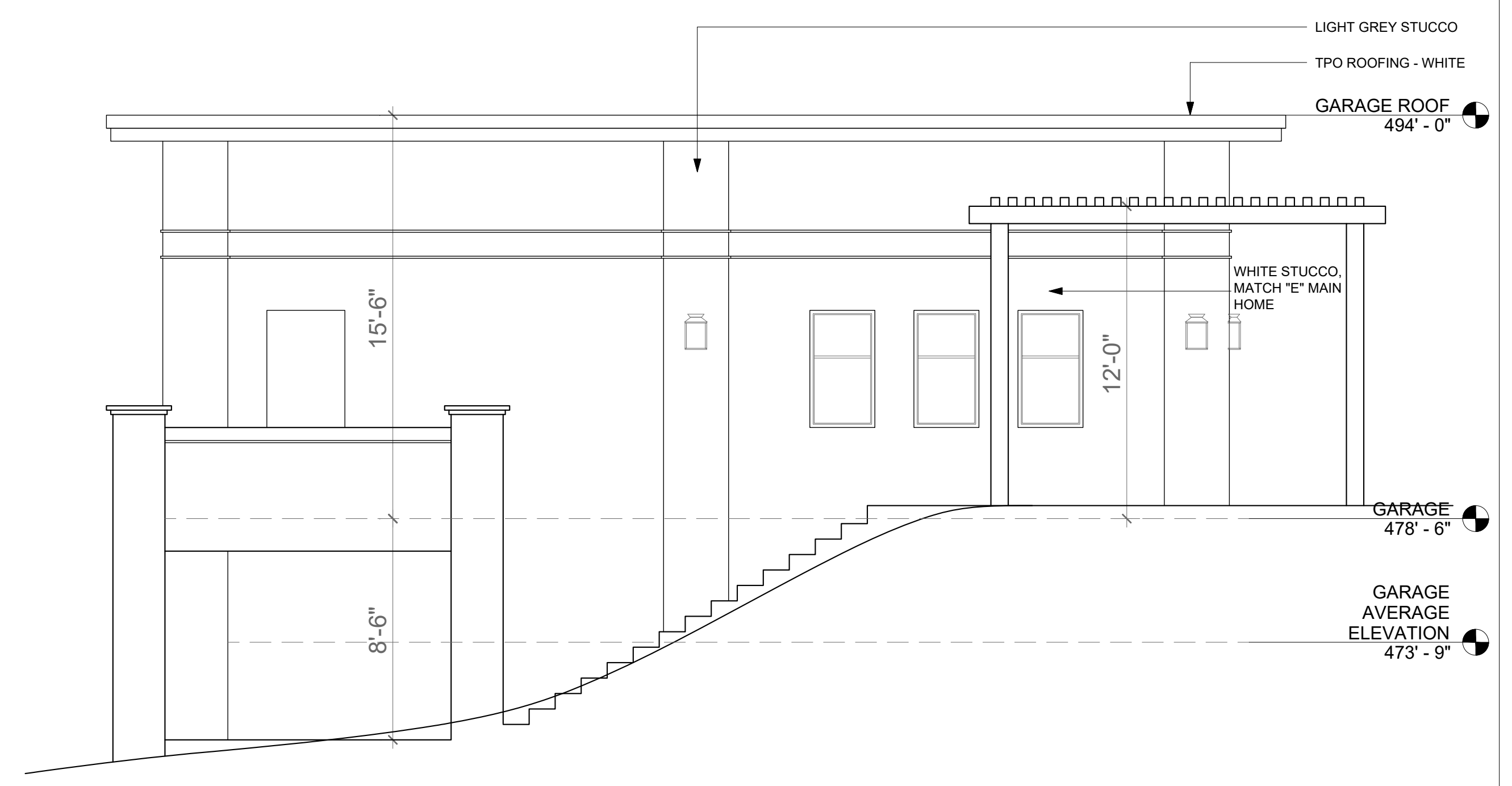
① GARAGE - SOUTH ELEVATION
1/4" = 1'-0"



② GARAGE - WEST ELEVATION
1/4" = 1'-0"



③ GARAGE - NORTH ELEVATION
1/4" = 1'-0"



④ GARAGE - EAST ELEVATION
1/4" = 1'-0"

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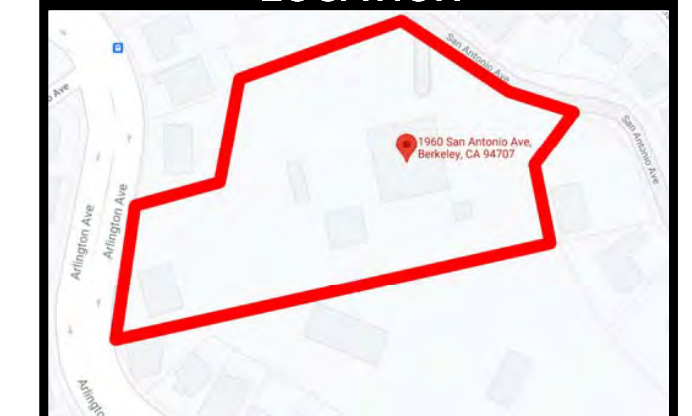
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LOCATION



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ORIENTATION

SHEET TITLE

GARAGE ELEVATION

SCALE

AS INDICATED

SHEET NUMBER

A205

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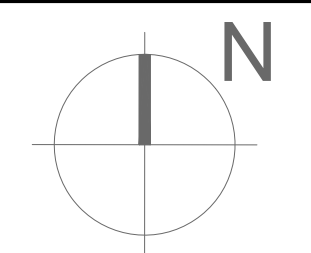


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ORIENTATION



SHEET TITLE

SITE SECTIONS

SCALE

AS INDICATED

SHEET NUMBER

A301



① SITE SECTION FROM ARLINGTON AVE - EXISTING
1/12" = 1'-0"



② SITE SECTION FROM ARLINGTON AVE - PROPOSED
1/12" = 1'-0"

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ORIENTATION

SHEET TITLE

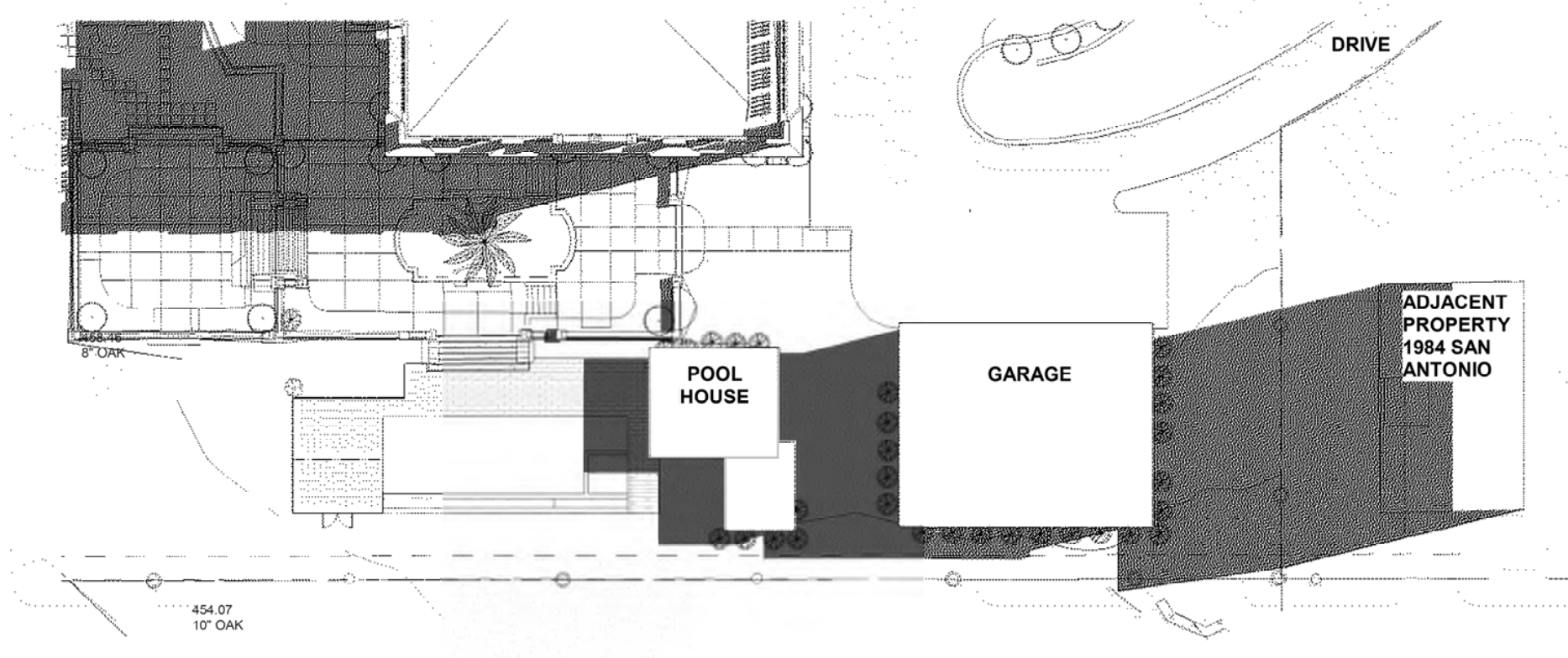
SHADOW STUDY

SCALE

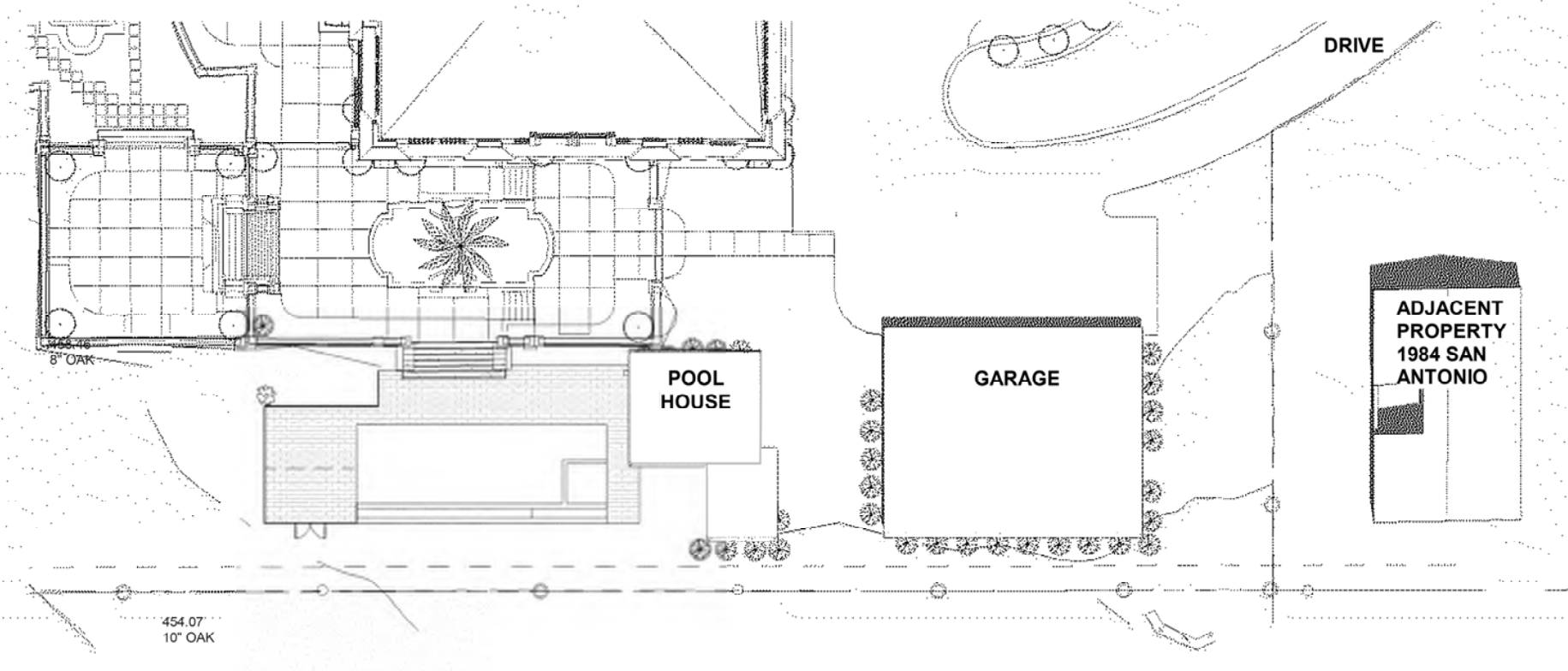
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SHEET NUMBER

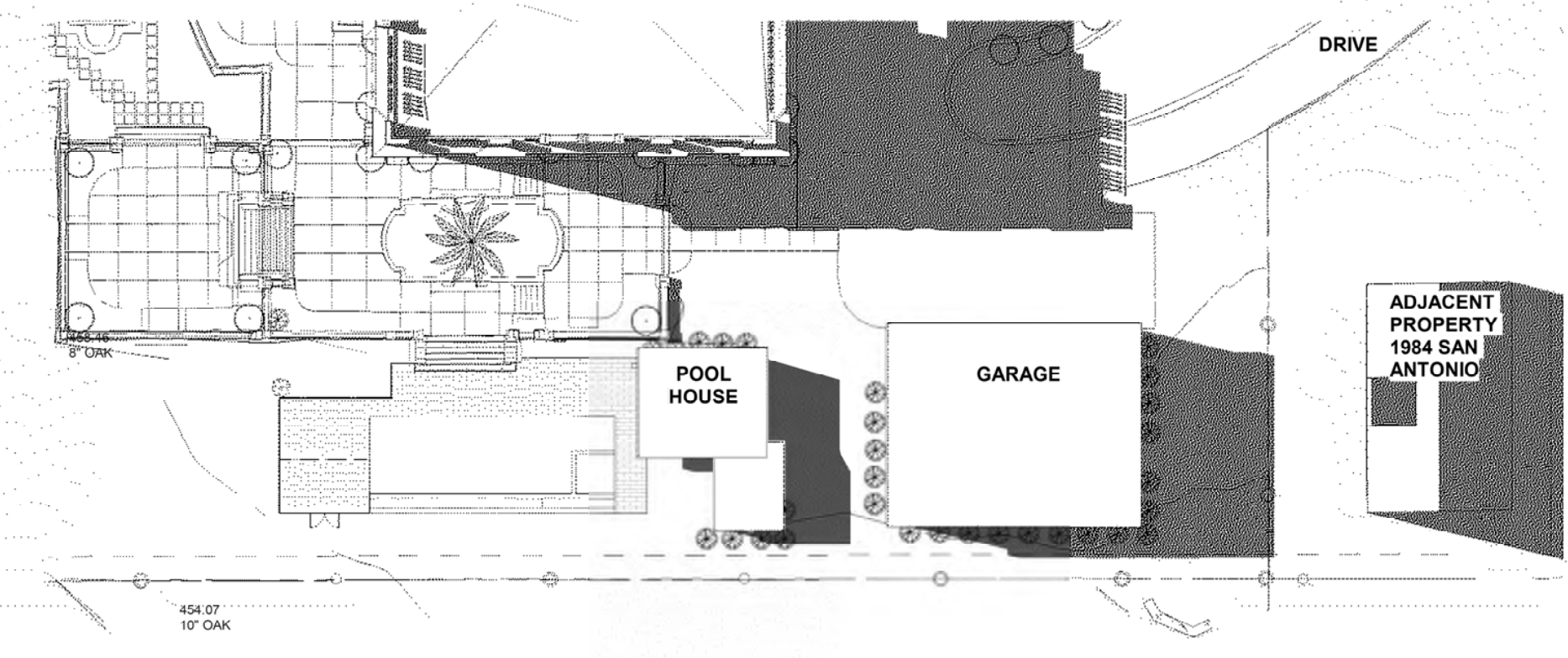
A901



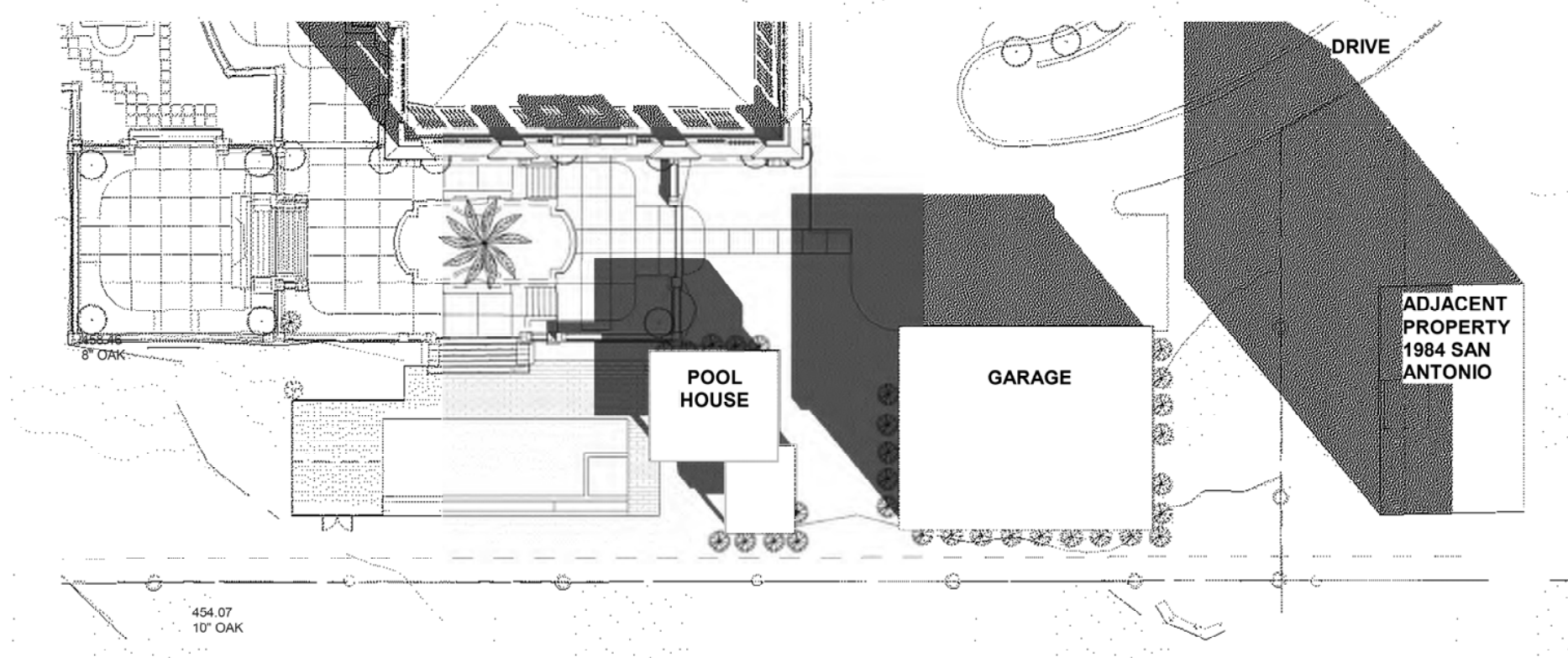
1 SHADOW STUDY - SUMMER SOLSTICE - 2HRS AFTER SUNRISE
1" = 30'-0"



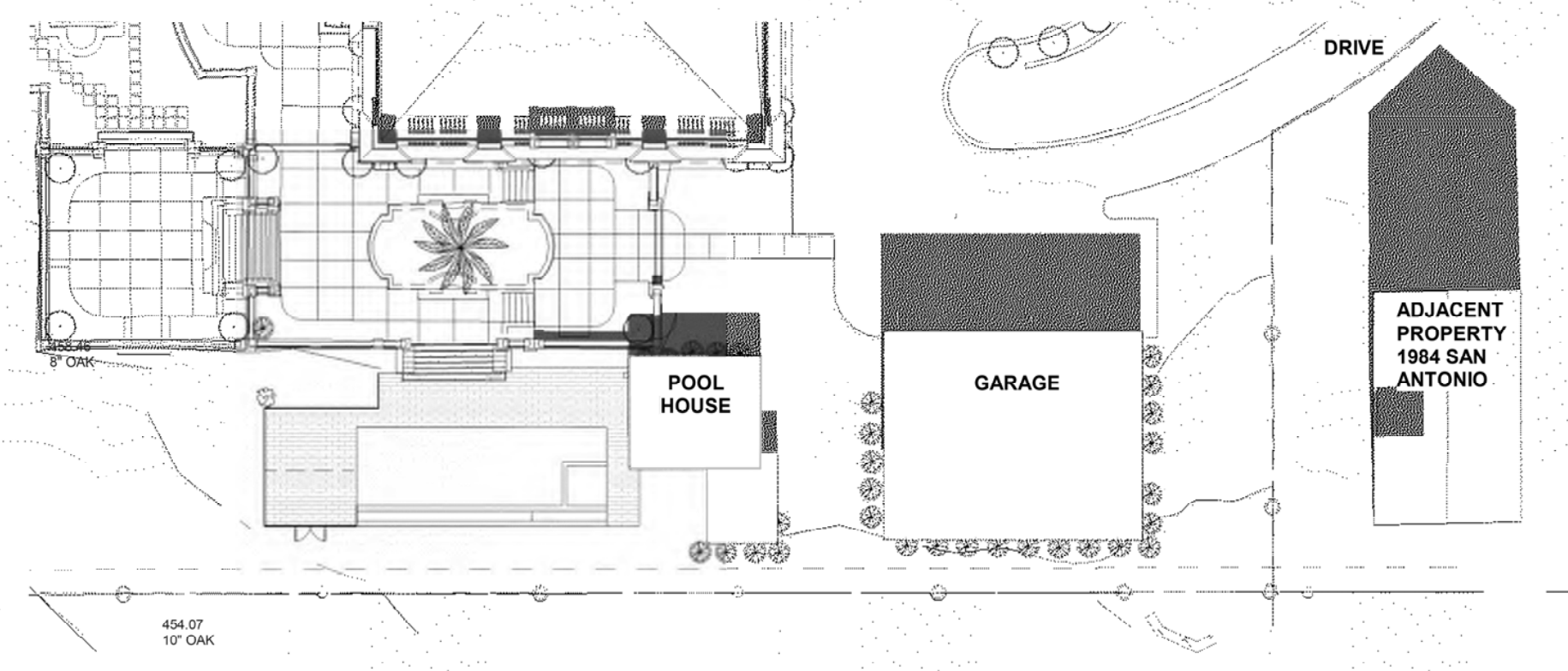
2 SHADOW STUDY - SUMMER SOLSTICE - NOON
1" = 30'-0"



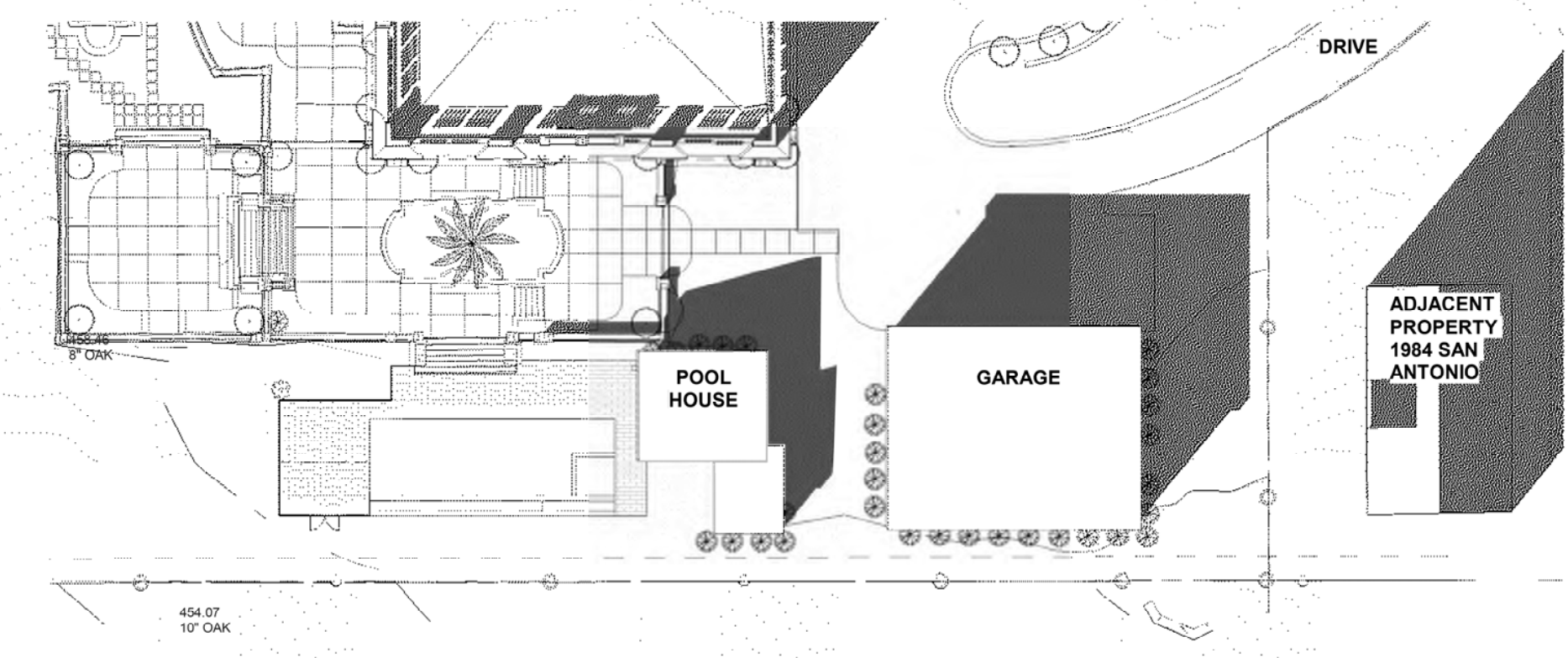
3 SHADOW STUDY - SUMMER SOLSTICE - 2HRS BEFORE SUNSET
1" = 30'-0"



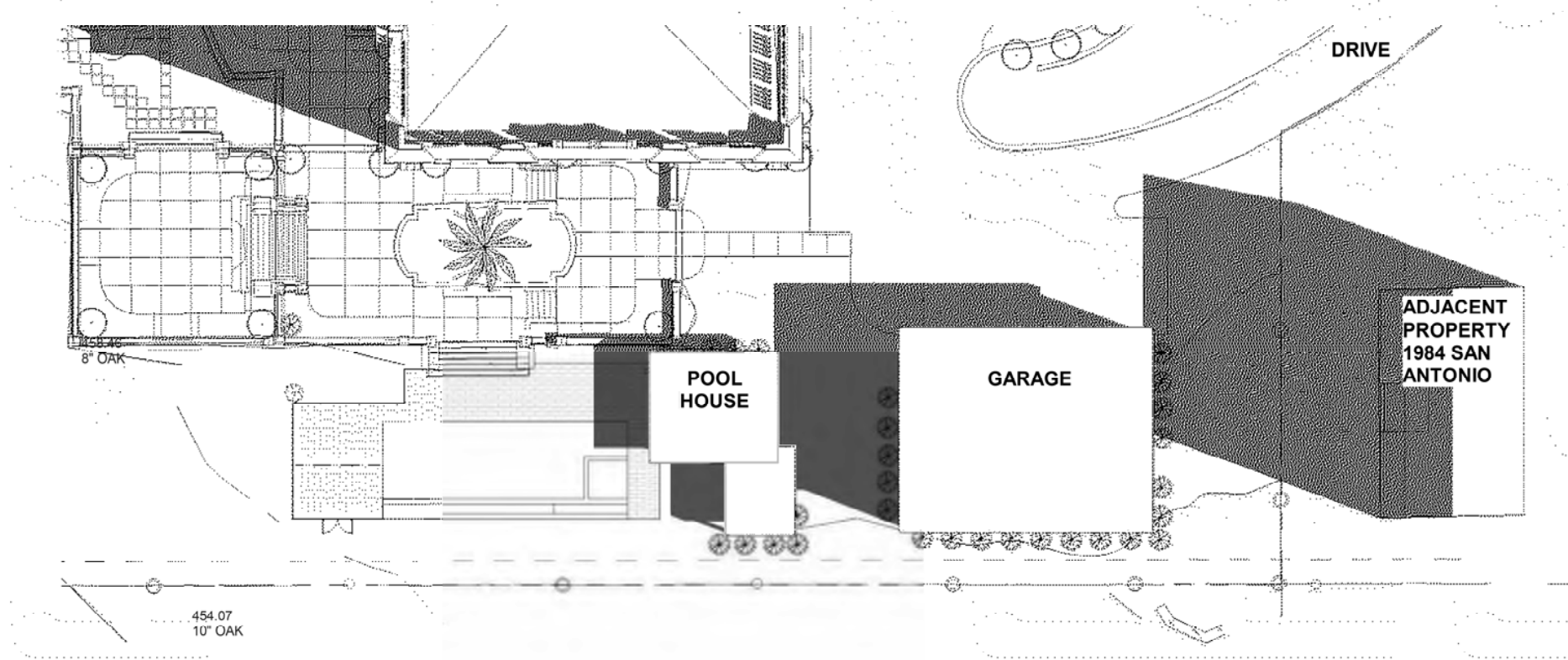
4 SHADOW STUDY - WINTER SOLSTICE - 2HRS AFTER SUNRISE
1" = 30'-0"



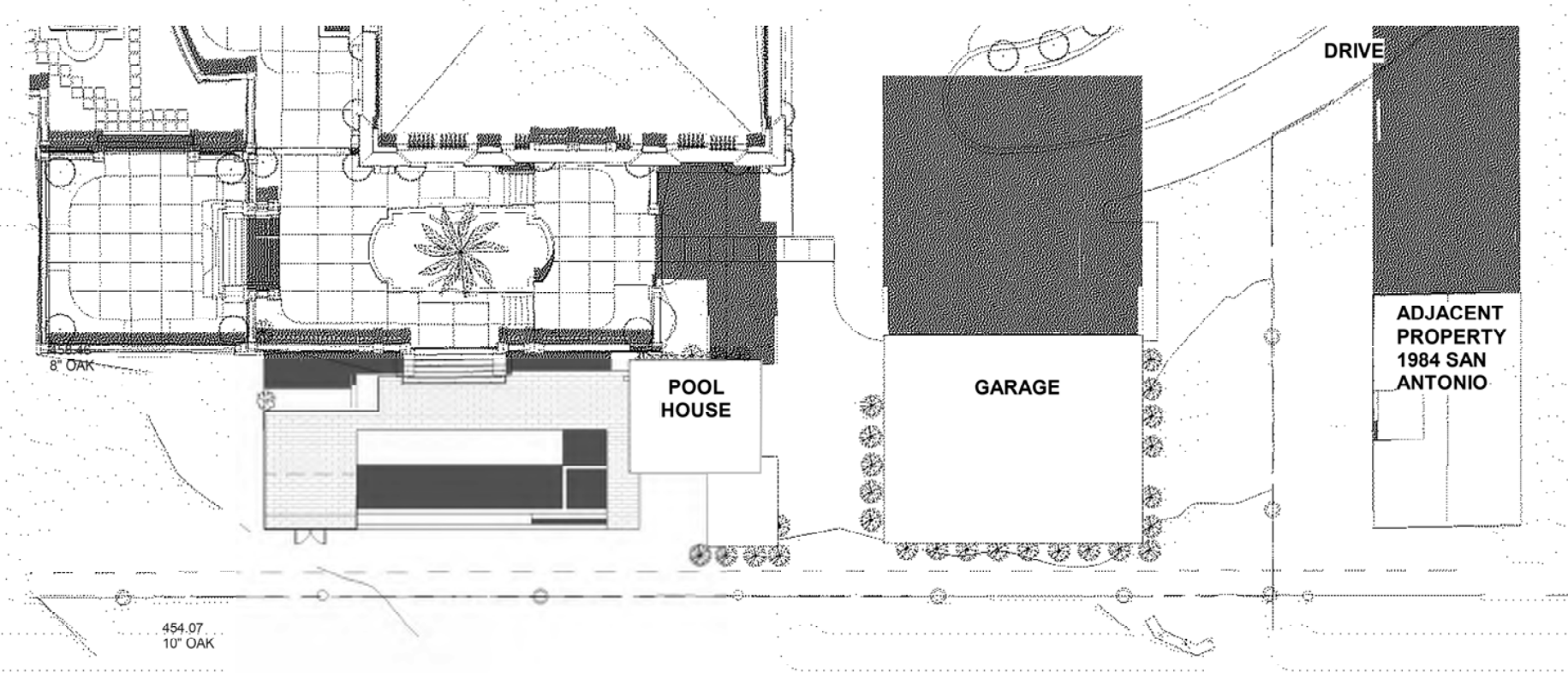
5 SHADOW STUDY - WINTER SOLSTICE - NOON
1" = 30'-0"



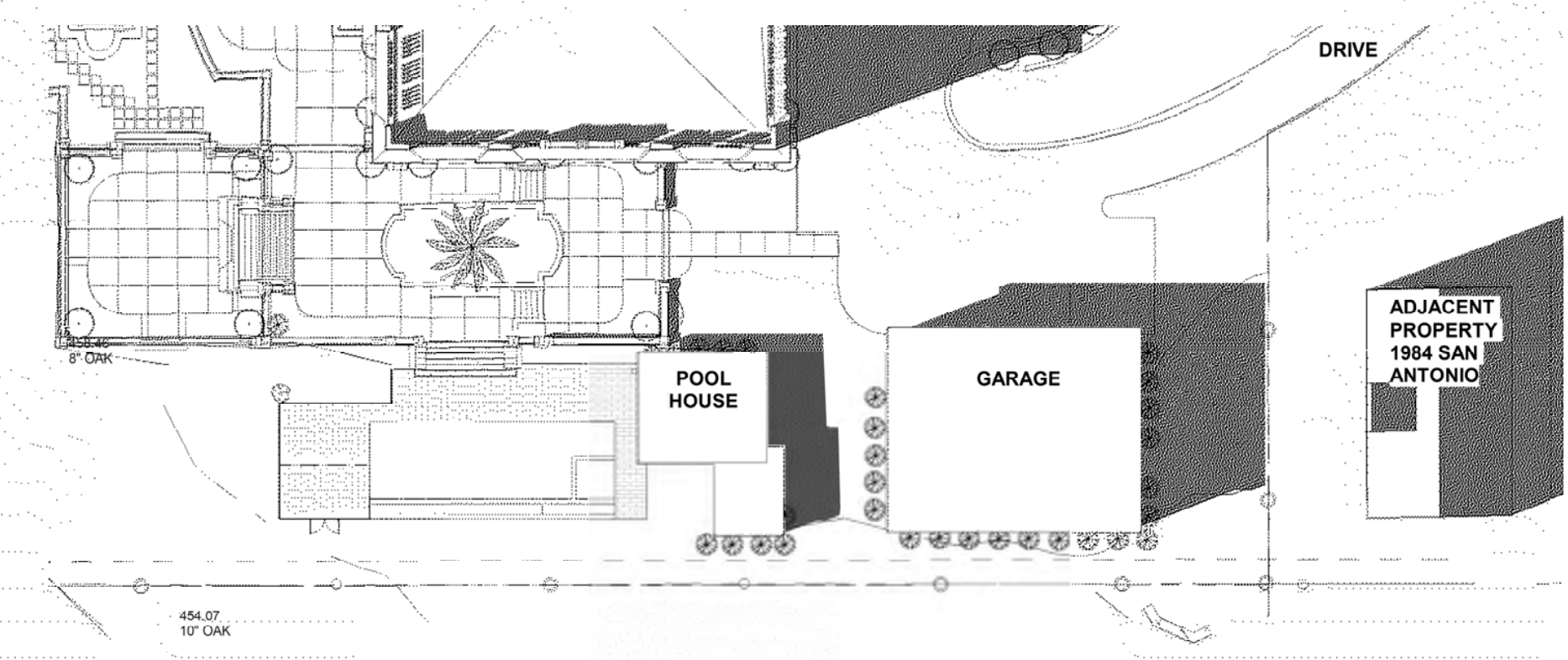
6 SHADOW STUDY - WINTER SOLSTICE - 2HRS BEFORE SUNSET
1" = 30'-0"



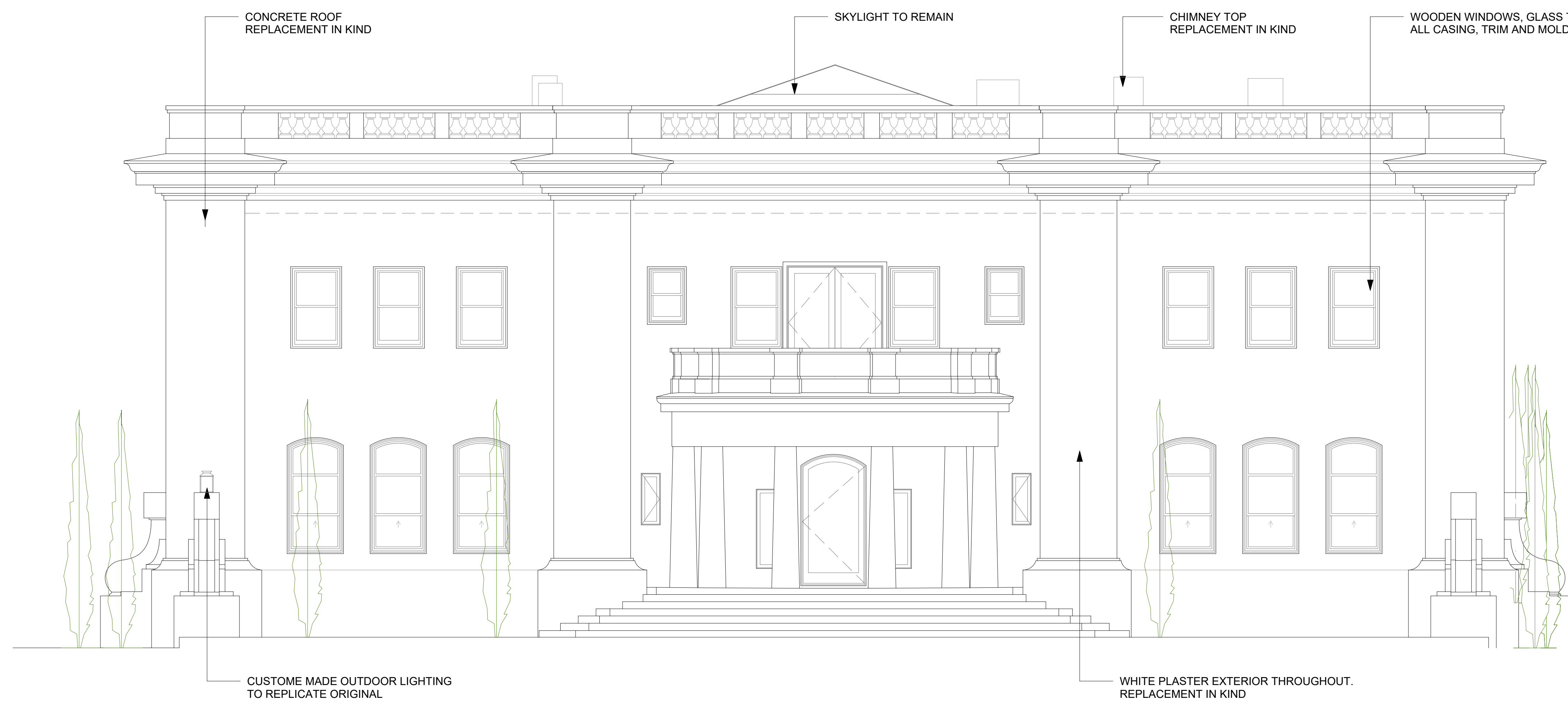
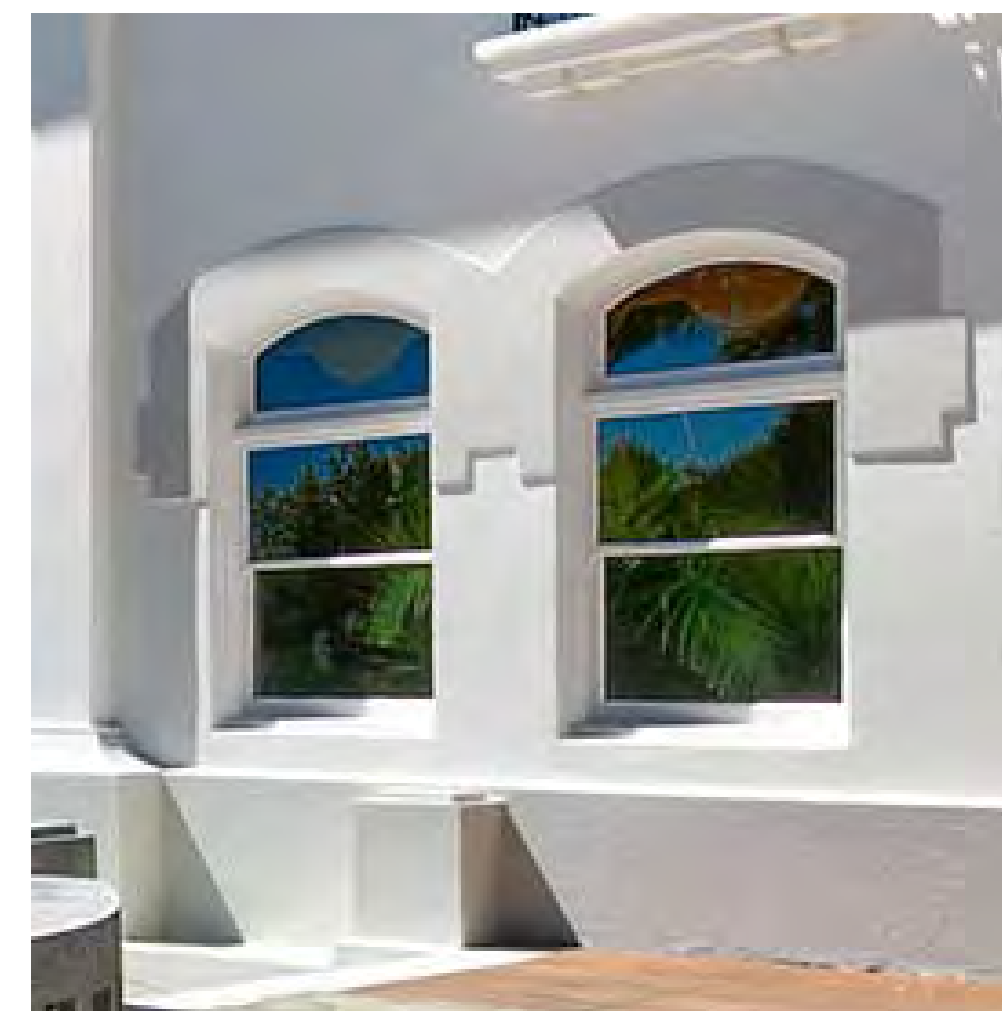
7 SHADOW STUDY - 9/26/2022 - 2HRS AFTER SUNRISE
1" = 30'-0"



8 SHADOW STUDY - 9/26/2022 - NOON
1" = 30'-0"



9 SHADOW STUDY - 9/26/2022 - 2HRS BEFORE SUNSET
1" = 30'-0"



NOTE :
ALL COLORS AND TEXTURES ARE REPRESENTATIVE SAMPLES ONLY, PENDING VERIFICATION OF ACTUAL MATERIAL SUPPLIERS AND MANUFACTURERS FOR THIS PROJECT.

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PROJECT

SPRING MANSION

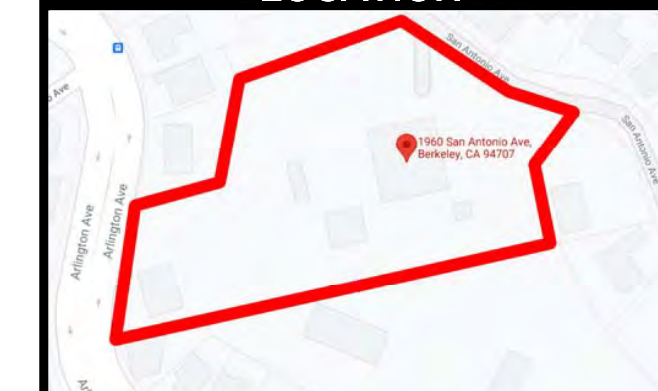
OWNER(S)

ABBAS MASH

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AREA

ORIENTATION

SHEET TITLE

MATERIAL BOARD
(MAIN HOUSE)

SCALE

AS INDICATED

SHEET NUMBER

M01



SCONCES



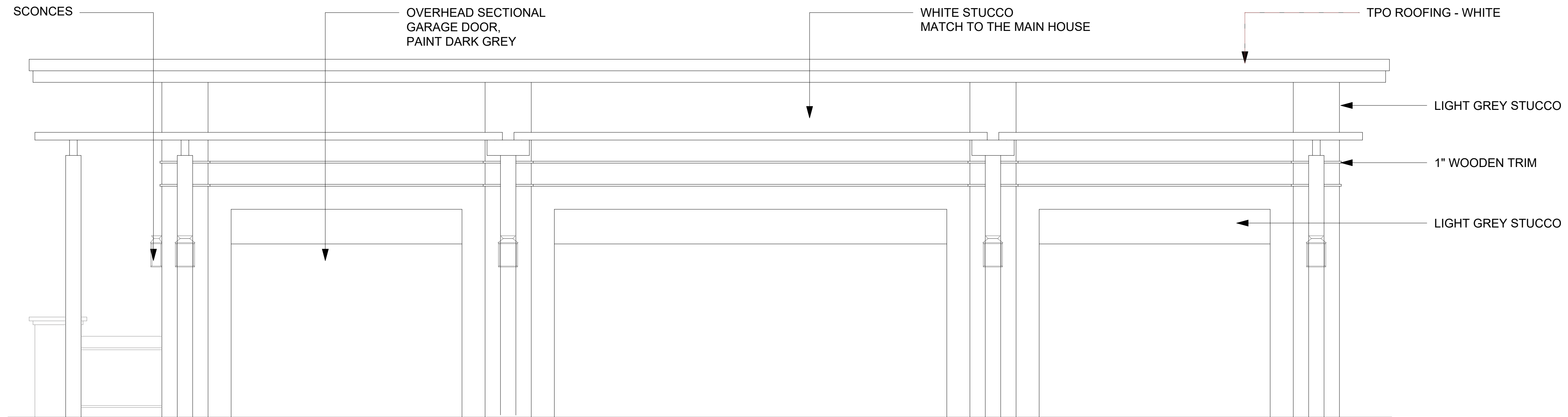
OVERHEAD SECTIONAL GARAGE DOOR, PAINT DARK GREY



WHITE STUCCO MATCH TO THE MAIN HOUSE



TPO ROOFING - WHITE



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SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023



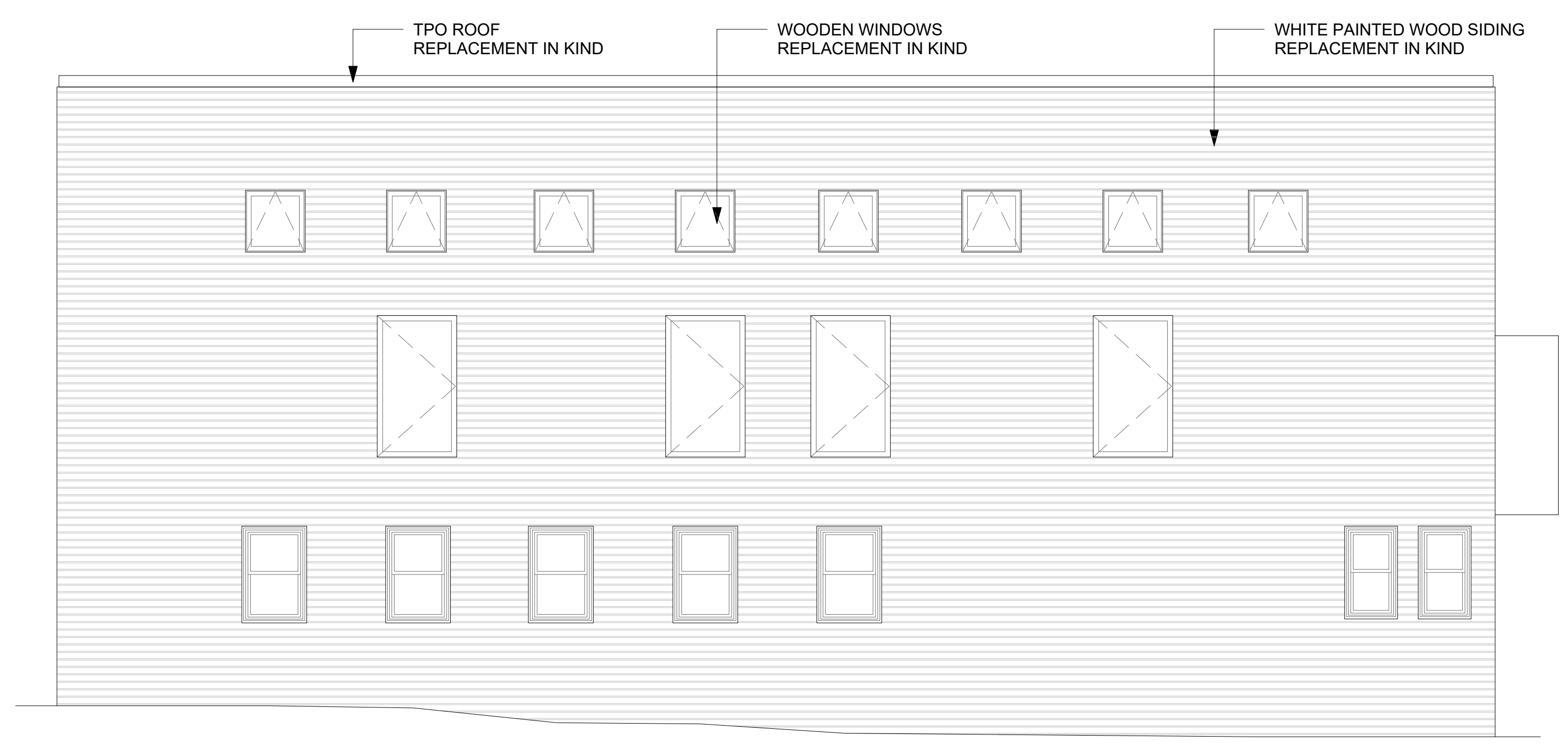
ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA
ORIENTATION

SHEET TITLE
MATERIAL BOARD
(GARAGE)

SCALE
AS INDICATED
SHEET NUMBER

M04



NOTE :

ALL COLORS AND TEXTURES ARE REPRESENTATIVE SAMPLES ONLY, PENDING VERIFICATION OF ACTUAL MATERIAL SUPPLIERS AND MANUFACTURERS FOR THIS PROJECT.



PAYMUN™

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Orinda, CA 94563
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Ben@paymun.com

LEAD DESIGN CONSULTANT

PAYMUN BUILDING & DEVELOPMENT, Inc.

DESIGNER & DRAFTER :
SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

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LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

MATERIAL BOARD
(GYMNASIUM)

SCALE

AS INDICATED

SHEET NUMBER

M05

3/3/2023 Response to Comments

Responding to documents 2022-12-19_LTR_INCOMPL_1960 San Antonio and 1960 San Antonio Avenue
Arborist Memo 022123

Comments from 2022-12-19_LTR_INCOMPL_1960 San Antonio and 1960 San Antonio Avenue

1. Rehabilitation Plan: Attached
2. Renderings: Renderings added to sheet A902
3. Materials Board:
 - a. Large material provided
 - b. Comment was added to Revision 3 on sheets A101 and A101C.
4. Tabulation Form: Form updated to correct square footages being correctly represented on sheet A050 and G010. The existing main building floor area and lot coverage from covered porches were corrected. These changes created updates to the following - gross floor area, building footprint, lot coverage and useable open space.
5. Pre-Application Neighbor Outreach: By Guidance of Allison
6. Gross Floor Areas: The game room decreases in size since the cafeteria above it is being removed and this has a larger footprint than the game room.
7. Site Plan: Midpoint at west property line has been updated and only the subject parcel is included.
8. Pool Decking. Section cut has been added to the site plans, A101, A101B, A101C and A109
9. Elevations: A204 corrected.
10. Arborist Report:

Comments from 1960 San Antonio Avenue Arborist Memo 022123

- a. Foundation Plan and Details: Sheet 1&3/A109 includes the post and beam locations for the deck support system.
- b. Tree Protection Notes: Tree protection notes and figure added to G010 and all site plan sheets – A100, A101, A101B and A101C.

General Corrections:

- a. Sheet A204 and A205 were updated to included exterior lighting and updated eave.
- b. Sheet 3/A105 pool house plan updated to show windows at rear that are shown on the elevations.

Applicant's Statement

Thank you for the consideration of our project. Below are our responses to Landmark Preservation Commissions Applicant Statement Requirement:

The current condition of all **exterior** structures at *1960 San Antonio Ave* are extremely poor with foundation and framing elements being completely shot. Neither of the exterior structures are habitable as they lacked care and upgrades throughout time which would come from necessary rehabilitation methods by us, in order to preserve the historical appeal of the property.

The existing garage is not a landmark structure and is extremely damaged as it has endured long lasting effects of being abandoned for many years. With poor structural integrity, these buildings need to be developed properly in order to achieve the upscale product that is being intended.

All together, we are proposing the construction of a new Garage, Pool House, and Pool, along with proper repair to existing exterior walkways, retaining walls, railings, and balusters, along with demolition of unpermitted cafeteria structure and basement materials to restore the historical elements that are built underneath, and lastly the improvement of the driveway entrance per plan. The historical Gym on the property is not yet being proposed for any change in this round of submittals. The existing carriage house had previously been included in this package, but we want to be clear that it is indeed separate from this address and will not be included *at all* in this submittal.

As the current garage is only able to fit 1 car, we feel our proposed garage design is more than acceptable for a property of this size. Likely being the biggest residential estate in Berkeley, the proposition of this garage, accompanied by other exterior upgrades is more than necessary in order for one to properly use the structures on the property.

The project poses full benefit in that it will update all abandoned buildings, along with upgrading the entirety of the landscape and historical importance. This will not only improve the quality of the property and neighborhood, but also remove previous eye sores from locals and improve overall morale on those surrounding. All to be built using the same level of care and detail, it is important to upgrade these structures to reflect and enhance the design of the main house (keeping original historical elements more than alive).

By completing the Garage, Pool House, and Pool, demolishing the cafeteria and basement materials to revive the balusters, and improving the exterior concrete walkways, driveways, and railings etc, the historical features of the property are revived and the life that was missing from this once beautiful estate would be brought back to areas with the capability to reach its full potential.

Thank you.

Rehabilitation Proposal

1960 San Antonio Ave, Berkeley Ca 94707: Historic Rehabilitation Application

All proposals for protection, stabilization, preservation, restoration, or rehabilitation of historic buildings are to be intended for the City of Berkeley's project review committee and Landmark Commission for compliance with The Secretary of the Interior's Standards for, respectively, protection, stabilization, preservation, rehabilitation, and restoration.

We are providing documentation on the properties existing condition and description of the proposed restoration work with the following three related materials:

1. Narrative Description of the rehabilitation project
2. Photographic documentation of the properties existing condition; and
3. Proposed solution for the restoration and proposed alterations

The following project description of the proposed rehabilitation is intended for the City of Berkeley and the Landmark Commission to review our application and approve of our rehabilitation procedures in order for us to continue with the timeline of our exterior developments.

Located on the western boundary of subject property is the dilapidated landmark structure designated as the GYM. The original intent of the structure was likely to have a multi purpose room for students who were attending the school, but now lies a structure that has little to no use for a family occupying the main house. We are unclear which elements of the structure classify as a "Landmark", but assume the structure itself is the landmark - there are no real historic designations in the structure; only wood framed walls and floors. With this since we cannot change the landmark designation, we are proposing the rehabilitation of the GYM to assure the community of site security, all while allowing the remainder of the developments pertaining to the main house to take place (repair of walkways, driveways, railings, drainage, and new structures). As of now since we are not proposing the change of use or demolition of the GYM, and since outside parties have expressed concerns with the structure, we are proposing the rehabilitation methods in order to eliminate any doubt from outside parties, and/or to give the surrounding environment peace of mind. At this time we are not proposing to demolish or change the use of the structure, rather to secure it to its best ability to allow us to address more critical matters before preparing our entire plan for the use of the structure; which has not been decided yet.

In this report, the left-hand blocks identify each element of the building and describe the existing condition of the elements. The corresponding right hand blocks describe how the specific elements will be treated in the rehabilitation, and assess the impact of the project on the features.

<p>1.</p> <p>Architectural Feature: <u>Entry</u></p> <p>Approximate date of feature: <u>1915</u></p> <p>Describe the existing feature and its condition: Wood framed entry with 1 outer door, small foyer, then another door into the structure. Entry is showing signs of heavy water intrusion, deterioration, age, and lack of strength in lumber materials. There is not an operable lock system in place. Heavy graffiti and debris can be found in and around the entry door.</p>	<p>Describe work and impact on existing feature: Existing entry will be repaired to a locking system which will prevent any/all unauthorized entry into the structure. Any damaged wood surrounding the perimeter of the door will be replaced to ensure proper integrity. Impact will be the restoration of the original porch configuration (with addition of a locking door), preservation of the surviving wooden elements, and strengthening of the deteriorated entry structural elements surrounding the entry.</p>
<p>2.</p> <p>Architectural Feature: <u>Exterior Walls</u></p> <p>Approximate date of feature: <u>1915</u></p> <p>Describe the existing feature and its condition: Exterior walls show signs of wear and tear, with minimal graffiti covering the wood framed exterior. The green painted walls show signs of minor access points for rodents but none for humans. The windows are boarded up and show no real access or visibility. There are weeds and bushes covering the entrance, creating lack of visibility but difficulty for entering.</p>	<p>Describe work and impact on existing feature: Properly securing any potential access points of the exterior of the structure to make sure no entry points available. Impact would be to prevent all access points from being reached and less welcoming for unwanted parties. This would eliminate any/all unwanted traffic going to the structure.</p>
<p>3.</p> <p>Architectural Feature: <u>Exterior Fence</u></p> <p>Approximate date of feature: <u>1915</u></p> <p>Describe the existing feature and its condition: The existing chain link fence has many areas where it has been ripped down for access. Fences do not have proper doors, locks, or prevention measures to stop people from entering the property.</p>	<p>Describe work and impact on existing feature: All fences and access points to the property to be properly secured and monitored to ensure these access points are not torn down again. The impact would be great as it will prevent people from simply walking into the property, making it very difficult to get over the 10' fence. Plastic/fabric covering can also go over the fence to prevent climbing into the property. This will heavily impact the neighborhood in a positive way by eliminating entry points into the property.</p>

<p>4.</p> <p>Architectural Feature: <u>Roof</u></p> <p>Approximate date of feature: <u>1915</u></p> <p>Describe the existing feature and its condition: Roof shows signs of leaks and does not appear to be completely dilapidated. Roof joists help support the structure as they have water intrusion marks but do not appear to be missing or lacking consistency.</p>	<p>Describe work and impact on existing feature: Roof is not visible from the street and does not require immediate repair. It can remain in the same condition without causing additional hardship to the structure. As long as the roof is in its current state and operating as it should, it would have no negative impact on the structure or environment.</p>
<p>5.</p> <p>Architectural Feature: <u>Stairs</u></p> <p>Approximate date of feature: <u>1915</u></p> <p>Describe the existing feature and its condition: The stairs are intact but show signs of lacking integrity. They are not level and seem to have endured lack of care due to unwanted people inside, using the space as they please. The wood stairs go down to the basement and can still be used but with caution.</p>	<p>Describe work and impact on existing feature: Stairs to be identified in this report but no recommendation on repair. Exterior stairs can be cleaned of shrubs to ensure proper access or a more visually appealing look.</p>

<p>6.</p> <p>Architectural Feature: <u>Windows</u></p> <p>Approximate date of feature: <u>1915</u></p> <p>Describe the existing feature and its condition: The windows are boarded up to prevent intruders from entering or breaking glass / material. They are painted the same color as the exterior of the structure. Since the structure is not being used, there is no need for windows at this time.</p>	<p>Describe work and impact on existing feature: Ensure windows are painted the same color as the exterior of the structure so everything looks more coordinated. Ensure that all windows are properly covered to eliminate the possibility of intruders and safety hazards. This will have a good impact on the structure as it will not make it accessible to anyone trying to enter without permission.</p>
<p>7.</p> <p>Architectural Feature: <u>Paint</u></p> <p>Approximate date of feature: <u>Unknown</u></p> <p>Describe the existing feature and its condition: The structure has not been painted in years and shows signs of deterioration and graffiti.</p>	<p>Describe work and impact on existing feature: A new fresh coat of paint would give the structure a face lift, creating a more visually pleasing sight for neighbors, along with creating a less welcoming environment for intruders or people trying to enter. The new paint would indicate upgrades and remove any eye sores that are not created by the structure itself.</p>

<p>8.</p> <p>Architectural Feature: <u>Exterior Shrubs</u></p> <p>Approximate date of feature: <u>N/A</u></p> <p>Describe the existing feature and its condition: The shrubs are overgrown as professional planting has not been present in many years. The natural plants are growing through fences and grow tall if not tamed. The Sidewalk is clear but can be vulnerable to intruders and people who dump items on the sidewalk.</p>	<p>Describe work and impact on existing feature: Shrubs and weeds to be cleared and new low maintenance planting to be planted to avoid future overgrown vegetation or disturbance. The impact would be to improve the moral of the property and create a nicer environment for neighbors.</p>
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Response to Comments: (ZP) 2022-0070 & (LMSAP) 2022-0005

The Secretary of the Interior's Standards for Rehabilitation

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The renovation of all elements throughout the property will allow for the initial use of it being a residential estate to be solidified and sustainable in today's time. Since the property has not been updated since 1912, the proposed designs are the only logical way for the property to function at its best capacity.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

All historical architectural elements will be preserved in the process of renovation. Attempts to recognize and enhance the beauty and nature of the historical elements will also be executed in order to create an operable property that remains as great as originally constructed.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

We have designed our proposed structures to align with the style of existing, but have limited them to stand apart in detail from the original. Colors will be similar to blend the property, but new structures have been designed more simply to reflect newer construction and building methods.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

As mentioned, all historical features such as architectural elements, designs, and patterns are to be preserved. Only will crucial elements such as strength, durability, and effectiveness, etc be enhanced to make the space usable for its purpose.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

All features, finishes, and construction techniques will be preserved as part of the renovation process. Any and all improvements will be made second to the ability of being able to preserve the existing.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

As the proposed exterior structures would be new construction, no deteriorated historical features would need to be replaced or remade. Designs are proposed in alignment to function with the existing main house.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

This will be followed as said.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

All archeological resources are to be preserved and left undisturbed.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

This has been implemented in our design to be followed. New structures are to be differentiated from the historical in that new methods and modern styles will be implemented to intertwine with the site.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

This has been acknowledged in our designs in that in no way will the original historical features be affected by the newly proposed designs and structures.



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113


LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC HEARING

SUBJECT: 1960 San Antonio Avenue
#LMSAP2022-0005

WHEN: Thursday, June 1, 2023
Meeting starts at 7:00pm

WHERE: North Berkeley Senior Center
1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

«NAME1»
«NAME2»
«ADDRESS1» «ADDRESS2»

	<p>SUBJECT: 1960 San Antonio Avenue, Structural Alteration Permit (#LMSAP2022-0005) to restore the terrace, remove the non-historic building addition, and repair railings and walkways of the Spring Mansion; demolish the detached, non-historic garage and construct a new ten-car garage, and construct a new, detached pool house at a City Landmark residential property.</p>
<p>NOTICE CONCERNING YOUR LEGAL RIGHTS: If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing or in written correspondence delivered to the Commission at, or prior to the public hearing.</p>	<p>CEQA status: Pending.</p> <p>All persons are welcome to attend the hearing and will be given an opportunity to address the Commission. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Commission may limit the time granted to each speaker.</p>
<p>Mail and Post Date: May 22, 2023</p>	<p>Send written comments to the Landmarks Preservation Commission Secretary, City of Berkeley Permit Service Center, 1947 Center Street, Berkeley, CA 94704, or e-mail to: LPC@Berkeleyca.gov, or fax (510) 981-7420. To ensure inclusion in the packet, submit correspondence seven (7) days before the hearing. For any correspondence submitted less than seven days before the meeting, submit 11 copies which staff will deliver to the Commission at its meeting.</p> <p>Persons with disabilities may request accommodation (via agendas in large print or Braille, assistive listening devices or a sign language interpreter) by contacting the City Clerks Department at (510) 981-6900, or (510) 981-6903 (TTY).</p> <p>PLEASE NOTE: email addresses, names, street addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, it will become part of the public record, and will become accessible on the City Website.</p>
<p>The agenda and project files for this meeting will be available online 3 days prior to this meeting at: http://www.cityofberkeley.info/landmarks/preservationcommission</p>	



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Land Use Planning Division
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Berkeley, CA 94704-1113

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WHERE: North Berkeley Senior Center
1901 Hearst Avenue, Berkeley CA
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Berkeley Hills Progressive Neighbors
861 REGAL RD
BERKELEY CA 94708



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North East Berkeley Association
P.O. BOX 7477
BERKELEY CA 94707



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Thousand Oaks Neighborhood Association
1811 SAN PEDRO AVE
BERKELEY CA 94707



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UCB Facilities Services
A&E Building, Room 300
Berkeley, CA 94720-1382



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Bananas Inc.
5232 CLAREMONT AVE
OAKLAND CA 94618



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Berkeley Central Library
2090 KITTREDGE ST
BERKELEY CA 94704



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Adams Broadwell Joseph & Cardoza
601 GATEWAY BLVD. Su 1000
SO SAN FRANCISCO CA 94080



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COMPAGNO SALVATORE J TR
640 ARLINGTON AVE
BERKELEY CA 94707



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HELPUS INC
18 DEER OAKS DR
PLEASANTON CA 94588



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DAOUDI BEN M & LALIA A
637 ARLINGTON AVE
BERKELEY CA 94707



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MIKHAILOV ANTON & RENWICK KATE
1910 SAN ANTONIO AVE
BERKELEY CA 94707



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READ HOWARD D TR
1934 SAN ANTONIO AVE
BERKELEY CA 94707



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DANIELS THEA L TR
1918 SAN ANTONIO AVE
BERKELEY CA 94707



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ONEILL PAT
1939 SAN ANTONIO AVE
BERKELEY CA 94707



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OLIVIER PIERRE & DEMETZOLIVIER
LAURE M TRS
626 SAN LUIS RD
BERKELEY CA 94707



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CHON JAECHOON & HONG YOUJEONG
627 ARLINGTON BLVD
BERKELEY CA 94707



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TANOV ERICA & EMERSON STEVEN
TRS
600 SAN LUIS RD
BERKELEY CA 94707



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KARIMI MEHDI
632 SAN LUIS RD
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BOAS CHRISTOPHER B & FERRARI
CLAIRE
1940 SAN ANTONIO AVE
BERKELEY CA 94707



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JOHNSON JEFFREY R TR
406 S BOULDER AVE, 5-500
TULSA OK 74103



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DORNFELD BARBARA B & BENNETT
JOHN & SHERYL TRS
1965 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC HEARING

SUBJECT: 1960 San Antonio Avenue
#LMSAP2022-0005

WHEN: Thursday, June 1, 2023
Meeting starts at 7:00pm

WHERE: North Berkeley Senior Center
1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

KURIYAN JOHN & CHANDRA DEVAKI
TRS
622 SAN LUIS RD
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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Wheelchair accessible.

DYM MIRIAM TR
1959 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
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1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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WHERE: North Berkeley Senior Center
1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

SHAKIBA JAMSHID & IVANKA F TRS
1933 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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#LMSAP2022-0005

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1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

BRADLEY BRENT I & AQUINO ANTONIO T
JR
1925 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

BOHN DAVIS V & DIANA L TRS
618 SAN LUIS RD
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC HEARING

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#LMSAP2022-0005

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WHERE: North Berkeley Senior Center
1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

MADANAT SAMER M & TOMAIRA RANA V
TRS
594 SAN LUIS RD
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC HEARING

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#LMSAP2022-0005

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WHERE: North Berkeley Senior Center
1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

SAN LUIS CT HOME ASSN
PO BOX 7193
BERKELEY CA 94707



Planning and Development Department
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1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

BROCK JO A TR
1951 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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#LMSAP2022-0005

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1901 Hearst Avenue, Berkeley CA
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FOUDA HASSAN & MARGARET TRS
608 SAN LUIS RD
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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#LMSAP2022-0005

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1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

VANHUYSSSE JAMES & JANET TRS
1950 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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#LMSAP2022-0005

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1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

PROCEK BRETT & SOHEE TRS
615 ARLINGTON AVE
BERKELEY CA 94707



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Berkeley, CA 94704-1113

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#LMSAP2022-0005

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WHERE: North Berkeley Senior Center
1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

COVE JOHN F JR & BALFOUR NATALIE A
TRS
621 ARLINGTON AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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SUBJECT: 1960 San Antonio Avenue
#LMSAP2022-0005

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1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

GRAY THEA A & LAWRENCE R
629 ARLINGTON AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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#LMSAP2022-0005

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1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

FORSTER ROCHELLE
611 ARLINGTON
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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#LMSAP2022-0005

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1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

WAGONER JOHN B & TURNER
MARGARET L TRS
1929 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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#LMSAP2022-0005

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1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

MORRISON LARRY TRT
1922 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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#LMSAP2022-0005

WHEN: Thursday, June 1, 2023
Meeting starts at 7:00pm

WHERE: North Berkeley Senior Center
1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

LEIBOWITZ STANLEY & MILLMAN
PAULA L TRS
1930 SAN ANTONIO AVE
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC HEARING

SUBJECT: 1960 San Antonio Avenue
#LMSAP2022-0005

WHEN: Thursday, June 1, 2023
Meeting starts at 7:00pm

WHERE: North Berkeley Senior Center
1901 Hearst Avenue, Berkeley CA
Wheelchair accessible.

OCCUPANTS
637 ARLINGTON AV
BERKELEY CA 94707



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

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BERKELEY CA 94707



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1901 Hearst Avenue, Berkeley CA
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OCCUPANTS
645 ARLINGTON AV
BERKELEY CA 94707



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BERKELEY CA 94707



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OCCUPANTS
1929 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
629 ARLINGTON AV
BERKELEY CA 94707



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OCCUPANTS
621 ARLINGTON AV
BERKELEY CA 94707



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BERKELEY CA 94707



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OCCUPANTS
614 ARLINGTON AV L
BERKELEY CA 94707



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Berkeley, CA 94704-1113

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OCCUPANTS
1950 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
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BERKELEY CA 94707



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OCCUPANTS
1951 SAN ANTONIO AV
BERKELEY CA 94707



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Wheelchair accessible.

OCCUPANTS
1925 SAN ANTONIO AV
BERKELEY CA 94707



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Berkeley, CA 94704-1113

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OCCUPANTS
1933 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
1940 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
1944 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
1930 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
1922 SAN ANTONIO AV
BERKELEY CA 94707



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1901 Hearst Avenue, Berkeley CA
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OCCUPANTS
627 ARLINGTON AV
BERKELEY CA 94707



Planning and Development Department
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Berkeley, CA 94704-1113

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OCCUPANTS
1939 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
1918 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
1934 SAN ANTONIO AV
BERKELEY CA 94707



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OCCUPANTS
1910 SAN ANTONIO AV
BERKELEY CA 94707



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Berkeley, CA 94704-1113

LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC HEARING

SUBJECT:	1960 San Antonio Avenue #LMSAP2022-0005
WHEN:	Thursday, June 1, 2023 Meeting starts at 7:00pm
WHERE:	North Berkeley Senior Center 1901 Hearst Avenue, Berkeley CA <i>Wheelchair accessible.</i>

Abbas Mash
18 DEER OAKS DR
PLEASANTON CA 94588



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704-1113

LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC HEARING

SUBJECT:	1960 San Antonio Avenue #LMSAP2022-0005
WHEN:	Thursday, June 1, 2023 Meeting starts at 7:00pm
WHERE:	North Berkeley Senior Center 1901 Hearst Avenue, Berkeley CA <i>Wheelchair accessible.</i>

Bahadour Zarrin, Paymun Building &
Development
25 Orinda Way, Suite 200
Orinda, CA 94563



Planning and Development Department
 Land Use Planning Division
 1947 Center Street, 2nd Floor
 Berkeley, CA 94704-1113

LANDMARKS PRESERVATION COMMISSION NOTICE OF PUBLIC MEETING

WHEN: June 1st, 2023
 Meeting starts at 7:00 p.m.

WHERE: North Berkeley Senior Center
 1901 Hearst Avenue, Berkeley CA 94709
Meeting is wheelchair accessible

SUBJECT: 1960 San Antonio Avenue
 Structural Alteration Permit (#LMSAP2022-0005) to restore the terrace, remove the non-historic building addition, and repair railings and walkways of the Spring Mansion; demolish the detached, non-historic garage and construct a new ten-car garage, and construct a new, detached pool house at a City Landmark residential property.

All persons are welcome to attend the hearing and will be given an opportunity to address the Board. Comments may be made verbally at the public hearing and/or in writing before the hearing. The Board may limit the time granted to each speaker.

Send written comments to:

Landmarks Preservation Commission Secretary
 City of Berkeley Land Use Planning Division
 1947 Center Street, 2nd Fl. / Berkeley, CA 94704
 or email to: LPC@berkeleyca.gov.

To ensure inclusion in the packet, submit correspondence **seven (7)** days prior to the hearing. For any correspondence submitted less than seven days before the meeting, submit 11 copies which staff will deliver to the Commission at its meeting.

PLEASE NOTE: Email addresses, names, street addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, it will become part of the public record, and will become accessible on the City Website.

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services Specialist at 981-6418 (V) or 981-6347 (TDD) at least three business days before the meeting date.

NOTICE CONCERNING YOUR LEGAL RIGHTS:

If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing or in written correspondence delivered to the Commission at or prior to, the public hearing.

The agenda and project files for this meeting will be available online 3 days prior to this meeting at:
<https://berkeleyca.gov/your-government/boards-commissions/landmarks-preservation-commission>

Post Date: May 22, 2023

Riemer, Allison

From: Donna Hemmila <dhemmila@comcast.net>
Sent: Wednesday, May 24, 2023 11:58 AM
To: Landmarks Preservation Commission
Subject: LMSAP2022-0005

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Dear Commissioners,

I live on Arlington Avenue directly across from the back end of the Spring Estate. Frankly, I am outraged that this developer has the nerve to apply for permission to build a 10-car garage while allowing this historic property to fall into such a state of disrepair.

The old Williams Institute gymnasium is covered in graffiti and boarded up windows, the stone retaining walls are falling over, and tall weeds cover the ground, spilling onto the sidewalk. These conditions create not only an eye sore but also a fire hazard. I see all of this from the front windows of my home.

Obviously the developers are allowing the gym structure, which has some historical significance, to deteriorate to the point where they are permitted to tear it down. The stone wall bears the name of The Williams Institute, which as you know was founded in 1918 by Cora Williams, a pioneer in children's education. Why are these developers allowed to get away with this willful neglect of an historic property? And why are they not held to the same standard for weed abatement as the rest of us in the neighborhood?

I would also like to know why they need a 10-car garage. Is it for a private car collector's storage use or some undisclosed commercial purpose, which would likely impact the neighborhood?

Thank you for accepting my comments. I have attached photos of the views of the property from Arlington Avenue.

Donna Hemmila









660 Arlington

Avenue

Berkeley, CA 94707

415 572-5688 (cell)

Riemer, Allison

From: Audean Ghanbari <audean@paymun.com>
Sent: Thursday, May 25, 2023 11:06 AM
To: Riemer, Allison
Cc: Bahadour Zarrin
Subject: Re: 1960 San Antonio- June 1 LPC?

Follow Up Flag: Follow up
Due By: Tuesday, May 30, 2023 2:00 PM
Flag Status: Flagged

Hi Allison,

I hope you're doing well.

Regarding the gym, we are awaiting some feedback from the engineers regarding the rehab report as we may submit a revised rehab report if we feel it'll involve structural upgrades to the structure and how to best strengthen the integrity.

The foundation integrity has been severely impacted due to abandonment and lack of care over the years.

Upon approval, we will proceed with a full structural and foundation rehabilitation design. **If you feel we should update our rehab report to reflect that at this time, let me know.**

At the present time, the structure cannot withstand the weight of additional framing or upgrades to windows/doors without proper rehabilitation and repair to the supporting elements.

Let me know your thoughts.

Thank you.

On Thu, May 18, 2023 at 3:56 PM Riemer, Allison <ARiemer@cityofberkeley.info> wrote:

Hi Audean,

Is it ok if I call you after 5? Or should I call you before 5?

From: Audean Ghanbari <audean@paymun.com>
Sent: Wednesday, May 17, 2023 8:51 AM
To: Riemer, Allison <ARiemer@cityofberkeley.info>
Cc: Bahadour Zarrin <ben@paymun.com>; Sadaf Daylami <sadaf@paymun.com>
Subject: Re: 1960 San Antonio- June 1 LPC?

Thank you Allison.



Landmarks Preservation Commission Secretary
City of Berkeley Land Use Planning Division
1947 Center St., 2d Floor
Berkeley, CA 94704-1113

Re. Structural Alteration Permit (#LMSAP2022-0005)
Spring Estate, 1960 San Antonio Ave., Berkeley 94707

May 28, 2023

To Whom It May Concern,

I am writing to request that the Landmarks Preservation Commission postpone any affirmative decision regarding this Structural Alteration Permit until the owners have demonstrated the capacity to maintain adequately the portion of their property along The Arlington *over time* and until they have rectified the multiple hazardous and dangerous conditions in the same area.

In a previous letter (hand delivered to your offices on August 3, 2022) I pointed out that the sidewalk on The Arlington portion of the property was difficult to navigate due to overgrown vegetation. The owners (partially) rectified that situation before I sent a follow-up letter dated August 24, 2022. However, no maintenance has been performed since then. The owners of this property do not care about their obligation to people who use the sidewalk along this portion of their property (BMC 12.44.050). I note in the agenda packet for the June 2, 2023 meeting elaborate plans for landscaping around the mansion and new garage/pool/pool house. But for all this effort dedicated to landscape design and plant materials, the sidewalk along The Arlington is again heavily overgrown.

In my first letter I referred to debris and garbage dumped along the crumbling stairway, and the traffic cones/caution tape on those stairs. The cones were replaced in early October, 2022 by two vehicle tires which have been sitting there ever since...nearly 8 months. Again, the owners do not care. In the same agenda packet I note, on p. 13 of 16, that "steps, railings, balustrades, and retaining walls around the mansion" are discussed, but not those along The Arlington. Please keep in mind that if the retaining walls (with heavily chained bollards on top) tip over, it is likely that a pedestrian will be injured.

The two buildings on The Arlington (referred to in the commission's documents as Faculty Quarters and Gymnasium) still have vegetation growing very close to, up against, and into them...conditions which were certainly noted by the inspectors of the Berkeley Fire Department Vegetation Management program and which the property owners should have by now corrected.

The property owners have had approximately 10 months to remedy these problems. They did not. Instead, I note in the agenda packet for the June 2, 2023 meeting that the property owners now agree to rehabilitate the Gymnasium; drawings are included. Is there something about your permit hearings that prevents them from mitigating immediately the fire hazards presently posed? From repairing the retaining walls that line the sidewalk? Can't their architects and landscape designers recommend competent professionals to deal with this?

When reviewing and taking action on this permit request, I ask that you take into account not only the aesthetics of the buildings but their community context. If it is beyond your purview to consider the present safety of the people who walk The Arlington and the Spring Estate's neighbors, the least you can do is postpone your decision until appropriate City of Berkeley departments (Fire and Building at a minimum) report that the owner is in full compliance with applicable municipal codes and ordinances. (I note on p. 13 or 16 of the agenda packet that a "Building Official" has not yet determined the status of the Gymnasium: this is cause to delay.)

I do not endeavor to prevent the owners of this property from making necessary/desired changes to it. But for them to spend this kind of energy, time, and money on architects and landscape designers (and probably attorneys) to pursue a multi-car garage, pool, and pool house while at the same time ignoring the basic property maintenance and fire safety matters that were brought to their attention in August 2022 is offensive.

I understand that members of the Commission view the mansion as a gem. But if you stand on The Arlington and look at it, the broader truth is that this is a derelict property.

Addendum: May 29, 2023 (Monday, Memorial Day)

This morning I noticed a person clearing the Spring Estate's Arlington sidewalk with a weed trimmer...at least part of it. I returned later to see what had been done. Not all of the sidewalk has (yet) been trimmed, and none of the weed debris has (yet) been swept up. The tires are no longer on the staircase. (I enclose photos I took yesterday and today to illustrate.)

So a few days before the next Landmark Preservation Commission meeting, at which the property owner hopes to have this permit approved, s/he has decided to care about pedestrian safety and to remove the weeds and most visible trash on The Arlington. Given that until this morning there had been no vegetation management since August 2022 and the tires have been on the stairs since October 2022, I presume that they were inspired more by the letter from the resident at 660 Arlington Ave. (included at the end of the 68-page agenda packet for this Thursday's meeting) than any real concern for neighbors or the general public. Unless several trees are removed before the Thursday evening meeting, along with dozens of cubic yards of dead shrubs, ivy, and other vegetation, the Faculty Quarters and Gymnasium remain out of compliance with the Berkeley Fire Department Vegetation Management program. Unless the crumbling retaining walls and staircase are dealt with, safety hazards remain. I know of no exemption from these obligations granted to owners of landmark properties.

Since August 2022, in addition to the details of the Commission's opinions on the aesthetics of alterations to this property I have learned that the Spring Estate owners flaunt their disregard for basic responsibilities. I hope you also see and understand that. Not everyone is naturally a good neighbor: some folks need to be educated. Insofar as I am able to determine, the owners of the Spring Estate are in need of education. Please tell them that they must maintain all areas of their property. Show them the houses alongside and opposite theirs on The Arlington as examples. You can convey – to them and to those of us who have contacted you with valid concerns – that you are serious about the importance of their becoming good neighbors by postponing the approval of this permit until they demonstrate that they function as such.



Add a Caption

Sunday • May 28, 2023 • 7:56 AM [Adjust](#)

IMG_4329

Apple iPhone SE (1st generation) JPEG

Back Camera — 29 mm f2.2
12 MP • 3024 x 4032 • 3.6 MB

ISO32 | 29mm | 0 ev | f2.2 | 1/60s



Add a Caption

Monday • May 29, 2023 • [Adjust](#)
10:05 AM

IMG_4331

Apple iPhone SE (1st generation) JPEG

Back Camera — 29 mm f2.2
12 MP • 3024 x 4032 • 5.6 MB





Add a Caption

Monday • May 29, 2023 • Adjust

10:05 AM

IMG_4332

Apple iPhone SE (1st generation) JPEG

Back Camera — 29 mm *f*2.2
12 MP • 3024 x 4032 • 6 MB



Add a Caption

Sunday • May 28, 2023 • 7:57 AM Adjust

IMG_4330

Apple iPhone SE (1st generation) JPEG

Back Camera — 29 mm *f*2.2
12 MP • 3024 x 4032 • 4.6 MB

ISO25 | 29mm | 0 ev | *f*2.2 | 1/40s





Add a Caption

Monday • May 29, 2023 • 10:05 AM

IMG_4333

Adjust

Apple iPhone SE (1st generation)

Back Camera — 29 mm f2.2
12 MP • 3024 x 4032 • 3.9 MB



Add a Caption

Sunday • May 28, 2023 • 7:55 AM

IMG_4328

Adjust

Apple iPhone SE (1st generation)

Back Camera — 29 mm f2.2
12 MP • 3024 x 4032 • 4.5 MB

ISO25 | 29mm | 0 ev | f2.2 | 1/60s





Planning and Development Department
Land Use Planning Division

PROOF OF SERVICE

DATE: October 30, 2023
 TO: Whom It May Concern
 FROM: Nancy Singh, OSII
 SUBJECT: **DECISION OF LANDMARKS PRESERVATION COMMISSION**

I, the undersigned, certify that I am employed in the City of Berkeley, County of Alameda, California; that I am over eighteen years of age and not a party to the within action, that my business address is 1947 Center Street 2nd Floor, Berkeley, California 94704. On this date, I served the following documents:

DECISION OF LANDMARKS PRESERVATION COMMISSION FOR ALTERATION OF A LANDMARK AT 1960 SAN ANTONIO AVENUE/645 ARLINGTON AVENUE – SPRING ESTATE

On the parties stated below by placing true copies thereof in sealed envelope(s) addressed as shown below by the following means of service:

Bahadour Zarrin Paymun Building & Development 25 Orinda Way, Suite 200 Orinda, CA 94563	Abbas Mash 18 Deer Oaks Drive Pleasanton, CA 94588
--	--

By First Class Mail - I am readily familiar with the City's practice for collecting and processing of correspondence for mailing. Under the practice, the correspondence is deposited with the U.S. Postal Service on the same day as collected, with First Class postage thereon fully prepaid, in Berkeley, California, for mailing to the addressee following ordinary business practices.

By Personal Service - I caused each such envelope to be given to the City of Berkeley mail service person to personally deliver to the office of the addressee.

I declare under penalty of perjury that the foregoing is true and correct. Executed on October 30, 2023 at Berkeley, California.

Nancy Singh

Nancy Singh, OSII



L A N D M A R K S
P R E S E R V A T I O N
C O M M I S S I O N

N O T I C E O F D E C I S I O N

DATE OF BOARD DECISION: June 1, 2023
DATE NOTICE MAILED: ~~August 28, 2023~~ October 30, 2023
APPEAL PERIOD EXPIRATION: ~~August 28, 2023~~ November 14, 2023
EFFECTIVE DATE OF PERMIT (Barring Appeal or Certification): ~~September 12, 2023~~ November 15, 2023¹

1960 San Antonio Avenue/645 Arlington Avenue – Spring Estate

Structural Alteration Permit #LMSAP2022-0005

to restore the terrace, remove the non-historic building addition, and repair railings and walkways of the Spring Mansion; demolish the detached, non-historic garage and construct a new ten-car garage; demolish and replace the non-historic driveway, retaining walls and stairs on the east side of the property; construct a new, detached pool house, excavate and install a new swimming pool; and complete landscape improvements at a City Landmark residential property in the Hillside neighborhood, contingent upon rehabilitation of the historic gymnasium building.

The Landmarks Preservation Commission of the City of Berkeley, after conducting a public hearing, **APPROVED** the following request:

- **Structural Alteration Permit**

APPLICANT: Bahadour Zarrin
 Paymun Building & Development
 25 Orinda Way, Suite 200
 Orinda, CA 94563

¹ Pursuant to BMC Chapter 3.24, the City Council may “certify” any decision of the LPC for review, which has the same effect as an appeal. In most cases, the Council must certify the LPC decision during the 14-day appeal period. However, pursuant to BMC Section 1.04.070, if any portion of the appeal period falls within a Council recess, the deadline for Council certification is suspended until the first Council meeting after the recess, plus the number of days of the appeal period that occurred during the recess, minus one day. If there is no appeal or certification, the Use Permit becomes effective the day after the certification deadline has passed.

LANDMARKS PRESERVATION COMMISSION

NOTICE OF DECISION

#LMSAP2022-0005

1960 San Antonio Avenue/645 Arlington Avenue

October 30, 2023

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ZONING DISTRICT: Single Family Residential District, Hillside Overlay (R-1H)**ENVIRONMENTAL REVIEW STATUS:** Categorically exempt under the California Environmental Quality Act Guidelines, Sections 15303 and 15331 of the CEQA Guidelines for New Construction and Historical Resource Rehabilitation.**The application materials for this project is available online at:**<https://berkeleyca.gov/construction-development/land-use-development/zoning-projects> or <https://permits.cityofberkeley.info/CitizenAccess/Default.aspx>

FINDINGS FOR FINAL ACTION AND APPROVED PLANS ARE ATTACHED TO THIS NOTICE

COMMISSION VOTE: 8-0-0-1**YES:** ADAMS, CRANDALL, ENCHILL, FINACOM, LINVILL, MONTGOMERY, SCHWARTZ, TWU**NO:** NONE**ABSTAIN:** NONE**ABSENT:** LEUSCHNER**TO APPEAL THIS DECISION (see Section 3.24.300 of the Berkeley Municipal Code):**

To appeal a decision of the Landmarks Preservation Commission to the City Council you must:

1. Submit a letter clearly and concisely setting forth the grounds for the appeal to the City Clerk, located at 2180 Milvia Street, 1st Floor, Berkeley. The City Clerk's telephone number is (510) 981-6900.
 - a. Pursuant to BMC Section 3.24.300.A, an appeal may be taken to the City Council by the application of the owners of the property or their authorized agents, or by the application of at least fifty residents of the City aggrieved or affected by any determination of the commission made under the provisions of Chapter 3.24.
2. Submit the required fee (checks and money orders must be payable to 'City of Berkeley'):
 - a. The basic fee for persons other than the applicant is \$500. This fee may be reduced to \$100 if the appeal is signed by persons who lease or own at least 50 percent of

LANDMARKS PRESERVATION COMMISSION

NOTICE OF DECISION

#LMSAP2022-0005

1960 San Antonio Avenue/645 Arlington Avenue

October 30, 2023

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the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less. Signatures collected per the filing requirement in BMC Section 3.24.300.A may be counted towards qualifying for the reduced fee, so long as the signers are qualified. The individual filing the appeal must clearly denote which signatures are to be counted towards qualifying for the reduced fee.

- b. The fee for appeals of affordable housing projects (defined as projects which provide 50 percent or more affordable units for households earning 80% or less of Area Median Income) is \$500, which may not be reduced.
- c. The fee for all appeals by Applicants is \$2500.
3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown above (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the landmark permit will be final on the first business day following expiration of the appeal period.

NOTICE CONCERNING YOUR LEGAL RIGHTS:

If you object to this decision, the following requirements and restrictions apply:

1. If you challenge this decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Landmarks Preservation Commission at, or prior to, the public hearing.
2. You must appeal to the City Council within fifteen (15) days after the Notice of Decision of the action of the Landmarks Preservation Commission is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must include the

LANDMARKS PRESERVATION COMMISSION
 NOTICE OF DECISION
#LMSAP2022-0005
1960 San Antonio Avenue/645 Arlington Avenue
 October 30, 2023
 Page 4 of 5

following information:

- A. That this belief is a basis of your appeal.
- B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
- C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

PUBLIC COMMENT:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

FURTHER INFORMATION:

Questions about the project should be directed to the project planner, Allison Riemer, at (510) 981-7433 or ariemer@cityofberkeley.info. All project application materials, including full-size plans, may be viewed at the Permit Service Center (Zoning counter), 1947 Center Street, 3rd Fl., during regular business hours.

ATTACHMENTS:

1. Findings for Final Action
2. Project Plans, received **MAY 15, 2023**



ATTEST: _____

Fatema Crane, Secretary
 Landmarks Preservation Commission

cc: City Clerk

LANDMARKS PRESERVATION COMMISSION
NOTICE OF DECISION

#LMSAP2022-0005

1960 San Antonio Avenue/645 Arlington Avenue

October 30, 2023

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Applicant: Bahadour Zarrin, Paymun Building & Development, 25 Orinda
Way, Suite 200, Orinda, CA 94563

Property Owner: Abbas Mash, 18 Deer Oaks Drive, Pleasanton, CA 94588

ATTACHMENT 1, PART 2

FINDINGS AND CONDITIONS

1960 San Antonio Avenue/645 Arlington Avenue – The Spring Estate

Structural Alteration Permit (#LMSAP2022-0005) to restore the terrace, remove the non-historic building addition, and repair railings and walkways of the Spring Mansion; demolish the detached, non-historic garage and construct a new ten-car garage; demolish and replace the non-historic driveway, retaining walls and stairs on the east side of the property; construct a new, detached pool house, excavate and install a new swimming pool; and complete landscape improvements at a City Landmark residential property in the Hillside neighborhood, contingent upon rehabilitation of the historic gymnasium building.

CEQA FINDINGS

1. The project is limited to design review and historic preservation consideration and is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15331 (“Historic Resource Restoration/Rehabilitation”) and Section 15303 (“New Construction”) of the CEQA Guidelines. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, and (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5.

SECRETARY OF THE INTERIOR’S STANDARDS FINDINGS

Regarding the Secretary of the Interior’s Standards for Rehabilitation, the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

1. The proposal to rehabilitate the property and add additional residential accessory structures would retain and continue the historic residential use of the property.
2. The historic character of the Spring Estate will be retained and preserved with proposed repairs and replacement of distinctive features, such as the concrete walkways, retaining walls, railings, and balusters north, south, and west of the mansion. The proposed new buildings and structures would generally be located south of the mansion and, would not be readily visible from the public right-of-way.
3. This property will continue to be recognized as a physical record of its time, place, and use as a result of the approved project. None of the proposed alterations are found to create a false sense of historical development. The proposed garage, pool house, and

pool will have a contemporary design, and will be distinguished from the historic components of the estate.

4. No changes to this property that have acquired historical significance in their own right, have been identified, or are of concern for this project.
5. This project would not negatively affect distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize this property.
6. Deteriorated historic features of this property will be repaired where feasible, and replaced when repair is not feasible. The historic gymnasium will be rehabilitated (see Condition of Approval 13).
7. Chemical treatments are not anticipated; however, if they are appropriate, they will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials are prohibited by the Conditions herein.
8. Any archeological resources at this site would be protected and/or preserved in place per the City's standard conditions and procedures for new construction and excavation.
9. Overall, the new construction would be differentiated and yet compatible with the Spring Estate. The proposed project would retain and would not destroy the historic materials and features of the Spring Estate. The new structures have been designed in a contemporary style with selected materials and finishes that are different than -- and also compatible with -- the Beaux-Arts mansion and features.
10. The proposed new buildings would be constructed south of the mansion, near the side property line; if the new buildings were removed in the future, the essential form and integrity of the Spring Estate would be unimpaired.

LANDMARK PRESERVATION ORDINANCE FINDINGS

1. As required by Section 3.24.260 of the Landmarks Preservation Ordinance, the Commission finds that the proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve and enhance the characteristics and features specified in the designation for this property, because:
 - A. The proposal includes rehabilitation of the concrete features around the mansion, and would not adversely affect the historic exterior features.
 - B. The new work would not be readily visible from the public right-of-way, and would be subordinate to the mansion. Therefore, the proposed changes would not adversely affect the special character of this estate designed by John Hudson Thomas.
 - C. As conditioned herein, the historic gymnasium building will be rehabilitated and the property brought into compliance with the Ordinance requirement to maintain designated sites in good repair; BMC Section 3.24.290.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Landmarks Preservation Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Permit, under the title 'Structural Alteration Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Plans and Representations Become Conditions

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

3. Subject to All Applicable Laws and Regulations

The approved construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to installation, the applicant shall obtain Use Permit approval in accordance with BMC Section 23C.17 (Wireless Telecommunication). Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

4. Exercise and Expiration of Permits (BMC Section 23.404.060.C)

- A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.
- B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.
- C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the ZAB in accordance with Chapter 23.410 (Appeals and Certification).
- D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.

5. Indemnification Agreement

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands,

judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

6. Halt Work/Unanticipated Discovery of Tribal Cultural Resources. In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.
7. Archaeological Resources (Ongoing throughout demolition, grading, and/or construction). Pursuant to CEQA Guidelines Section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:
 - A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
 - B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
 - C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.

- D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
- E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.
8. Human Remains (*Ongoing throughout demolition, grading, and/or construction*). In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to CEQA Guidelines Section 15064.5 (e)(1). If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to Health and Safety Code Section 7050.5(c), and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.
9. Paleontological Resources (*Ongoing throughout demolition, grading, and/or construction*). In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.

ADDITIONAL CONDITIONS

The following additional conditions are attached to this Permit:

10. **Garage Height.** The garage shall have a maximum elevation of 490 feet, and the elevation point shall be noted in the plans.
11. **Garage Trellis.** The trellis on the garage shall not be metal. The trellis material shall be noted in the plans.

12. **Palm Trees.** All healthy palm trees shall be retained on site.
13. **Historic Sign and Stairs at the Arlington Entrance.** The sign and stairs at the Arlington Avenue entrance to the property shall be restored. Photos showing the restored sign and stairs will be required before a Certificate of Occupancy is issued for new buildings.
14. This Structural Alteration Permit is contingent upon Use Permit approval for the project.
15. **Historic Preservation Treatment Plan.** Prior to submittal of any building permit for this project, the applicant shall provide a site-specific historic preservation treatment plan for rehabilitation of the historic gymnasium building, main building terrace and concrete features throughout the site. The plan shall be prepared and implemented by or under the direct supervision of a Preservation Architect who meets or exceeds the Secretary of the Interior's Professional Qualifications Standards for Historic Architecture and Architectural History. This treatment plan shall define conditions assessment and documentation, protection, and monitoring requirements, and procedures to be implemented during restoration of the gymnasium, terrace, and concrete features, shall confirm structural conditions, and recommend preservation activities, protection measures, and procedures to be implemented. The building permit plan set shall demonstrate compliance with the treatment plan.
16. **Rehabilitation of Historic Gymnasium.** Submittal of a building permit application to rehabilitate the gym is required prior to Landmarks plan check approval of any building permits for new buildings or structures.
17. **Repair and replacement of character-defining features.** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
18. **Chemical Treatments.** With respect to historic resources located on this site or within the propose project area, any chemical treatments needed as construction progresses will be undertaken using the gentlest means possible.
19. **Details and Materials.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit building details, color and materials information for review and approval by Landmarks staff, in coordination with the LPC Chair as needed.
20. All glass is assumed to be clear glass. Any proposed glass that is not clear glass, shall be indicated on all drawings, and shall be reviewed for approval by staff.
21. All curbs and curb cuts shall be constructed per the standards and specifications of the Public Works Department. Curb cuts no longer utilized shall be restored per the Public Works Department specifications.

1960 SAN ANTONIO AVENUE/645 ARLINGTON AVENUE
Page 7 of 7

Findings and Conditions
#LMSAP2022-0005

-
- 22.** Exterior lighting shall be downcast and not cause glare on the public right-of-way and abutting parcels.
 - 23.** The applicant shall provide irrigation for all landscaped areas. This shall be called out on Landscape building permit drawings.
 - 24.** The applicant shall be responsible for identifying and securing all applicable permits from the Building and Safety Division and all other affected City divisions/departments prior to the start of work.

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING BUILDING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING WORK. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY REPORT TO THE DESIGNER-OF-RECORD FOR CLARIFICATION.
- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES AND REGULATION GOVERNING CONSTRUCTION, BUILDING ACCESS, AND THE USE OF FACILITIES AS SET BY FEDERAL, STATE, AND LOCAL CODES, AND BUILDING DEPARTMENT AGENCIES.
- IT IS THE PURPOSE OF THE DRAWINGS TO SHOW THE GENERAL APPRANGEMENT/LAYOUT OF WALLS WITHIN THE PROPOSED STRUCTURE. ELEMENTS OF WORK THAT ARE TO BE CONSTRUCTED ON A DESIGN-BUILD BASIS SHALL BE APPROVED BY THE CITY/COUNTY BEFORE START OF CONSTRUCTION.
- LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS; DETAILS TAKE PRECEDENCE OVER ALL. CONTRACTOR SHALL NOTIFY ENGINEER OF CONFLICTS IN WRITING PRIOR TO COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON.
- ALL DIMENTIONS ARE TAKEN FRIM FACE OF STUD OR CENTERLINE OF STUD AS SHOWN FOR NEW CONSTRUCTION UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TAKEN FROM FACE OF FINISH UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE PERFORMED IN AN APPROVED WORKMANLIKE MANNER.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE LIGHTING, HVAC OUTLETS, ALONG WITH THE CEILINGS AND SOFFITTS BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR SHALL COMPLY WITH CURRENT APPLICABLE LOCAL ORDINANCES FOR UTILITY SERVICES.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED FEES, PERMITS, AND INSPECTION ASSESSED BY ANY GOVERNMENTAL AGENCY OR UTILITY COMPANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILIES, WHERE ENCOUNTERED, MAKE ALL NECESSARY ARRANGEMENTS FOR SUPPORT, SHORE-UP, RE-ROUTE OR PROVIDE UTILITY DISCONNECTIONS AS REQUIRED BY APPLICABLE PUBLIC OR PRIVATE UTILITY COMPANIES.
- THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL TAKE CAUTION WHEN WORKING AROUND THE EXISTING UTILITIES AND UNDERGROUND LINES.
- AT ALL TIMES, THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR CONDITIONS OF THE SITE, INCLUDING THE SAFETY OF PERSONS AND PROPERTY; ALSO DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING DURING SHORING, TEMPORARY, ETC. ENGINEER'S JOB SITE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- THE CONTRACTOR SHALL WARRANT THAT ALL MATERIALS AND WORKMANSHIP ARE IN COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS. ANY AND ALL CHANGES MUST HAVE THE ENGINEER'S APPROVAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPARING AND COORDINATING ALL DRAWINGS FOR PROPER FIT AND ATTACHMENT OF ALL PARTS. DETAILS NOT SHOWN, NOR DETAILED ON DRAWINGS, NOR CALLED FOR IN THESE NOTES SHALL BE CONSTRUCTED TO THE SAME SIZE AND CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN, DETAILED, OR SPECIFIED.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER ALL NON ITEMS NOT SHOWN ON DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL SUBCONTRACTORS UNDER HIS HIRE, AND SHALL COORDINATE WITH ANY SUBCONTRACTORS UNDER SEPARATE HIRE BY OWNER TO MAINTAIN EFFICIENT WORKMANLIKE PROGRESS OF THE WORK. THE CONTRACTOR SHALL COORDINATE THE OMITTED, BLOCKED OUT OR RELOCATED WITHOUT PRIOR APPROVAL WITH ENGINEER.
- THE CONTRACTORS AND SUBCONTRACTORS OF EACH TRADE SHALL KEEP PREMISES CLEAN AT ALL TIME AND SHALL REMOVE ALL RUBBISH AS OFTEN AS REQUIRED (AT LEAST WEEKLY) FOR THE CONTRACTION AND FOR THE CONVENIENCE OF THE OWNER
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT THE ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT, OR DEBRIS ONTO PUBLIC OR ADJACENT PRIVATE PROPERTY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF ALL TEMPORARY AND SHORING TO SUSTAIN ALL CONSTRUCTION LOADS, SOIL PRRESSURE, LATERAL, AND ANY OTHER LOADS THAT THE STRUCTURE MAY BE SUBJECTED.
- ALL PARTITIONS SHALL BE BRACED TO ABOVE STUCTURE PER REQUIREMENTS OF LOCAL BUILDING CODE.
- THE PROPOSED BUILDING SHALL BE CONNECTED TO THE STREET SEWER. SEE CIVIL PLANS FOR PROPOSED SANITARY SEWER PIPING AND CLEANOUTS.
- A SEPARATE INSPECTION BY THE COUNTY BUILDING INSPECTOR IS REQUIRED TO DETERMINE THE DEPTH AND CLEANLINESS OF THE HOLES REQUIRED FOR EPOXY BOLTS BEFORE THEY ARE INSTALLED.

PROJECT DATA

ADDRESS:	1960 SAN ANTONIO AVENUE, BERKELEY CA 94707
APN:	62-2916-60-4
LOCAL JURISDICTION:	BERKELEY
OCCUPANCY CLASS:	R3
BASE ZONING:	R1-H
CONSTRUCTION TYPE:	VB NON SPRINKLERED

EXISTING PRIMARY BUILDING FOOTPRINT	6572	SQ.FT.
TOTAL BUILDING FOOTPRINT	12969	SQ.FT.
BUILDING HEIGHT	30	FT.
BUILDING STORIES	2	
TOTAL LOT AREA	120873	SQ.FT.
NUMBER OF BUILDINGS ON LOT (EXISTING)	5	
NUMBER OF BUILDINGS ON LOT (PROPOSED)	6	
NUMBER OF PARCELS ON LOT (EXCLUDES PARCEL 4, 639 ARLINGTON, SHOWN ON SURVEY)	3	
NUMBER OF PARKING SPACES (EXISTING)	2	
NUMBER OF PARKING SPACES (PROPOSED)	10	

EXISTING LOT COVERAGE

MAIN BUILDING	6540	SQ.FT.
COVERED PORCH 1	277	SQ.FT.
COVERED PORCH 2	519	SQ.FT.
GYM	2200	SQ.FT.
GAME ROOM/CAFETERIA	1868	SQ.FT.
GARAGE	443	SQ.FT.
SHED	235	SQ.FT.
TOTAL EXISTING AREA	12082	SQ.FT.

EXISTING LOT COVERAGE %

PROPOSED LOT COVERAGE

MAIN BUILDING	6540	SQ.FT.
COVERED PORCH 1	277	SQ.FT.
COVERED PORCH 2	519	SQ.FT.
GYM	2200	SQ.FT.
GAME ROOM	1321	SQ.FT.
GARAGE	2000	SQ.FT.
SHED	235	SQ.FT.
POOL HOUSE	641	SQ.FT.
TOTAL EXISTING AREA	13733	SQ.FT.

TOTAL LOT COVERAGE SQ.FT.
PROPOSED LOT COVERAGE %

SPRING MANSION

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707



PROJECT DIRECTORY

OWNER:
ABBAS MASH
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

DESIGNER:
PAYMUN BUILDING AND DEVELOPMENT
IN COLLABORATION WITH
JONATHAN RACHMAN DESIGN
25 ORINDA WAY, SUITE 200
ORINDA, CA 94563
TEL: 925-587-2140

ARCHITECT:
PAYMUN BUILDING AND DEVELOPMENT
IN COLLABORATION WITH
EDIT
25 ORINDA WAY, SUITE 200
ORINDA, CA 94563
TEL: 925-587-2140

LANDSCAPE ARCHITECT:
DON WILHBORG DESIGN
13 SEMINOLE AVE
CORTE MADERA, CA 94925
TEL: 415 924 4466

STRUCTURAL ENGINEER:
ADVANCED ENGINEERING
3381 WALNUT BLVD, SUITE 220
BRENTWOOD, CA 94513
TEL: 925 516 3502

GENERAL CONTRACTOR:
PAYMAN BUILDING AND DEVELOPMENT
25 ORINDA WAY, SUITE 200
ORINDA, CA 94563
TEL: 925-587-2140

SHEET INDEX

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L2	IRRIGATION DETAIL
L3	IRRIGATION DETAILS & LEGEND
L4	PLANTING PLAN
L5	PLANTING DETAILS & LEGEND
L6	GRADING & DRAINAGE
A050	LOT COVERAGE - EXISTING & PROPOSED
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A070	PHOTOS (MAIN HOUSE)
A080	PHOTOS (OUTDOOR)
A100 ⁴	SITE PLAN - EXISTING
A101	SITE PLAN - PROPOSED
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A101C	SITE PLAN - SIMPLIFIED
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BUILDING CODE

CALIFORNIA BUILDING CODE	2022	CALIFORNIA ENERGY CODE	2022
CALIFORNIA MECHANICAL CODE	2022	CALIFORNIA RESIDENTIAL CODE	2022
CALIFORNIA PLUMBING CODE	2022	CALIFORNIA GREEN BUILDING CODE	2022
CALIFORNIA ELECTRICAL CODE	2022	CALIFORNIA FIRE CODE	2022
CITY OF BERKELEY MUNICIPAL CODE			

SCOPE OF WORK

SCOPE OF WORK INVOLVES :

- CONSTRUCTION OF A NEW GARAGE, POOL, POOL HOUSE, POOL DECK, DRIVEWAY, AND LANDSCAPING
- INTERIOR REMODEL OF MAIN BUILDING ON 1ST AND 2ND FLOORS UNDER A SEPERATE PERMIT
- GLASS REPLACEMENT OF MAIN BUILDING WINDOWS, FRAMES TO REMAIN.

PAYMUN

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Ben@paymun.com

LEAD DESIGN CONSULTANT

PAYMUN BUILDING &
DEVELOPMENT, Inc.

DESIGNER & DRAFTER :
SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

PROJECT DATA

SCALE

AS INDICATED

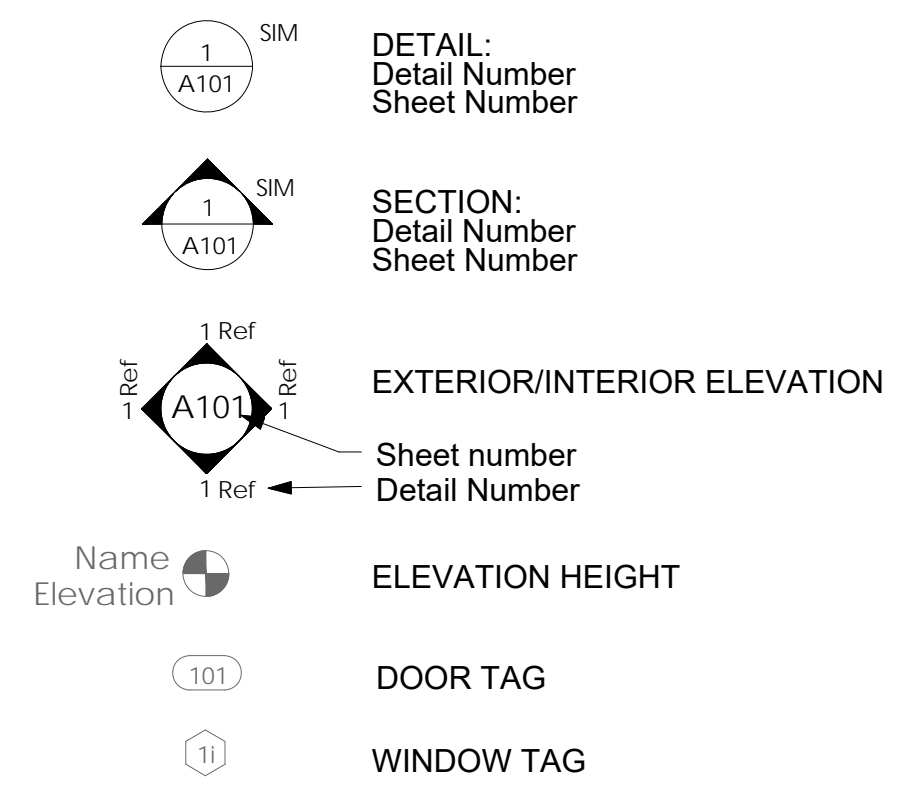
SHEET NUMBER

A010

ABBREVIATIONS

&	AND	GALV.	GALVANIZED	REINF	REINFORCED
ANGLE	ANGLE	G.B.	GRAB BAR	REQ	REQUIRED
@	AT	GL.	GLASS	REV	REVISION
⌒	CENTERLINE	GND.	GROUND	RGTR	REGISTER
/	DIAMETER	GYP. BD.	GYP SUM BOARD	RM	ROOM
#	POUND OR NUMBER	H.B.	HOSE BIBB	RWD	REDWOOD
ABV.	ABOVE	H.C.	HOLLOW CORE	S	SOUTH
ACOUS.	ACOUSTICAL	H.M.	HOLLOW METAL	S.C.	SOLID CORE
A.D.	AREA DRAIN	H.R.	HAND RAIL	S.E.D	SEE ELECTRICAL DWGS
A.T.	ACOUSTIC TILE	H.W.	HOT WATER	S.J	SEISMIC JOINT
ADJ.	ADJUSTABLE	HDR	HEADER	S.S.	STAINLESS STEEL
AGGR.	AGGREGATE	HR	HOUR	S.S.D	SEE STRUCTURAL DWGS
AL.	ALUMINUM	I.D.	INSIDE DIAMETER	SCHED	SCHEDULE
APPROX.	APPROXIMATE	INSUL	INSULATION	SECT	SECTION
ARCH.	ARCHITECTURAL	INT	INTERIOR	SHGT	SHEATHING
ASB.	ASBESTOS	JAN	JANITOR	SHT	SHEET
ASPH.	ASPHALT	KIT	KITCHEN	SIM	SIMILAR
BD.	BOARD	LAM	LAMINATE	SL	SKY LIGHT
BITUM	BITUMEN	LAV	LAVATORY	SPEC	SPECIFICATION
BLDG.	BUILDING	LBS	POUNDS	SPF	SPRAY FOAM INSULATION
BLK.	BLOCK	LTG	LIGHTING	SQ	SQUARE
BM	BEAM	M.D.F.	MEDIUM DENSITY FIBERBOARD MATERIAL	STD	STANDARD
BOT.	BOTTOM	MATL	MATERIAL	STL	STEEL
BSE.	BASE	MAX	MAXIMUM	STOR	STORAGE
CAB.	CABINET	MECH	MECHANICAL	STRUC	STRUCTURAL
C.B.	CATCH BASIN	MFR	MANUFACTURER	SUSP	SUSPENDED
CEM.	CEMENT	MH	MANHOLE	T	TREAD
CER.	CERAMIC	MIN	MINIMUM	T.O.	TOP OF
C.I.	CAST IRON	MISC	MISCELLANEOUS	T.O.P.	TOP OF PLATE
C.B.	CORNER BOARD	MTD	MOUNTED	T.O.S.	TOP OF SLAB
CLG.	CEILING	MTL	METAL	T.O.W.	TOP OF WALL
CLKG.	CAULKING	MUL	MULLION	TEL	TELEPHONE
CLO.	CLOSET	N	NEW	TEMP	TEMPERED
CLR.	CLEAR	N	NORTH	THK	THICK
C.O.	CLEAN OUT	N.I.C.	NOT IN CONTRACT	TYP	TYPICAL
COL.	COLUMN	N.T.S.	NOT TO SCALE	UNF	UNFINISHED
EMER.	EMERGENCY	NO	NUMBER	UON	UNLESS OTHERWISE NOTED
ENCL.	ENCLOSURE	NOM	NOMINAL	UR	URINAL
E.P.	ELECTRIC PANELBOARD	O.C.	ON CENTER	V.C.T	VINYL COMPOSITION TILE
EQ.	EQUAL	O.D.	OUTSIDE DIAMETER	VAR	VARIES
EQUIP.	EQUIPMENT	OFF	OFFICE	W	WEST
E.W.P.	ELECTRIC WATER COOLER	OPER	OPERABLE	W.C.	WATER CLOSET
EXPO	EXPOSURE	OPNG	OPENING	W.G.	WATER GLASS
EXP.	EXPANSION	OPP	OPPOSITE	W.M.	WALL MOUNT
EXT.	EXTERIOR	P.LAM.	PLASTIC LAMINATE	W.O.	WHERE OCCURS
F.A.	FIRE ALARM	P.T.	PRESSURE TREATED	W.R.	WATER RESISTANT
F.B.	FLAT BAR	PAV	PAVING	W.W.F	WIRE WELDED FABRIC
F.D.	FLOOR DRAIN	PERF	PERFORATED	W.W.M	WOVEN WIRE MESH
FON.	FOUNDATION	PERP	PERPENDICULAR	W/D	WASHER / DRYER
F.E.	FIRE EXTINGUISHER	PL	PLATE	W/O	WITHOUT
F.E.C.	FIRE EXTINGUISHER CABINET	PL	PROPERTY LINE	WD	WOOD
F.H.C.	FIRE HOSE CABINET	PLYWD	PLYWOOD	WDW	WINDOW
FIN.	FINISH	PROP	PROPERTY	WP	WATERPROOFING
FL.	FLASHING	PT	PAINT	WT	WEIGHT
FLUOR.	FLUORESCENT	PVC	POLYVINYL CHLORIDE		
F.O.C.	FACE OF CABINET	QTY	QUANTITY		
F.O.F	FACE OF FINISH	R	RISER		
F.O.S.	FACE OF STUDS	R.C.	RESILIENT CHANNEL		
FPRF	FIREPROOF	R.C.P	REFLECTED CEILING PLAN		
F.S.	FULL SIZE	R.D.	ROOF DRAIN		
FT.	FOOT OR FEET	R.O.	ROUGH OPENING		
FTG.	FOOTING	R.W.L	RAIN WATER LEADER		
FURR.	FURRING	RAD	RADIUS		
FUT.	FUTURE	REF	REFERENCE		
GA.	GAGE	REFR	REFRIGERATOR		

SYMBOLS



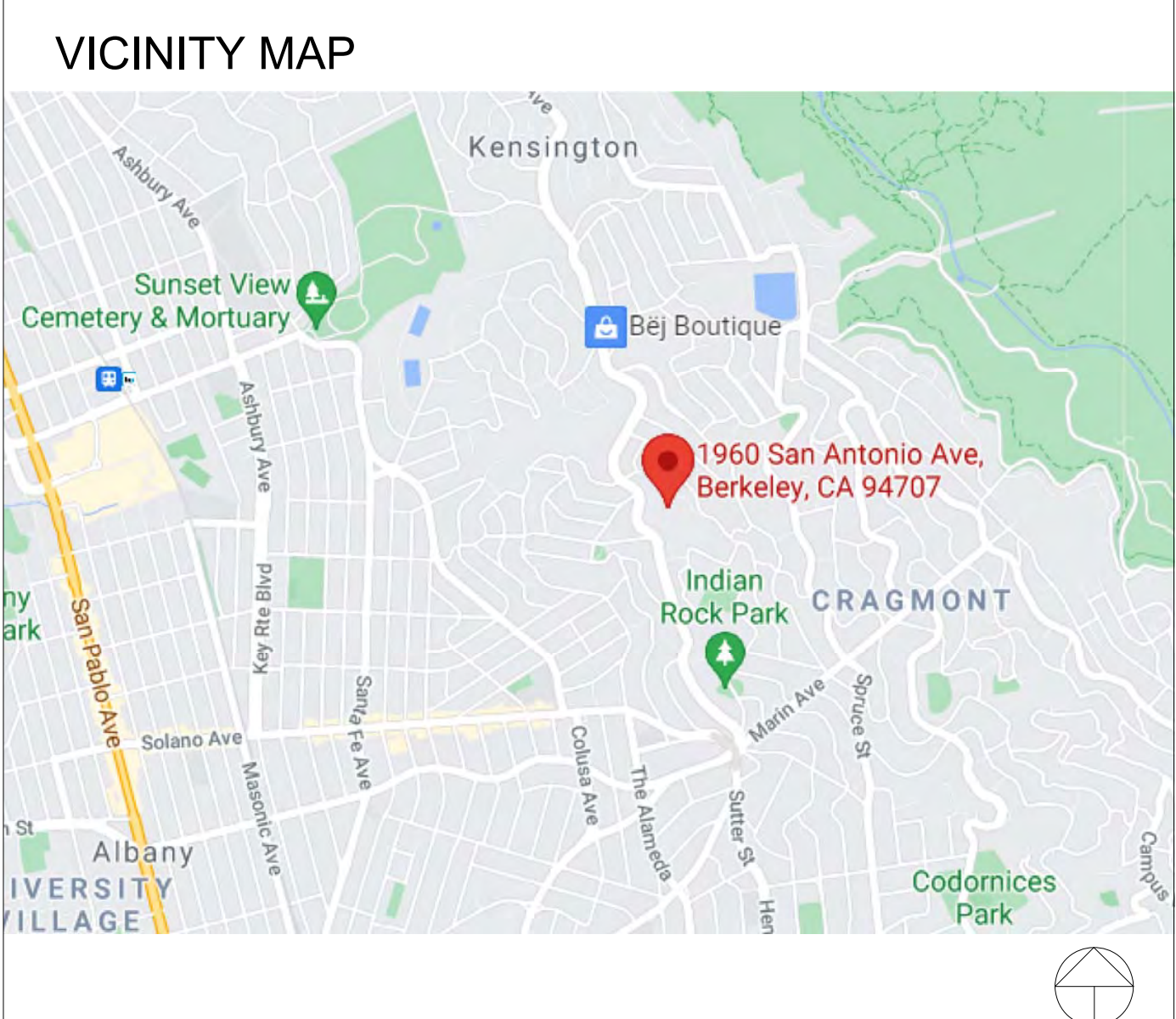
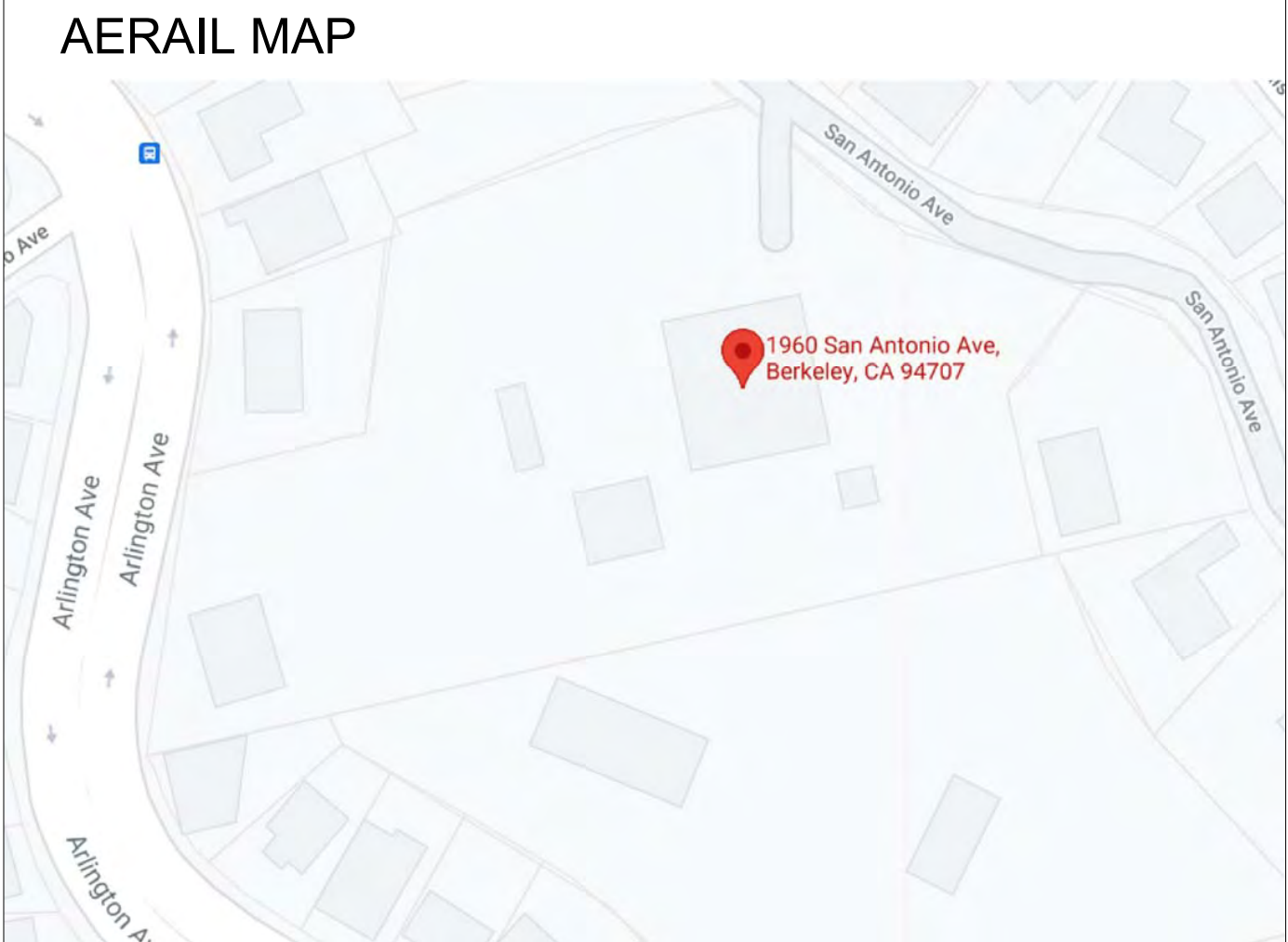
WUI

WILDLAND-URBAN INTERFACE FIRE ZONE NOTES :
 PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC R337.1.5.
 BUILDING IS LOCATED IN AN LRA HIGH FIRE HAZARD SEVERITY ZONE. ALL EXTERIOR MATERIALS AND CONSTRUCTION METHODS SHALL MEET EXTERIOR WILDFIRE EXPOSURE STANDARDS.

R337 WORKSHEET
 THIS PROJECT IS LOCATED IN A LOCAL RESPONSIBILITY AREA VERY HIGH FOR WILDFIRE PROTECTION. ROOFING, ATTIC VENTILATION, EXTERIOR WALLS, WINDOWS, EXTERIOR DOORS, DECKING, FLOORS, AND UNDERFLOOR PROTECTION TO MEET CRC R337 REQUIREMENTS.

ITEM	MATERIAL
DECKING MATERIALS	MASONRY OR CERAMIC
EXTERIOR WINDOWS	MULTI-PANE GLAZING WITH ONE PANE TEMPERED
EXTERIOR SIDINGS AND SHEATHINGS	1" THICK STUCCO WITH 1 HOUR FIRE RATING
EXTERIOR DOORS	MULTI-PANE GLAZING WITH ONE PANE TEMPERED
UNDER EAVE	WOOD GARAGE AND WOOD EXTERIOR DOORS TO BE MIN 1 3/8" THICK SOLD CORE
UNDERFLOOR	IGNITION RESISTANT
VENTILATION	IGNITION RESISTANT
ROOF	CLOSED, NO VENTS CLASS A - MODIFIED BITUMIN, SLATE AT POOL HOUSE OR APPROVED EQUAL

MAPS



TREE PROTECTION

- ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF AND BE SUPERVISED BY THE CONSULTING ARBORIST. ROOTS SHOULD BE CUT WITH A SAW TO PROVIDE A FLAT AND SMOOTH CUT. REMOVAL OF ROOTS LARGER THAN 2 IN. IN DIAMETER SHOULD BE AVOIDED.
- IF ROOTS 2 IN. AND GREATER IN DIAMETER ARE ENCOUNTERED DURING SITE WORK AND MUST BE CUT TO COMPLETE THE CONSTRUCTION, THE CONSULTING ARBORIST MUST BE CONSULTED TO EVALUATE EFFECTS ON THE HEALTH AND STABILITY OF THE TREE AND RECOMMEND TREATMENT.
- FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TREE PROTECTION ZONE PRIOR TO DEMOLITION, GRUBBING OR GRADING. FENCES SHALL BE 6 FT. CHAIN LINK WITH POSTS SUNK INTO THE GROUND OR EQUIVALENT.
- THE TREE TREE PROTECTION ZONE SHOWN ON ALL PLANS SHALL BE FENCED TO ENCLOSE THE ENTIRE AREA (FIGURE 1). NO GRADING, EXCAVATION, CONSTRUCTION OR STORAGE OF MATERIALS SHALL OCCUR WITHIN THAT ZONE. NO UNDERGROUND SERVICES INCLUDING UTILITIES, SUB-DRAINS, WATER OR SEWER SHALL BE PLACED IN THE TREE PROTECTION ZONE. NO MOTORIZED EQUIPMENT SHALL BE USED IN THE TREE PROTECTION ZONE. THE LIMITS OF THE TREE PROTECTION ZONE WILL BE ADJUSTED FOLLOWING REVIEW OF GRADING AND CONSTRUCTION PLANS. FOR DESIGN PURPOSES, THE TREE PROTECTION ZONE SHALL BE DEFINED AS THE TREE DRIPLINE.

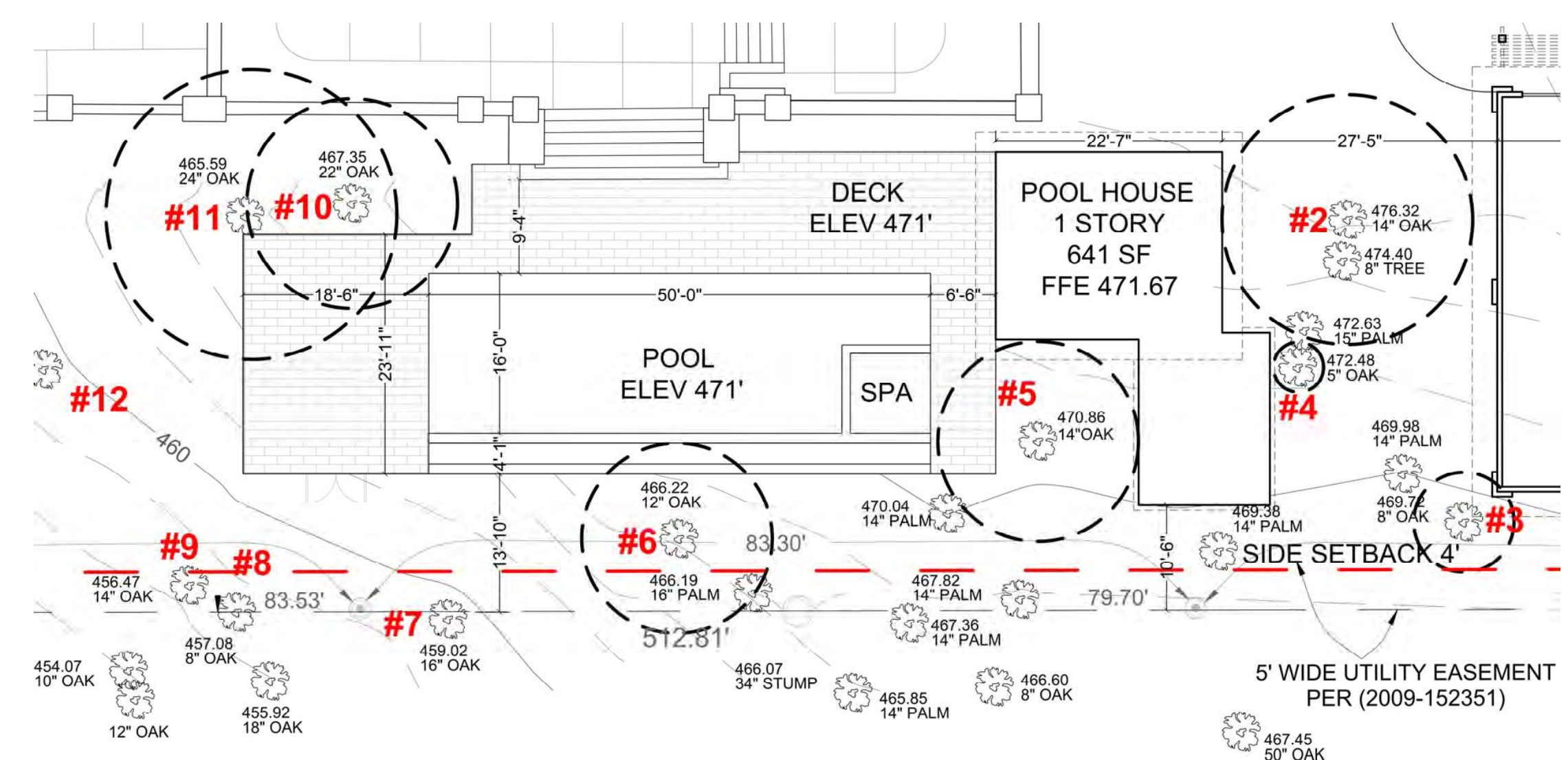


FIGURE 1. THE BLACK DOTTED LINES ARE THE TREE PROTECTION ZONE. WORK IN THIS AREA IS PROHIBITED.

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LEAD DESIGN CONSULTANT

PAYMUN BUILDING & DEVELOPMENT, Inc.

DESIGNER & DRAFTER :
 SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE
 BERKELEY, CA 94707

AREA

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A020

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LEAD DESIGN CONSULTANT

PAYMUN BUILDING &
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PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

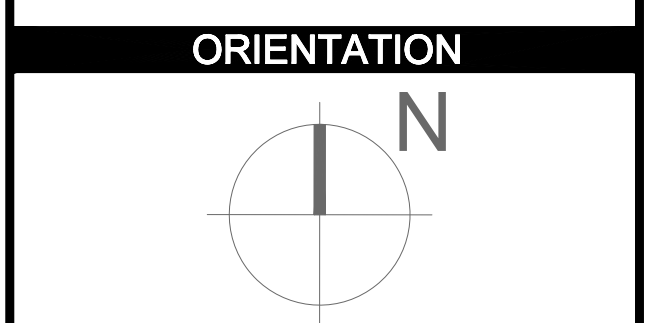
NOTES

REVISION	DATE
PLANNING SUBMITTAL 1	05/13/2023



ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

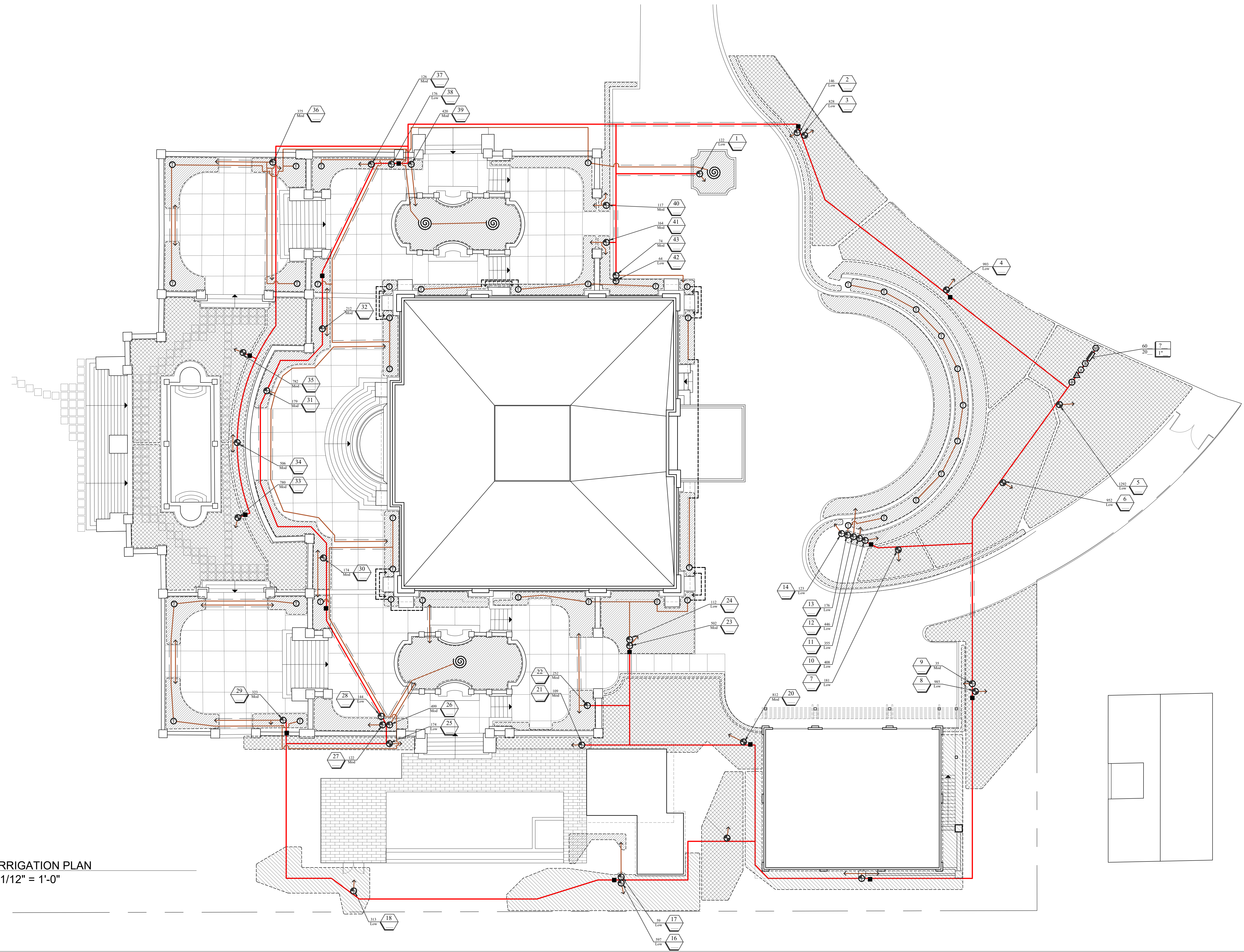
AREA



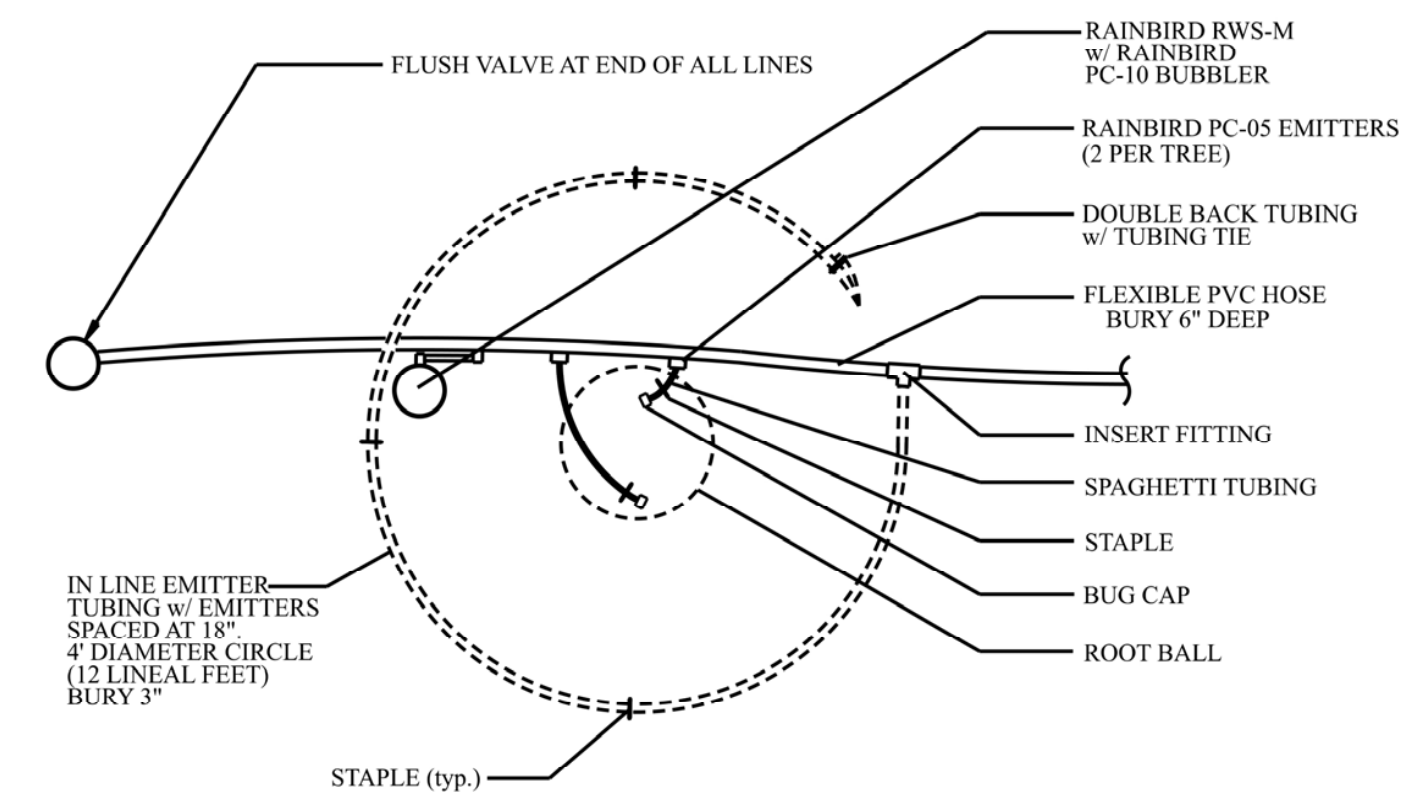
SHEET TITLE
IRRIGATION PLAN

SCALE
AS INDICATED
SHEET NUMBER

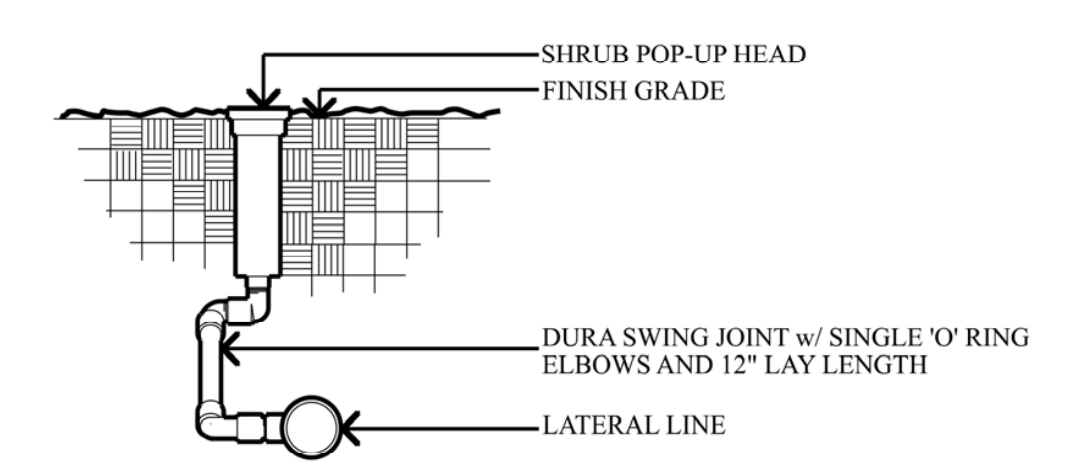
L.1



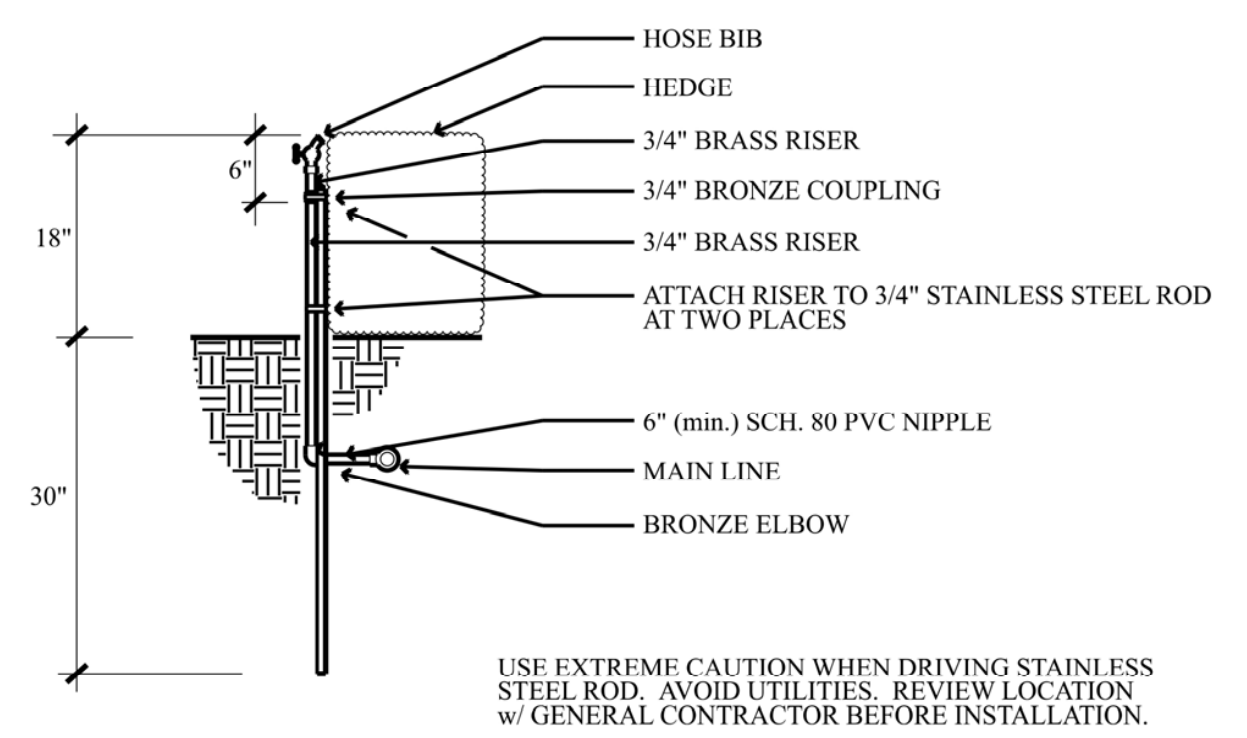
① IRRIGATION PLAN
1/12" = 1'-0"



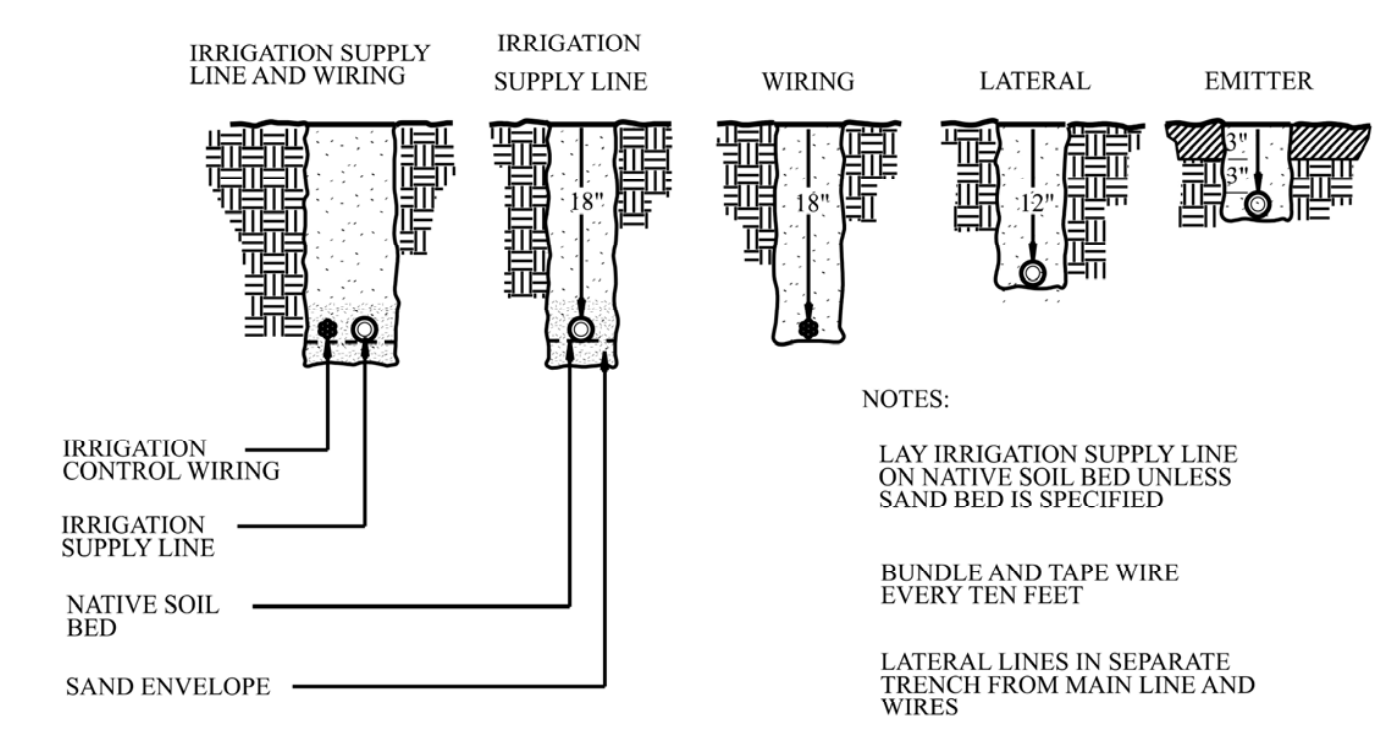
TREE EMITTER LAYOUT (36 gph)



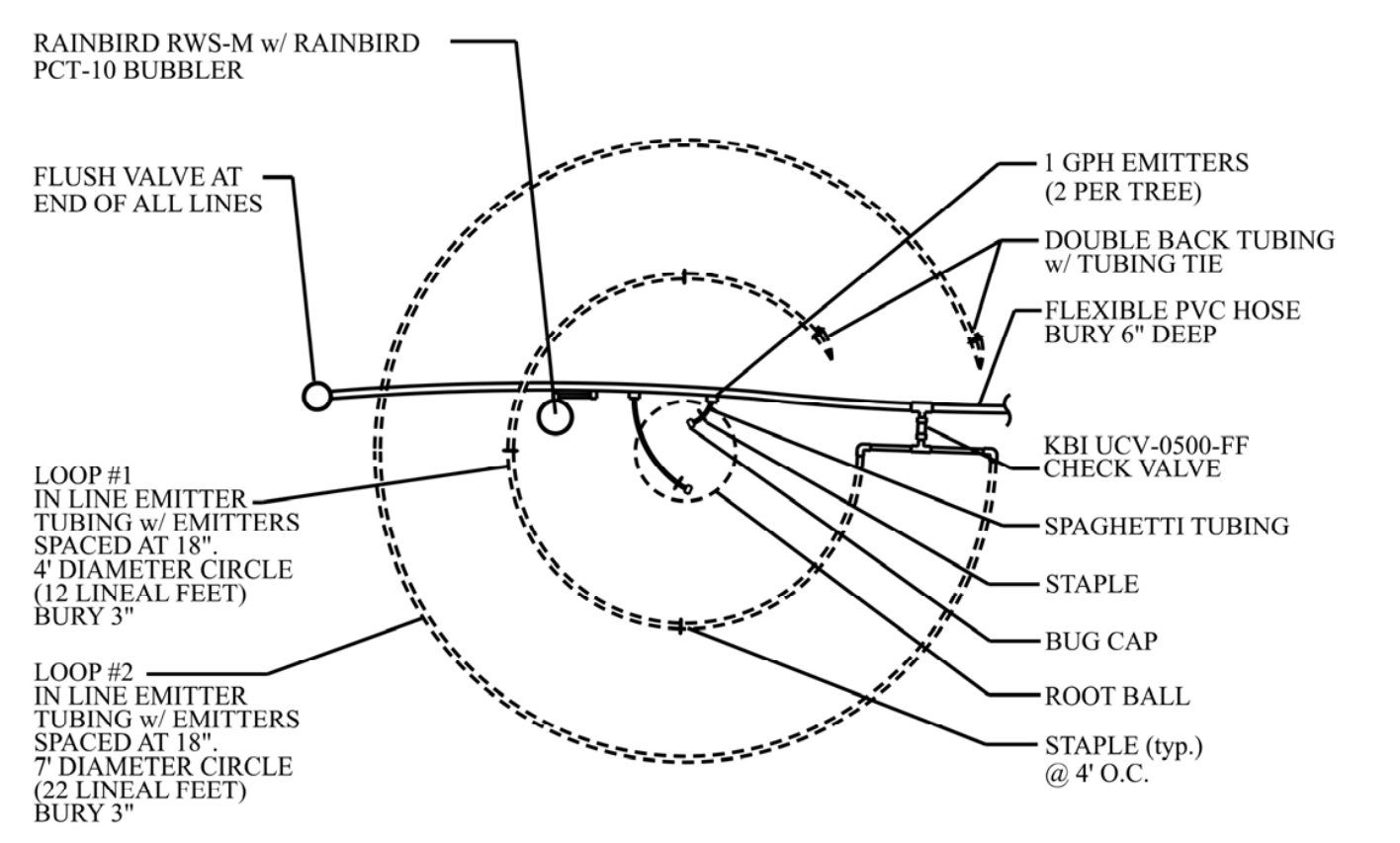
SHRUB POP-UP SPRAY HEAD



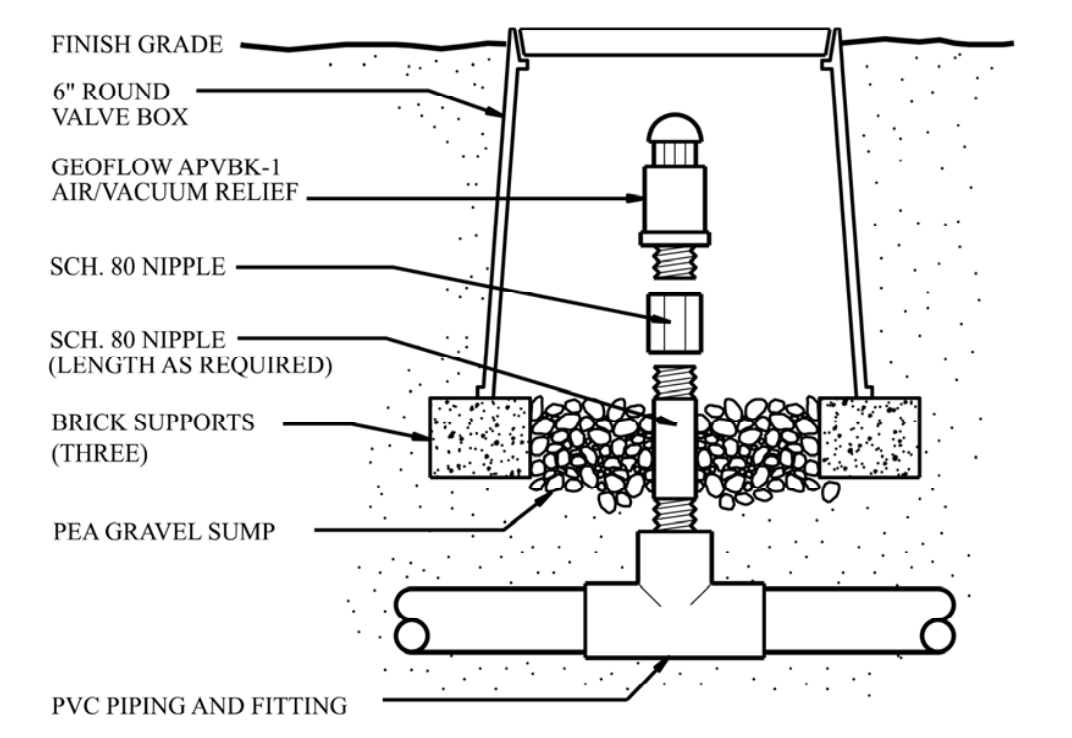
HOSE BIB



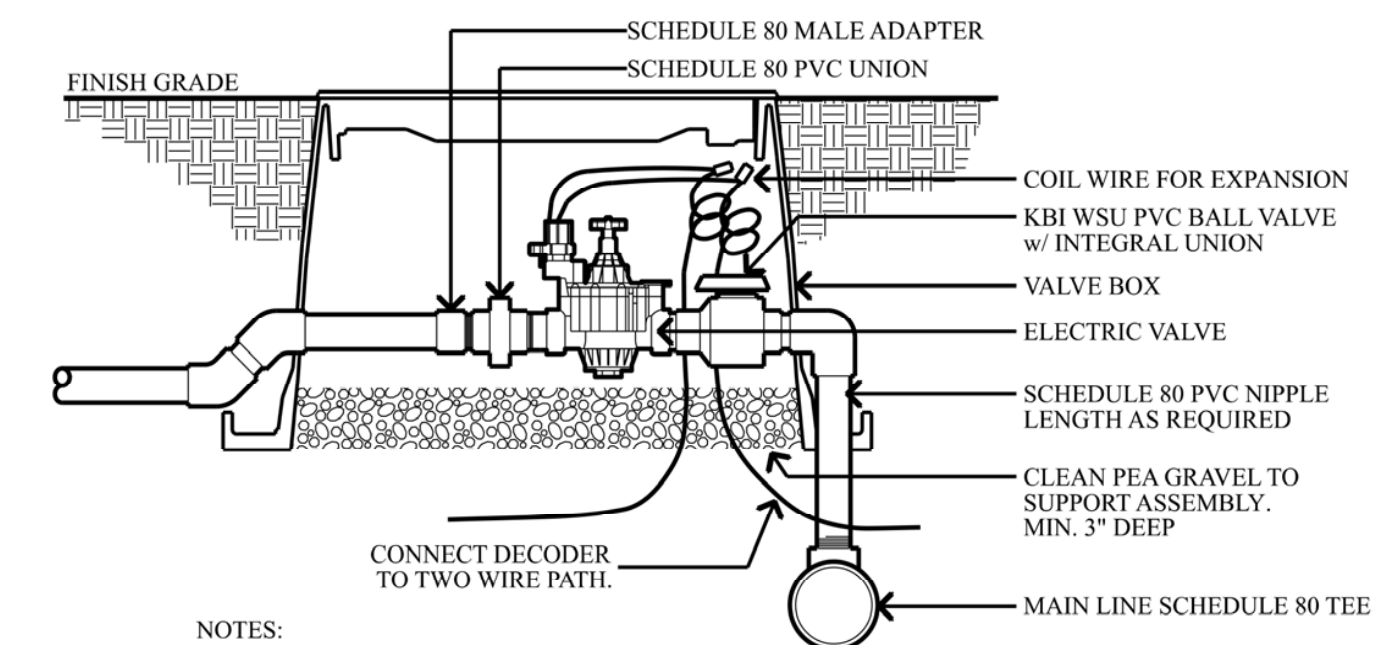
TRENCHING AND INSTALLATION



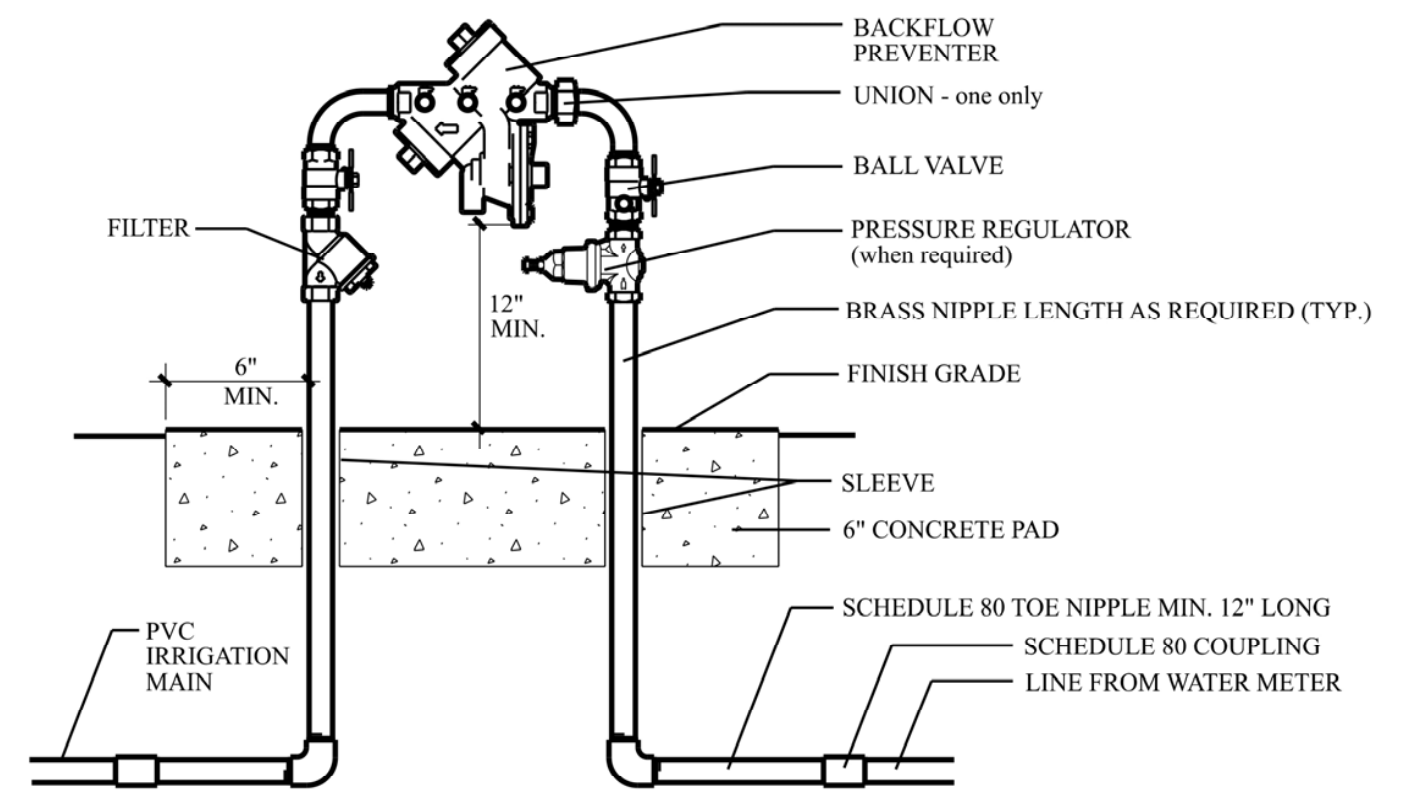
TREE EMITTER LAYOUT - LARGE (33 gph)



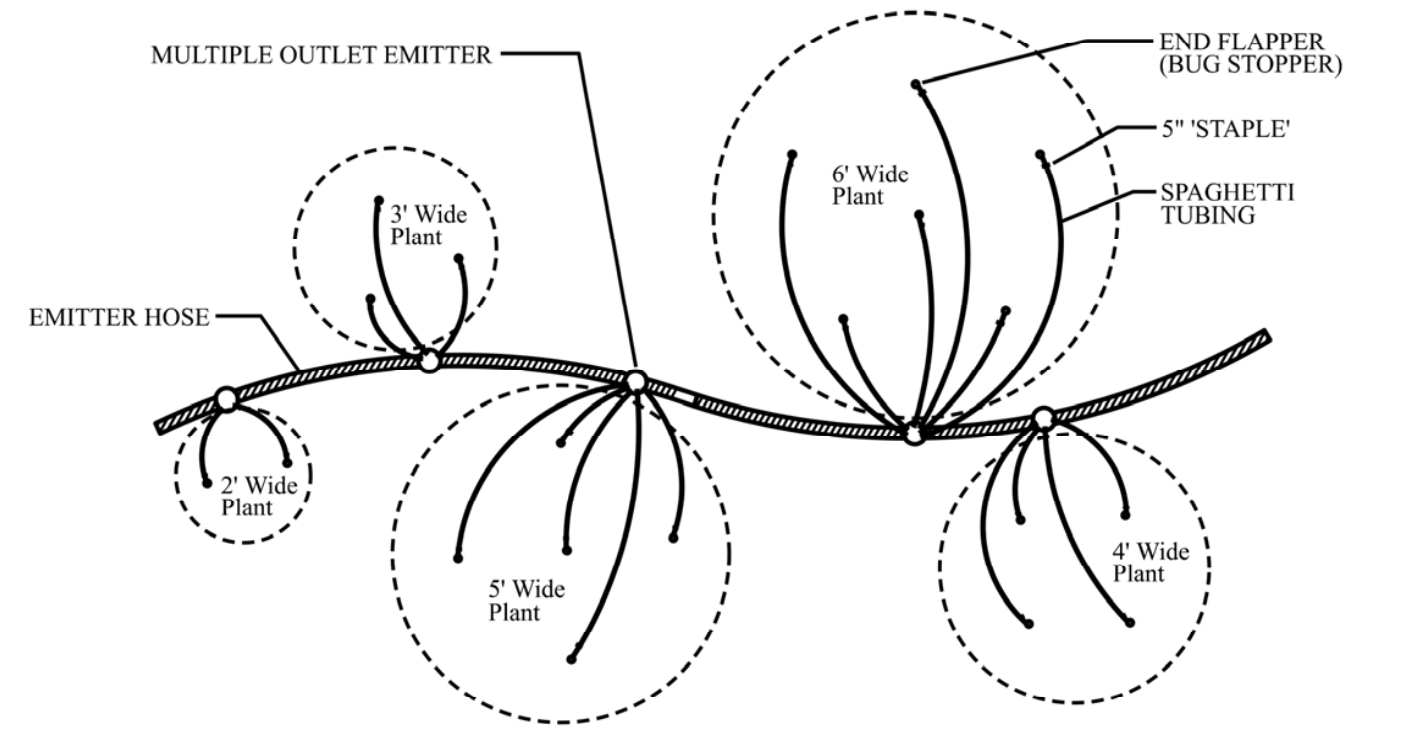
1" AIR/VACUUM RELIEF



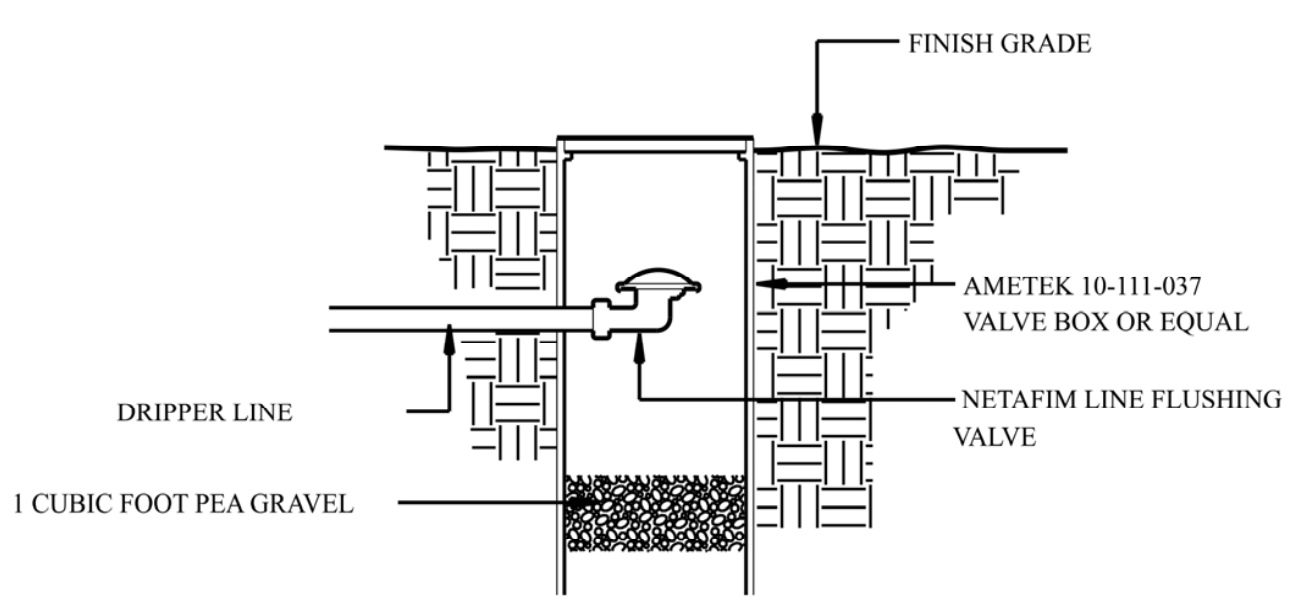
REMOTE CONTROL VALVE - TWO WIRE



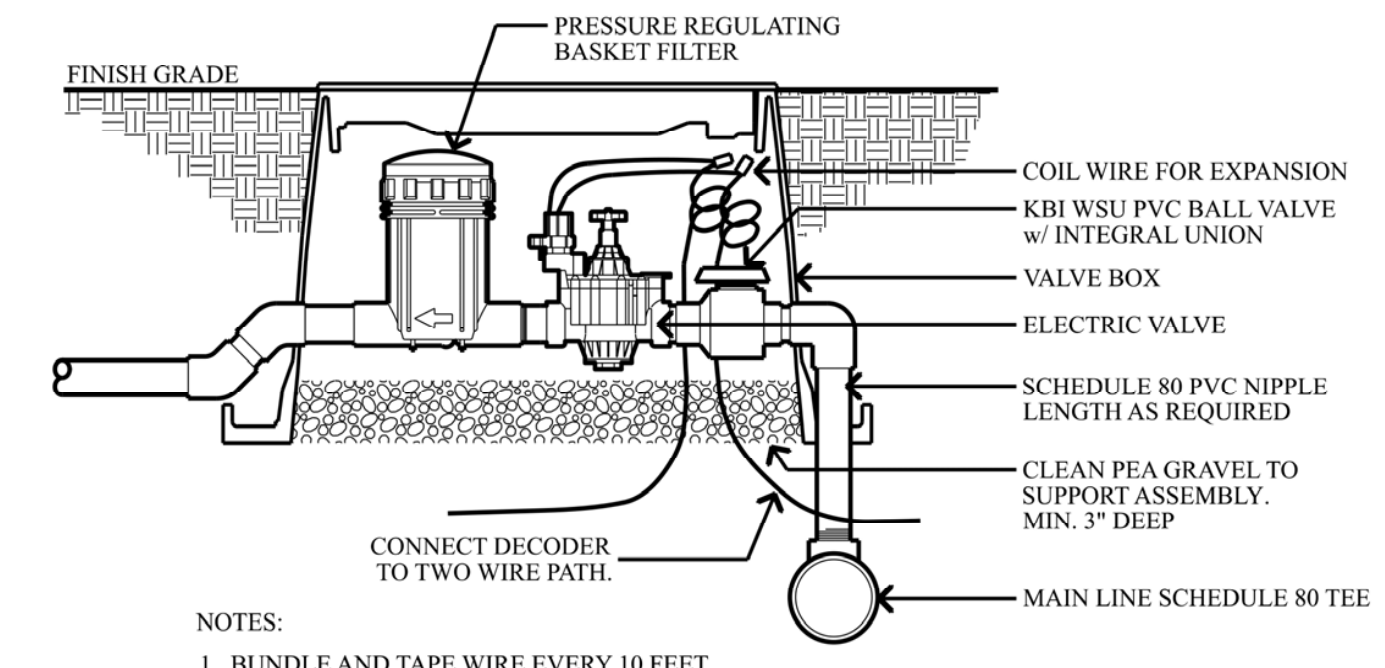
REDUCED PRESSURE BACKFLOW PREVENTER



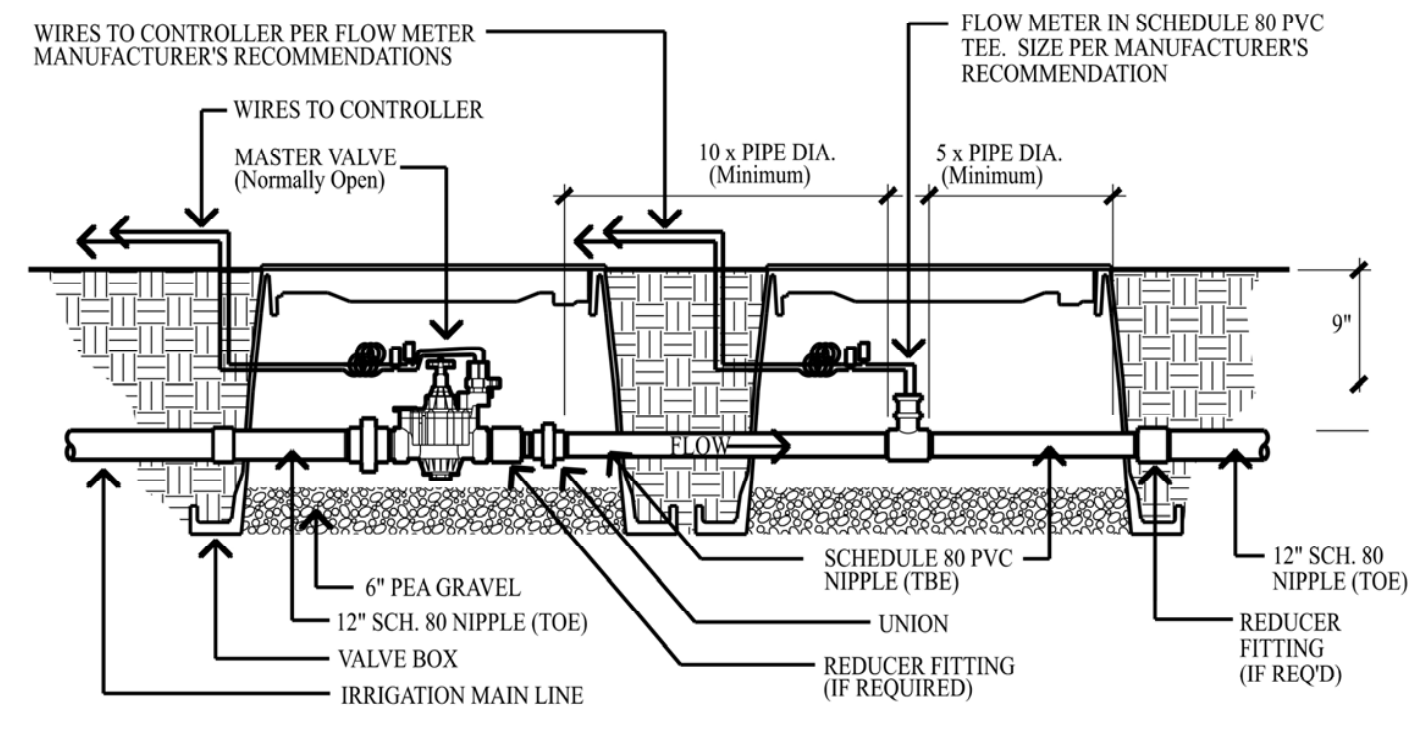
MULTIPLE OUTLET EMITTER



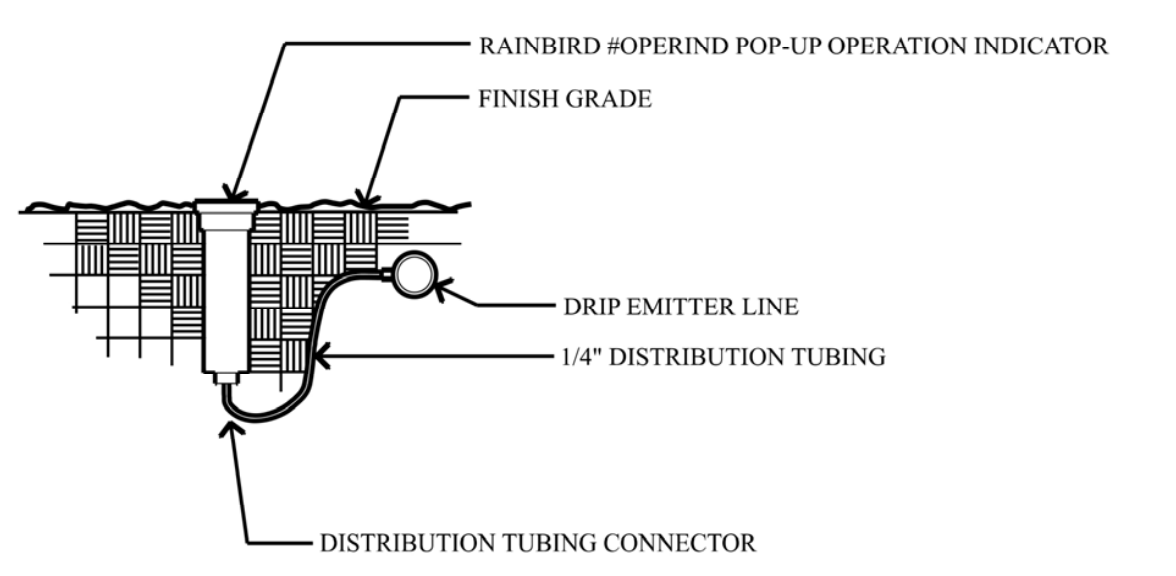
LINE FLUSHING VALVE



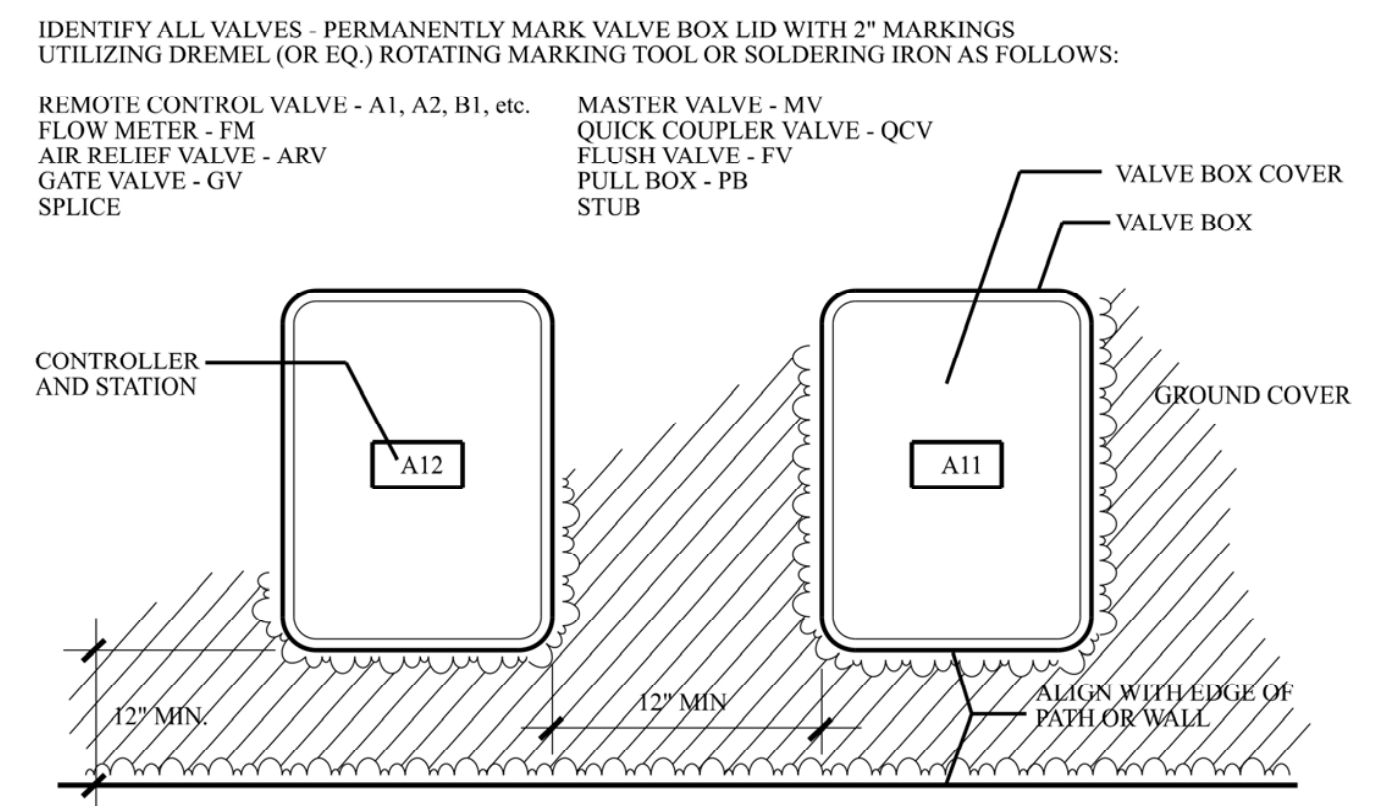
EMITTER REMOTE CONTROL VALVE - TWO WIRE



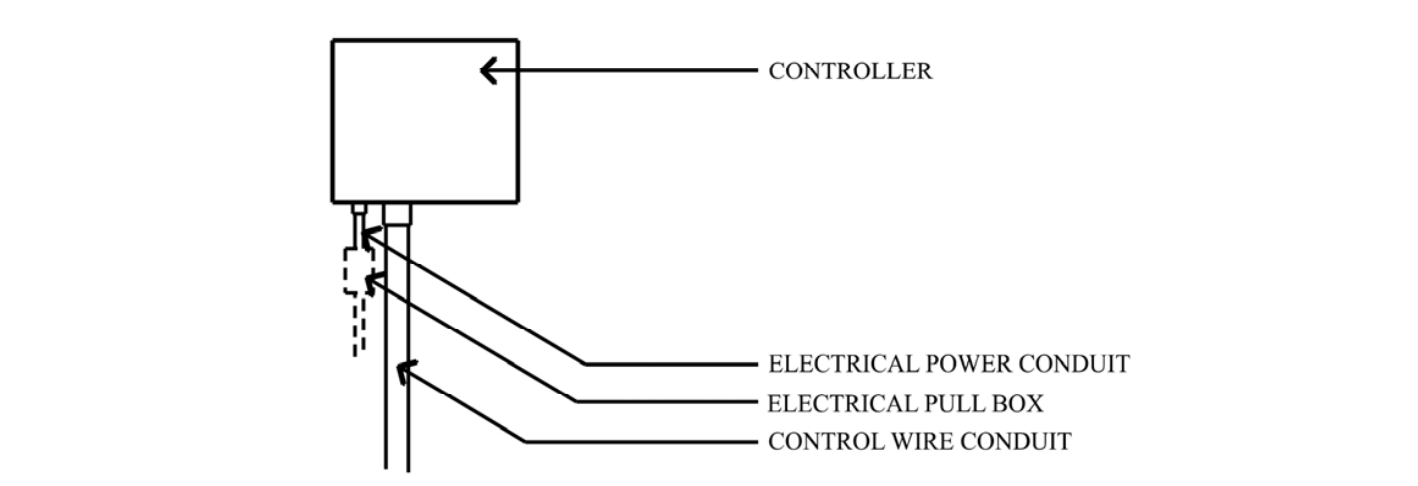
MASTER VALVE & FLOWMETER RUN



EMITTER LINE POP-UP OPERATION INDICATOR



VALVE BOXES



WALL MOUNT CONTROLLER

PAYMUN

25 Orinda way, Suite#200
Orinda, CA 94563
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LEAD DESIGN CONSULTANT

PAYMUN BUILDING &
DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023



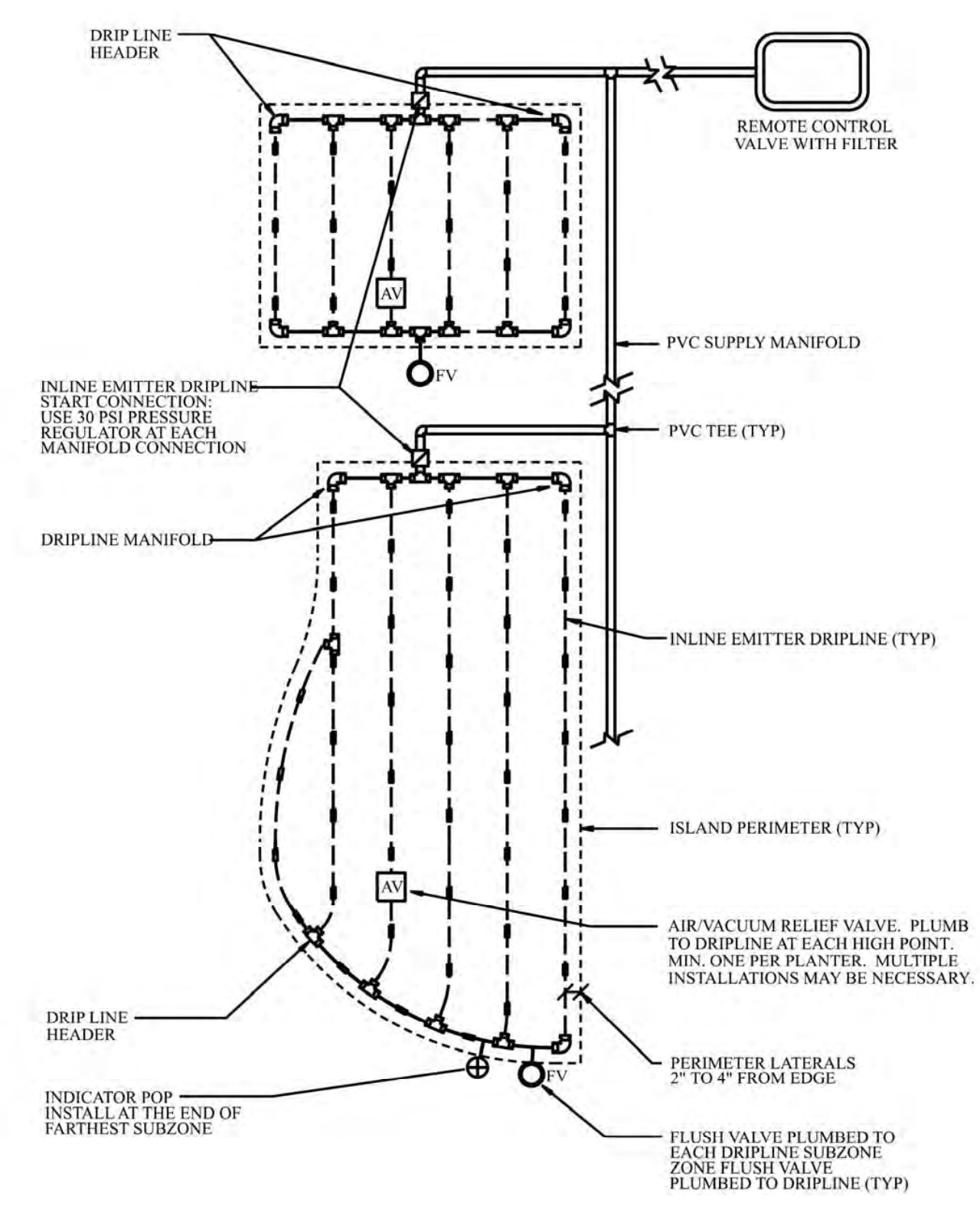
ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA
ORIENTATION

SHEET TITLE
IRRIGATION DETAILS

SCALE
AS INDICATED
SHEET NUMBER

L.2



○ INLINE EMITTER ISLAND LAYOUT

IRRIGATION LEGEND									
Description	MANUFACTURER	Item Number	Pop Height	Misc. Info.	GPM	at PSI	Radius		
	Shrub Rotator	Hunter	PROS-12-PRS40-CV-MP1000	12"		0.19-0.75	40	14	
	Shrub Rotator	Hunter	PROS-12-PRS40-CV-MP2000	12"		0.40-1.47	40	19	
	Shrub Rotator	Hunter	PROS-12-PRS40-CV-MP3000	12"		0.86-3.64	40	30	
	Tree Emitter Layout	See details							
	Tree Emitter Layout Large	See details							
	Root Watering System	Rainbird	RWS (see tree emitter detail)			18", PCT-10 Emitter			
	Multi Outlet Emitter	Rainbird	XBT-20-6			2.0 GPH per Emitter Outlet			
	Emitter	Rainbird	PC-10			10 gph			
	Controller	Hunter	HC - 2 wire			w/ Solar-Sync, connect to Wi-Fi			
	Flow Sensor	CST	FDI-T10-001			1" Flow Meter	0.86-52		
	Backflow Preventer	Wilkins	975XL2U			1"			
	Filter	Amiad	Super 1"						
	Control Valve	Rainbird	PESB-PRS-D Series						
	Control Zone Kit	Rainbird	XZC-150-PRB-COM				Zones over 15 gpm		
	Control Zone Kit	Rainbird	XZC-100-PRB-COM				Zones between 5 and 15 gpm.		
	Control Zone Kit	Rainbird	XZC-75-PRF				Zones under 5 gpm		
	Master Valve	Griswold	2000 Series				Normally Open, line size		
	Hose Bib								
	Emitter Flush Valve	Netafim					Automatic Flush		
	Emitter Air Relief Valve	Netafim					At all high points of emitter zones		
	Emitter Pop-up Indicator	Rainbird	OPERIND				One at end of each zone		
	Main Line Pipe		Schedule 40						
	Lateral Line Pipe		Schedule 40						
	Emitter Line Pipe		AR Flexible PVC			1"			
	In Line Emitter Tubing	Rainbird	XFS-09-18 Sub-Surface Dripline w/ copper shield			18" pipe spacing	0.9 GPH		
	Drip Line Header	Rainbird	XQF-10 Dripline Header						
	Sleeve		Schedule 40			w/ size			
	Buried Pipe w/o Sleeve		Copper						
	Existing Pressure								
	Min. Design Pressure								
	Max. System GPM								
	Backflow Size								

Maximum Applied Water Allowance (MAWA)
 $(Ea)(0.62)(D)(55 + LA)(Landscape Area) + (0.85 + SA)(Special Landscape Area) = 215,883$
 Ea = 0.80
 Factor = 0.80
 LA = 16,233
 SA = 0

Estimated Total Water Use (ETWU)
 $(Ea)(D)(2)(I)(F)(H)(A)(I)(SA) = 210,355$

Hydrozone Type	Value	Irrigation Method	Plant Water Use Type	Hydrozone Area (HA)	Percent of Landscape	Plant Factor (PF)	Special Landscape Area (SLA)	Irrigation Efficiency (IE)	FF x HA	ETWU	MAWA	Over/Under MAWA	Application Rate (in./hr.)	Operating Pressure (PSI)
Shrub	1	drip	Low	122	0.8%	0.5	0	0.80	37	1,106	1,622	516	1.5	30
Shrub	2	drip	Low	146	0.9%	0.5	0	0.80	44	1,224	1,942	518	1.5	30
Shrub	3	MP Rotator	Low	828	5.1%	0.5	0	0.75	248	8,668	11,012	3,003	1.5	40
Shrub	4	MP Rotator	Low	993	6.1%	0.5	0	0.75	298	9,604	13,206	3,602	1.5	40
Shrub	5	MP Rotator	Low	1,702	10.5%	0.5	0	0.75	388	12,406	17,182	4,686	1.5	40
Low Water Grass	6	MP Rotator	Low	292	1.8%	0.5	0	0.75	286	9,206	12,601	3,395	1.5	40
Shrub	7	MP Rotator	Low	181	1.1%	0.5	0	0.75	54	1,753	2,407	656	1.5	40
Shrub	8	MP Rotator	Low	985	6.1%	0.5	0	0.75	296	9,527	13,100	3,573	1.5	40
Shrub	9	drip	Mod	35	0.2%	0.5	0	0.80	22	529	462	63	1.76	30
Shrub	20	drip	Low	408	2.5%	0.5	0	0.80	122	3,700	5,426	1,726	1.5	30
Shrub	11	drip	Low	355	2.2%	0.5	0	0.80	107	3,219	4,721	1,502	1.5	30
Shrub	12	drip	Low	446	2.7%	0.5	0	0.80	134	4,644	5,931	1,287	0.45	30
Trees	13	drip	Low	116	0.7%	0.5	0	0.80	32	1,596	2,341	745	1.5	30
Shrub	14	drip	Low	123	0.8%	0.5	0	0.80	37	1,115	1,636	520	1.5	30
Shrub	15	drip	Low	668	4.1%	0.5	0	0.80	200	6,657	8,884	2,227	0.45	30
Shrub	16	drip	Low	597	3.7%	0.5	0	0.80	179	5,613	7,940	2,326	0.45	30
Shrub	17	drip	Low	59	0.4%	0.5	0	0.80	18	535	785	250	1.76	30
Shrub	18	drip	Low	313	1.9%	0.5	0	0.80	91	2,838	4,163	1,324	0.45	30
Low Water Grass	19	MP Rotator	Low	256	1.6%	0.5	0	0.75	197	6,413	8,714	2,301	1.5	40
Shrub	22	MP Rotator	Mod	812	5.0%	0.5	0	0.75	406	13,089	16,799	3,710	0.45	40
Shrub	21	spray	Mod	109	0.7%	0.5	0	0.75	55	1,757	1,650	107	1.76	30
Shrub	22	drip	Mod	252	1.6%	0.6	0	0.80	151	4,570	3,451	1,119	1.5	30
Shrub	23	drip	Mod	500	3.1%	0.6	0	0.80	301	9,264	6,676	2,588	1.5	30
Trees	24	drip	Low	112	0.7%	0.5	0	0.80	34	1,626	1,489	474	1.76	30
Shrub	25	spray	Low	176	1.1%	0.5	0	0.75	52	1,683	2,114	431	1.76	30
Shrub	26	drip	Mod	499	3.1%	0.6	0	0.80	299	9,249	6,616	2,633	1.76	30
Shrub	27	drip	Mod	122	0.8%	0.5	0	0.80	41	1,844	1,622	221	1.76	30
Trees	28	drip	Low	164	0.9%	0.5	0	0.80	41	1,306	1,915	609	1.5	30
Shrub	29	drip	Mod	373	2.3%	0.6	0	0.80	184	3,858	4,946	1,088	1.76	30
Shrub	30	drip	Mod	174	1.1%	0.6	0	0.80	104	1,815	2,314	499	1.5	30
Shrub	31	drip	Mod	179	1.1%	0.6	0	0.80	107	1,846	2,381	535	1.5	30
Shrub	32	drip	Mod	212	1.3%	0.6	0	0.80	127	2,843	2,819	1,024	1.5	30
Shrub	33	MP Rotator	Mod	280	1.8%	0.6	0	0.75	468	15,068	10,173	4,895	1.5	40
Shrub	34	spray	Mod	506	3.1%	0.6	0	0.75	304	9,788	6,729	3,059	1.76	30
Shrub	35	MP Rotator	Mod	782	4.8%	0.6	0	0.75	469	15,117	10,400	4,717	0.45	40
Shrub	36	drip	Mod	375	2.3%	0.6	0	0.80	225	6,801	4,867	1,934	1.5	30
Shrub	37	drip	Mod	136	0.8%	0.6	0	0.80	74	2,285	1,676	609	1.5	30
Trees	38	drip	Low	176	1.1%	0.5	0	0.80	53	1,596	2,341	745	0.45	30
Shrub	39	drip	Mod	420	2.6%	0.6	0	0.80	252	7,817	5,586	2,231	0.45	30
Shrub	40	drip	Mod	117	0.7%	0.6	0	0.80	70	1,122	1,556	434	1.5	30
Shrub	41	drip	Mod	164	1.0%	0.6	0	0.80	88	2,974	2,181	793	1.5	30
Trees	42	drip	Low	64	0.4%	0.5	0	0.80	19	580	851	271	1.5	30
Shrub	43	drip	Mod	18	0.1%	0.6	0	0.80	41	1,342	384	958	1.5	30
				16,233			0			210,355	215,883	5,528		

Water Use Percentage of Area			
No Water Area	0	0.0%	
Low Water Area	0,670	59.6%	No and Low water area = 99.6%
Mod. Water Area	6,563	40.4%	
High Water Area	0	0.0%	
Total Area	16,233		

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DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

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PLANNING SUBMITTAL I	05/13/2023



ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

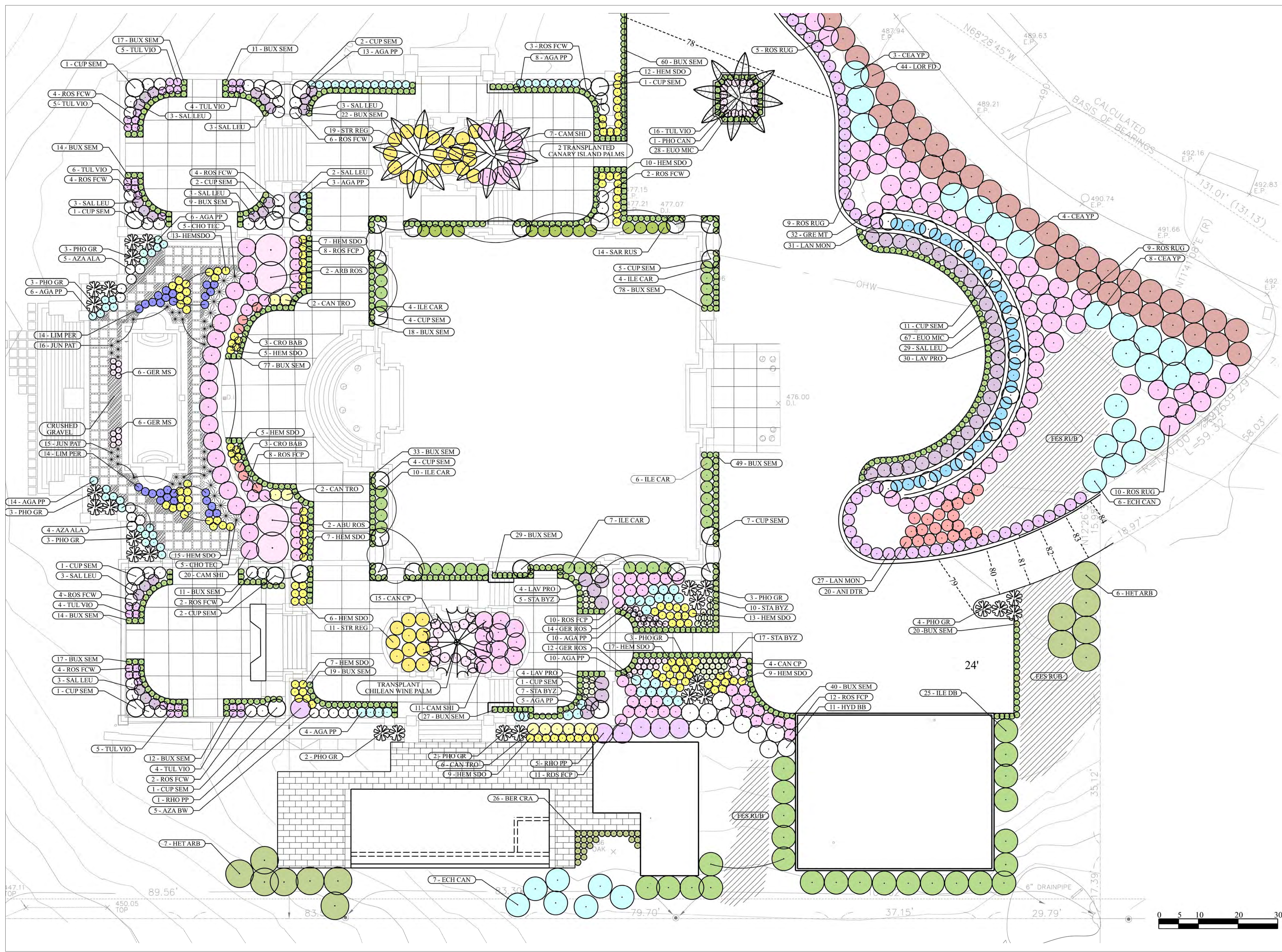
AREA

ORIENTATION

SHEET TITLE
IRRIGATION
DETAILS & LEGEND

SCALE
AS INDICATED

SHEET NUMBER
L.3



PAYMUN

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LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

PLANTING PLAN

SCALE

AS INDICATED

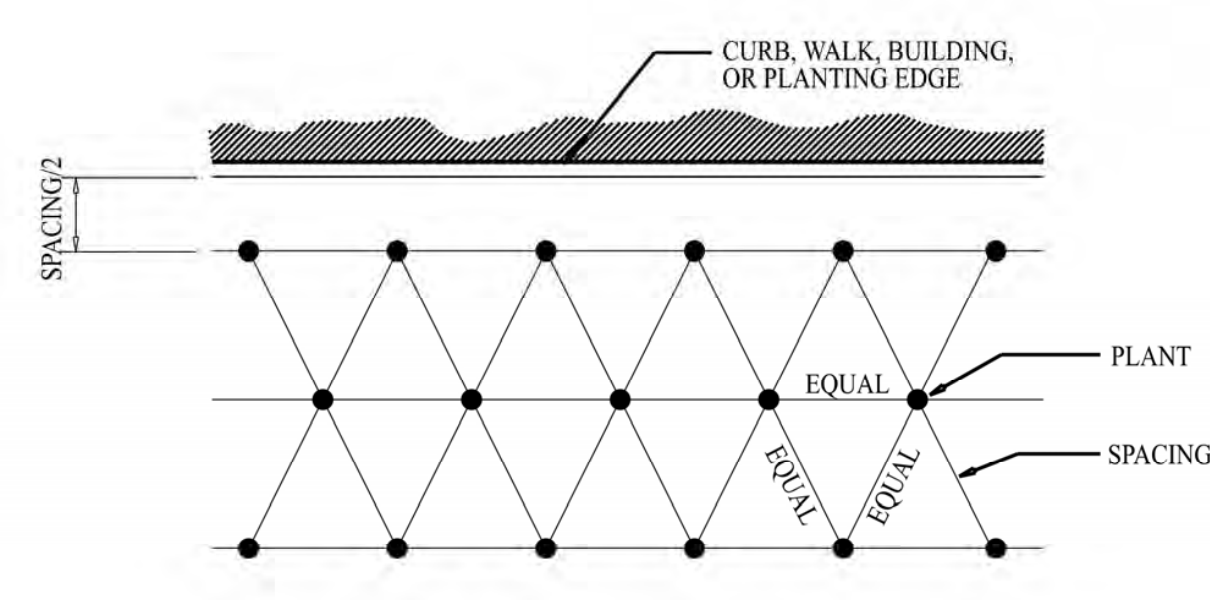
SHEET NUMBER

L.4

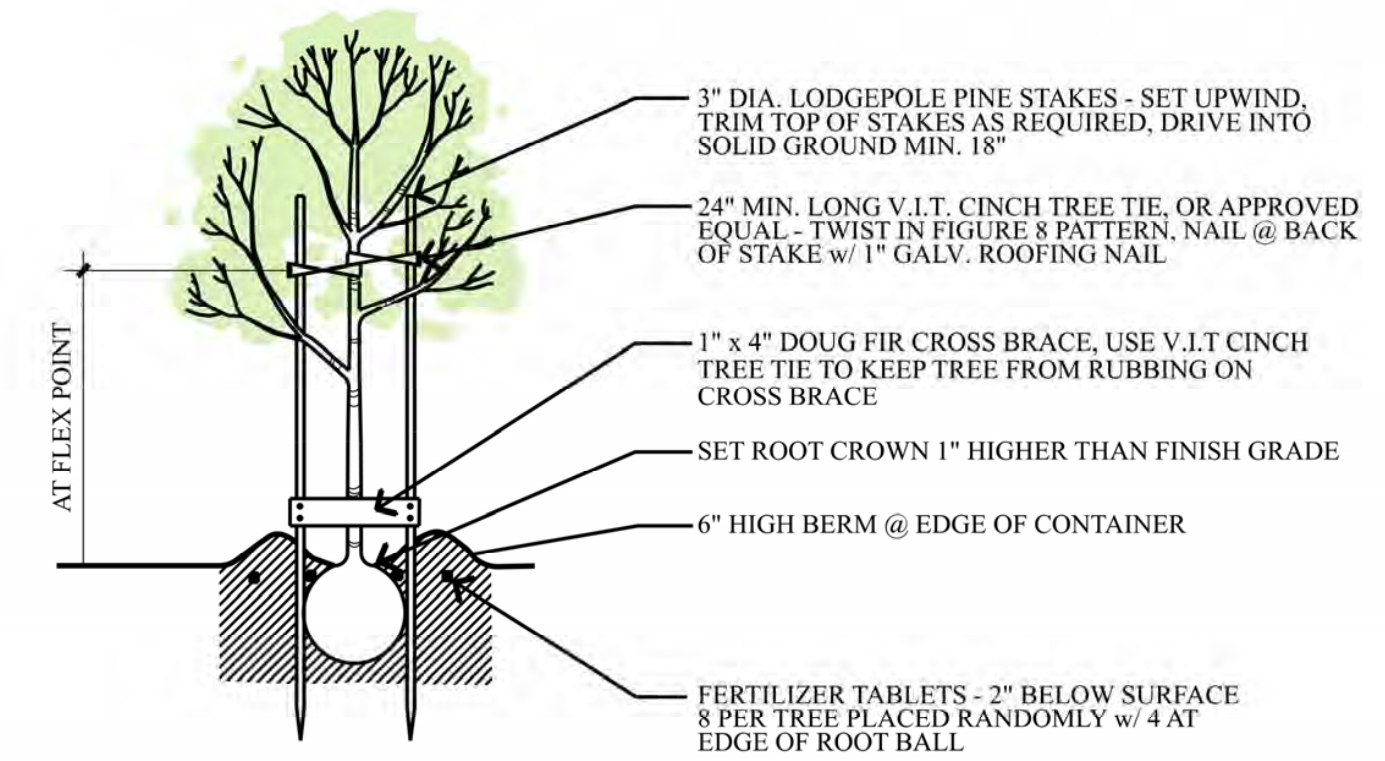
PLANTING NOTES

1. LANDSCAPING CONTRACT TO INCLUDE, BUT NOT NECESSARILY BE LIMITED TO:
 - ___ PROVISION AND INSTALLATION OF SOIL AMENDMENT
 - ___ PLANTING OF TREES, SHRUBS, AND GROUND COVERS
 - ___ FERTILIZING ___ MULCHING
 - ___ IRRIGATION ___ IRRIGATION
 - ___ PREPARATION OF SUBSOIL
2. DURING AMENDMENT PROCEDURES OR PLACING OF TOPSOIL, REMOVE:
 - ___ STONES ___ GRASS ___ WEEDS ___ DEBRIS
 - ___ FOREIGN MATERIAL DELETERIOUS TO PLANT GROWTH
3. PLANTING BEDS:
 - ___ ROTILL AMENDMENT INTO SOIL 12" DEEP PRIOR TO PLANTING
 - ___ TILL AMENDMENT BY HAND 6" DEEP UNDER DRIPLINE OF EXISTING TREES
 - ___ CONTRACT WITH ENVIRONMENTAL TECHNICAL SERVICES FOR SOILS REPORT. AMEND WITH MATERIALS RECOMMENDED IN REPORT. MIN. 10 CY ORGANIC MATERIAL/1000 SF.
4. PLANT MATERIALS:
 - ___ FREE OF DISEASE OF HAZARDOUS INSECTS
 - ___ PLACE AGRI-FORM PLANT TABS IN PLANT PITS AT THE FOLLOWING RATES:
 - ___ 1 GALLON PLANT - 1 TABLET
 - ___ 5 GALLON PLANT - 2 TABLETS
 - ___ 15 GALLON PLANT - 3 TABLETS
 - ___ 24" BOX - 4 TABLETS
 - ___ GIVE 48 HOUR NOTICE TO THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO THE SITE OF ALL PLANT MATERIALS
 - ___ PLACE ON SITE IN THE LOCATIONS SHOWN FOR REVIEW BY THE LANDSCAPE ARCHITECT BEFORE ANY PLANTING HOLES ARE DUG
5. MULCH ALL AREAS OF NEW PLANTING 3" DEEP WITH BARK. PROVIDE SAMPLE FOR APPROVAL.
6. REMOVE AND REPLACE ANY TREE DAMAGED BEYOND REPAIR WITH A TREE OF SIMILAR CHARACTER AND SIZE AS SPECIFIED BY THE OWNER, AT THE CONTRACTOR'S EXPENSE
7. GIVE 48 HOUR NOTICE TO LANDSCAPE ARCHITECT PRIOR TO FINAL INSPECTION OF ALL PLANT MATERIALS.
8. WARRANTY PERIOD:
 - ___ ONE YEAR FOR PLANTING AND IRRIGATION
 - ___ COMMENCE ON DATE OF ACCEPTANCE OF PLANTING AFTER FINAL INSPECTION.
9. SCHEDULE PRECONSTRUCTION CONFERENCE WITH LANDSCAPE ARCHITECT. DO NOT BEGIN CONSTRUCTION BEFORE CONFERENCE. IF CONSTRUCTION BEGINS BEFORE CONFERENCE, CONTRACTOR MAY BE ASKED BY LANDSCAPE ARCHITECT TO UNDO SOME OF THE WORK AT NO ADDITIONAL COST TO THE OWNER.
10. AREA UNDER DRIP LINE OF EXISTING ON-SITE AND OFF-SITE TREES:
 - ___ FENCE ENTIRE DRIP LINE
 - ___ DO NOT STOCKPILE MATERIALS
 - ___ NO VEHICULAR TRAFFIC
 - ___ DO NOT CUT ROOTS LARGER THAN 2" DIAMETER

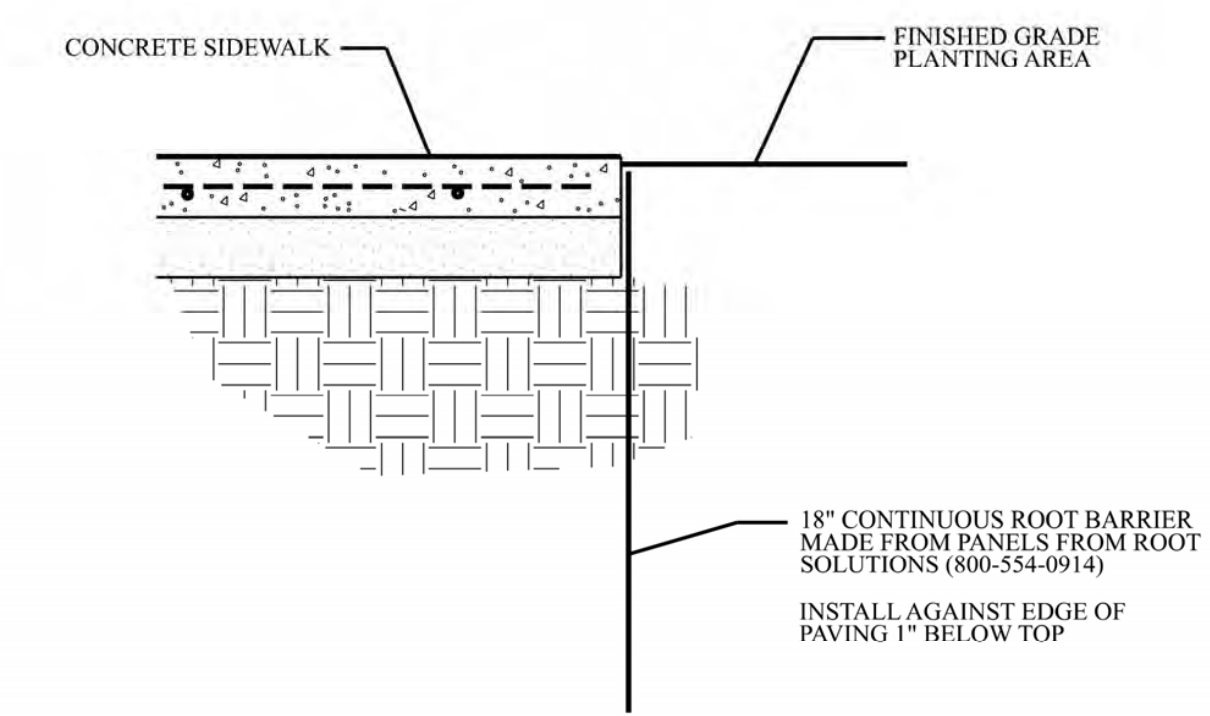
Abbrev.	Botanical Name	Common Name	Size	Comments	Height	Spread	Water
ABU ROS	ABUTILON h. 'Roseus'	Pink Flowering Maple	5 gal		9.00	9.00	M
AGA PP	AGAPANTHUS 'Peter Pan'	Peter Pan Agapanthus	1 gal		1.50	2.25	M
ANI BP	ANIGOZANTHOS 'Bush Pearl'	Bush Pearl Kangaroo Paw	1 gal		1.50	1.50	L
ANI DTR	ANIGOZANTHOS 'Dwarf Tall Red'	Dwarf Tall Red Kangaroo Paw	5 gal		3.00	3.00	L
AZA ALA	AZALEA 'Alaska'	Alaska Azalea	5 gal		2.50	3.00	M
AZA BW	AZALEA 'Bloomathon White'	Bloomathon White Azalea	5 gal		2.50	2.50	M
BER CRA	BERGENIA crassifolia	Heartleaf Bergenia	1 gal		1.25	1.25	L
BUX SEM	BUXUS sempervirens 'Suffruticosa'	Boxwood BALLS	15 gal		2.00	2.00	M
CAM SHI	CAMELLIA h. 'Shishi-Gashira'	Shishi-Gashira Camellia	15 gal		3.00	6.00	M
CAN CP	CANNA 'China Pink'	China Pink Cannas	5 gal		3.00	2.50	M
CAN TRO	CANNA 'Tropicanna'	Tropicanna Cannas	1 gal		5.00	3.00	M
CEA YP	CEANOTHUS griseus horizontalis 'Yankee Point'	Yankee Point Ceanothus	5 gal		2.50	7.00	L
CHO TEC	CHONDROPETALUM tectorum	Small Cape Rush	5 gal		3.00	4.00	L
CRO BAB	CROCOSMIA 'Babylon'	Babylon Crocosmia	1 gal		2.50	1.50	L
CUP SEM	CUPRESSUS sempervirens 'Stricta'	Italian Cypress		field grown; 3' dia foliage			L
ECH CAN	ECHIUM candicans	Pride of Madeira	5 gal		5.00	6.00	L
EUO MIC	EUONYMUS japonicus 'Microphyllus'	Box-Leaf Euonymus	1 gal		1.50	1.50	L
FES RUB	FESTUCA rubra	Red Fescue	sod		0.00		L
GER MS	GERANIUM r. 'Mavis Simpson'	Mavis Simpson Geranium	1 gal		1.00	1.00	M
GRE MT	GREVILLEA lanigera 'Mt. Tamboritha'	Mt. Tambor Grevillea	1 gal		2.00	4.00	L
HEM SDO	HEMEROCALLIS 'Stella De Oro'	Stella De Oro Daylily	1 gal		2.00	2.00	M
HET ARB	HETEROMELES arbutifolia	Toyon	5 gal		7.00	7.00	L
HYD BB	HYDRANGEA m. 'Blushing Bride'	Blushing Bride Hydrangea	5 gal		4.00	4.00	M
ILE CAR	ILEX cornuta 'Carissa'	Carissa Chinese Holly	5 gal		3.50	5.00	L
ILE DB	ILEX cornuta 'Dwarf Burford'	Dwarf Burford Holly	5 gal		6.00	6.00	L
JUN PAT	JUNCUS patens 'Elk Blue'	Elk Blue California Gray Rush	1 gal		2.00	2.00	L
LAN MON	LANTANA montevidensis	Trailing Lantana	5 gal		1.50	3.00	L
LAV PRO	LAVANDULA i. 'Provence'	Provence Lavender	1 gal		2.00	3.00	L
LIM PER	LIMONIUM perezii	Statice, Sea Lavendar	1 gal		2.00	2.00	L
LOR FD	LOROPETALUM chinense 'Flame Dance'	Flame Dance Loropetalum	5 gal		6.00	6.00	L
PHO GR	PHORMIUM 'Golden Ray'	Golden Ray Flax	5 gal		4.00	4.00	L
RHO PP	RHODODENDRON 'Purple Passion'	Purple Passion Rhododendron	5 gal		6.00	5.00	M
ROS FCP	ROSA 'Flower Carpet Pink'	Flower Carpet Pink Rose	5 gal		2.00		M
ROS FCW	ROSA 'Flower Carpet White'	Flower Carpet White Rose	5 gal		2.00		M
ROS RUG	ROSA rugosa	Ramanas Rose	5 gal		3.50	5.00	L
SAL LEU	SALVIA leucantha	Mexican Bush Sage	5 gal		3.50	4.00	L
SAR RUS	SARCOCOCCA rusifolia	Fragrant Sarcococca	5 gal		4.00	3.00	L
STA BYZ	STACHYS byzantina	Lamb's Ear	1 gal		1.50	1.50	L
STR REG	STRELITZIA reginae	Bird of Paradise	5 gal		4.00	4.00	M
TUL VIO	TULBAGHIA violacea	Society Garlic	1 gal		1.50	2.50	L



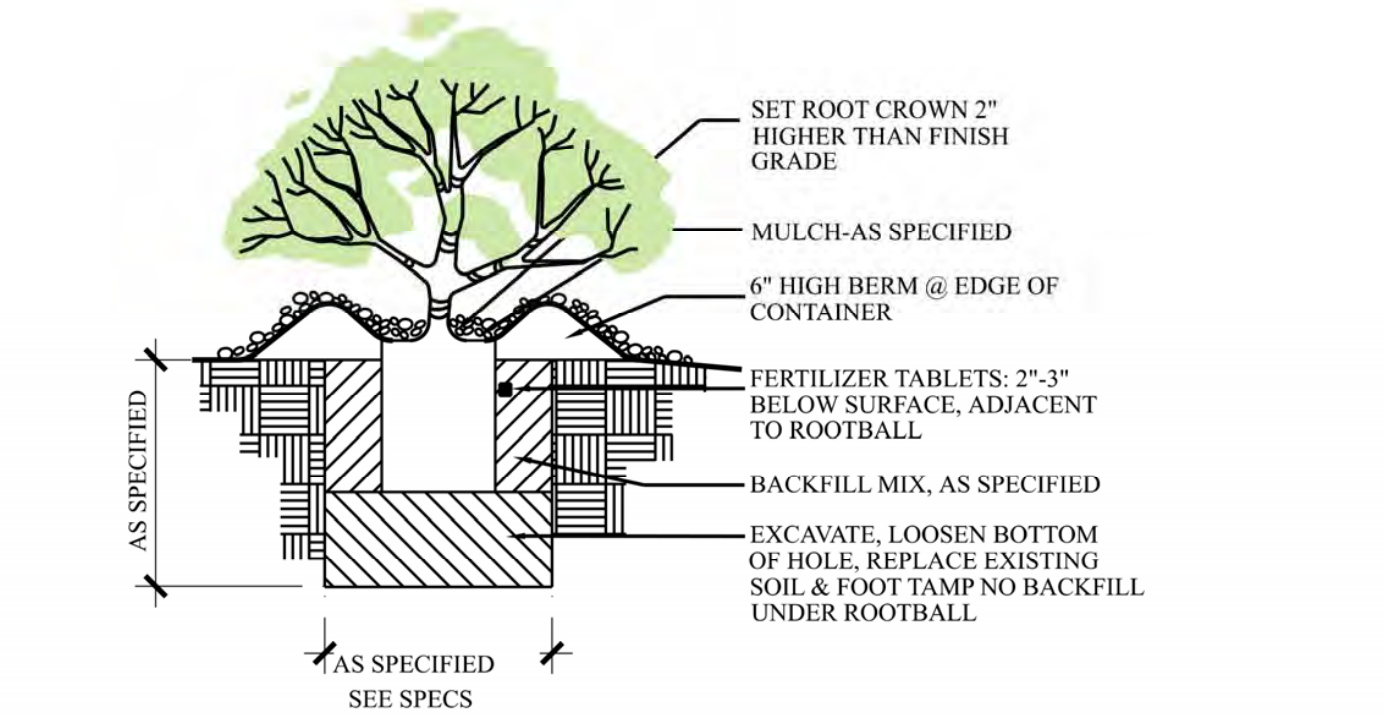
GROUND COVER PLANTING



TREE PLANTING



ROOT BARRIER ALONG PAVING



SHRUB PLANTING

PAYMUN

25 Orinda way, Suite#200
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PROJECT
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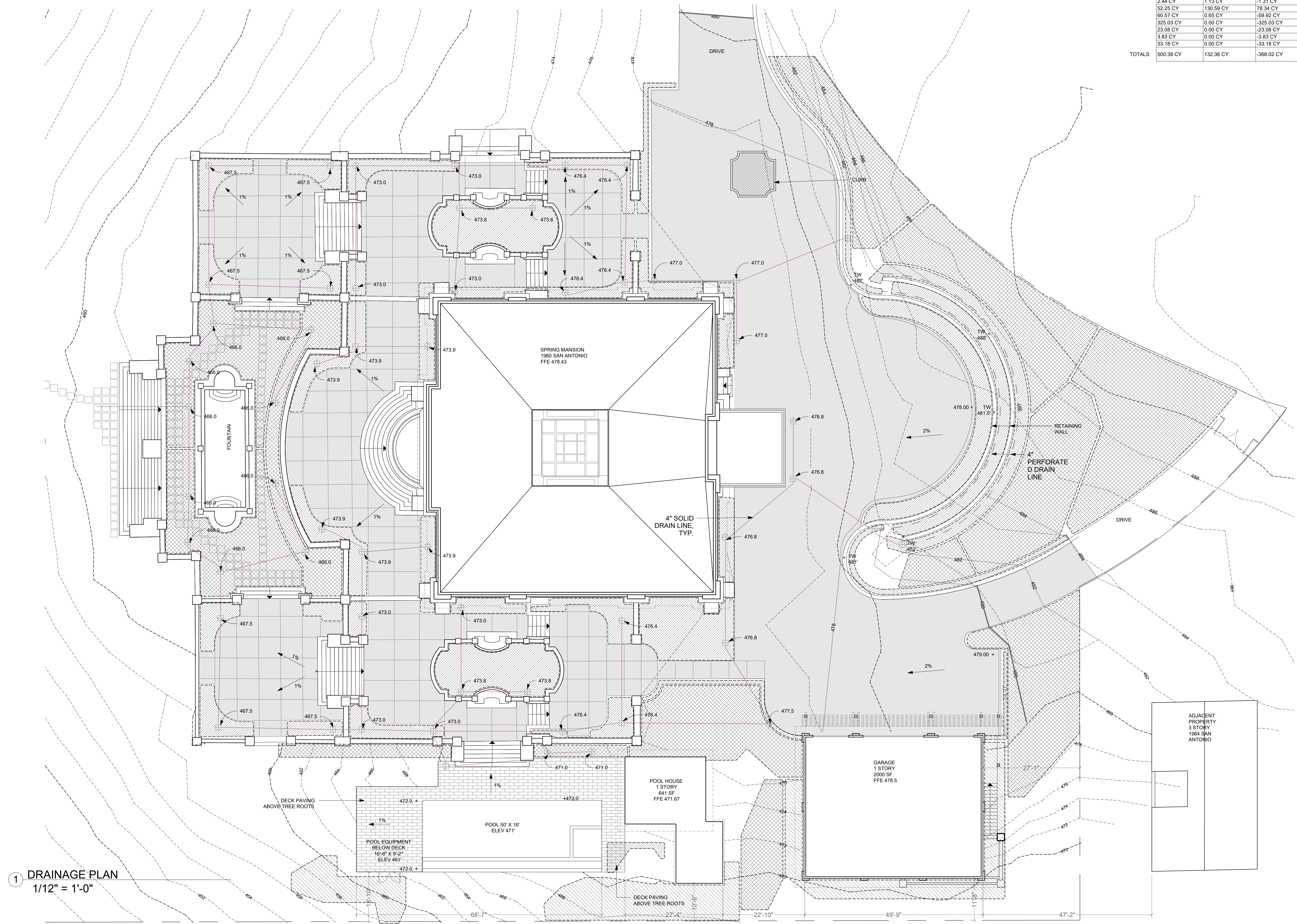
AREA
ORIENTATION

SHEET TITLE
PLANTING
DETAILS & LEGEND

SCALE
AS INDICATED
SHEET NUMBER

L.5

TOPOGRAPHY SCHEDULE		
Cut	Fill	Net cut/fill
2.44 CY	1.13 CY	-1.31 CY
52.25 CY	130.59 CY	78.34 CY
60.57 CY	0.65 CY	-59.92 CY
325.03 CY	0.00 CY	-325.03 CY
23.98 CY	0.00 CY	-23.98 CY
9.83 CY	0.00 CY	-3.83 CY
33.18 CY	0.00 CY	-33.18 CY
TOTALS:	500.38 CY	132.36 CY
		-368.02 CY



① DRAINAGE PLAN
1/12" = 1'-0"

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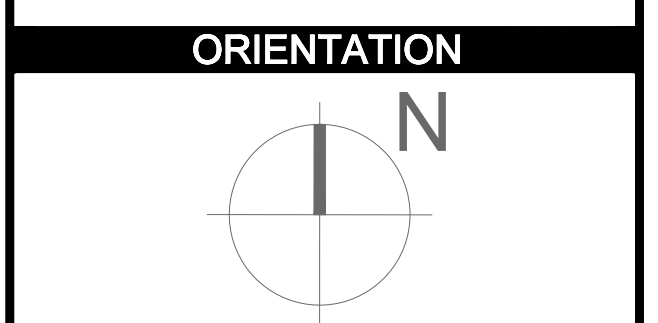
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ADDRESS
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AREA



SHEET TITLE
GRADING & DRAINAGE

SCALE
AS INDICATED
SHEET NUMBER

L.6

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LOCATION

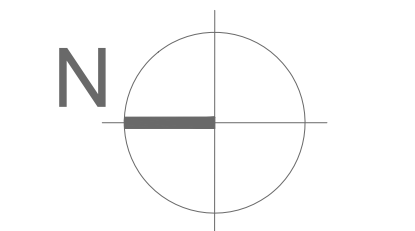


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BERKELEY, CA 94707

AREA

ORIENTATION



SHEET TITLE

LOT COVERAGE
EXISTING AND PROPOSED

SCALE

AS INDICATED
SHEET NUMBER

A050

BUILDING FOOTPRINT & LOT COVERAGE AND GROSS FLOOR AREA:

EXISTING LOT COVERAGE	
MAIN BUILDING	6,540 SF
COVERED PORCH	277 SF
COVERED PORCH	519 SF
GYM	2,200 SF
GAME ROOM/CAFETERIA	1,868 SF
GARAGE	443 SF
SHED	235 SF
TOTAL EXISTING	12,082 SF

% OF LOT COVERAGE EXISTING 10%

PROPOSED LOT COVERAGE	
MAIN BUILDING	6,540 SF
COVERED PORCH	277 SF
COVERED PORCH	519 SF
GYM	2,200 SF
GAME ROOM	1,321 SF
GARAGE	2,000 SF
SHED	235 SF
POOL HOUSE	641 SF
TOTAL PROPOSED	13,733 SF

LOT SIZE 120,873 SF
TOTAL LOT COVERAGE 12,969 SF
% OF LOT COVERAGE PROPOSED 11.4%

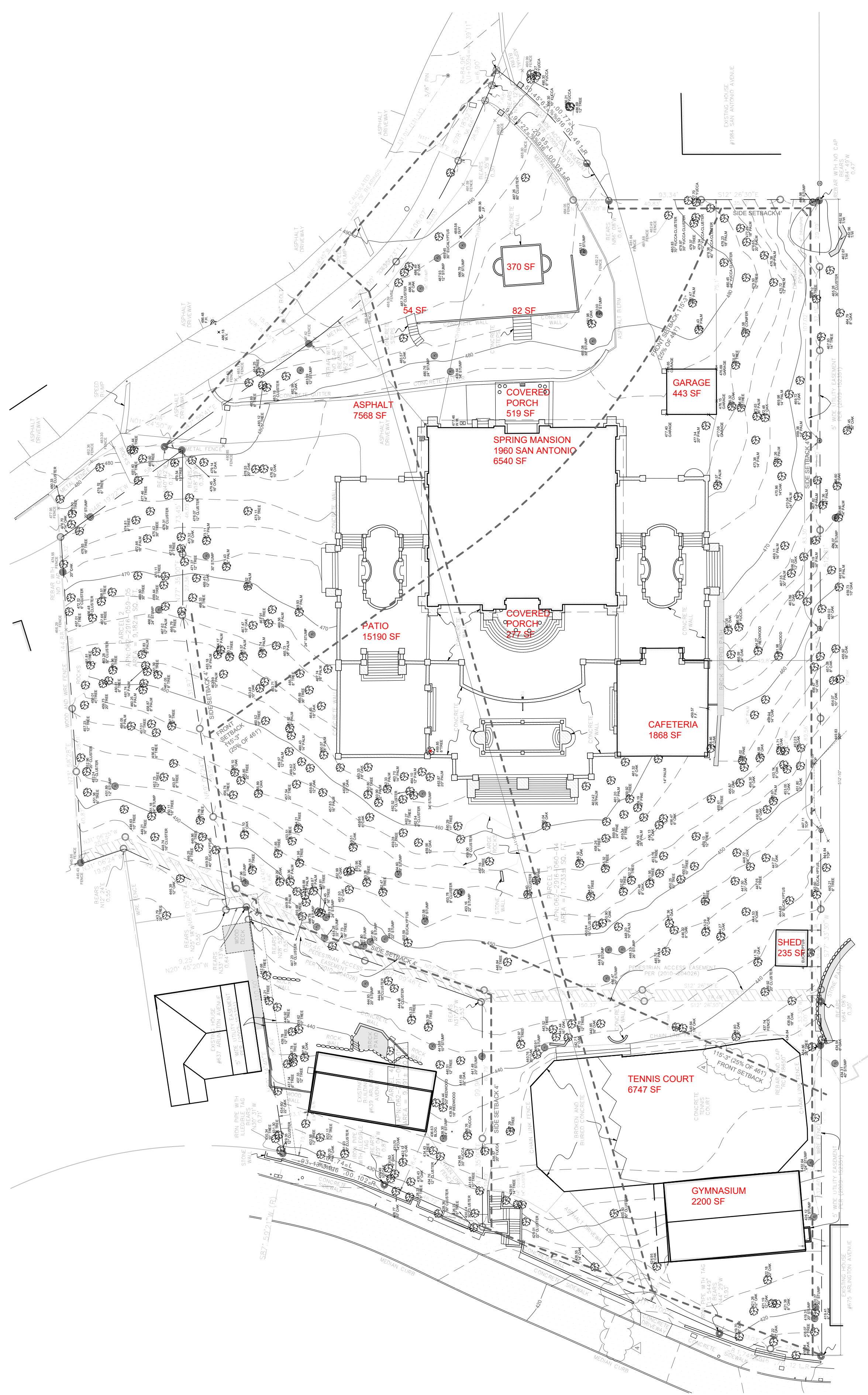
IMPERVIOUS SURFACES (OTHER THAN BUILDINGS)

EXISTING PATIO	15,190 SF
EXISTING PAVING	14,821 SF
TOTAL EXISTING	30,011 SF

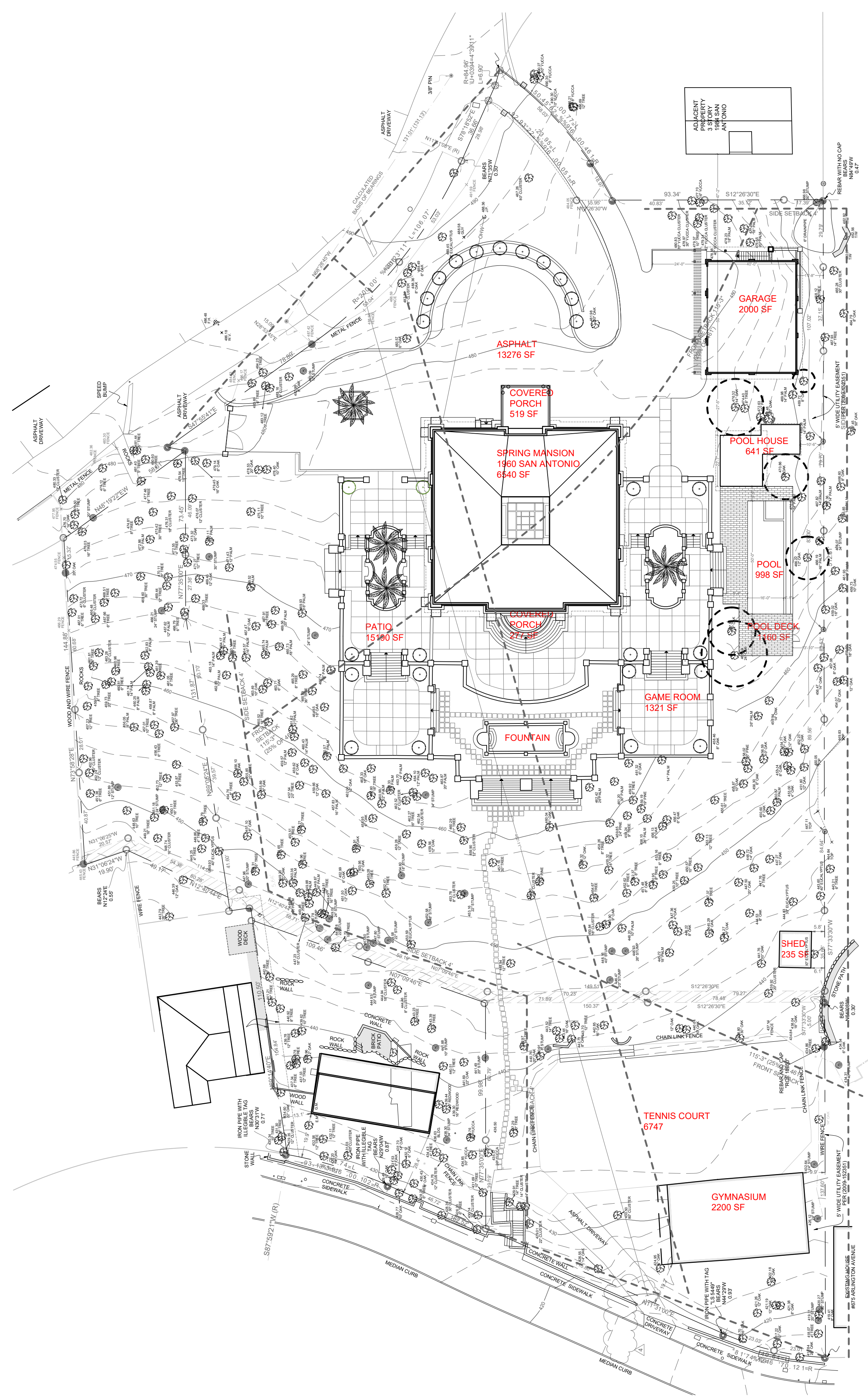
PROPOSED PATIO	15,190 SF
PROPOSED PAVING	20,023 SF
PROPOSED POOL	998 SF
PROPOSED POOL DECK	1,160 SF
TOTAL PROPOSED	37,371 SF

EXISTING GROSS FLOOR AREA	
MAIN BUILDING	13,119 SF
GYM	2,200 SF
GAME ROOM/CAFETERIA	1,868 SF
GARAGE	443 SF
SHED	235 SF
TOTAL EXISTING	17,865 SF

PROPOSED GROSS FLOOR AREA	
MAIN BUILDING	13,119 SF
GYM	2,200 SF
GAME ROOM	1,321 SF
GARAGE	2,000 SF
SHED	235 SF
POOL HOUSE	641 SF
TOTAL PROPOSED	19,516 SF



① LOT COVERAGE - EXISTING
1/30" = 1'-0"



② LOT COVERAGE - PROPOSED
1/30" = 1'-0"

FRONT VIEW



FRONT VIEW



NORTH VIEW



WEST VIEW



SOUTH VIEW



EAST VIEW



PAYMUN

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Tel: (925) 587-2140
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LEAD DESIGN CONSULTANT

PAYMUN BUILDING &
DEVELOPMENT, Inc.

DESIGNER & DRAFTER :
SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

PHOTOS

SCALE

AS INDICATED

SHEET NUMBER

A060



PAYMUN

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DESIGNER & DRAFTER:
SADAF DAYLAMI

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SPRING MANSION

OWNER(S)

ABBAS MASH

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LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

PHOTOS
(MAIN HOUSE)

SCALE

AS INDICATED

SHEET NUMBER

A070



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Orinda, CA 94563
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Ben@paymun.com

LEAD DESIGN CONSULTANT

PAYMUN BUILDING & DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

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PLANNING SUBMITTAL I	05/13/2023



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1960 SAN ANTONIO AVENUE
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AREA

ORIENTATION

SHEET TITLE

PHOTOS
(OUTDOOR)

SCALE

AS INDICATED
SHEET NUMBER

A080

PAYMUN

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Ben@paymun.com

LEAD DESIGN CONSULTANT

PAYMUN BUILDING &
DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

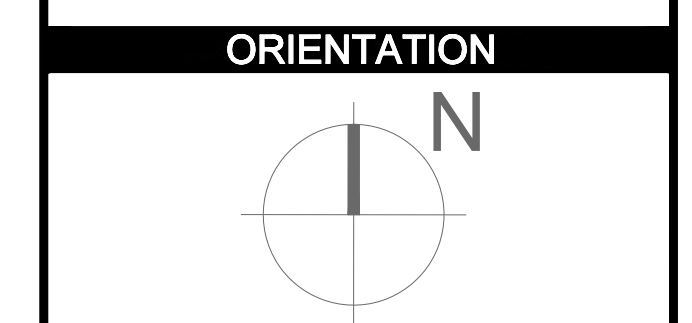
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PLANNING SUBMITTAL I	05/13/2023



ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA



SHEET TITLE
SITE PLAN - EXISTING

SCALE
AS INDICATED
SHEET NUMBER

A100

1. ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF AND BE SUPERVISED BY THE CONSULTING ARBORIST. ROOTS SHOULD BE CUT WITH A SAW TO PROVIDE A FLAT AND SMOOTH CUT. REMOVAL OF ROOTS LARGER THAN 2 IN. IN DIAMETER SHOULD BE AVOIDED.
2. IF ROOTS 2 IN. AND GREATER IN DIAMETER ARE ENCOUNTERED DURING SITE WORK AND MUST BE CUT TO COMPLETE THE CONSTRUCTION, THE CONSULTING ARBORIST MUST BE CONSULTED TO EVALUATE EFFECTS ON THE HEALTH AND STABILITY OF THE TREE AND RECOMMEND TREATMENT.
3. FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TREE PROTECTION ZONE PRIOR TO DEMOLITION, GRUBBING OR GRADING. FENCES SHALL BE 6 FT. CHAIN LINK WITH POSTS SUNK INTO THE GROUND OR EQUIVALENT.
4. THE TREE PROTECTION ZONE SHOWN ON ALL PLANS SHALL BE FENCED TO ENCLOSE THE ENTIRE AREA (FIGURE 1). NO GRADING, EXCAVATION, CONSTRUCTION OR STORAGE OF MATERIALS SHALL OCCUR WITHIN THAT ZONE. NO UNDERGROUND SERVICES INCLUDING UTILITIES, SUB-DRAINS, WATER OR SEWER SHALL BE PLACED IN THE TREE PROTECTION ZONE. NO MOTORIZED EQUIPMENT SHALL BE USED IN THE TREE PROTECTION ZONE. THE LIMITS OF THE TREE PROTECTION ZONE WILL BE ADJUSTED FOLLOWING REVIEW OF GRADING AND CONSTRUCTION PLANS. FOR DESIGN PURPOSES, THE TREE PROTECTION ZONE SHALL BE DEFINED AS THE TREE DRIFLINE.

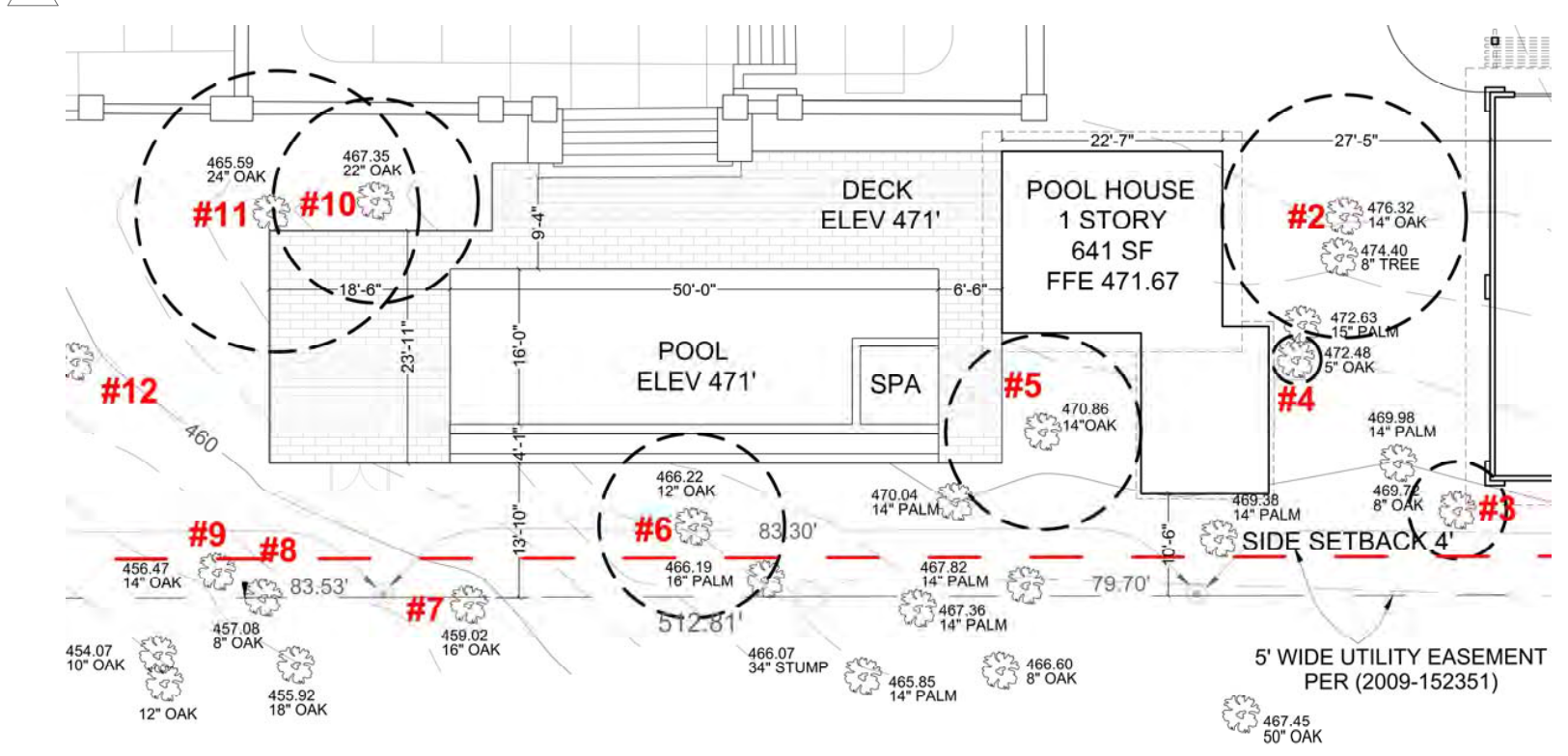
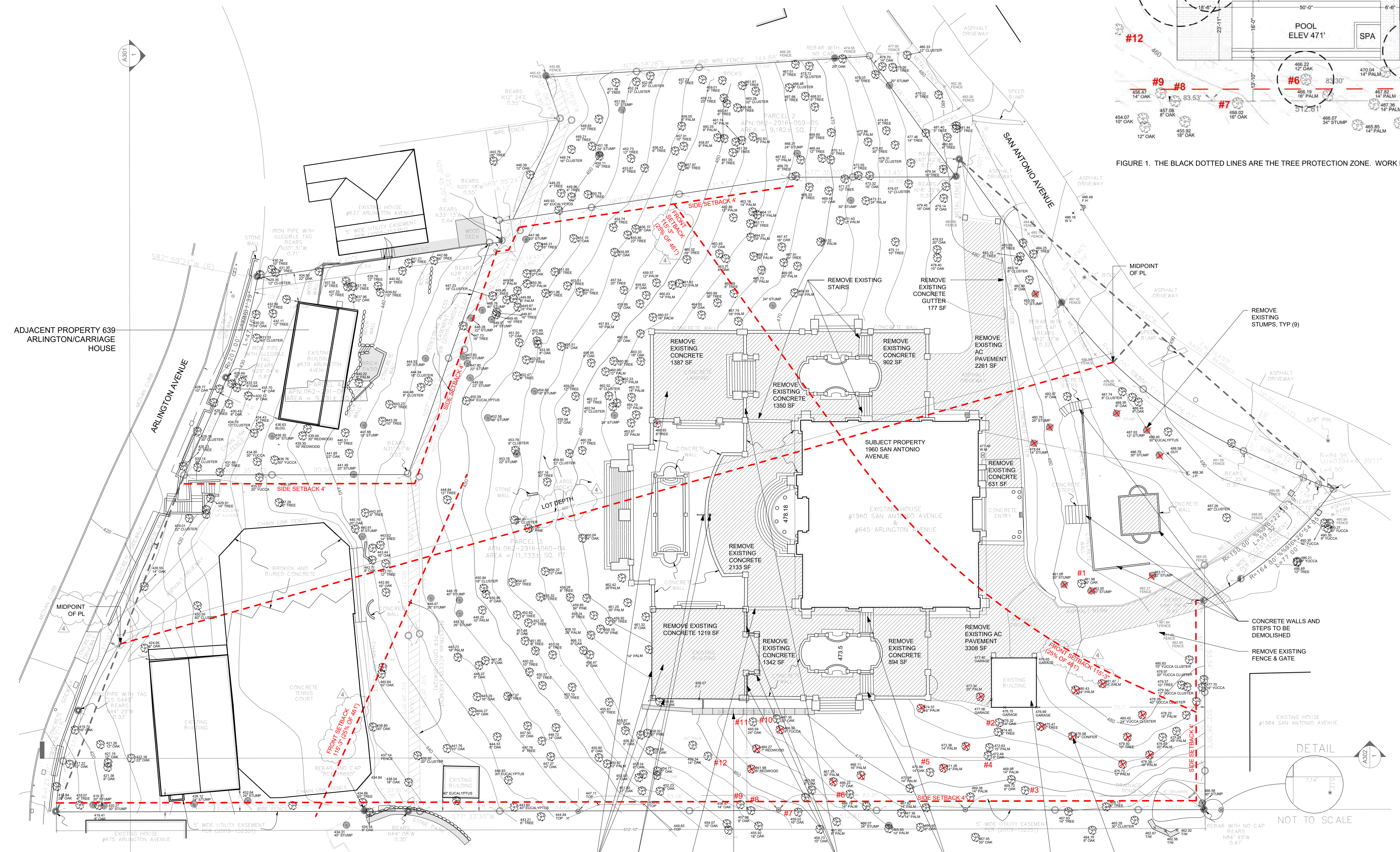


FIGURE 1. THE BLACK DOTTED LINES ARE THE TREE PROTECTION ZONE. WORK IN THIS AREA IS PROHIBITED.



1 SITE PLAN - EXISTING
1/24" = 1'-0"

- EXISTING BRICK BUILDING TO BE DEMOLISHED BALUSTRADES TO BE REPAIRED IN KIND AND TERRACE TO RETURN TO ORIGINAL CONDITION AND MIRROR TERRACE AREA TO NORTH
- REMOVE EXISTING CONCRETE 1387 SF
- REMOVE EXISTING CONCRETE 902 SF
- REMOVE EXISTING CONCRETE 1330 SF
- REMOVE EXISTING CONCRETE 631 SF
- REMOVE EXISTING CONCRETE 2133 SF
- REMOVE EXISTING CONCRETE 1219 SF
- REMOVE EXISTING CONCRETE 1342 SF
- REMOVE EXISTING AC PAVEMENT 3308 SF
- REMOVE EXISTING CONCRETE 894 SF
- REMOVE EXISTING BRICK PATH 1855 SF
- WALL AND BALLUSTRADE TO RETURN TO ORIGINAL CONSTRUCTION AND MIRROR SAME AREA TO NORTH
- REMOVE EXISTING STAIRS
- EXISTING GARAGE TO BE DEMOLISHED
- REMOVE EXISTING TREES, TYP (17)



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DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

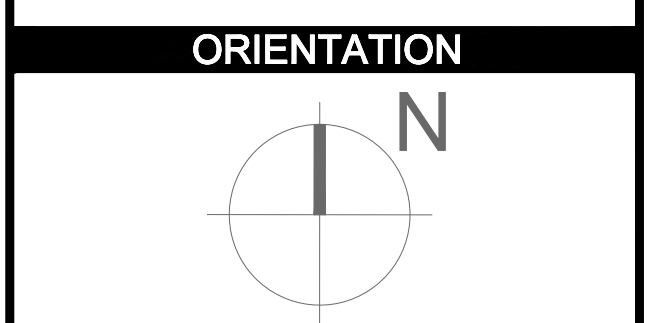
NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023



ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA



SHEET TITLE
SITE PLAN - PROPOSED

SCALE
AS INDICATED
SHEET NUMBER

A101

1. ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF AND BE SUPERVISED BY THE CONSULTING ARBORIST. ROOTS SHOULD BE CUT WITH A SAW TO PROVIDE A FLAT AND SMOOTH CUT. REMOVAL OF ROOTS LARGER THAN 2 IN. IN DIAMETER SHOULD BE AVOIDED.
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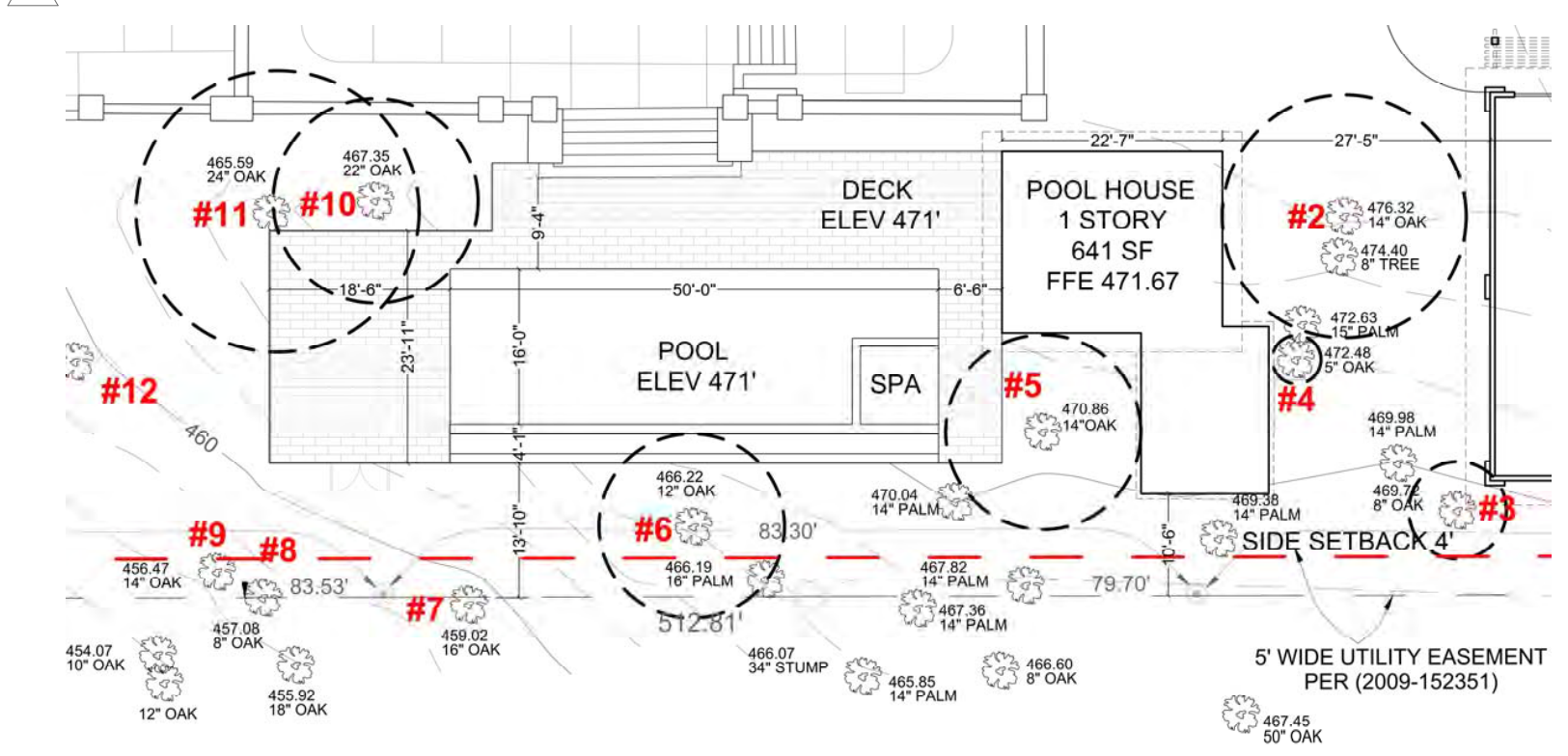
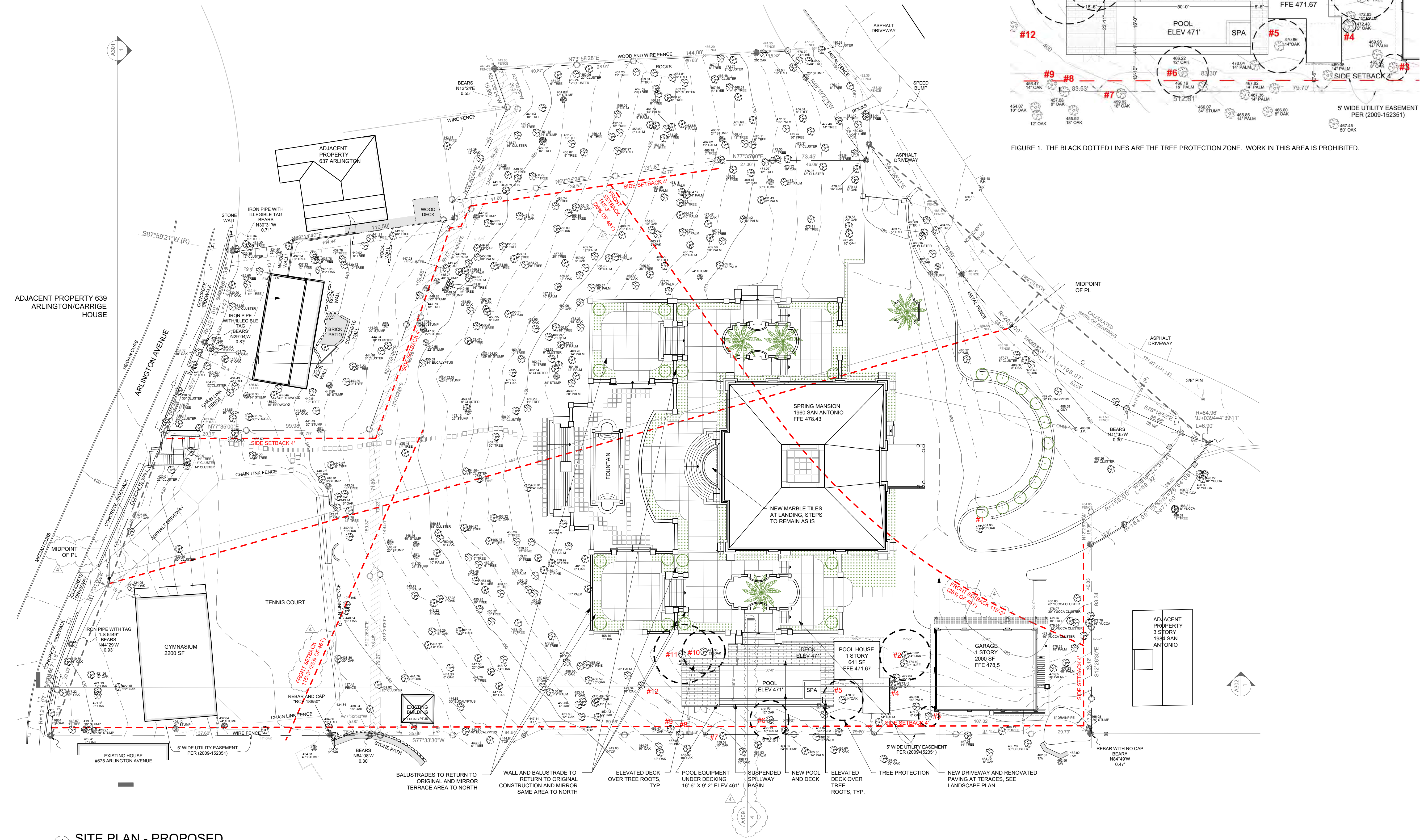


FIGURE 1. THE BLACK DOTTED LINES ARE THE TREE PROTECTION ZONE. WORK IN THIS AREA IS PROHIBITED.



1 SITE PLAN - PROPOSED
1/24" = 1'-0"

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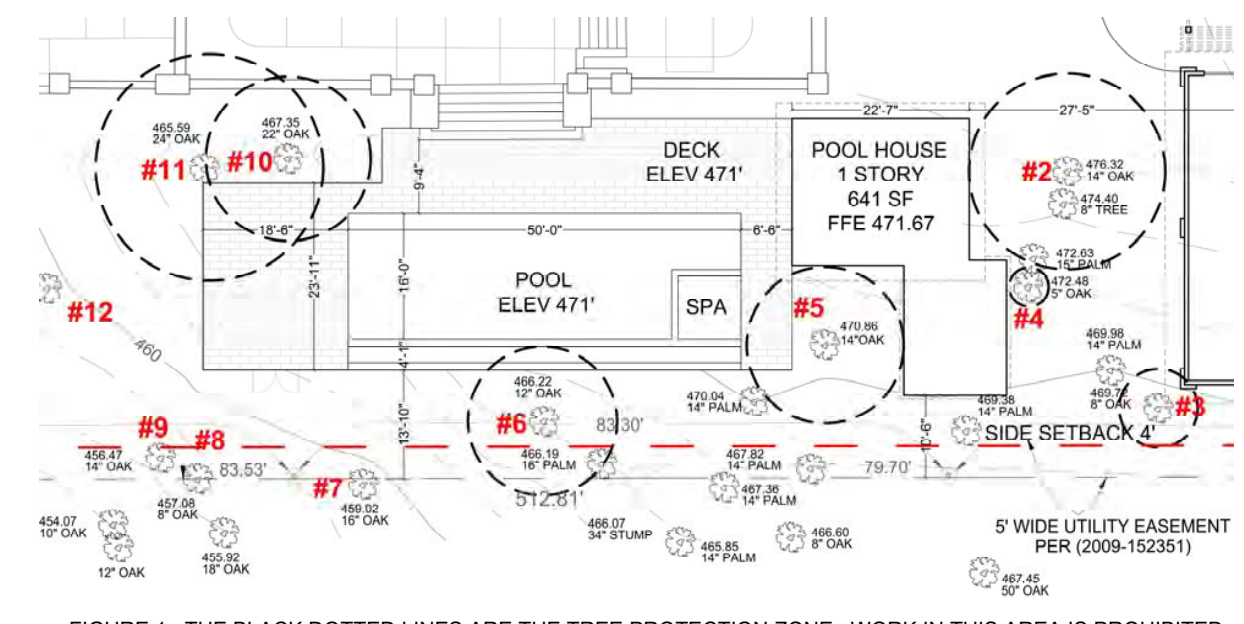
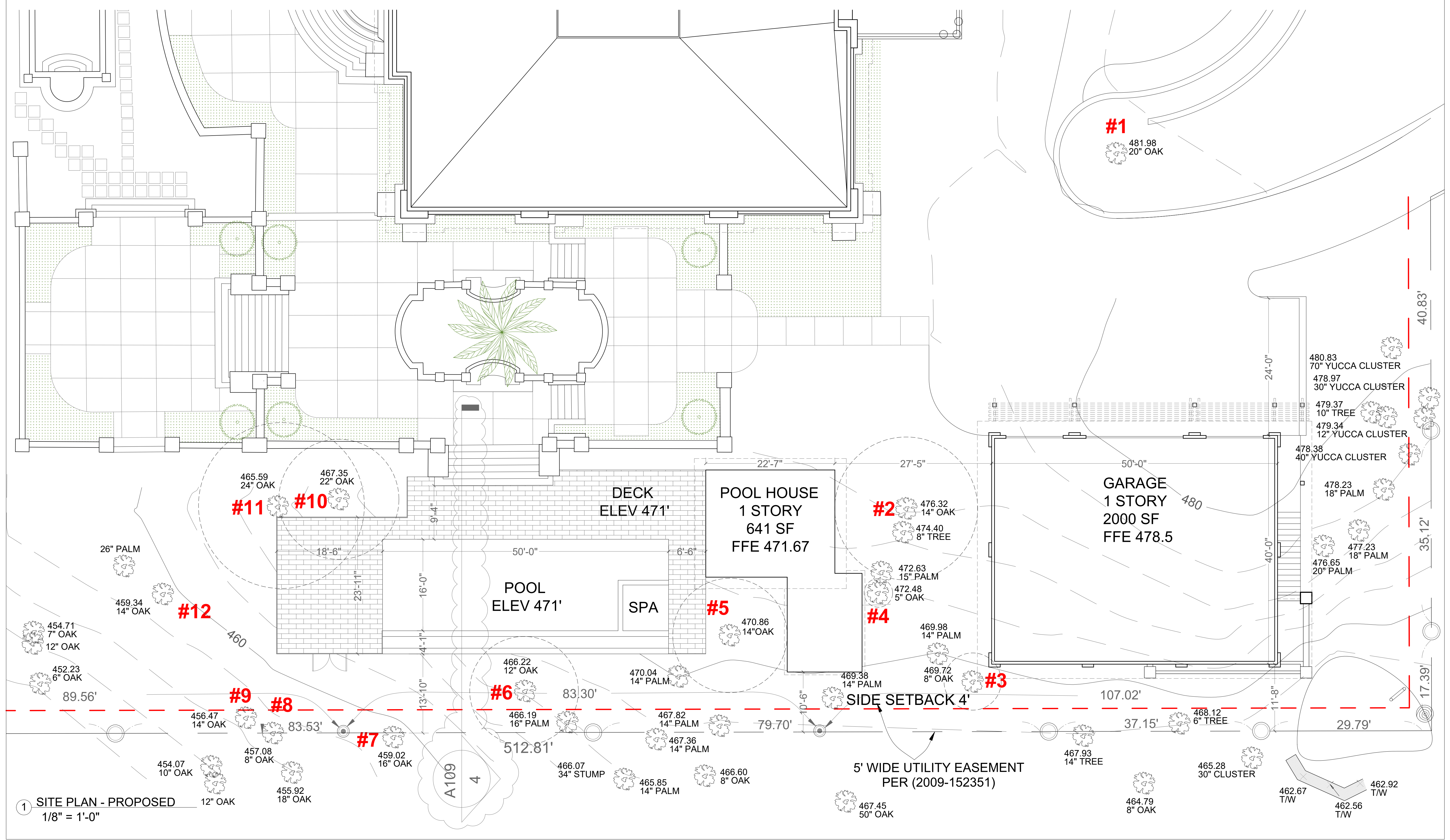


FIGURE 1. THE BLACK DOTTED LINES ARE THE TREE PROTECTION ZONE. WORK IN THIS AREA IS PROHIBITED.



① SITE PLAN - PROPOSED
1/8" = 1'-0"

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LEAD DESIGN CONSULTANT

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DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

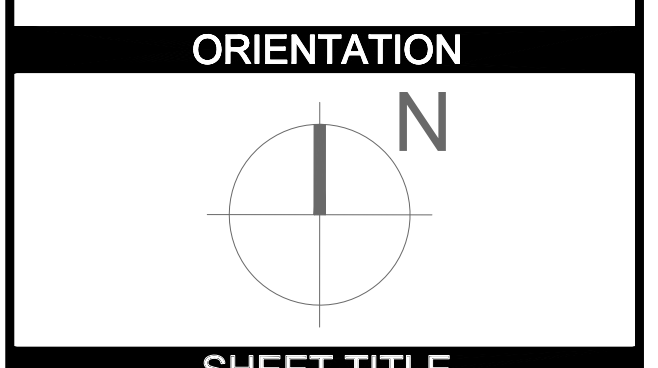
NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023



ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA



SHEET TITLE
ENLARGED SITE PLAN

SCALE
AS INDICATED
SHEET NUMBER

A101B



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Tel: (925) 587-2140
Ben@paymun.com

LEAD DESIGN CONSULTANT

PAYMUN BUILDING & DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

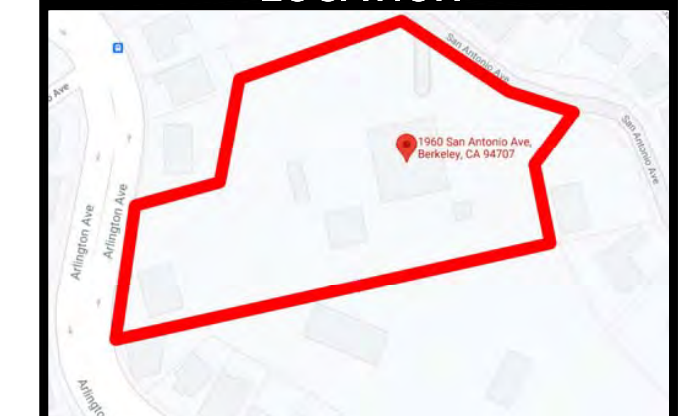
PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION

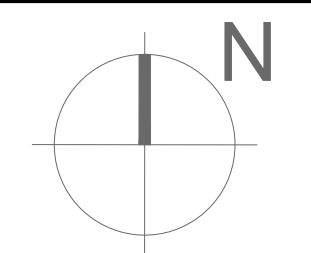


ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION



SHEET TITLE

SITE PLAN - SIMPLIFIED

SCALE

AS INDICATED

SHEET NUMBER

A101C

- ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF AND BE SUPERVISED BY THE CONSULTING ARBORIST. ROOTS SHOULD BE CUT WITH A SAW TO PROVIDE A FLAT AND SMOOTH CUT. REMOVAL OF ROOTS LARGER THAN 2 IN. IN DIAMETER SHOULD BE AVOIDED.
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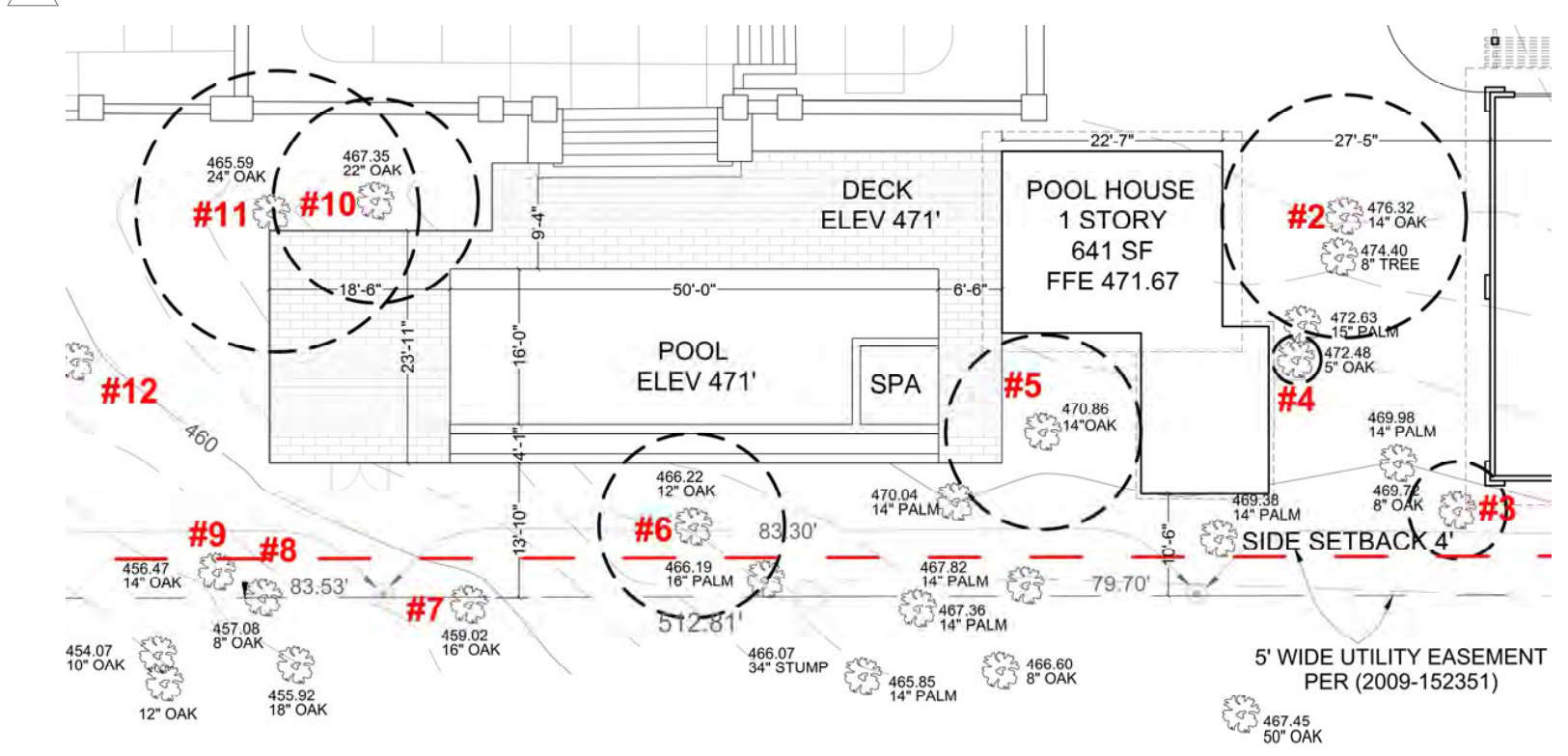
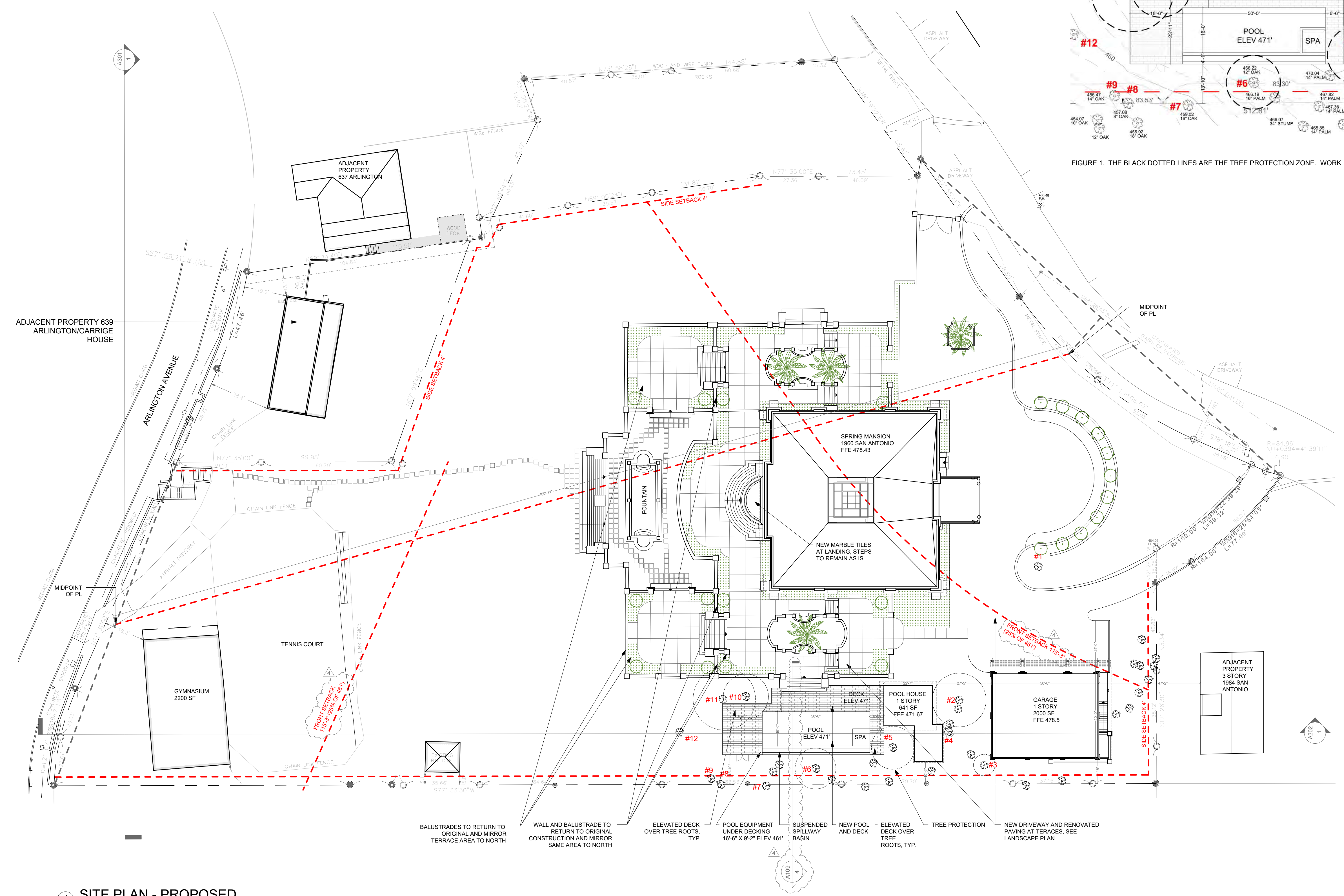



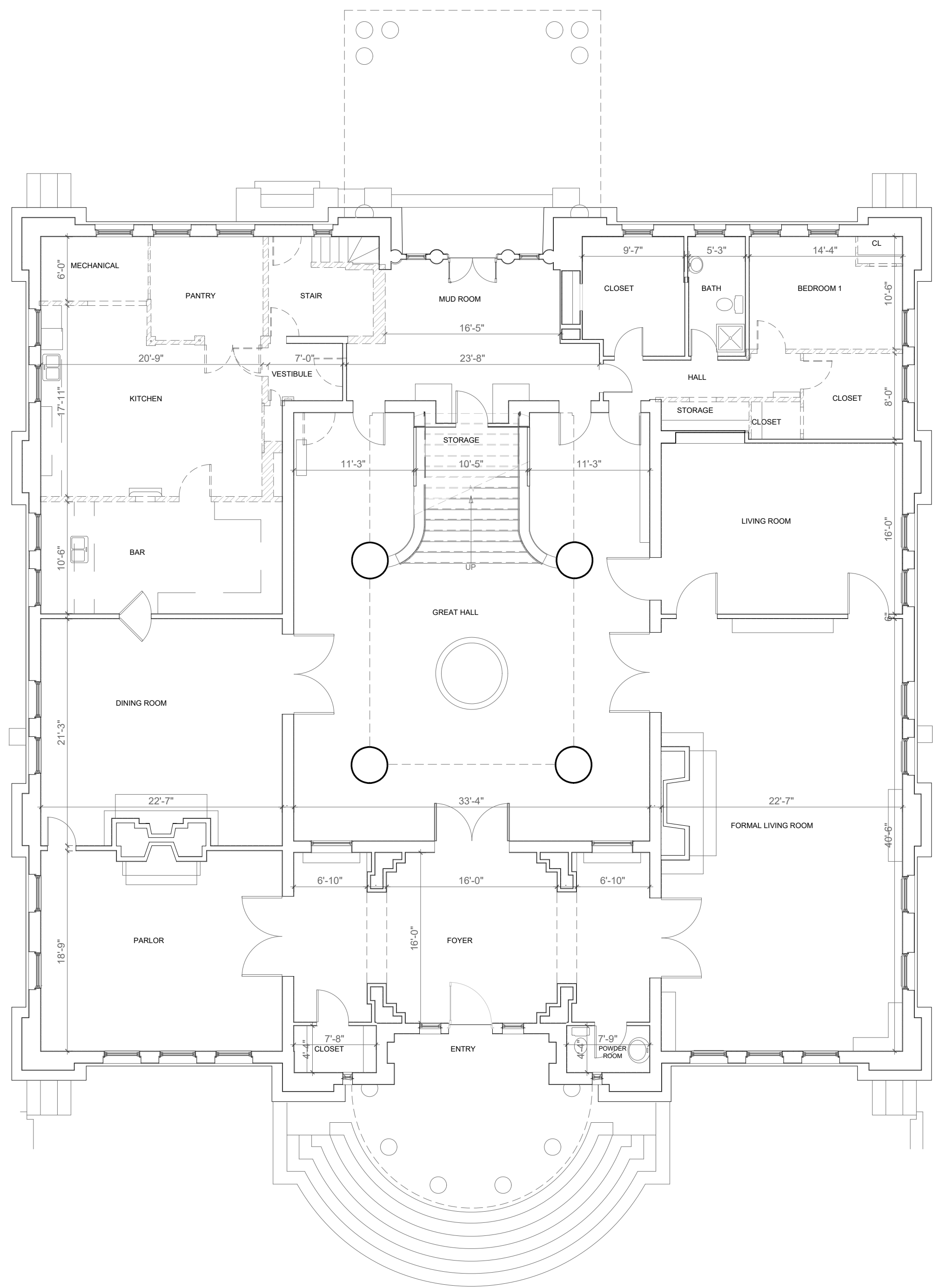


FIGURE 1. THE BLACK DOTTED LINES ARE THE TREE PROTECTION ZONE. WORK IN THIS AREA IS PROHIBITED.

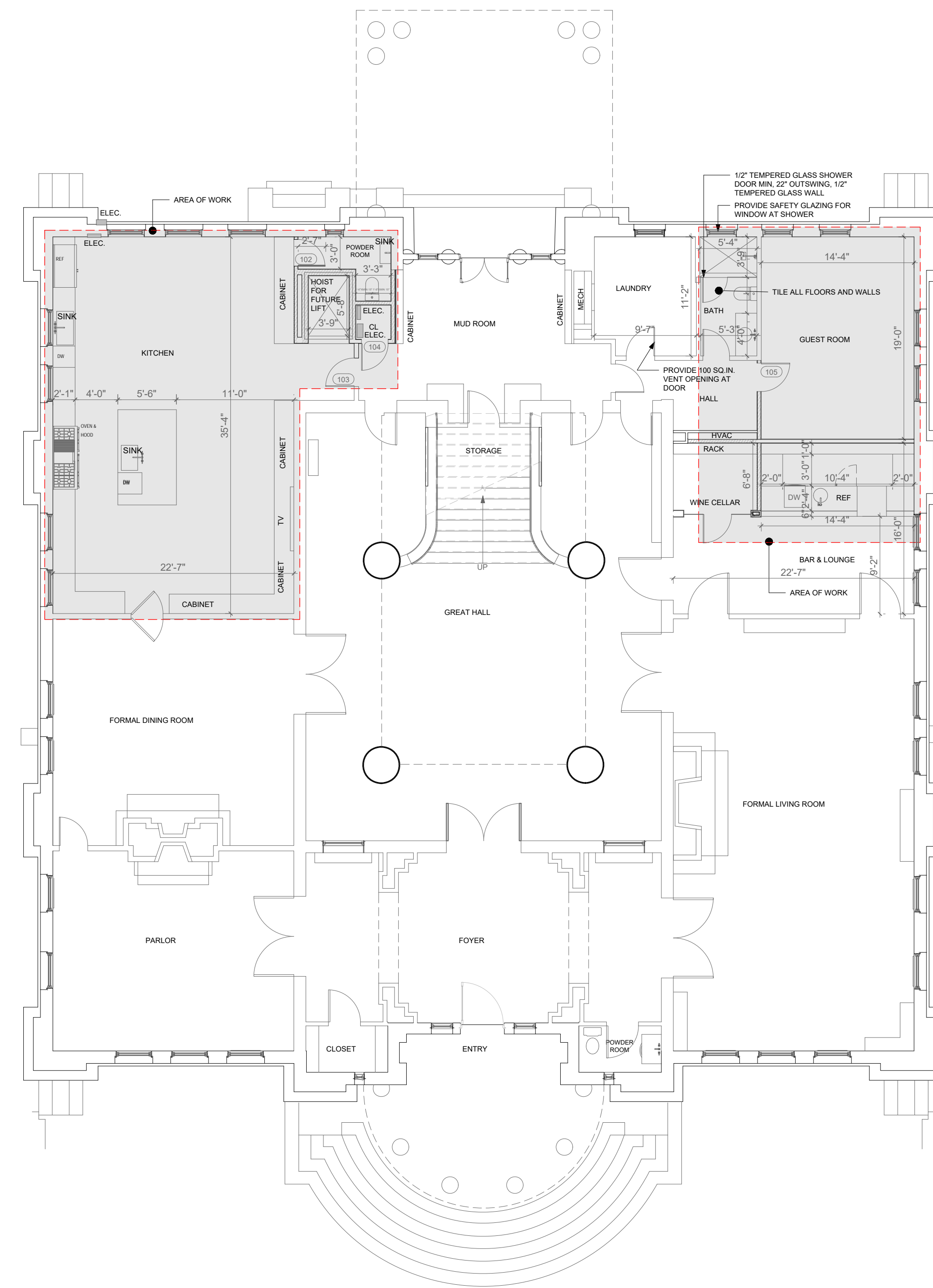


1 SITE PLAN - PROPOSED
1/24" = 1'-0"

WALL LEGEND
 DEMOLISHED WALL 
 NEW WALL 
 1 HOUR RATED WALL 
NOTES:
 ALL NEW WALLS TO MATCH EXISTING FINISH, BASEBOARD AND MOLDING



① 1ST FLOOR EXISTING
1/8" = 1'-0"



② 1ST FLOOR PROPOSED
1/8" = 1'-0"

PAYMUN

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Ben@paymun.com

LEAD DESIGN CONSULTANT

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DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

NOTES

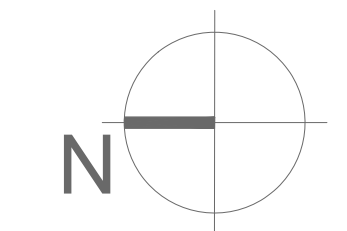
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PLANNING SUBMITTAL I	05/13/2023



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1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA




ORIENTATION

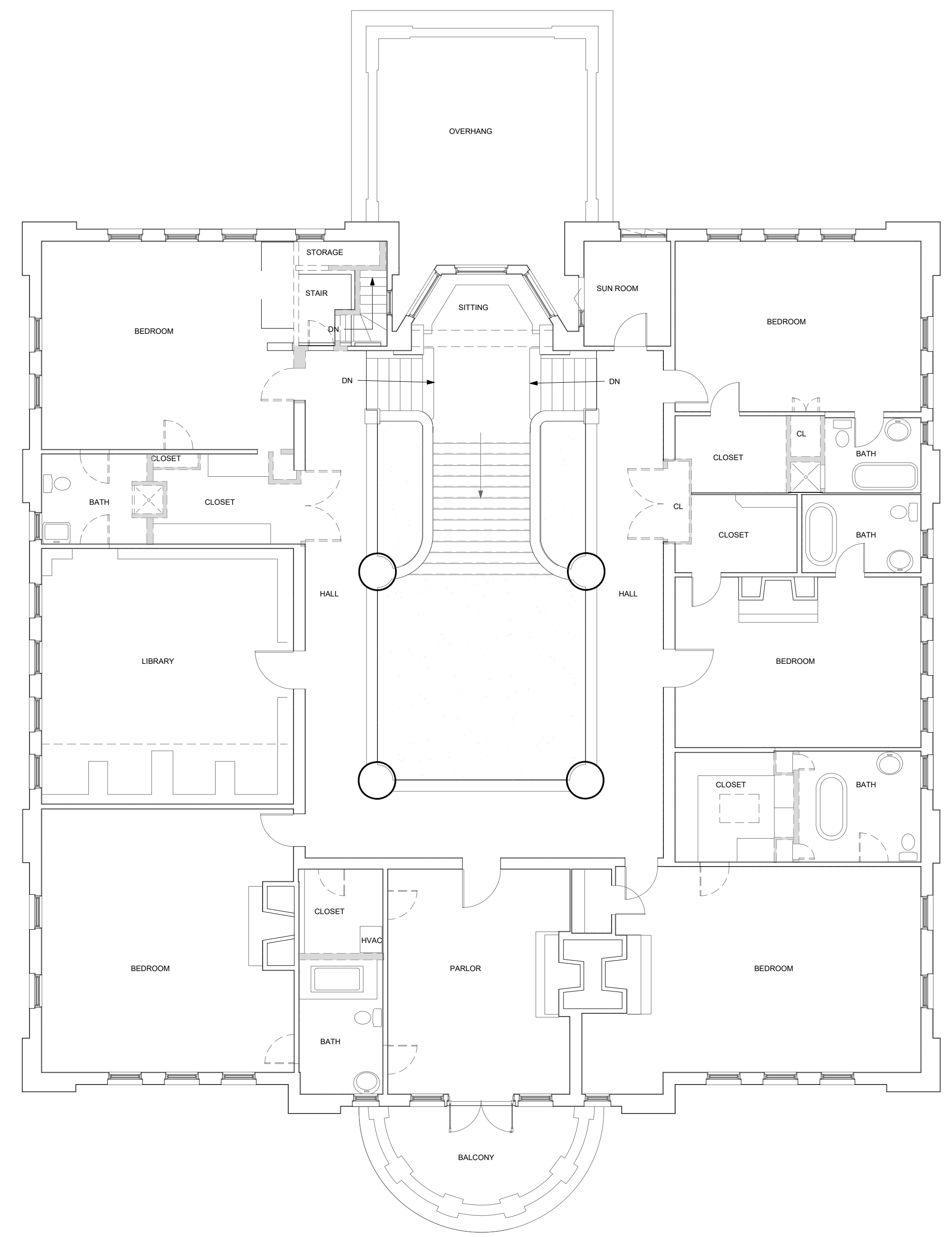


SHEET TITLE
MAIN 1ST FLOOR PLANS
EXISTING & PROPOSED

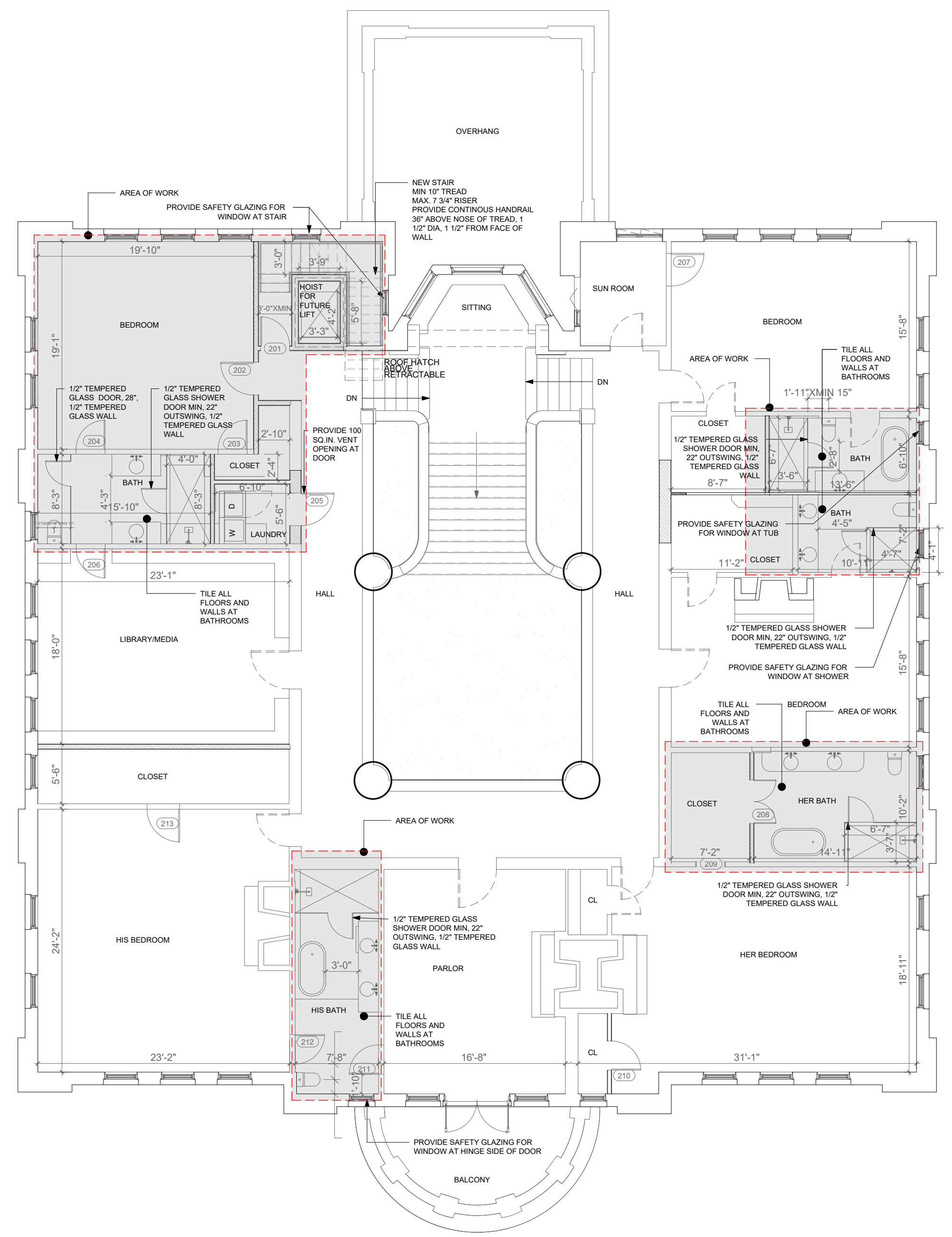
SCALE
AS INDICATED
SHEET NUMBER

A102

WALL LEGEND
 DEMOLISHED WALL 
 NEW WALL 
 1 HOUR RATED WALL 
NOTES:
 ALL NEW WALLS TO MATCH EXISTING FINISH, BASEBOARD AND MOLDING



① 2ND FLOOR EXISTING
1/8" = 1'-0"



② 2ND FLOOR PROPOSED
1/8" = 1'-0"

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Ben@paymun.com

LEAD DESIGN CONSULTANT

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DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

NOTES

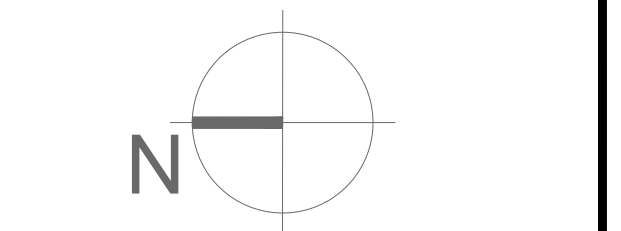
REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023



ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION



SHEET TITLE
MAIN 2ND FLOOR PLANS
EXISTING & PROPOSED

SCALE
AS INDICATED

SHEET NUMBER

A103

PAYMUN

25 Orinda way, Suite#200
Orinda, CA 94563
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Ben@paymun.com

LEAD DESIGN CONSULTANT

PAYMUN BUILDING &
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DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

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NOTES

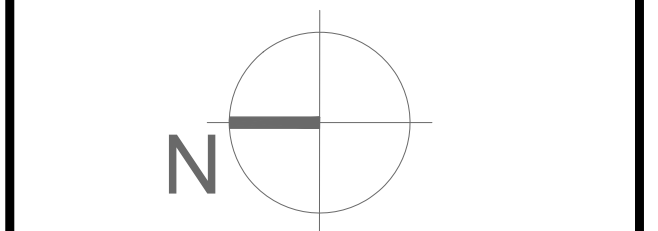
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1960 SAN ANTONIO AVENUE
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AREA

ORIENTATION

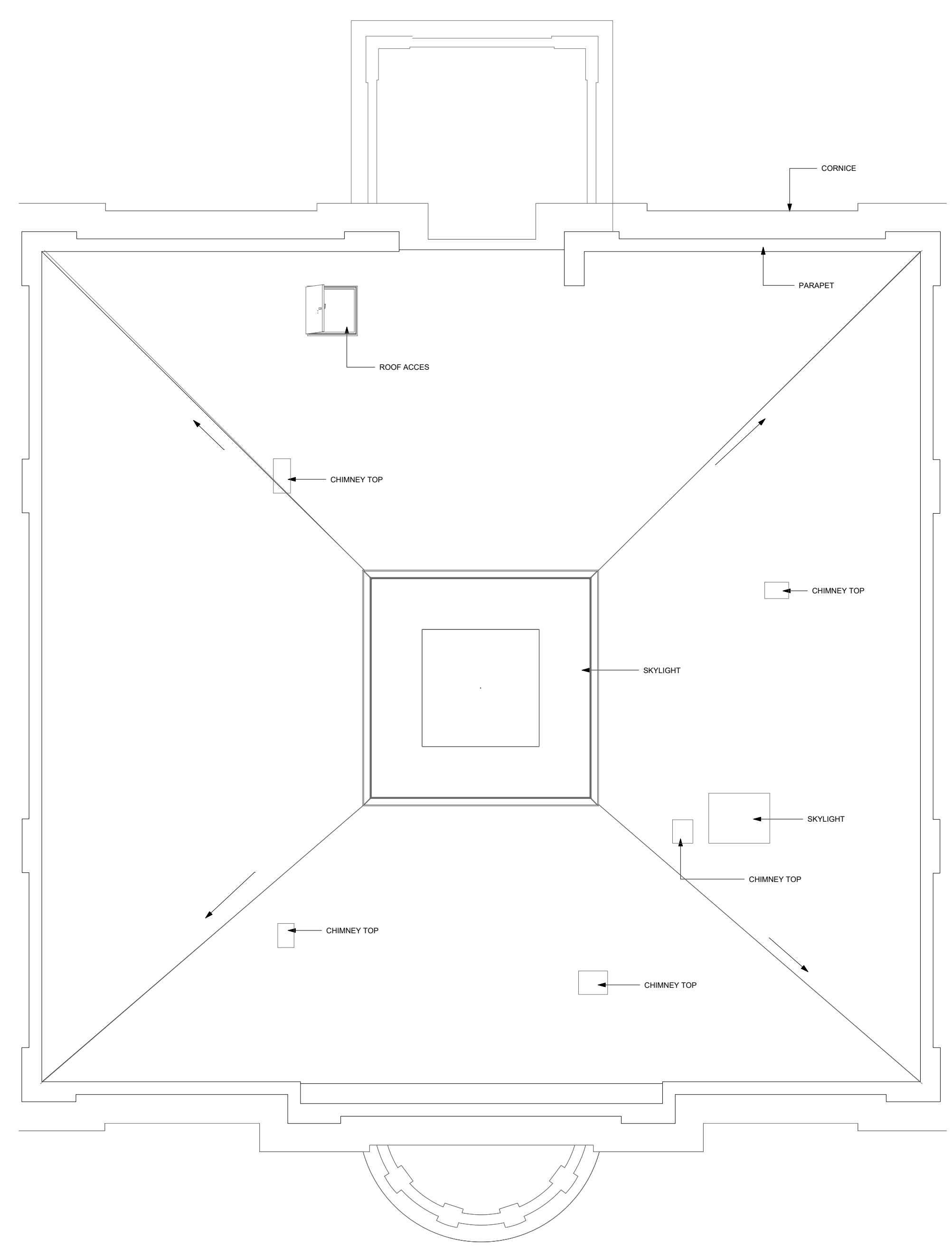


SHEET TITLE
MAIN ROOF PLANS
EXISTING & PROPOSED

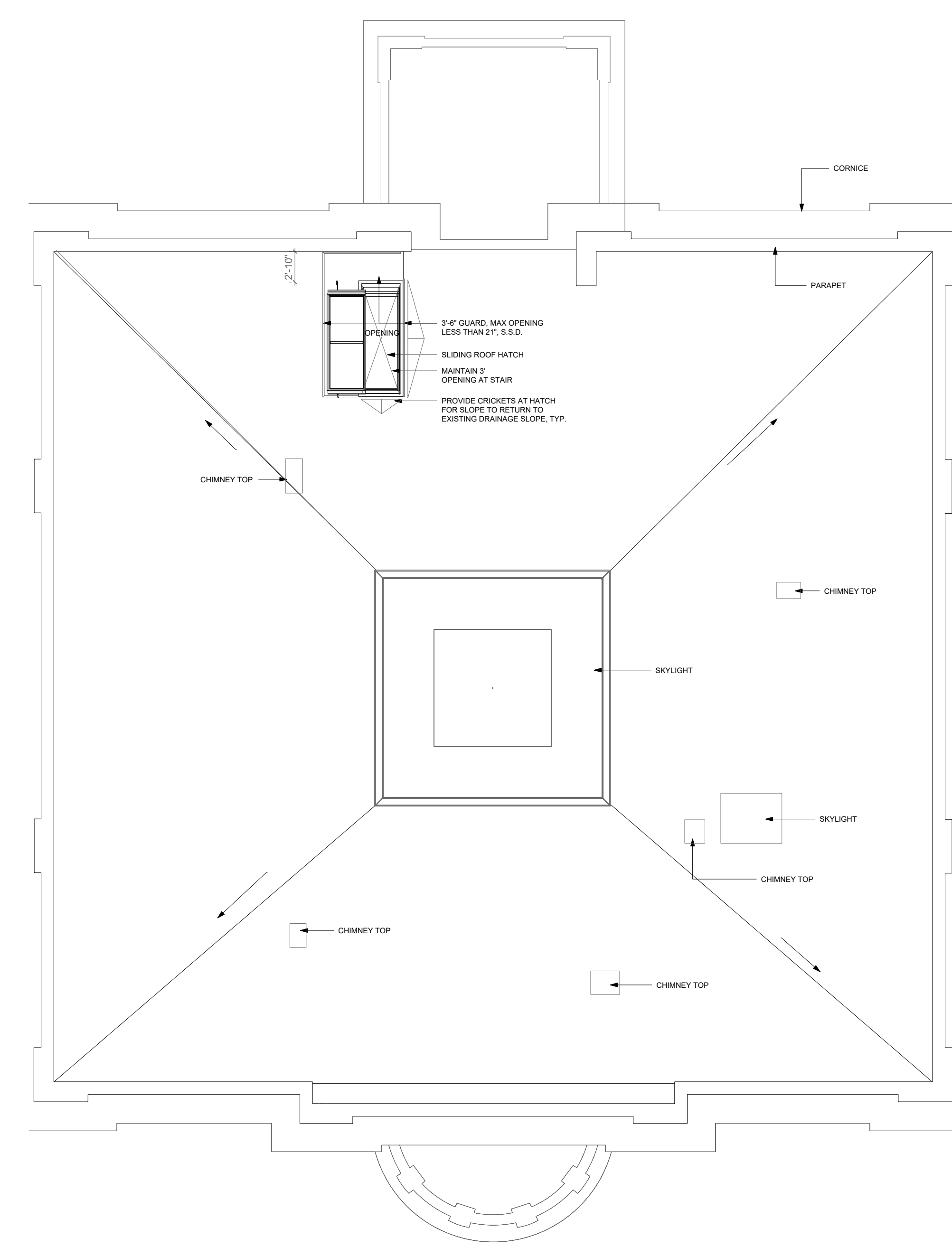
SCALE
AS INDICATED

SHEET NUMBER


A104

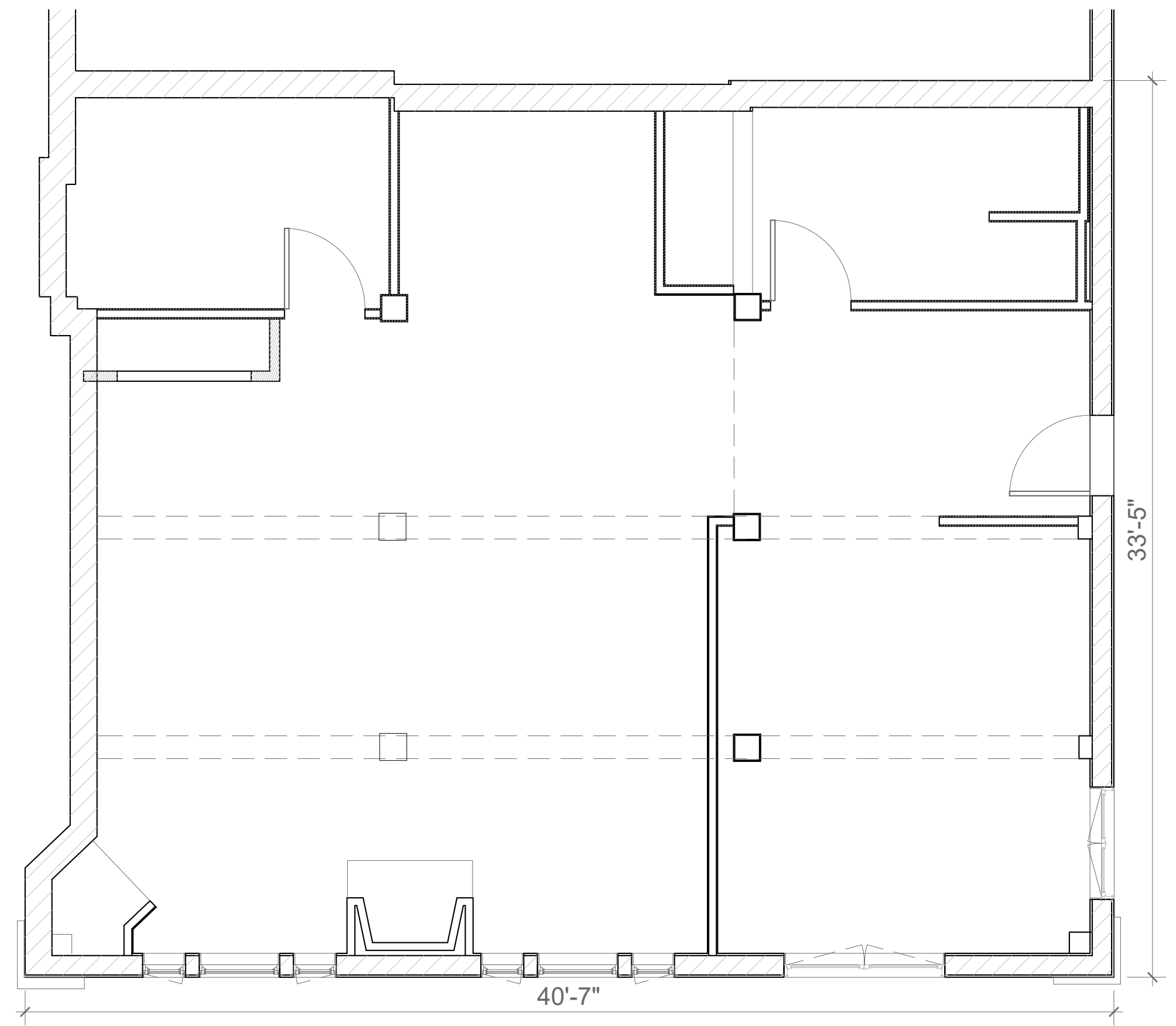


① ROOF PLAN EXISTING
1/8" = 1'-0"

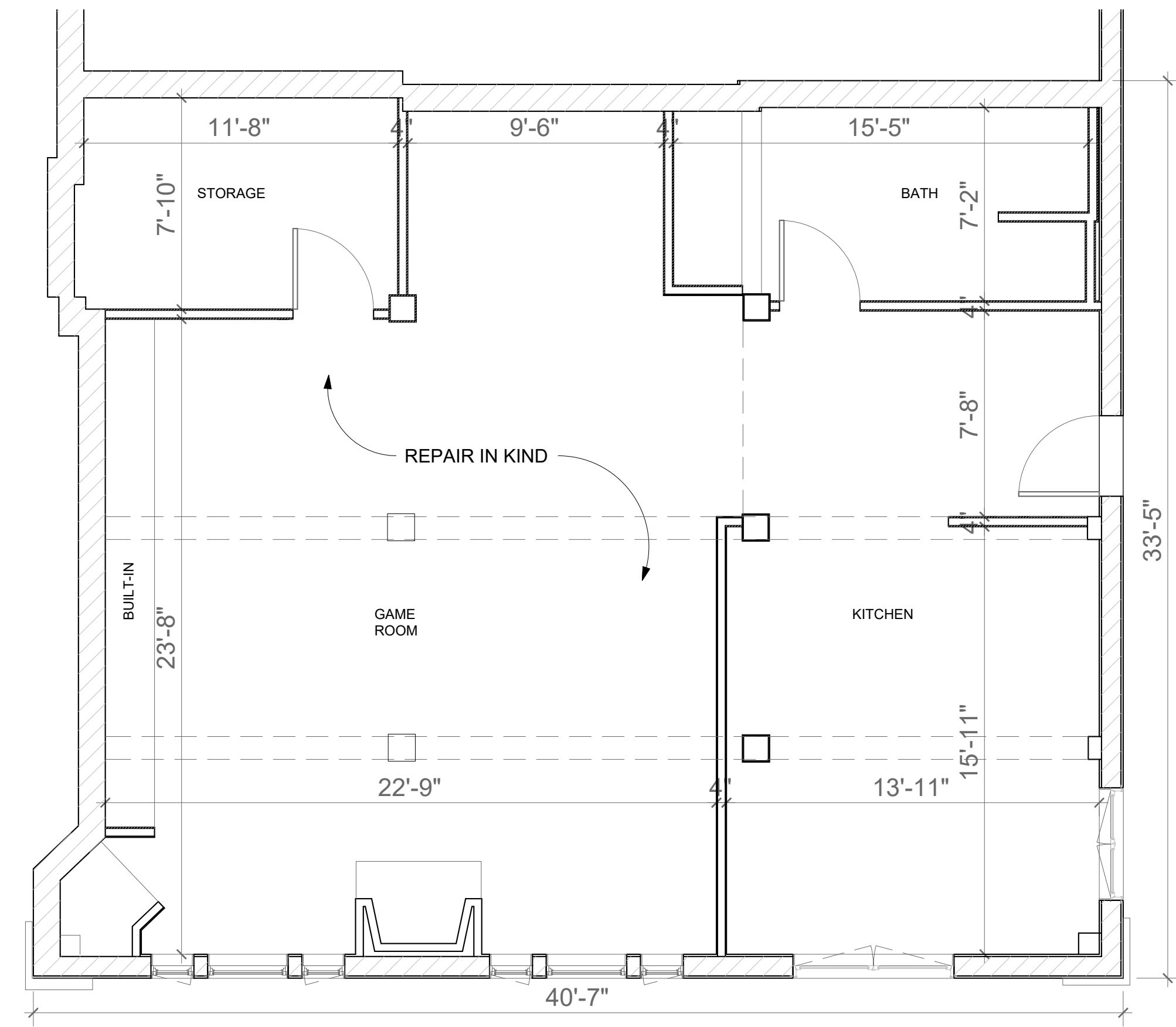


② ROOF PLAN PROPOSED
1/8" = 1'-0"

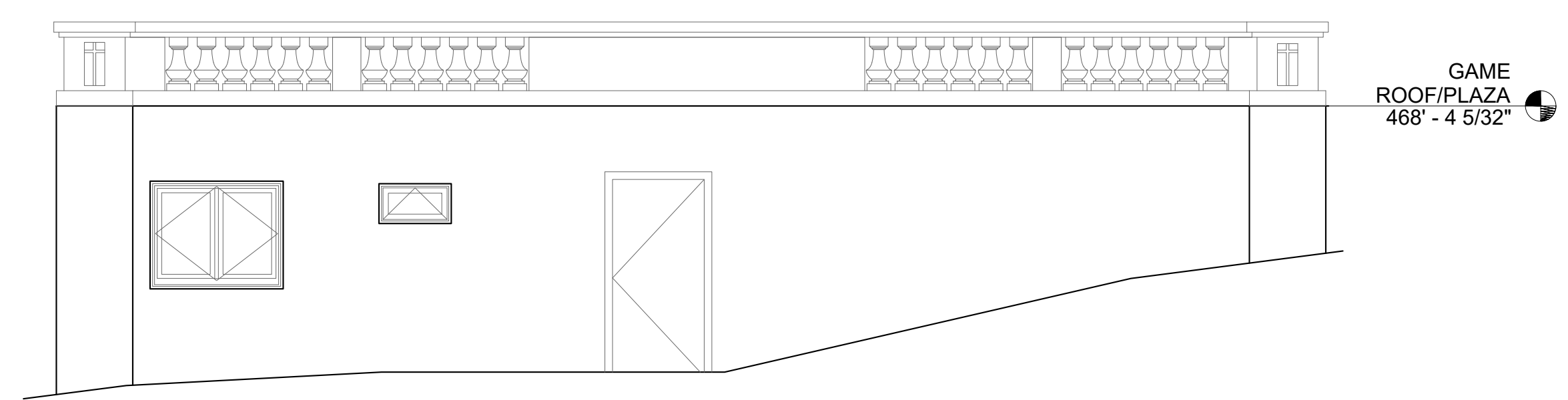
WALL LEGEND
 DEMOLISHED WALL 
 EXISTING WALL 



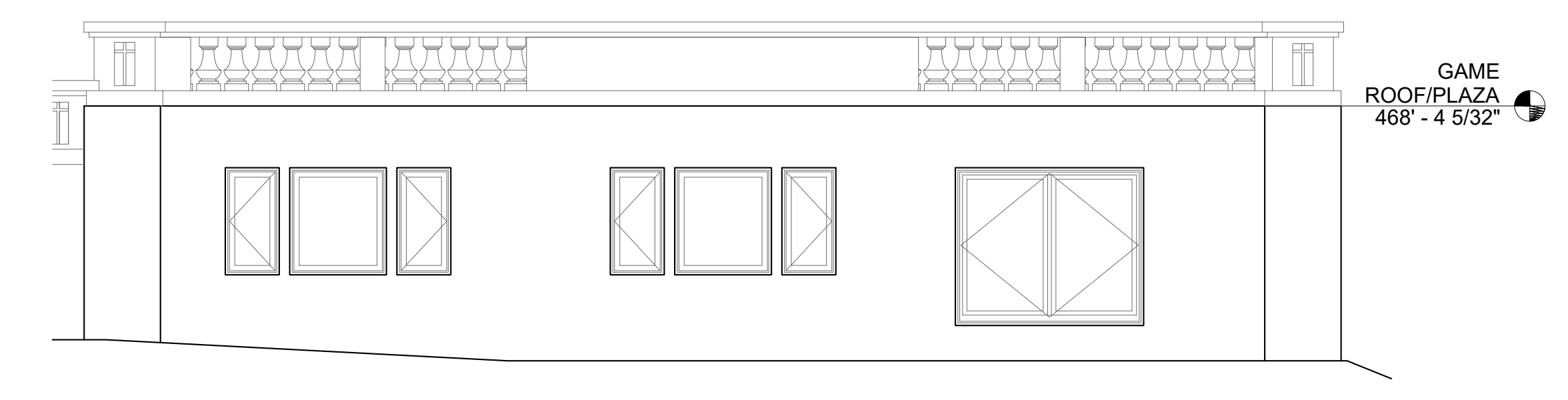
1 GAME ROOM - EXISTING & DEMOLITION
1/4" = 1'-0"



2 GAME ROOM - PROPOSED
1/4" = 1'-0"



3 GAME ROOM - SOUTH ELEVATION
1/4" = 1'-0"



4 GAME ROOM - WEST ELEVATION
1/4" = 1'-0"

PAYMUN

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LEAD DESIGN CONSULTANT

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DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

NOTES

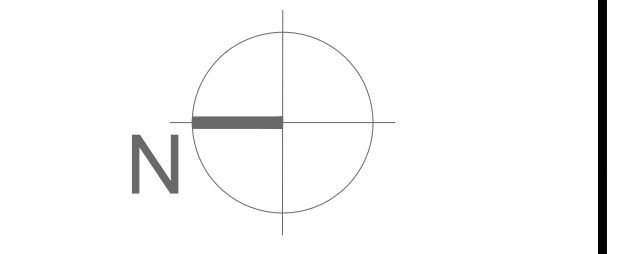
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1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION



SHEET TITLE
GAMEROOM
PLANS & ELEVATIONS
EXISTING & PROPOSED

SCALE
AS INDICATED

SHEET NUMBER

A107

PAYMUN

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Orinda, CA 94563
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NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

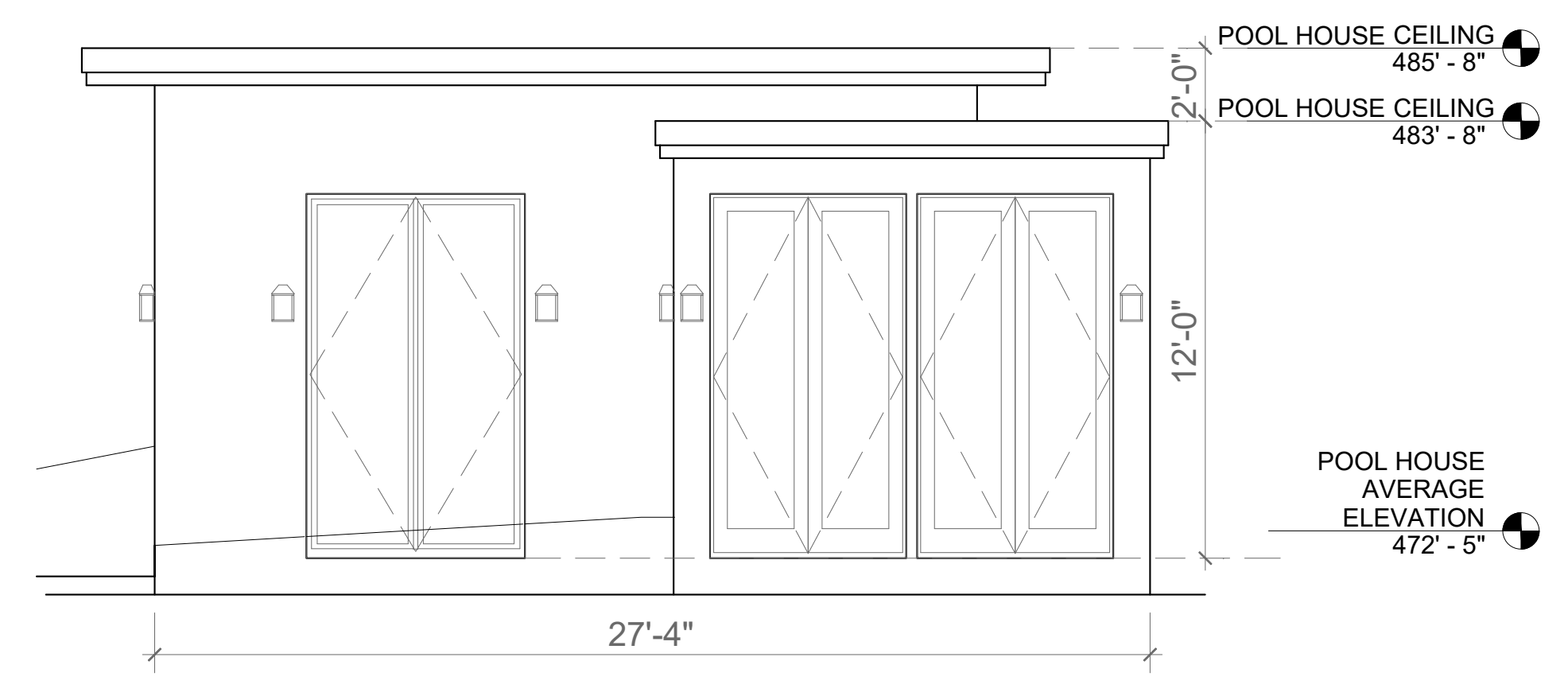
POOL HOUSE
ELEVATION

SCALE

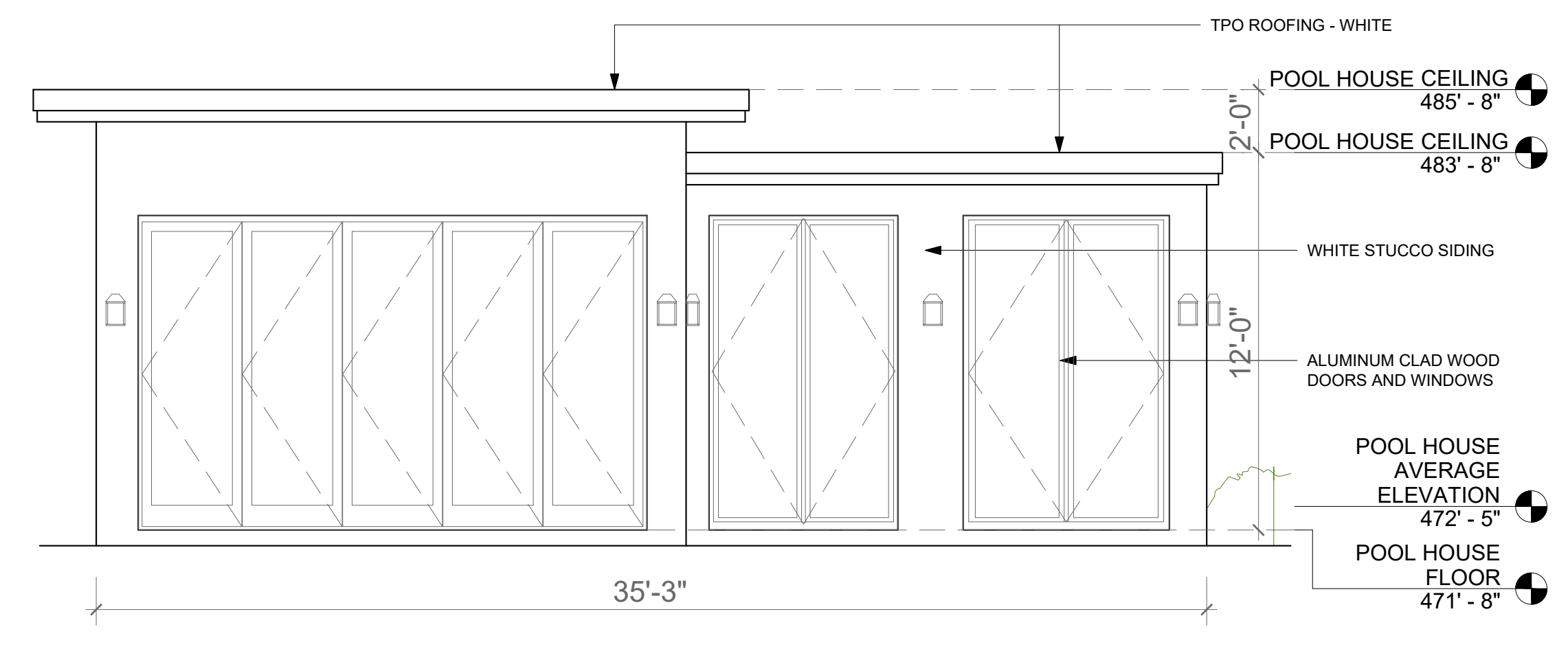
AS INDICATED

SHEET NUMBER

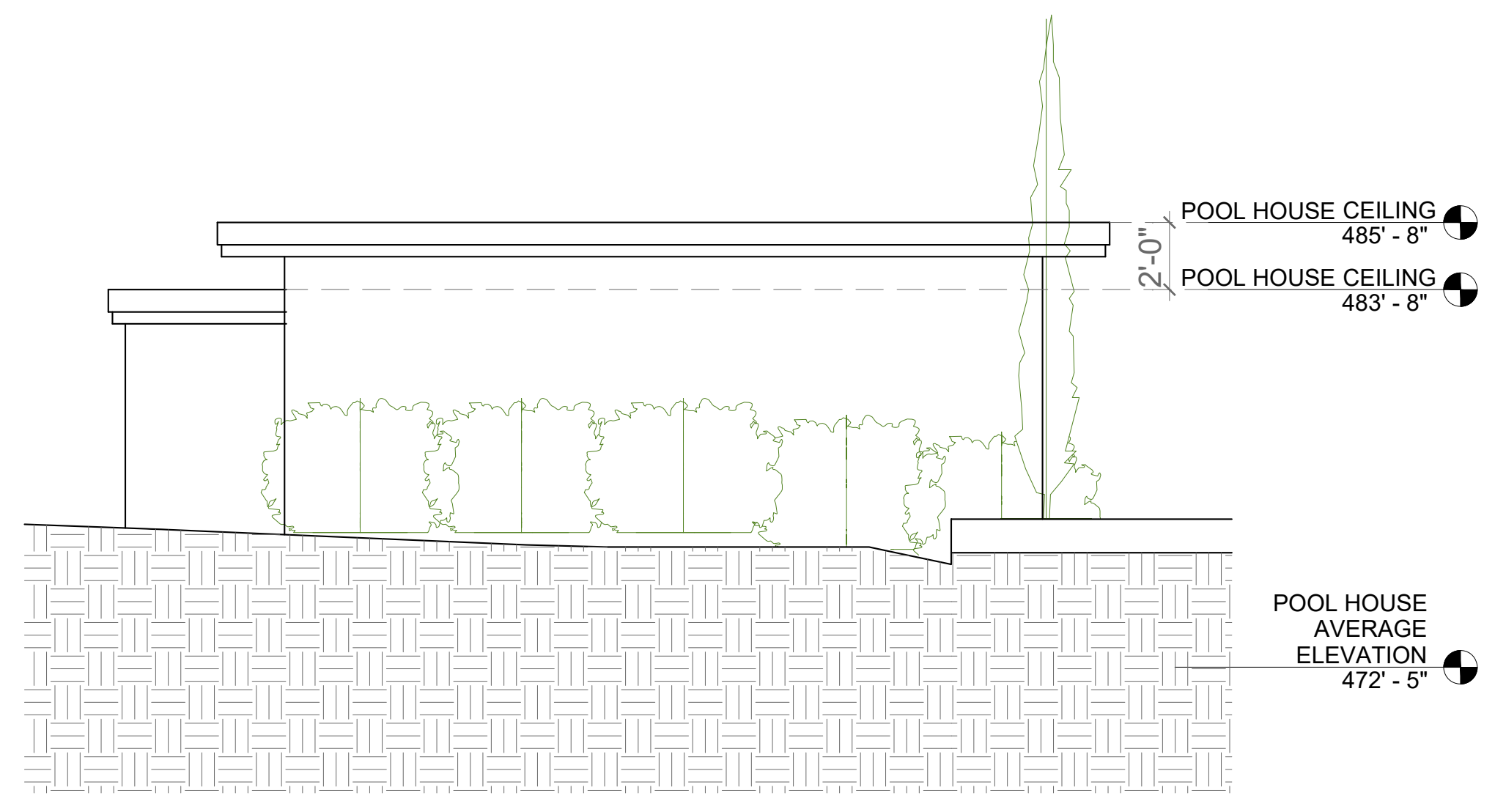
A204



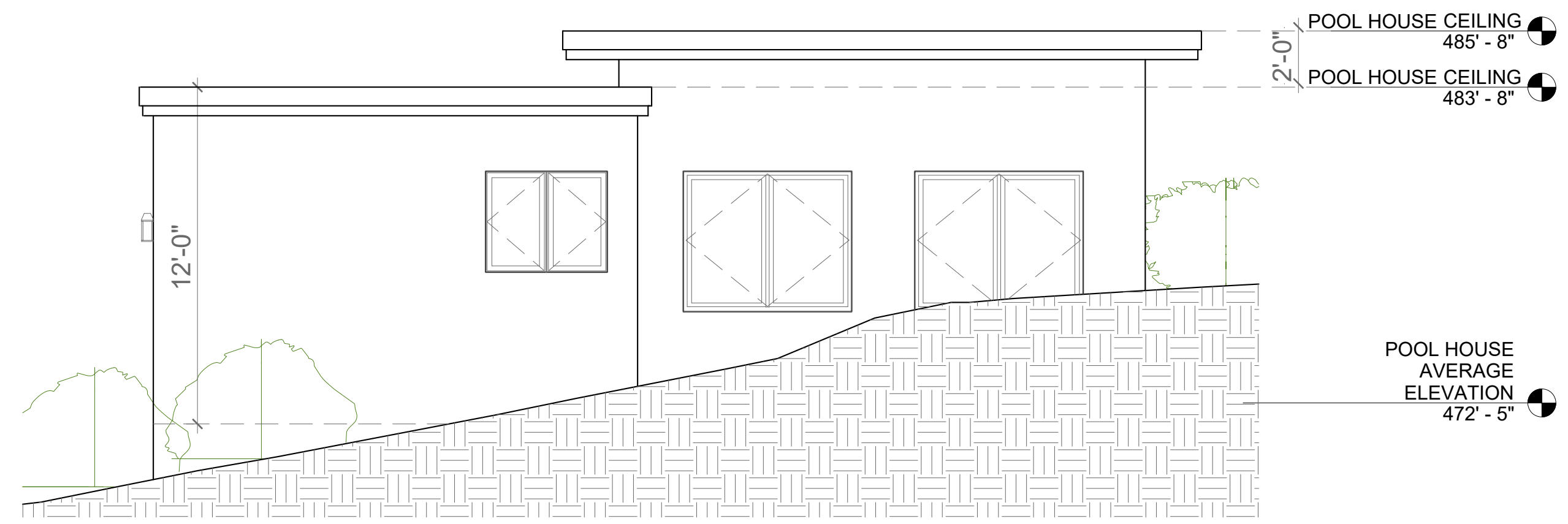
1 POOL HOUSE - SOUTH ELEVATION
1/4" = 1'-0"



2 POOL HOUSE - WEST ELEVATION
1/4" = 1'-0"



3 POOL HOUSE - NORTH ELEVATION
1/4" = 1'-0"



4 POOL HOUSE - EAST ELEVATION
1/4" = 1'-0"

PAYMUN

25 Orinda way, Suite#200
Orinda, CA 94563
Tel: (925) 587-2140
Ben@paymun.com

LEAD DESIGN CONSULTANT

PAYMUN BUILDING &
DEVELOPMENT, Inc.

DESIGNER & DRAFTER:
SADAF DAYLAMI

PROJECT
SPRING MANSION

OWNER(S)
ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION

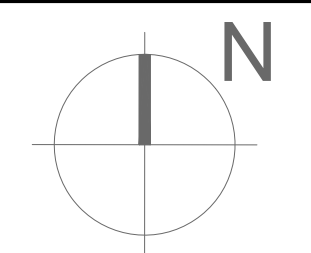


ADDRESS

1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA

ORIENTATION



SHEET TITLE

SITE SECTIONS

SCALE

AS INDICATED

SHEET NUMBER

A301



① SITE SECTION FROM ARLINGTON AVE - EXISTING
1/12" = 1'-0"



② SITE SECTION FROM ARLINGTON AVE - PROPOSED
1/12" = 1'-0"

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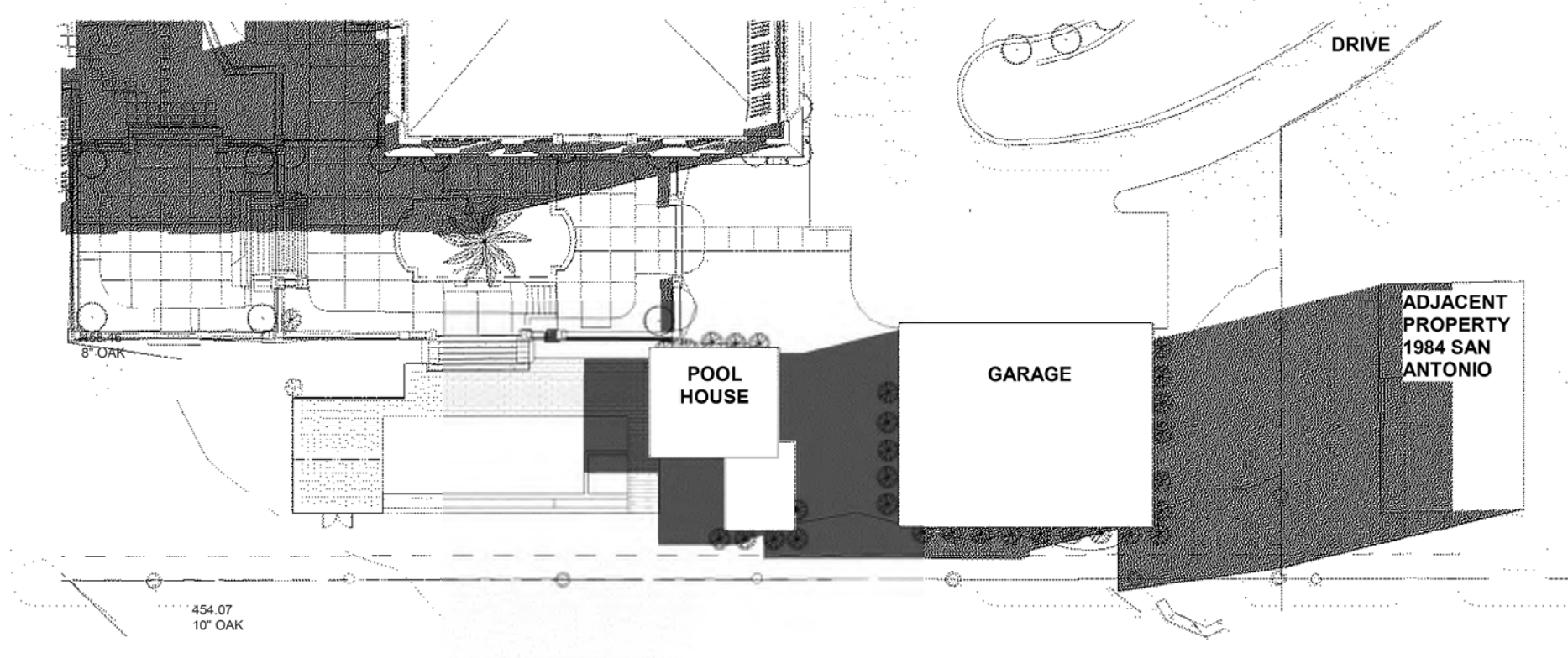
ADDRESS
1960 SAN ANTONIO AVENUE
BERKELEY, CA 94707

AREA
ORIENTATION

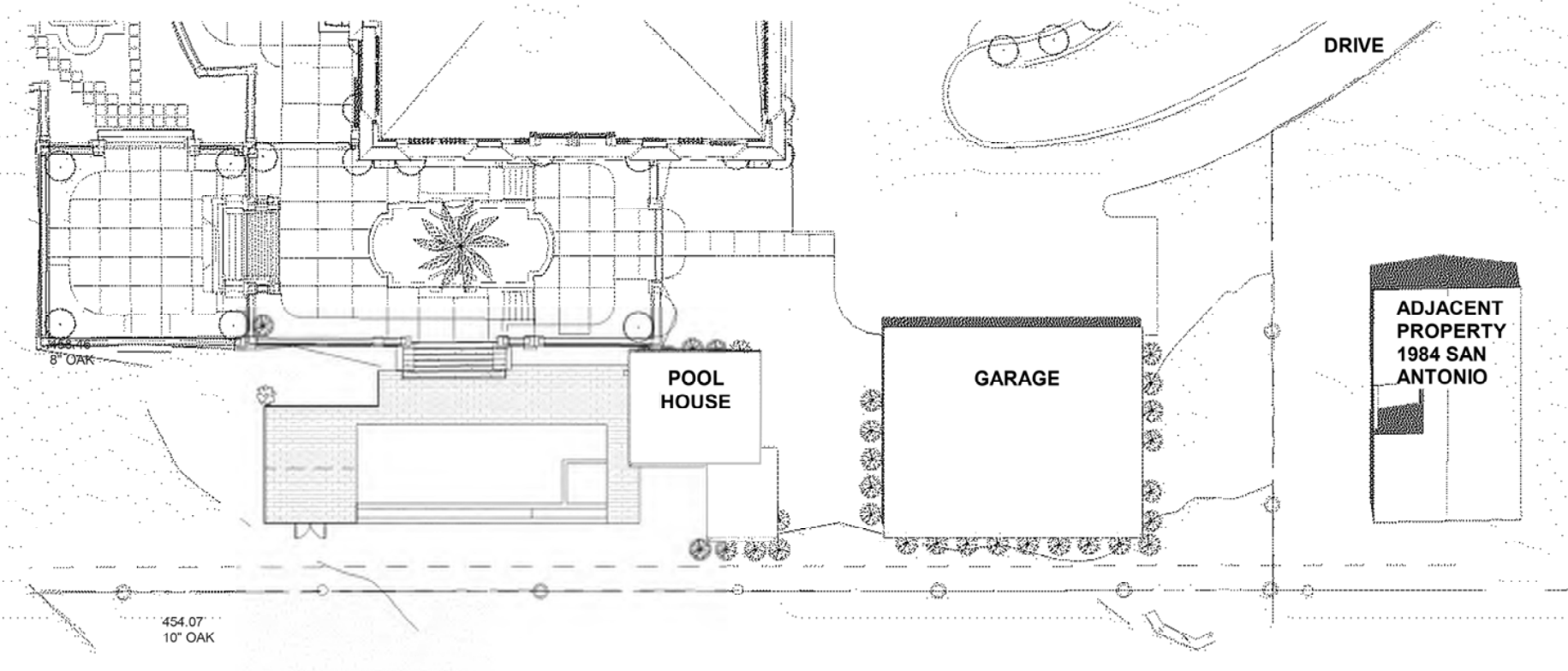
SHEET TITLE
SHADOW STUDY

SCALE
AS INDICATED
SHEET NUMBER

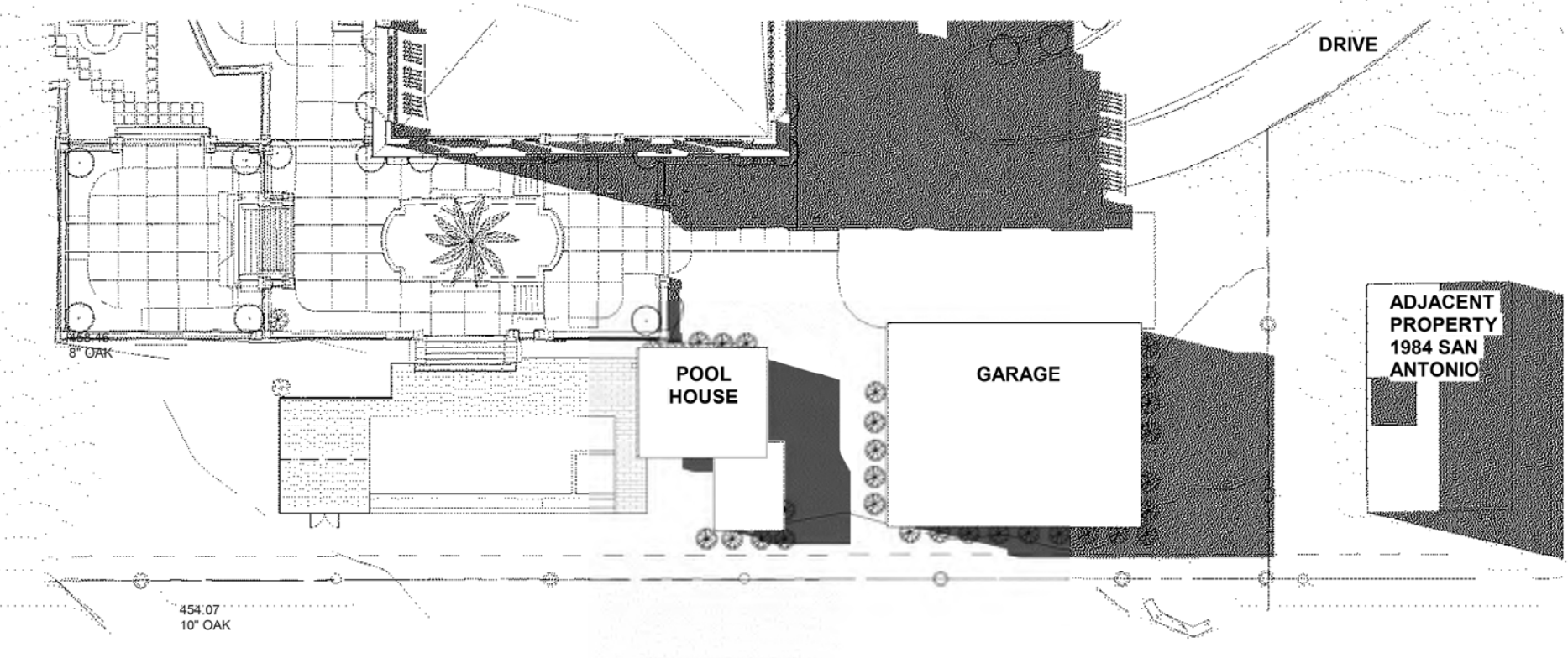
A901



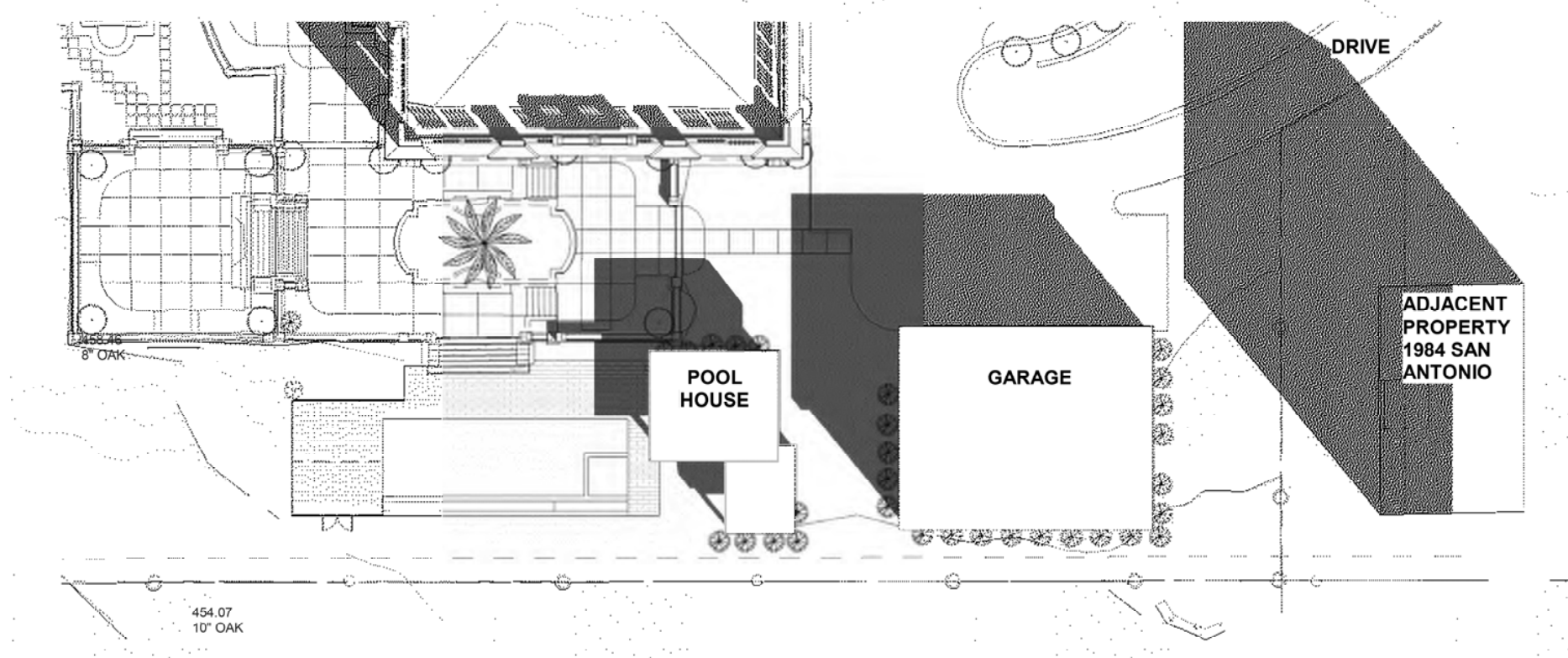
1 SHADOW STUDY - SUMMER SOLSTICE - 2HRS AFTER SUNRISE
1" = 30'-0"



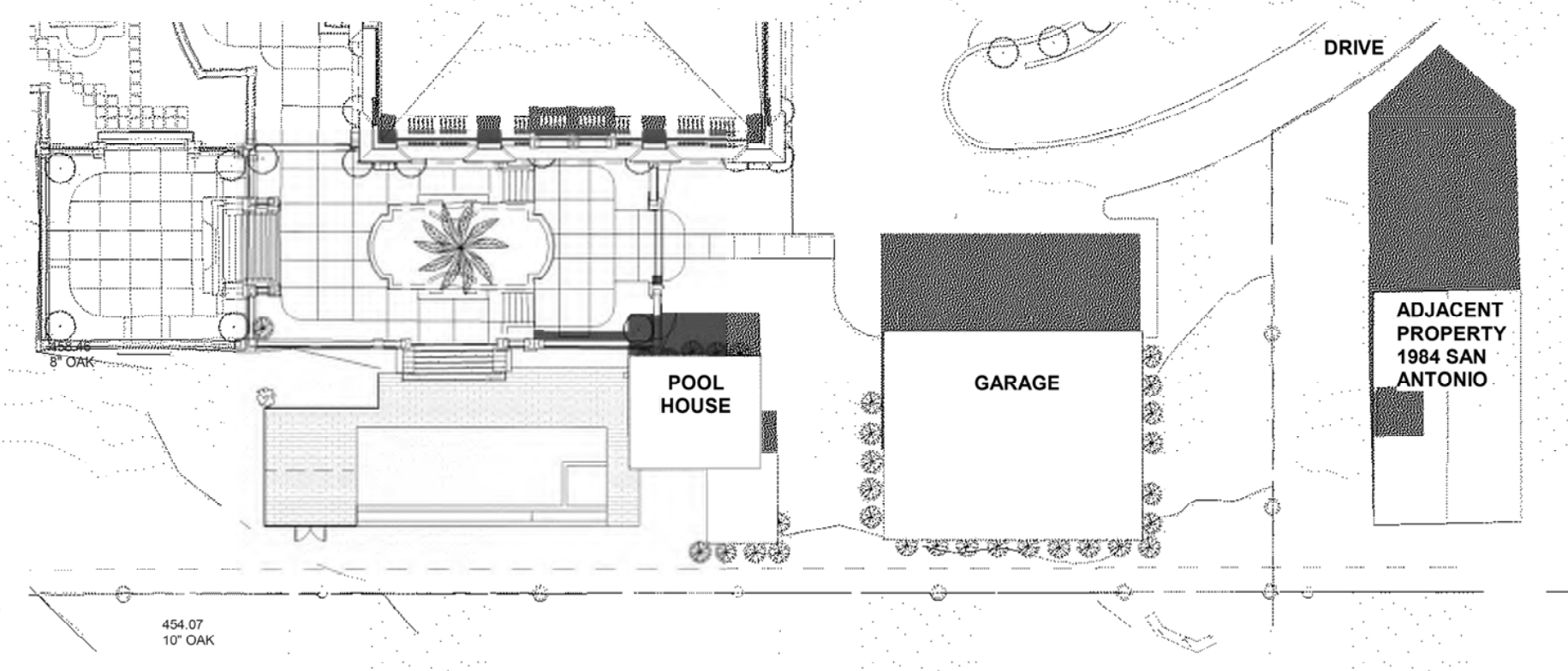
2 SHADOW STUDY - SUMMER SOLSTICE - NOON
1" = 30'-0"



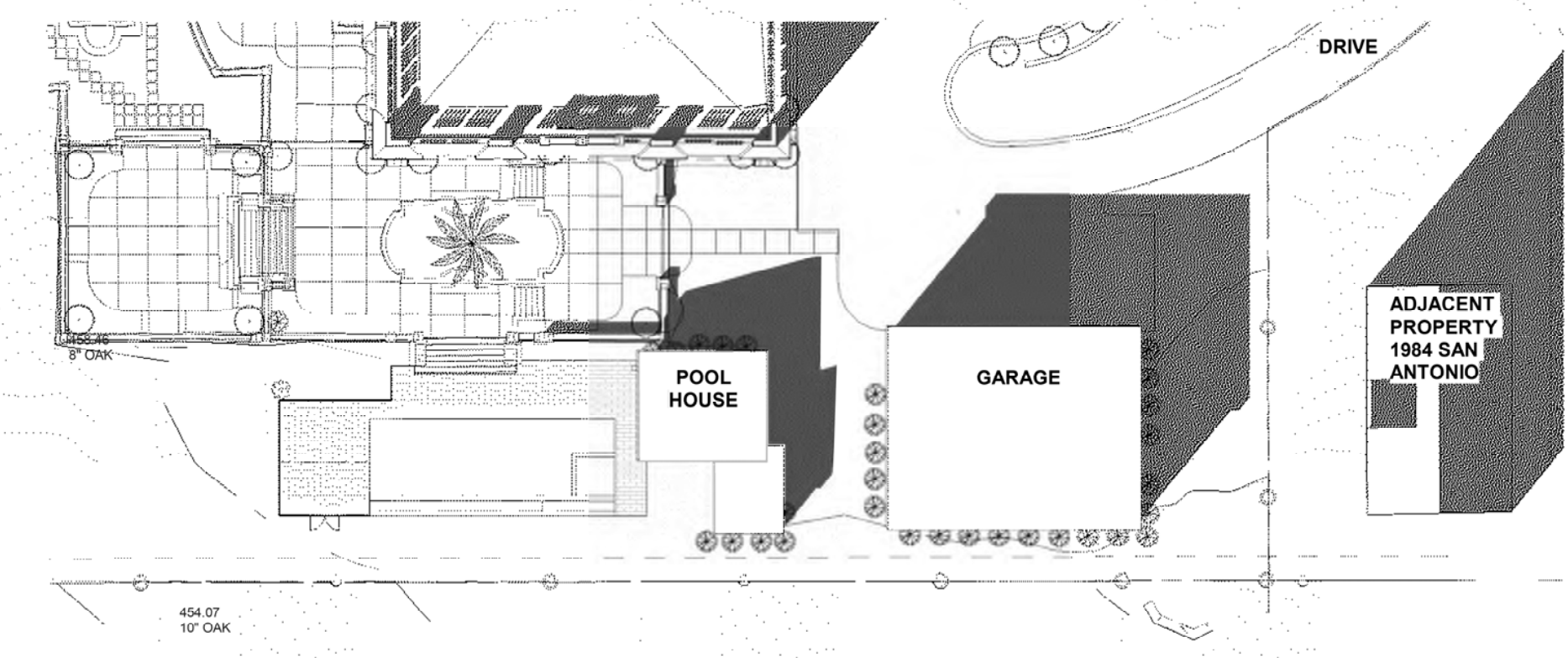
3 SHADOW STUDY - SUMMER SOLSTICE - 2HRS BEFORE SUNSET
1" = 30'-0"



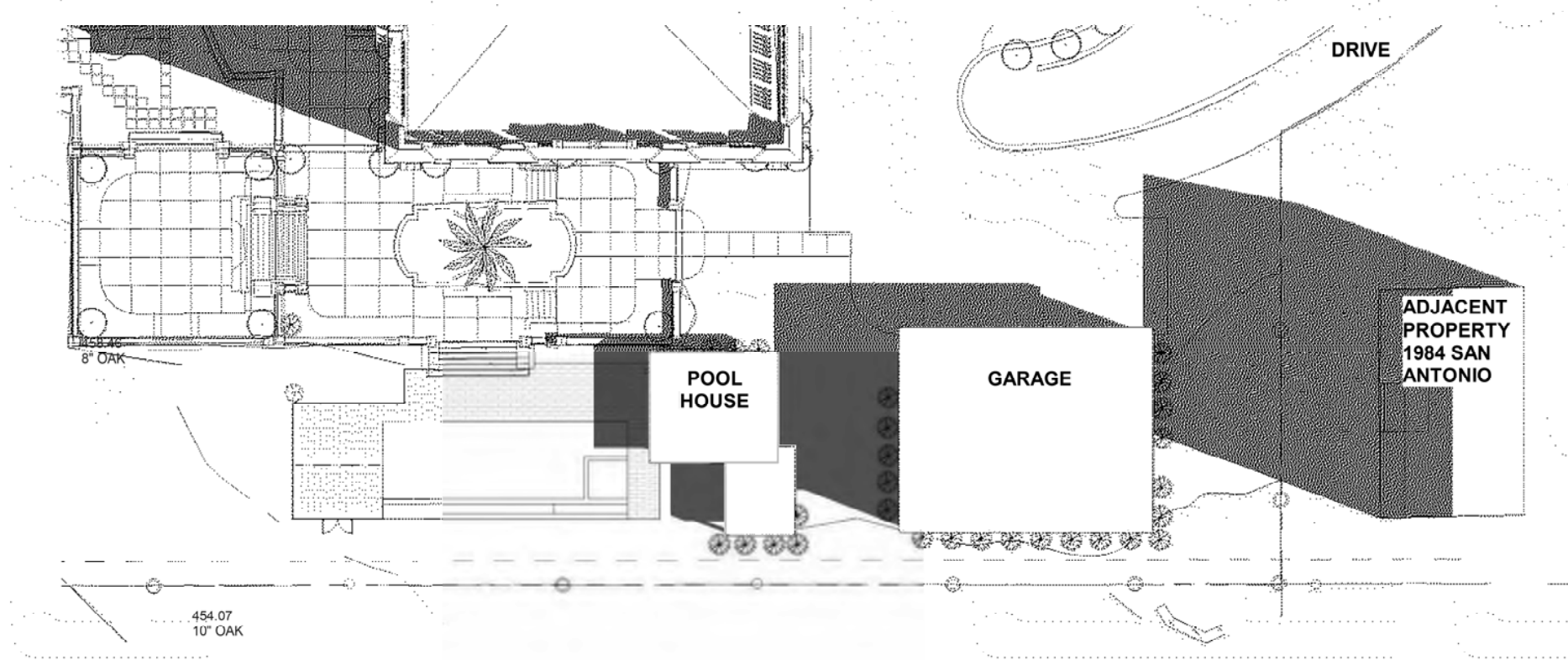
4 SHADOW STUDY - WINTER SOLSTICE - 2HRS AFTER SUNRISE
1" = 30'-0"



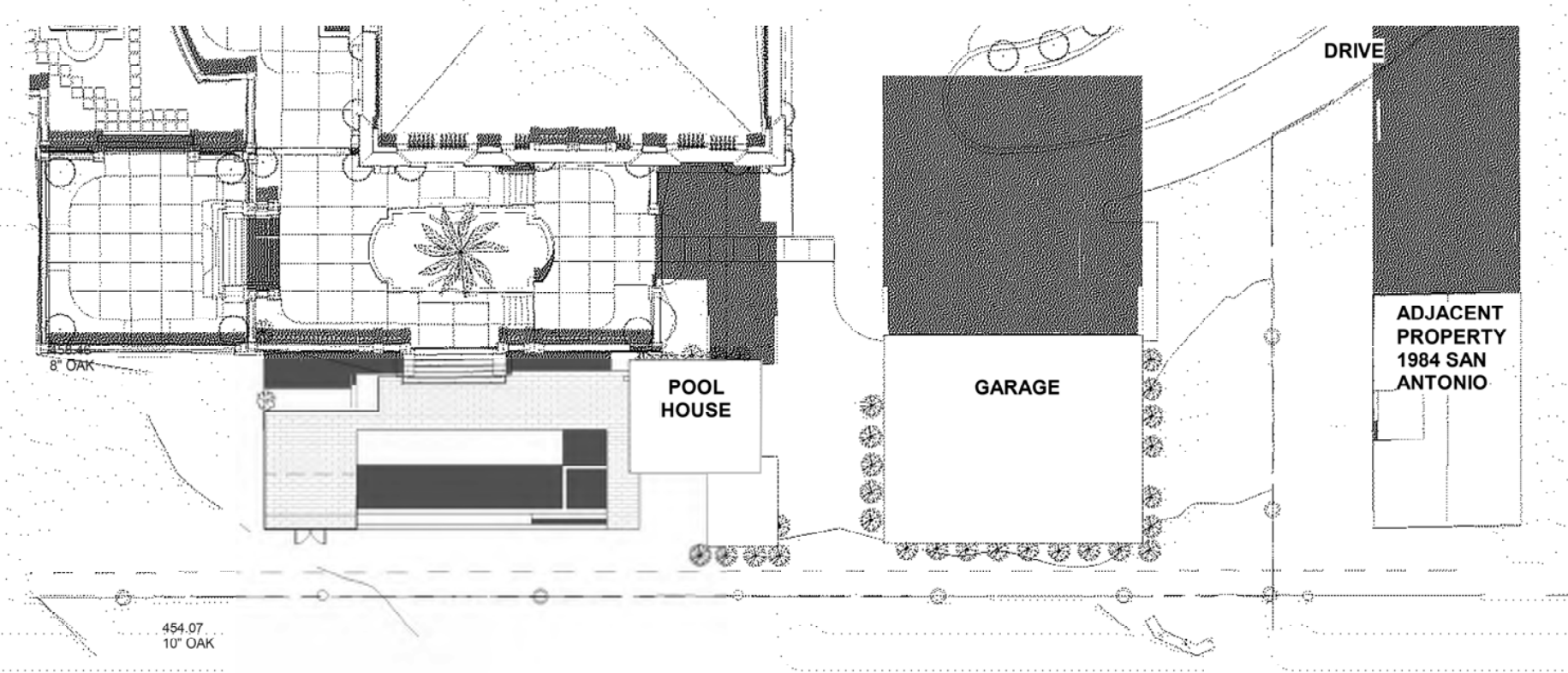
5 SHADOW STUDY - WINTER SOLSTICE - NOON
1" = 30'-0"



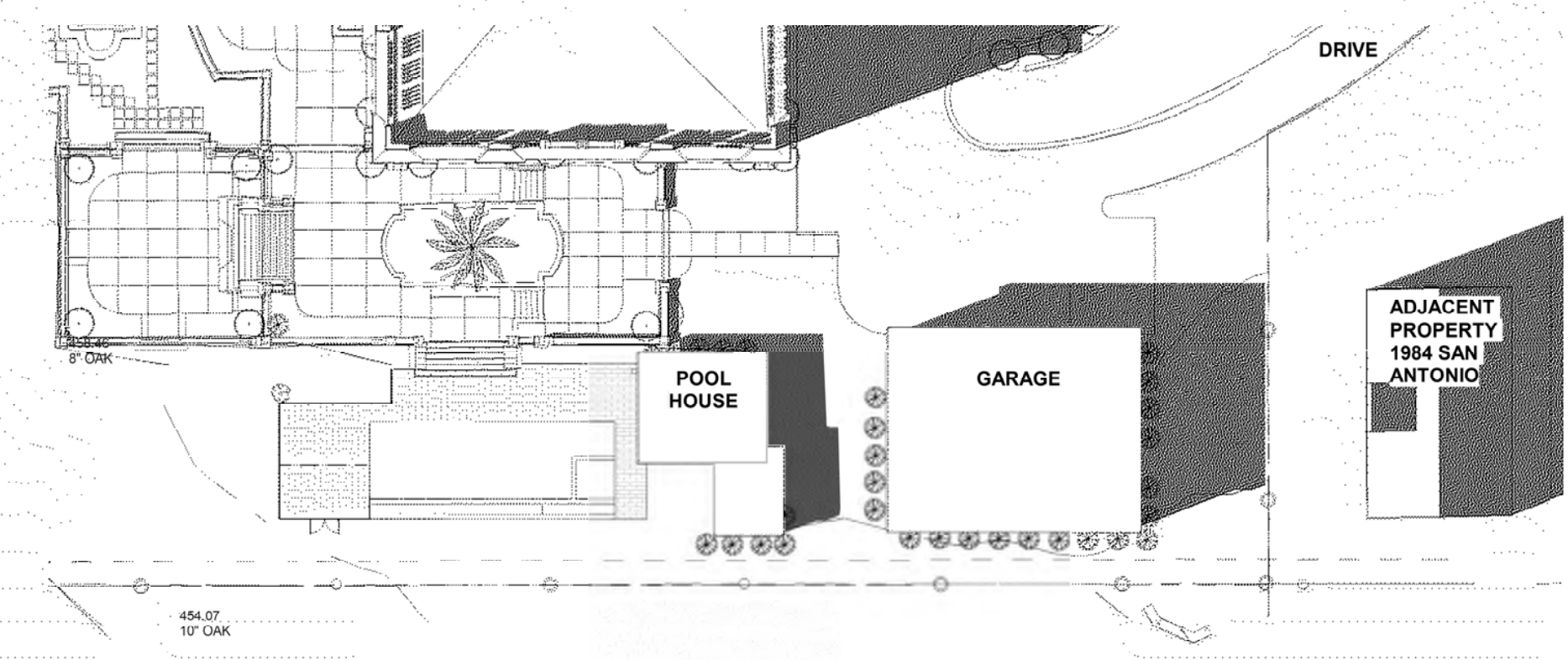
6 SHADOW STUDY - WINTER SOLSTICE - 2HRS BEFORE SUNSET
1" = 30'-0"



7 SHADOW STUDY - 9/26/2022 - 2HRS AFTER SUNRISE
1" = 30'-0"



8 SHADOW STUDY - 9/26/2022 - NOON
1" = 30'-0"



9 SHADOW STUDY - 9/26/2022 - 2HRS BEFORE SUNSET
1" = 30'-0"

11/13/2023

CITY OF BERKELEY - CITY CLERK

2023 NOV 13 PM2:07

Property: 1960 San Antonio Ave / 639 Arlington, Berkeley, CA, 94707

Email: Amash200@gmail.com

Number: (925) 487-8075

City of Berkeley, 2180 Milvia Street, 1st Floor, Berkeley, 94704

Subject: Appeal of structural alternation permit based on contingency of Rehabilitation of the gymnasium building #LMSAP2022-0005

Request: Remove contingency of rehabilitation of gymnasium building located at 639 Arlington

Dear City of Berkeley Officials,

We trust this letter finds you well. We are writing to formally appeal any decision regarding rehabilitation of the abandoned historical structure located at 639 Arlington Ave with a specific emphasis on the urgent need for the gymnasium's removal. Attached to this correspondence, you will find a comprehensive report from one of the most highly experienced historical architects and a structural engineer, both of whom affirm that the rehabilitation of the gymnasium is not feasible due to: lack of structural and material integrity, lack of historical and architectural character, generations of neglect, and safety concerns.

Our appeal is grounded in the pressing need for removal of this structure, as outlined in the attached report. The structural assessment conducted by a certified engineer has identified critical safety issues and can be reviewed by your department. It is crucial to underscore that the rehabilitation of the historic gymnasium is deemed unfeasible based on the professional judgment of these experts, given its deteriorated condition. We firmly believe that prioritizing removal of this building for public safety and for bettering the community should guide the decision-making process.

Furthermore, the attached report from the historical architect provides a detailed analysis that found no conclusive evidence supporting the historical significance of the gymnasium. While we understand and respect the city's commitment to preserving its history, the overriding concern is the safety of our community members, and creating a cohesively beautiful community for all of us to live in.

We kindly request that any decision contingent for the rehabilitation of the gymnasium be removed on recognizing the impracticality of rehabilitating the gymnasium due to safety concerns, as substantiated by the attached expert report. We are committed to collaborating with the city to ensure a thoughtful and community-centric approach to this matter.

Thank you for your time and consideration. We believe that prioritizing public safety aligns with the values of our community, and we trust that the city will make decisions that safeguard the well-being of its residents.

Sincerely,

Abbas Mash, Property Owner

**PRESERVATION
ARCHITECTURE**

November 11, 2023

**The Spring Estate, 1960 San Antonio Rd., Berkeley
Historical Considerations**

re: Former gym building at 639 Arlington Ave., appeal of LPC Rehabilitation condition

The present author is an historical architect with extensive experience in the rehabilitation of historic properties and structures throughout Berkeley and the Bay Area. It is my understanding that the City of Berkeley's Landmarks Preservation Commission (LPC) has conditioned that, in order to proceed with the rehabilitation of the Spring Mansion, the former gym building on the Spring Estate must also be rehabilitated. The following addresses the former gym building's lack of historical and historic architectural character along with its lack of historical, structural and material integrity.

In historic architectural practice, the term *Rehabilitation* is technical: *Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.* (from Kay D. Weeks and Anne E. Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*, 1995, rev.2017)

The Secretary of the Interior's *Standards for Rehabilitation* – to which the City's Planning and Development Department procedurally adheres under the City's California Environmental Quality Act obligations – affirm the need to alter or add to an historic building for continuing or new uses while retaining the building's historic character. While adaptation and change are allowable, the identified historic resource must be retained and rehabilitated for use or appropriate reuse.

The LPC's condition to *Rehabilitate* the former gym building at 639 Arlington Ave. appears to be unsupported by any historic architectural or structural evaluations. The extant building is not retainable, rehabilitation worthy or inhabitable. Given its conditions, to attempt to legally reuse that structure would unequivocally require removal and new construction from the ground up, which is not *Rehabilitation*.

The subject building has been without a use for at least 2 generations and is, in fact, collapsing. Its roof failed decades ago. Its foundations, east and west exterior walls have thrust outwards to an alarming extent (figs.1-2). While the building was in somewhat better condition in 2006, when this historical architect last surveyed it, even then – a generation ago – my 2006 survey notes recorded that it was a "dilapidated building;" that its "roof, floor and foundations were failed;" and that the "exterior wall conditions ranged from fair to poor." Neither was there then, nor is there now any potential building purpose. Without intervention and without potential use, the former gym building has deteriorated to the extent that it is in evidently dangerous structural and material condition.

The same is true of the contemporaneously built concrete steps on the Arlington, which have completely failed and are irreparable (figs.3-4). As is also the case with the other infill structures added to the Spring Mansion in the Williams Institute period (1917-c1938), which evidence leads to the direct conclusion that what was built in that period was poorly constructed. As a basic example, reinforced concrete was of course standard construction in the 1920s-30s. Yet, like the steps, there is no reinforcing in the concrete work at the former gym building, despite the period of construction and the steep hillside setting (figs.5-11). Clearly, the Williams Institute did not prioritize design or construction.

Further, this former gym building was landmarked in 2000 without any supporting historical research or documentation. As noted, it was associated with the Williams Institute, the history of which was

barely addressed in the landmark application. The building is loosely dated to 1929, though the record contains no specific research in support of that date, nor is it known who designed or built it.

The year 2000 Spring Estate landmark record provided clear historical and historic architectural evidence of historic significance in support of the landmarking of the 1914 Spring Mansion (John Hopkins Spring, owner; John Hudson Thomas, architect). Briefly inserted within that landmark record was the following:

Celina Spring married the brother of her first husband and sold the family estate to a private academy, the Cora Williams Institute of Creative Development. (Miss Williams maintained a highly cultural and refined environment for her students, who came from University and neighborhood families. Her school, which featured small classes and employed faculty wives as part-time teachers, had its heyday in the 1920's and 30's). (from City of Berkeley Landmark Application: John Hopkins Spring Estate, page 4)

Those 2 sentences – 1 parenthetical – provided the only information in the historical record about Cora Williams and the Williams Institute. No historical analysis was presented to support the historical or cultural importance of the Williams Institute's use of the former Spring Estate.

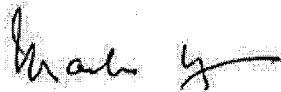
Moreover, in the landmark record, statements recording the cultural and architectural significance of the Spring Estate do not include the Williams Institute's buildings. (*John Hopkins Spring Estate*, pages 4-6). Yet, despite the total lack of documentation and analysis, the former gym building was identified as a contributor to this City of Berkeley Landmark.

The landmark effort made no attempt to address the potential importance of the Williams Institute and no further assessment has been made since. Thus, to date, whether Cora Williams and/or the Williams Institute are historically or culturally important is not known. What is known, based on the surviving physical evidence from their tenure on the Spring Estate, is that the Williams Institute does not have potential historical importance on the basis of the few structures they erected on that property, as none of those structures have identified or identifiable design and construction distinction and as the design and construction integrity of each structure is poor.

Yet another salient factor is that the Spring Estate landmark application was prepared and submitted by neighbors without any historical qualifications yet with the clear intent of stopping possible change – the application authors indicated that the property, then up for sale, was “endangered” – which intent evidently succeeded as almost nothing has happened on this site in the 23 years since.

To reiterate, the former gym building at 639 Arlington Ave. has not been used for generations. It is not retainable, rehabilitation worthy or reinhabitable. Given its conditions, to attempt to legally reuse this structure would unequivocally require removal and new construction from the ground up, which is not *Rehabilitation*.

Signed:



Mark Hulbert
Preservation Architect

attached: figs.1-11; MH qualifications



Fig.1 – 639 Arlington Ave. – West side (figs.1-10, MH 2023)

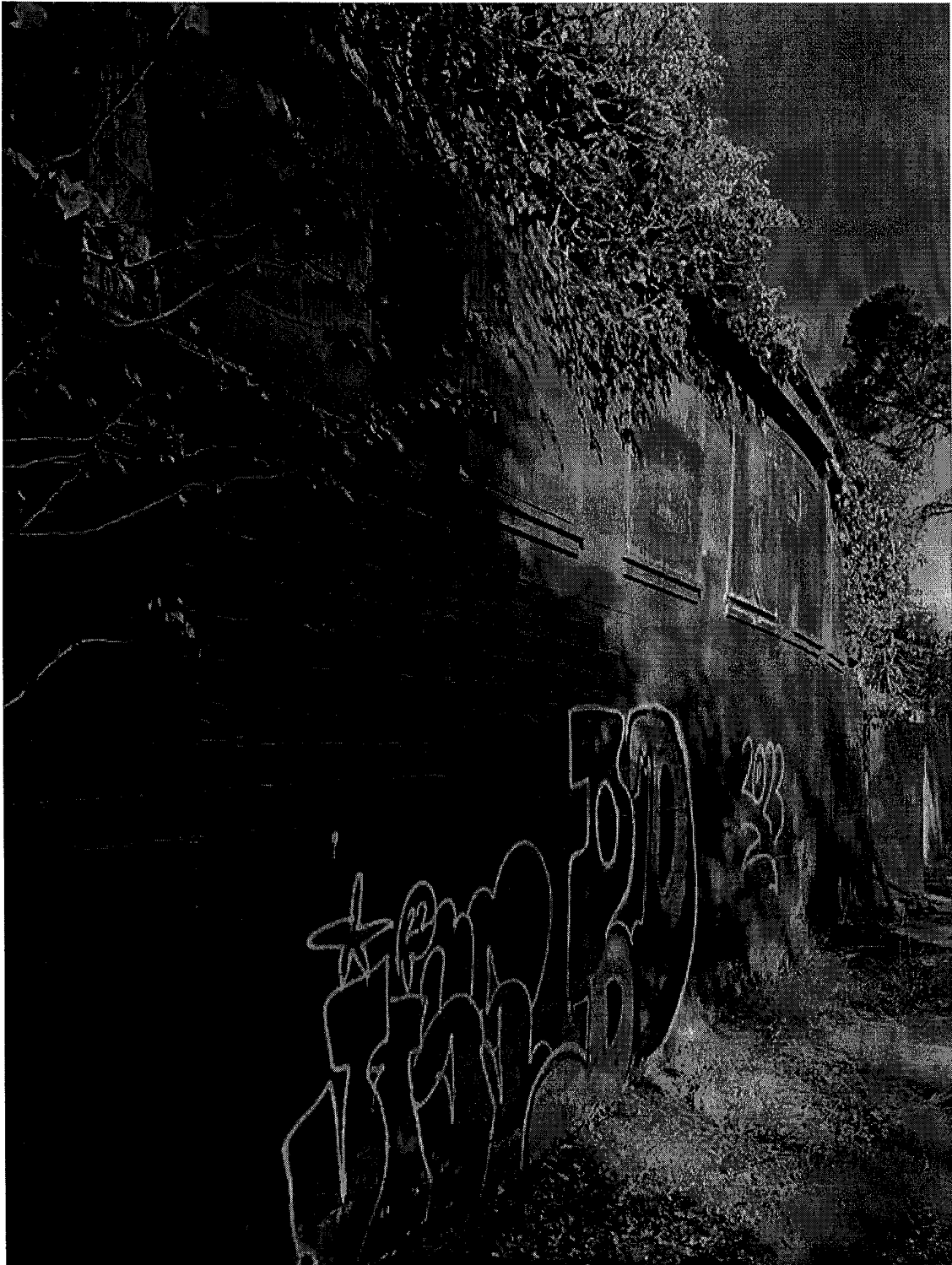


Fig.2 – 639 Arlington Ave. – East side

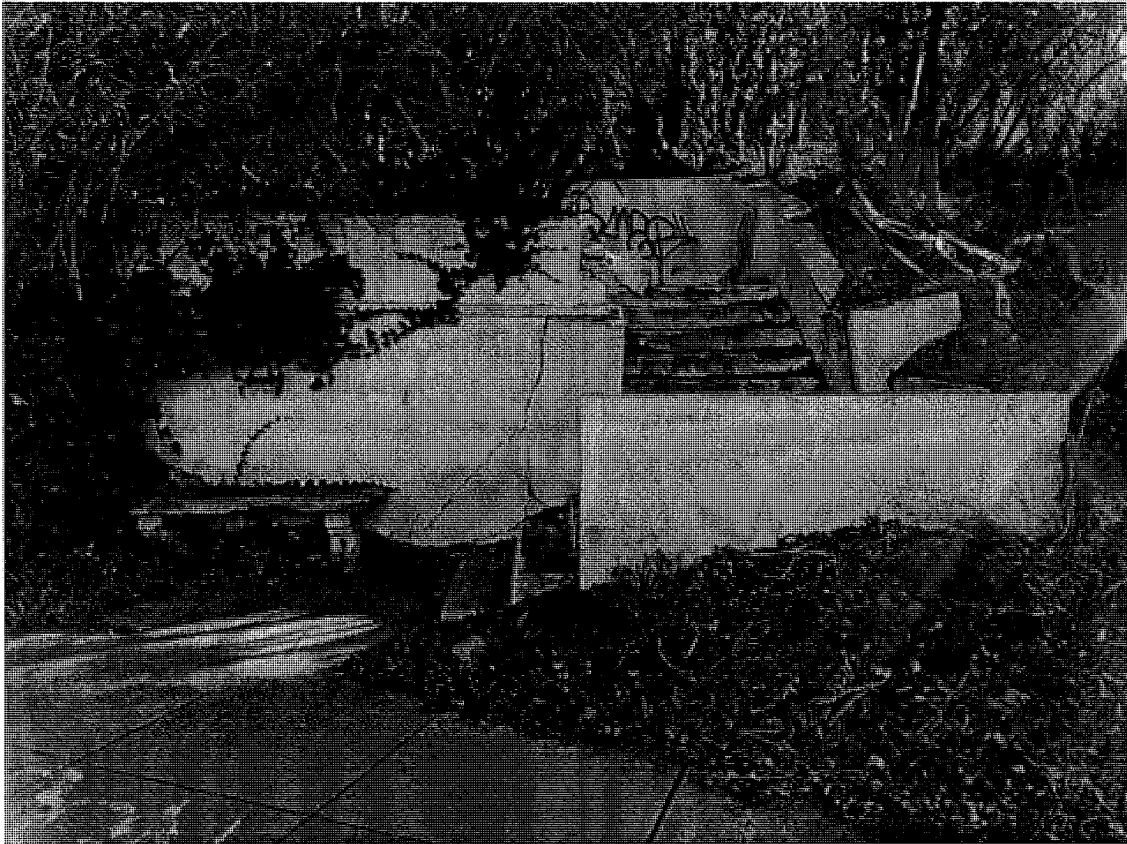


Fig.3 – 639 Arlington Ave. – Entry steps on Arlington



Fig.4 – 639 Arlington Ave. – Entry steps on Arlington



Fig.5 – 639 Arlington Ave. – West side from Arlington sidewalk



Fig.6 – 639 Arlington Ave. – West side foundations



Fig.7 – 639 Arlington Ave. – West side foundations



Fig.8 – 639 Arlington Ave. – West side foundations

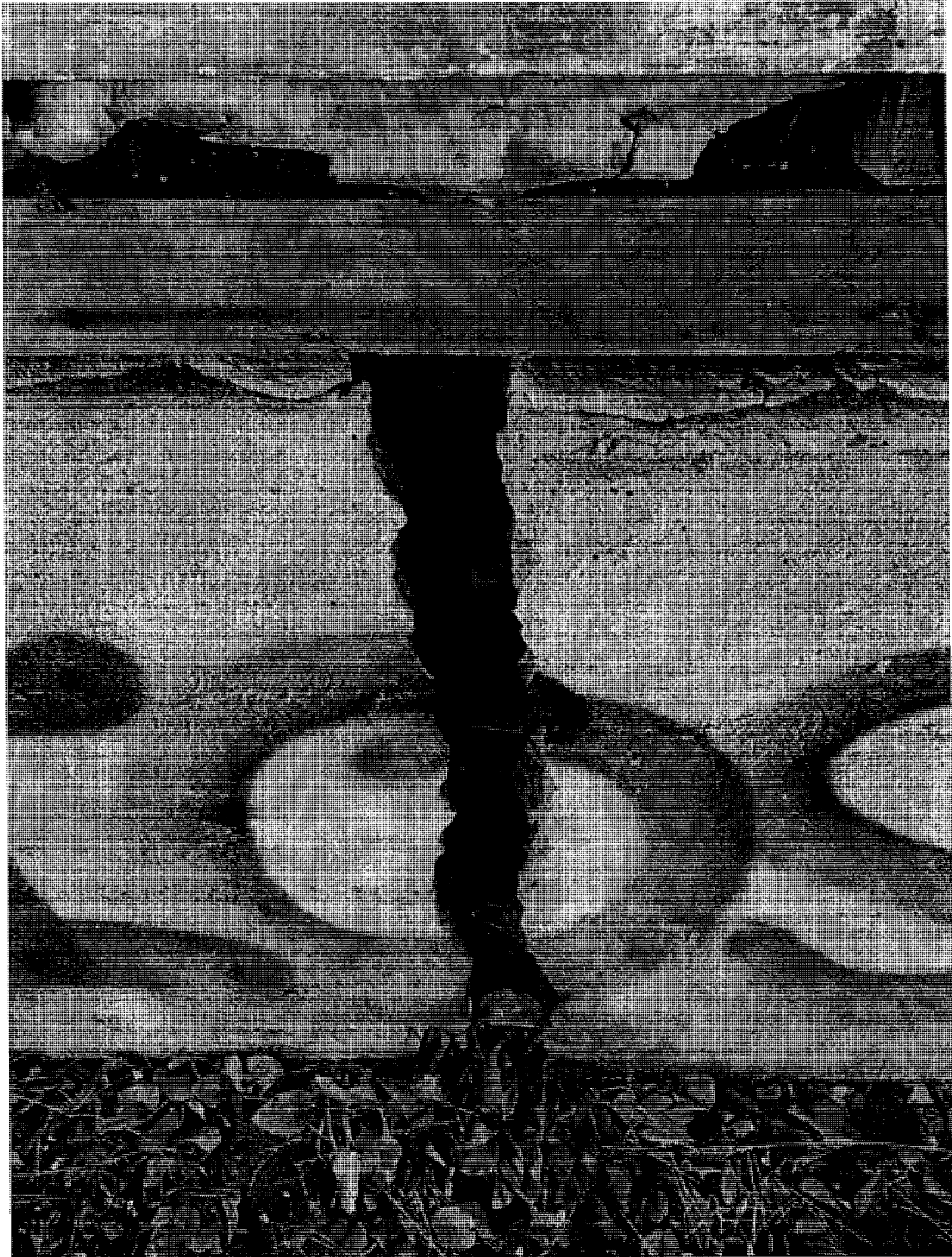


Fig.9 – 639 Arlington Ave. – West side foundations



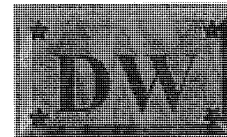
Fig.10 – 639 Arlington Ave. – Interior, east side wall and roof



Fig.11 – 639 Arlington Ave. – Interior (MH, 2006)

DWong Engineering, Inc.

644 Pacific Ave. #22, San Francisco, CA 94133 Tel:415.726.8168



Property Inspection Report
639 Arlington Ave, Berkeley, CA

Inspection Date:

Nov. 12, 2023

Prepared For:

Mr. Mash

Prepared By:

Darren Wong

(415)726-8168

Nov. 12, 2023

Inspection Address: 639 Arlington Ave, Berkeley, CA

Report Number: 23075

Dear Mr. Mash,

Enclosed please find the inspection report for the above referenced address.

Darren Wong has conducted this inspection in accordance with the Standards of Practice of the American Society of Home Inspector(ASHI). The purpose of this inspection is to identify and disclosed visually observable major deficiencies of the inspection systems at the time of the inspection only. The inspection and the report do not, and are not intended to, address code and regulatory compliance, the possible presence of, damage caused by, or danger from asbestos, radon gas lead paint, urea formaldehyde, fungi, mold, mildew, wood-destroying insects or organisms such as termites or carpenter ants, insects, soil contamination and other indoor and outdoor substances or pollutants. The full scope and limitation of this inspection are addressed in the Pre-Inspection Agreement, which is part of this report.

The inspection report provides an evaluation of major components, including Structural and interior components of the subject property.

We appreciate the opportunity to be of service to you. Please feel free to call us if you have any questions or concerns regarding this inspection or report

Sincerely

Darren Wong
Structural Engineer, P.E.

Structural Components

Description of Structural Components

Foundation: Cracks are in the foundation

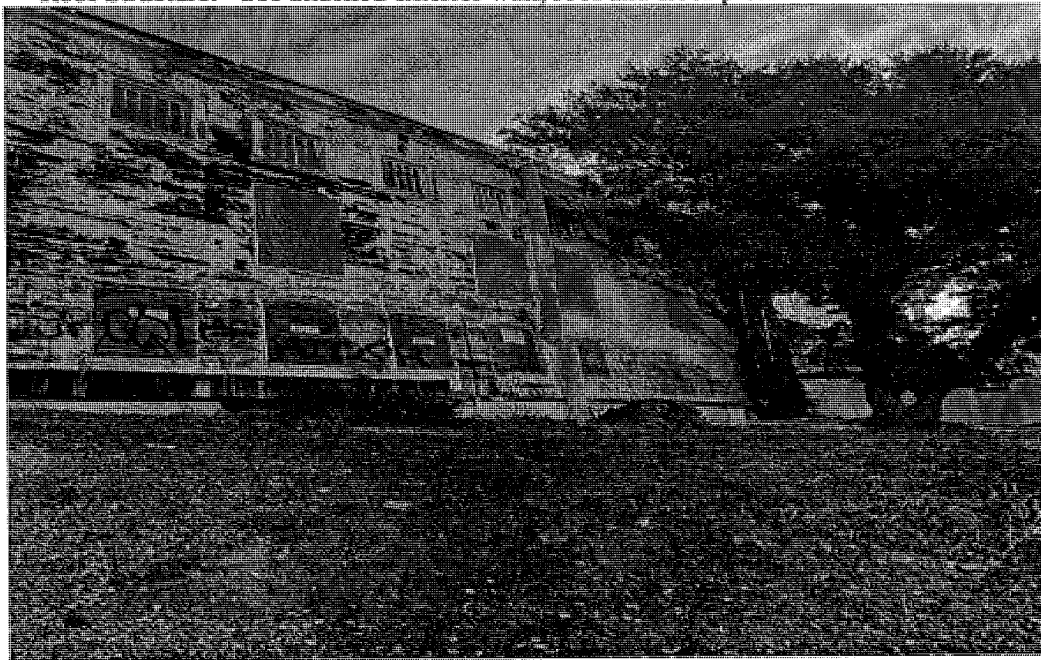
Exterior wall: Tilt toward to inside of the building. Siding in the exterior was damaged severe and expose 2x stud wall which lead to dry-rot 2x stud wall.

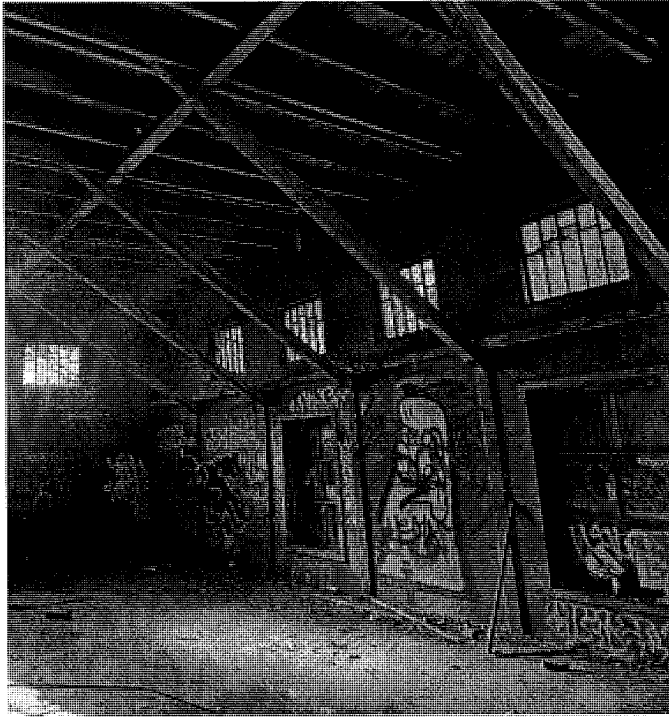
Roof Structural: 2x12 roof rafter @16"o.c. on the roof and brace with 4x4 @6'-0" o.c., Some rafters were dry-rot at the bearing wall support location.

Floor Structural: Damaged plywood and floor joist are not safe to support the floor

Wall Structure: Wood Frame 2x stud

Roof Structure: See attached exterior wall, roof and floor pictures





Structural Components Observations

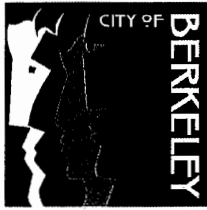
The construction of this property is poorly support by structural brace and beams in the roof.



The exterior wall siding and roof are in bad shape, see picture below



In conclusion, the subject building is not structurally sound and needs to be demolished. The wood framing, as originally built, is grossly deficient and does not meet the building code requirement. It is not habitable due to unsafe structural framing and cracked foundation. In addition, the west side of building is tilt toward to east direction. The existing concrete footing has no rebar reinforcing and missing portion of the retaining wall in the west side of building. The existing 2x stud load bearing walls were dry-rot without siding protection on the west side lead to structurally unsafe to the building. Furthermore, the existing roof is severe damage without proper connection to the existing structural members and some area settled. The existing roof beams were not support the roof rafters properly lead to settlement in some area on the roof.



City Clerk Department

November 20, 2023

Abbas Mash
18 Deer Oaks Dr.
Pleasanton, CA 94588

RE: 1960 San Antonio_645 Arlington Avenue – Appeal LPC Decision Use Permit #
LMSAP2022-0005

Dear Appellant:

This will acknowledge receipt of your appeal of the Landmarks Preservation Commission decision of June 1, 2023, approving the following request.

- Structural Alteration permit

Your appeal has been referred to the Planning Department.

The Planning Department will transmit to Council a statement setting forth the reasons for the Landmarks Preservation Commission decision. This report, as well as a copy of the appeal, will appear on the Council agenda of **February 13, 2024**.

This meeting of the Council will commence at 6:00 p.m. and will be held in the School District Board Room located at 1231 Addison Street. The meeting will be conducted in a hybrid model with both in-person attendance and virtual participation. Once posted, the agenda for this meeting will include a link for public participation using Zoom video technology, as well as any health and safety requirements for in-person attendance.

Pursuant to the City Council Rules of Procedure, this appeal will appear on the City Council's agenda as a public hearing. Time shall be provided for five-minute presentations each by the appellant and applicant. Where the appellant is not the applicant, the appellants collectively shall have five minutes to comment and the applicant shall have five minutes to comment. Where the appellant is the applicant, the applicant/appellant shall have five minutes to comment and the persons supporting the action of the board or commission on appeal shall have five minutes to comment.

After the conclusion of the five-minute comment periods, members of the public may comment on the appeal pursuant to the Rules of Procedure in effect for the Council meeting.

1960 San Antonio_645 Arlington Avenue – Appeal LPC Decision Use Permit # LMSAP2022-0005

The Council will then deliberate and determine to do one of three things: 1) continue the public hearing; 2) based on the record of the Council's consideration and hearing, reverse or affirm, wholly or partly, or modify any decision, determination, condition or requirement of the Board's original action; or 3) remand the matter to the Board to reconsider the application, or any revisions thereto submitted after the Board's action.

Communications to the City Council that are received by the City Clerk pursuant to the following deadlines will be accepted and distributed as follows:

Submission Deadline	Distributed	Packet
January 29, 2024, by 5:00 p.m. (Monday)	Twelve days before the meeting (Thursday)	Agenda Packet
February 6, 2024, by 5:00 p.m. (Tuesday)	Five days before the meeting (Thursday)	Supplemental 1
February 13, 2024 12:00 p.m. (Tuesday)	By 5:00 pm the day of the meeting (Tuesday)	Supplemental 2

Communications should be submitted directly to the City Clerk to ensure receipt by all Councilmembers. Electronic communications may be submitted to council@berkeleyca.gov for immediate distribution to the Mayor, each City Councilmember, and the City Clerk for inclusion in the official record. Please note that for communications submitted in hardcopy, if the communication includes maps or photos or any other material not reproducible on a copy machine, fifteen copies should be provided to the City Clerk.

Please note that Berkeley's Lobbyist Registration Act (Berkeley Municipal Code Chapter 2.09) is effective beginning on January 1, 2020. Information and resources regarding the Lobbyist Registration Act are available from the City's website at:

<https://berkeleyca.gov/your-government/lobbyist-registration>

If you have any additional questions regarding this matter, please do not hesitate to contact me at (510) 981-6908.

A copy of the staff report and a City Council agenda will be available from this office upon request after 4:00 p.m. on Thursday, February 1, 2024 or can be viewed on our website at: <https://berkeleyca.gov/your-government/city-council/city-council-agendas>.

Sincerely,



Mark Numainville
City Clerk

cc: Jordan Klein, Director of Planning
Anne Hersch, Land Use Planning Manager
Allison Riemer, Staff Planner
Fatema Crane, Secretary to the LPC

1960 San Antonio_645 Arlington Avenue – Appeal LPC Decision Use Permit # LMSAP2022-0005

Farimah Brown, City Attorney
Bahadour Zarrin (Applicant)
Abbas Mash (Owner)

NOTICE CONCERNING YOUR LEGAL RIGHTS: If you object to a decision by the City Council to approve or deny an appeal, the following requirements and restrictions apply: 1. If you challenge this decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Landmarks Preservation Commission at, or prior to, the public hearing. 2. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.